

## Planning Department

W240N3065 Pewaukee Road  
Pewaukee, WI 53072  
(262) 691-0770 Fax (262) 691-1798

### **PLAN COMMISSION MEETING NOTICE AND AGENDA Thursday, June 17, 2021 6:00 PM**

Common Council Chambers ~ Pewaukee City Hall  
W240 N3065 Pewaukee Road, Pewaukee, WI 53072

- 
1. Call to Order and Pledge of Allegiance
  2. Discussion and Action and Regarding a Petition for a Rezoning Public Hearing for Debra Aukofer to Rezone Property Located at N6 W27539 Northview Road from Rs-1 Single-Family Residential to Rs-4 Single-Family Residential (PWC 0983999005)
  3. Discussion and Action Regarding a Certified Survey Map for Debra Aukofer for Property Located at N6 W27539 Northview Road for the Purpose of Dividing the Property Into Three Separate Lots (PWC 0983999005)
  4. Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Permit for Urban Slopes, LLC Located at N35 W23770 Capitol Drive for the Purpose of Operating a Ski Simulator Facility (PWC 0906999006)
  5. Discussion and Possible Action Regarding a Conceptual Plan by Westridge Builders for a Proposed Multi-Use Project Located at W278 N2345 Prospect Avenue on the Gina's Sports Dock Property (PWC 0935987)
  6. Discussion and Action Regarding the Site and Building Plans for the City of Pewaukee to Construct a New Department of Public Works Garage and Recycling Yard Located at W225 N3131 Duplainville Road (PWC 0911993005)
  7. Discussion and Action and Public Hearing Regarding Proposed Amendments to Chapter 17 of the City of Pewaukee Zoning Ordinance Including Sub-Sections 17.0702f., 17.0706c., 17.0708a., and Section 17.0711, Related to Electronic or Movable Copy Directional Signs and Menu Boards for Restaurants
  8. Adjournment

Ami Hurd  
Deputy Clerk

6/11/2021

#### **NOTICE**

Due to the COVID virus, this meeting may be attended virtually if you so wish.

To attend this meeting virtually or by phone please contact Nick Fuchs, City Planner, 262-691-6007, [fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us) **before 3 P.M.**

**on the date of the meeting** for directions. Meeting materials are available at <https://pewaukee.novusagenda.com/AgendaPublic/>.

It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum. At the above stated meeting, no action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the City Planner, Nick Fuchs, at (262) 691-6007 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**CITY OF PEWAUKEE  
PLAN COMMISSION AGENDA ITEM 2.**

**DATE:** June 17, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:**

***SUBJECT:***

Discussion and Action and Regarding a Petition for a Rezoning Public Hearing for Debra Aukofer to Rezone Property Located at N6 W27539 Northview Road from Rs-1 Single-Family Residential to Rs-4 Single-Family Residential (PWC 0983999005)

***BACKGROUND:***

***FINANCIAL IMPACT:***

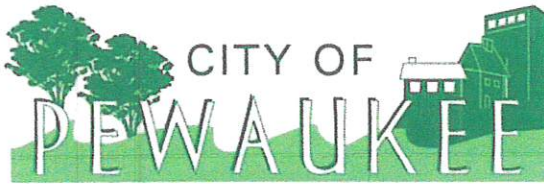
***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

Aukofer rezoning application & map

Aukofer Staff Report



Office of the Planner & Community Development Director  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770  
Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

**PETITION FOR A REZONING DISTRICT MAP AMENDMENT**

TO THE HONORABLE MAYOR AND COMMON COUNCIL OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned hereby petitions the Common Council of the City of Pewaukee, Waukesha County, Wisconsin to rezone the following property **FROM** Rs-1

zoning district(s) **TO** Rs-4 zoning district(s):

**Legal description of property to be rezoned** – Please attach.

**Common property description or name:**

**Property Address:** N6W27539 Northview Rd. **Tax Key Number(s):** PWC 0983999005

**Property owner(s) (Full Legal Name):** Debra A. Aukofer

**Owner's Address:** N6W27539 Northview Rd. **City/State/Zip:** Waukesha, WI 53188

**Phone:** 262-744-0682 **Email:** Debraaukofer@yahoo.com

**This amendment to the zoning map is being proposed in order to** Downsize partial w. th house to make it more manageable for widow spouse

**Applicant (Full Legal Name):**

**Name:** Debra A. Aukofer

**Company:**

**Address:** N6W27539 Northview Rd.

**City/State/Zip:** Waukesha WI 53188

**Phone:** 262-744-0682

**Email:** Debraaukofer@yahoo.com

**Contact Person (Full Legal Name):**

**Name:** Steve Beres (Stephen A.)

**Company:** John Beres Builders

**Address:** 17909 W. Lincoln Ave.

**City/State/Zip:** New Berlin, WI 53146

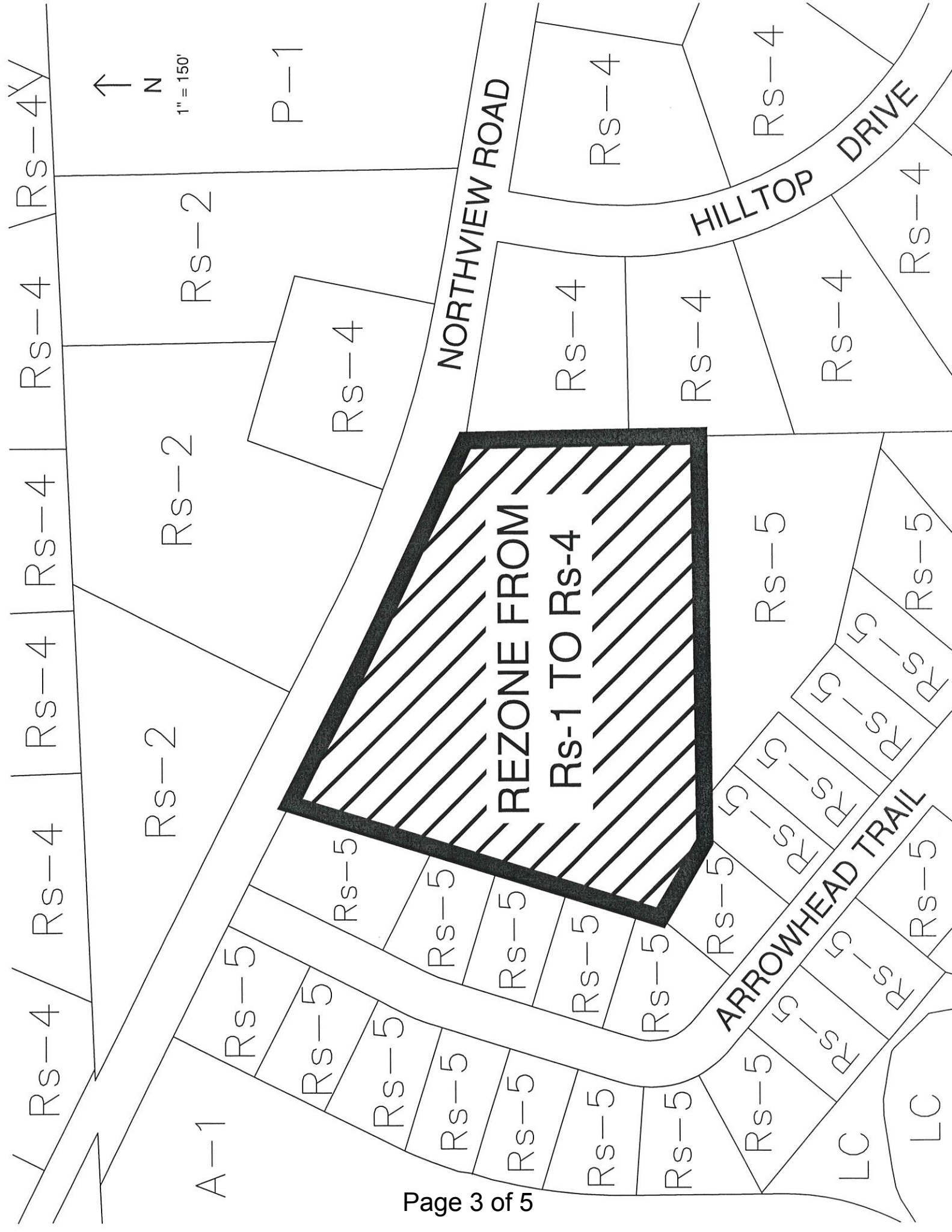
**Phone:** 414-333-2676

**Email:** Steve@johnberesbuilders.com

**Rezoning submittals must include and be accompanied by the following:**

- ☐ This Application form accurately completed with original signatures.
- ☐ Application Filing Fee, payable to the City of Pewaukee:
  - o \$400.00, plus cost for publication, notice and all attorney fees related to Project
- ☐ Five (5) complete collated sets of Application materials to include:
  - o A written project narrative detailing the request and proposed zoning as well as any future development plans or any proposed site or building improvements.
  - o A Rezoning Exhibit that illustrates the property boundaries, areas to be rezoned and specifically notes the existing and proposed zoning.
  - o Building and Site Plans as may be applicable.
- ☐ All application materials provided in a digital format (Adobe PDF). Materials may be submitted on a USB Flash Drive or emailed to [hurd@pewaukee.wi.us](mailto:hurd@pewaukee.wi.us).
- ☐ Note twelve (12) additional sets of plans will be required for Plan Commission following staff review of the initial submittal. These plans should be revised in response to staff comments as may be necessary.







**Office of the Planner & Community Development Director**  
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Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of June 17, 2021

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**Date:** June 11, 2019

**Project Name:** Aukofer Rezoning and Certified Survey Map

**Project Address/Tax Key No.:** N6W27539 Northview Road/Tax Key Nos. 0983999005

**Applicant:** Debra A. Aukofer

**Property Owner:** Debra A. Aukofer

**Current Zoning:** Rs-1 Single-Family Residential District

**Proposed Zoning:** Rs-4 Single-Family Residential District

**2050 Land Use Map Designation:** Low-Medium Density Residential (1/2 Ac. - 2 AC. / D.U.)

**Use of Surrounding Properties:** Single-family to the north, south, east and west

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### **Project Description**

#### **Rezoning:**

The applicant filed a Rezoning Application requesting approval to rezone property located at N6W27539 Northview Road from Rs-1 Single-Family Residential District to Rs-4 Single-Family Residential District.

The property is designated as Low-Medium Density Residential on the City's Year 2050 Land Use/Transportation Plan; therefore, the rezoning is consistent with the City's Comprehensive Master Plan.

The rezoning also matches the zoning of the Arrowhead Trails Subdivision located directly to the east.

#### **Certified Survey Map:**

A Certified Survey Map was also submitted requesting to divide the existing 5.48-acre lot into three separate parcels. Lot 1 has an area of 2.175-acres and contains an existing barn, Lot 2 has an area of 1.725-acres and consists of the existing home and detached garage, and Lot 3 has an area of 1.577-acres and is vacant.

All proposed lots comply with the Rs-4 District minimum lot size of 20,000 square feet and minimum lot width at the setback line of 110-feet. The existing home and detached garage also meet the Rs-4 District development standards.

The existing barn structure on Lot 1 is considered an accessory structure. As accessory structures are not allowed without a principal structure per Section 17.0208b., *staff is recommending that the barn located on Lot 1 shall be razed within 12 months from Common Council approval of the CSM, unless a*

Building Permit is issued for a new home. Furthermore, a Letter of Credit shall be provided in an amount sufficient to raze the barn, subject to be approval by the City Planner.

The existing driveway is primarily located on Lot 2, but does extend into Lot 1. Driveways require a minimum 5-foot setback per Section 17.0604d.; therefore staff is recommending that the existing driveway shall be modified to conform to the standards of Section 17.0606, prior to recording the CSM with the Waukesha County Register of Deeds.

Additionally, staff is recommending that all lots connect to public sewer, including the existing home on Lot 2.

It can be noted, and the applicant has been made aware, that if land disturbance to develop these lots exceeds 1-acre, storm water management requirements must be met. Staff recommends that a separate plan illustrating the anticipated areas of land disturbance, including driveways and the area needed to construct the homes be provided to the Engineering Department for review and conceptual approval prior to recording the CSM.

It can further be noted that the applicant has been made aware that Lot 1 and 3 will require access approval from the City. Staff also indicated that there are assessments that will be due prior to recording the CSM.

Finally, staff is not necessarily opposed or concerned with the proposed lot configuration considering the existing lot size and location, but please be aware of the City's lot design standard below.

18.0800f.(5) Excessive Depth of Lots in relation to width shall be avoided and a proportion of two to one (2:1) shall be considered a maximum depth to width ratio under normal conditions. Lots shall normally be rectangular in shape and lots having more than five (5) sides shall be avoided. Depth of lots or parcels designated for commercial or industrial use shall be adequate to provide for all off-street service and parking required by the use contemplated.

### **Recommendation**

A motion recommending approval of the rezoning request to rezone property located at N6W27539 Northview Road from Rs-1 Single-Family Residential District to Rs-4 Single-Family Residential District.

A motion recommending approval of a 3 Lot Certified Survey Map for property located at N6W27539 Northview Road, subject to staff's recommended conditions noted in this report.

**CITY OF PEWAUKEE  
PLAN COMMISSION AGENDA ITEM 3.**

**DATE:** June 17, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:**

***SUBJECT:***

Discussion and Action Regarding a Certified Survey Map for Debra Aukofer for Property Located at N6 W27539 Northview Road for the Purpose of Dividing the Property Into Three Separate Lots (PWC 0983999005)

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

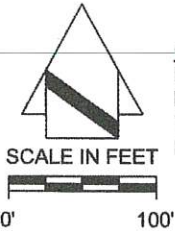
Aukofer CSM



**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

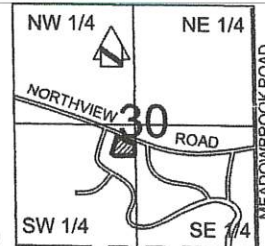
Sheet 1 of 4

Being a division of Lot 1 of Certified Survey Map No. 7955 and being part of the  
Northeast 1/4 of the Southwest 1/4 of Section 30, Town 7 North, Range 19 East  
**CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN**



**OWNER/SUBDIVIDER:**  
DEBRA A AUOKER  
N6W27539 NORTHVIEW RD  
WAUKESHA, WI 53188  
PHONE: (262) 786-5003

**SURVEYOR:**  
JOHN R. STIGLER, PLS  
JAHNKE & JAHNKE ASSOC., INC.  
711 WEST MORELAND BLVD.  
WAUKESHA, WI. 53188-2479  
PHONE: (262) 542-5797



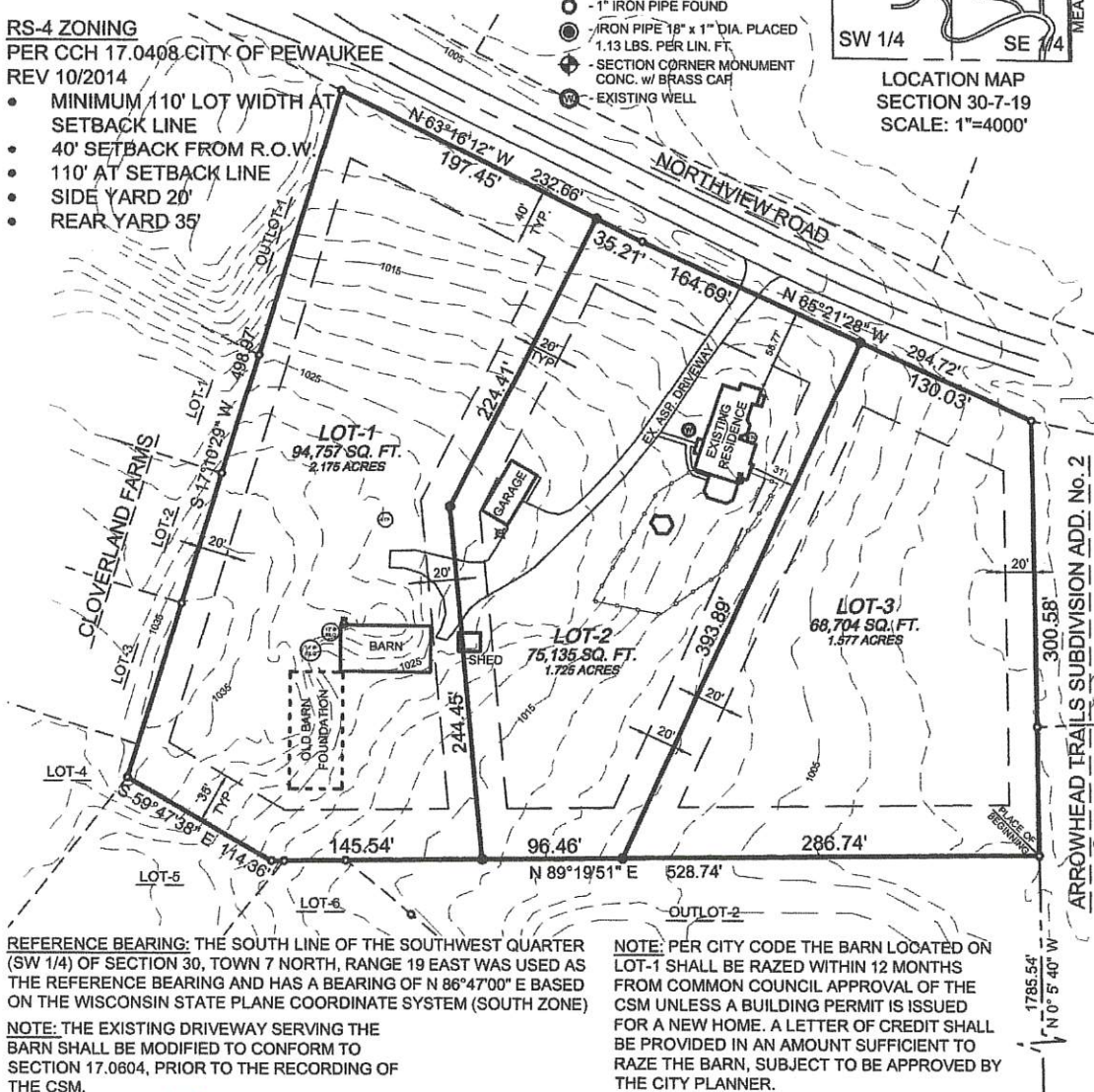
**LOCATION MAP**  
SECTION 30-7-19  
SCALE: 1"=4000'

**RS-4 ZONING**  
PER CCH 17.0408 CITY OF PEWAUKEE  
REV 10/2014

- MINIMUM 110' LOT WIDTH AT SETBACK LINE
- 40' SETBACK FROM R.O.W.
- 110' AT SETBACK LINE
- SIDE YARD 20'
- REAR YARD 35'

**LEGEND**

- 1" IRON PIPE FOUND
- IRON PIPE 18" x 1" DIA. PLACED 1.13 LBS. PER LIN. FT.
- ⊕ SECTION CORNER MONUMENT CONC. w/ BRASS CAP
- ⊙ EXISTING WELL



REFERENCE BEARING: THE SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 30, TOWN 7 NORTH, RANGE 19 EAST WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF N 86°47'00" E BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE)

NOTE: THE EXISTING DRIVEWAY SERVING THE BARN SHALL BE MODIFIED TO CONFORM TO SECTION 17.0604, PRIOR TO THE RECORDING OF THE CSM.

NOTE: PER CITY CODE THE BARN LOCATED ON LOT-1 SHALL BE RAZED WITHIN 12 MONTHS FROM COMMON COUNCIL APPROVAL OF THE CSM UNLESS A BUILDING PERMIT IS ISSUED FOR A NEW HOME. A LETTER OF CREDIT SHALL BE PROVIDED IN AN AMOUNT SUFFICIENT TO RAZE THE BARN, SUBJECT TO BE APPROVED BY THE CITY PLANNER.



SW COR SW 1/4 30-7-19  
SOUTH LINE OF THE SW 1/4, SEC 30-7-17  
SE COR SW 1/4 30-7-19  
2399.422' N 86°47'00" E

*John R. Stigler*  
JOHN R. STIGLER - Wis. Reg. No. S-1820  
DATED this 09th DAY of JUNE, 2021

INSTRUMENT DRAFTED BY JOHN R. STIGLER  
P.S. Pewaukee 3541

FILE NAME: S:\PROJECT\0121-0329\DWG\21-0329.DWG

**CERTIFIED SURVEY MAP NO.**

Sheet 2 of 4

Being all of Lot 1 of Certified Survey Map No. 7955 and being a  
Part of the NE 1/4 of the SW 1/4 of Section 30, Town 7 North, Range 19 East  
CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

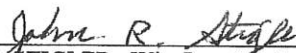
**SURVEYOR'S CERTIFICATE:**

I, John R. Stigler, professional land surveyor, being duly sworn on oath, hereby depose and say that I have surveyed, divided and mapped the following land bounded and described as follows:

Commencing at the Southwest Corner of Section 30, Town 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin, being marked by a concrete monument with brass cap; thence North 86°47'00" East along the South line of the Southwest Quarter (SW 1/4) of Section 30, 2395.35 feet to the Southeast corner of the Southwest Quarter (SW 1/4) of Section 30, Town 7 North, Range 19 East; thence North 00°51'40" West along the East line of the Plat of Cloverland Farms 1785.54 feet to the Southeast corner of Certified Survey Map No. 7955 recorded in Volume 68 of Certified Survey Maps on pages 328 – 330 inclusive as Document No. 2102679 and being the place of beginning of the land herein after described; thence continuing North 00°51'40" West 300.58 feet along the East line of said Certified Survey Map No. 7955 to the South right-of-way line of Northview Road; thence North 65°21'28" West 294.72 feet along the South right-of-way line; thence North 63°16'12" West 232.66 feet along said South right-of-way line; thence South 17°10'29" West 498.97 feet along the West line of said Certified Survey Map No. 7955; thence South 59°47'38" East 114.38 feet along said South line; thence North 89°19'51" East 528.74 feet along said South line to the place of beginning.

Containing a net area of 238,595 square feet or 5.4773 acres of land.

I further certify that I have made such survey, land division and map by the direction of the owners of said land; that such map is a correct representation of the exterior boundaries of the land surveyed and map thereof made; and that I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes pertaining to Certified Survey Maps (Section 236.34) and the regulations of the City of Pewaukee in surveying, dividing and mapping the same.

  
JOHN R. STIGLER - Wis. Reg. No. S-1820  
Dated this 8<sup>th</sup> day of June, 2021

STATE OF WISCONSIN)ss  
WAUKESHA COUNTY)

The above certificate subscribed and sworn to me this 8<sup>th</sup> day of June, 2021.

My commission expires July 5, 2023

  
PETER A. MUEHL - NOTARY PUBLIC



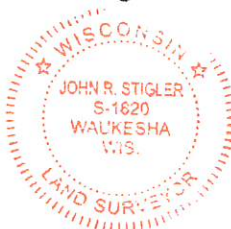
NOTE: Lot-1 & 3 will require across approval from the City of Pewaukee at time of building permit.

NOTE: All sewer laterals must be extended at the time of residence construction (including Lot-2).

NOTE: Assessments will be owed prior to recording the CSM

OWNER: DEBRA A. AUKOER

Instrument drafted by John R. Stigler



P.S. Pewaukee 3541



**CERTIFIED SURVEY MAP NO.** \_\_\_\_\_

Sheet 3 of 4

Being all of Lot 1 of Certified Survey Map No. 7955 and being a  
Part of the NE 1/4 of the SW 1/4 of Section 30, Town 7 North, Range 19 East  
CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

**OWNER'S CERTIFICATE:**

DEBRA A. AUKOFER, duly organized and existing under and by virtue of the laws of the State of Wisconsin, does hereby certify that it caused the land described on this map to be surveyed, divided and mapped as represented on this map. It also certifies that this Certified Survey Map is required to be submitted to the following for approval: City of Pewaukee.

\_\_\_\_\_  
DEBRA A. AUKOFER

STATE OF WISCONSIN)ss  
WAUKESHA COUNTY)

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2021, the above named DEBRA A. AUKOFER, to me known to be the person who executed the foregoing instrument and acknowledged the same.

My commission expires \_\_\_\_\_

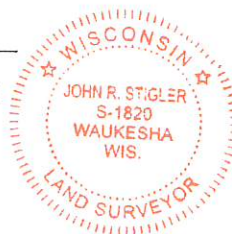
\_\_\_\_\_  
NOTARY PUBLIC -

STATE OF WISCONSIN)ss  
COUNTY OF WAUKESHA)

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2021 \_\_\_\_\_ of the above named DEBRA A. AUKOFER, to me known as the person who executed the foregoing instrument, and to me known to be the \_\_\_\_\_ of the \_\_\_\_\_ and acknowledged that they executed the foregoing instrument as such officer as the deed of \_\_\_\_\_ by it authority.

\_\_\_\_\_  
Notary Public - \_\_\_\_\_  
State of \_\_\_\_\_  
My commission expires \_\_\_\_\_

John R. Stigler  
JOHN R. STIGLER - Wis. Reg. No. S-1820  
Dated this 8<sup>th</sup> day of JUNE, 2021



OWNER: DEBRA A. AUKOFER

Instrument drafted by John R. Stigler

P.S. Pewaukee 3541

**CERTIFIED SURVEY MAP NO.** \_\_\_\_\_

Sheet 4 of 4

Being all of Lot 1 of Certified Survey Map No. 7955 and being a  
Part of the NE 1/4 of the SW 1/4 of Section 30, Town 7 North, Range 19 East  
CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

**PLAN COMMISSION APPROVAL:**

Approved by the Plan Commission, City of Pewaukee, this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
STEVE BIERCE – CHAIRMAN

\_\_\_\_\_  
AMI HURD – RECORDING SECRETARY

**COMMON COUNCIL APPROVAL:**

Approved by the Common Council, City of Pewaukee, this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
STEVE BIERCE – MAYOR

\_\_\_\_\_  
KELLY TARCZEWSKI – CLERK/TREASURER



John R. Stigler  
JOHN R. STIGLER - Wis. Reg. No. S-1820  
Dated this 5TH day of JUNE, 2021

OWNER: DEBRA A. AUKOER

Instrument drafted by John R. Stigler

P.S. Pewaukee 3541

**CITY OF PEWAUKEE  
PLAN COMMISSION AGENDA ITEM 4.**

**DATE:** June 17, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:**

***SUBJECT:***

Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Permit for Urban Slopes, LLC Located at N35 W23770 Capitol Drive for the Purpose of Operating a Ski Simulator Facility (PWC 0906999006)

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

Urban Slopes Staff Report

Urban Slopes narrative

Urban Slopes store images

Urban Slopes building plans

Urban Slopes Draft Conditional Use Permit



**Office of the Planner & Community Development Director**  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of June 17, 2021

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**Date:** June 11, 2021

**Project Name:** Urban Slopes Conditional Use

**Project Address/Tax Key No.:** N35W23770 Capitol Drive/PWC 0906999006

**Applicant:** Jared T. Masters

**Property Owner:** Big Hand, LLC

**Current Zoning:** B-1 Neighborhood Business District

**2050 Land Use Map Designation:** Mixed Office/Retail Commercial

**Use of Surrounding Properties:** Single-family residential to the north, multi-family residential to the south, two-family residential to the east, and commercial to the west

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### **Project Description/Analysis:**

The applicant, Jared T. Masters, filed a Conditional Use Application requesting to locate a ski and snowboard simulation business use within an existing tenant space at the Five Fields Plaza located at N35W23770 Capitol Drive.

The proposed tenant space is approximately 4,500 square feet. The tenant space buildout will include four ski/snowboard simulators, restrooms, a bar, storage areas, a lounge and other seating areas throughout. The business offers clients use of the simulators, which provides physical fitness training, rehabilitation, and ski/snowboarding training. The applicant also noted that they will host team building events.

The applicant is also requesting to serve beer and wine as part of the business use. Note that the sale and service of alcohol beverages shall be contingent upon the City's granting of a liquor license. The liquor license application will require separate review and approval. Again, the applicant will not be able to sell or serve alcohol without proper approvals and licensing from the City.

The applicant anticipates hours of operations primarily being from 12:00 p.m. to 10:00 p.m. There may be earlier weekend hours, opening at 8:00 a.m., during certain times of the year. This would likely be for ski teams seeking training opportunities.

Typical staffing will include two to three employees. An additional staff person may be onsite occasionally for one on one coaching sessions.

Parking is shared between tenants of the building. The current tenants include Rasch Orthodontics and Integrative Dental Solutions. There are 42 parking spaces available within the front parking lot, which primarily serves the subject tenant space and Rasch Orthodontics. There is additional parking on the

east and south sides of the building. According to the applicant, approximately 12 parking spaces are needed for the proposed use.

The applicant is not making any exterior changes to the site or building other than signage, which must comply with Section 17.0700 of the Zoning Code and will require issuance of a Sign Permit.

The subject property is zoned B-1 Neighborhood Business District and designated as Mixed Office/Retail Commercial on the City's Year 2050 Land Use/Transportation Map.

The B-1 District generally allows "individual or small groups of retail and customer service retail establishments catering to the general public in a 'shopping center' or 'strip' development setting having limited hours of operation and with one or more principal buildings." This includes the allowance for Permitted Uses such as art, dance or music teaching studios and a variety of retail type stores and shops.

The proposed use is most appropriately classified as a Conditional Use as the B-1 District allows, as a Conditional Use, "Any use similar in character to the permitted uses listed above conducted as a permanent retail or service business on the premises, catering to the general public, and compatible with the residential character of adjacent areas."

Furthermore, as noted above, the applicant intends to sell beer and wine. The B-1 District requires a Conditional Use for Permitted Principal Use Establishments selling alcoholic beverages.

### **Recommendation**

As it is anticipated that the use does not have any adverse impacts on the surrounding properties or adjacent uses, a motion to recommend approval of the Conditional Use Application is recommended.





Good Day Pewaukee Planning Commission –

I am excited and proud to present Urban Slopes - the first-of-its-kind Ski and Snowboard Sports Experience Center in the United States. Instead of a virtual reality type machine, this machine has active interactions with users. They use ski boots as if they are skiing (or snowboarding), and the machine simulates skiing (or snowboarding) virtually as close to actual skiing as I have ever experienced. The machine can be adjusted to allow for various conditions (soft snow, groomed snow, ice, and powder). The US Ski Team currently has 10 of these at their training center in Utah for off-season training by their members, further demonstrating the power of the machine.

Urban Slopes will offer 30 minute sessions (estimating a \$30 cost for the session). I do envision many people “partnering” with someone and splitting a 30-minute session or doing one hour and dividing it into quarters. In a normal ski run, in the Rockies or the like, you might ski for five minutes; with this machine, the experience can be endless – depending on your stamina!

I envision the clientele will vary over the course of the year. In fall, I expect strong demand from local ski teams wanting to use this machine in conjunction with their pre-season training to help improve the skills of their skiers. During winter months, it may be others wanting to “brush up” on their skills before they head out for a ski trip. In summer, I will pivot towards corporate events and team-building activities. There will also be clients wanting to leverage the machines for rehab after certain injuries; and others who will use as a different style of workout - 30 minutes of continuous use as a “workout” on this machine is far greater of a workout than the equivalent time on an elliptical, treadmill, etc.

Of course, a concern for the community with any new business is the impact it will have on the local area. I expect this to be minimal. Due to space constraints of the facility, I will have only four machines. So, in concept, this would mean around four clients at a time, with some overlap expected between clients.

I am requesting a liquor license as part of the conditional use permit. I plan to “import” craft and local beers from various ski towns in the United States. Part of the overall concept is to make the guests feel as if they are at a ski resort / ski lodge. As you can see in the photos of the design, I am aiming for that “lodge” feel throughout the facility. The machines can simulate famous ski areas from around the world. What better way to complement your World-Cup run from Colorado than to enjoy a beer from Colorado when you finish! By design, liquor is to be a minimal focus of the business, and more just to enhance in the experience.

Regarding the projected value - I have budgeted roughly \$150K for remodeling. As you can see from the submitted drawings, the space needs minimal construction. The vast percentage of



the cost will be from "improvements" to the interior to create that lodge feel discussed above. I am really trying to create that "wow factor" when clients walk in. The finishes will be quite "high end" with a goal of making the clients feel as though they have entered a beautiful ski lodge. There will be various used ski-lift chairs from resorts for clients to sit in, posters / pictures, ski videos playing, etc.; all helping the clients feel they are at a top-class resort. Regarding timing – I aim to begin the remodeling late May with an August opening.

The closest match to the business model for this store is "Off Piste" in Sydney, Australia. Much of the Urban Slopes concept has been modeled after their business. Their store has been overwhelmingly successful and "at capacity" for utilization. Offpiste.com is their website.

The machine itself is designed by a company called Sky Tech Sports and you can learn more about the machine at [skytechsport.com](http://skytechsport.com).

I am happy to answer any questions you might have and working with Pewaukee further on this exciting project.

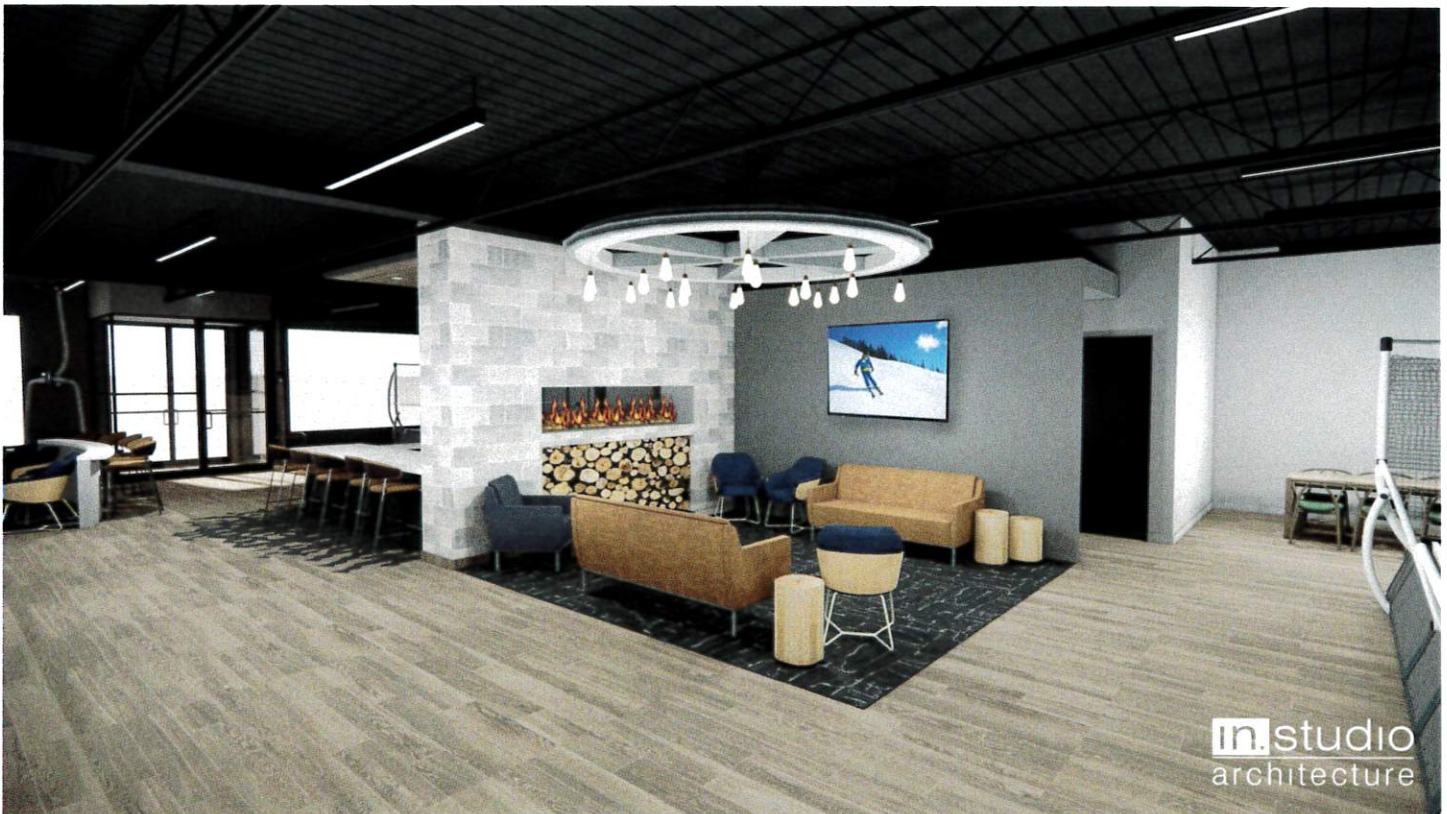
Regards,



Jared T Masters  
Urban Slopes  
30 April 2021



View from Entrance

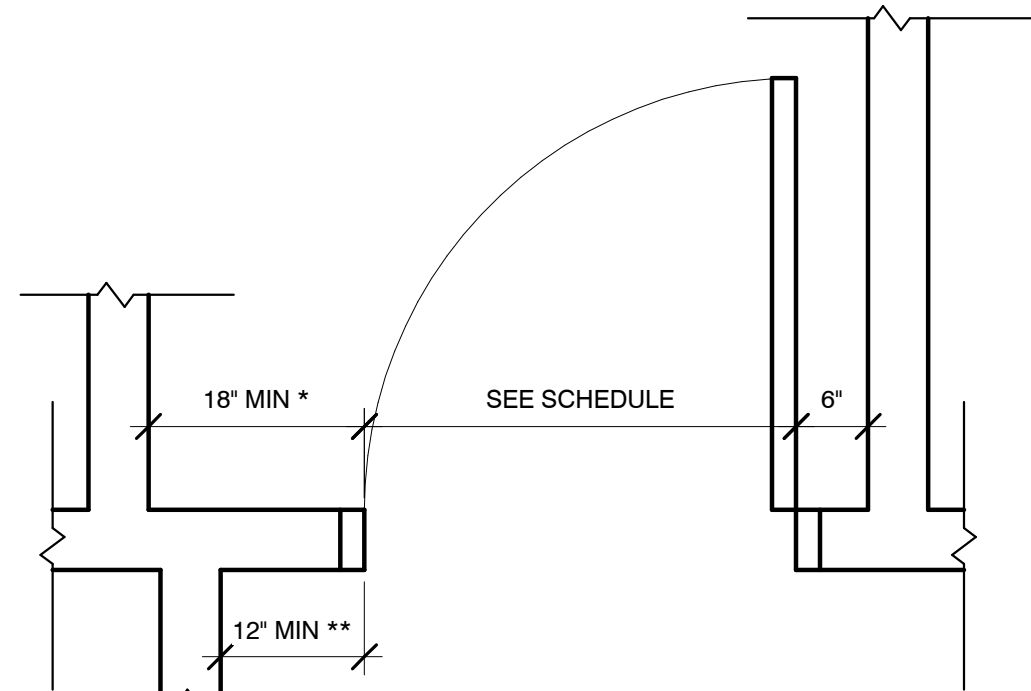


View from North East Corner (closet) looking towards lounge / entrance



GENERAL NOTES:

- A. ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL LOCAL CODES, ORDINANCES AND REGULATIONS OF THE GOVERNMENT AUTHORITIES HAVING JURISDICTION.
- B. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED TO PERFORM WORK IN ACCORDANCE WITH REQUIREMENTS AND PROCEDURES OF ANY AND ALL AUTHORITIES HAVING JURISDICTION.
- C. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND COORDINATES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.
- D. CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS AND NOTIFY THE ARCHITECT OF ANY CONCERNS PRIOR TO STARTING WORK.
- E. DO NOT SCALE THE DRAWINGS. IF A CONTRADICTION OCCURS WITHIN THE CONTRACT DOCUMENTS OR INFORMATION IS UNCLEAR, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION.
- F. CONTRACTOR SHALL COORDINATE WITH THE WORK OF OTHERS NOT INCLUDED IN THE THIS CONTRACT AS DIRECTED BY THE OWNER.
- G. ALL PLAN DIMENSIONS ARE TO FACE OF MASONRY VENEER OR FACE OF WALL FINISH, U.N.O.
- H. ALL VERTICAL DIMENSIONS TO BE ABOVE FINISH FLOOR (A.F.F.) U.N.O.
- I. THE WORD ALIGN AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- J. ALL DOORS USED IN CONJUNCTION WITH EXITS SHALL BE ARRANGED TO READILY OPEN WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE FROM THE SIDE OF EGRESS.
- K. DESIGN/BUILD ELECTRICAL CONTRACTOR IS REQUIRED TO SUBMIT ELECTRICAL PLANS DETAILING THEIR WORK TO THE ARCHITECT AND OWNER FOR THEIR REVIEW PRIOR TO STARTING WORK. THESE DRAWINGS SHOULD INCLUDE ALL ELECTRICAL FIXTURES, SWITCHES AND RELATED COMPONENTS, PANELS, AND OTHER ASSOCIATED ACCESSORIES, ETC WHICH MAY NOT BE EXPLICITLY IDENTIFIED IN THIS CONSTRUCTION DOCUMENT SET.
- L. DESIGN/BUILD MECHANICAL CONTRACTOR IS REQUIRED TO SUBMIT MECHANICAL PLANS DETAILING THEIR WORK TO THE ARCHITECT AND OWNER FOR THEIR REVIEW PRIOR TO STARTING WORK. THESE DRAWINGS SHOULD INCLUDE THERMOSTAT LOCATIONS, HVAC DUCTING DETAILING THE SIZE, SHAPE AND FINISH OF ALL DUCT WORK AND DIFFUSERS AS WELL AS VAV BOXES OR OTHER EXPOSED AND CONCEALED EQUIPMENT REQUIRED FOR THE PROJECT NOT EXPLICITLY IDENTIFIED IN THIS CONSTRUCTION DOCUMENT SET.
- M. PRIOR TO ORDERING/INSTALLATION, G.C. IS REQUIRED TO SUBMIT, AT MINIMUM, THE FOLLOWING SUB CONTRACTOR SHOP DRAWINGS AND/OR SUBMITTALS TO THE ARCHITECT (SOME MAY NOT APPLY TO ALL PROJECTS):
- DOORS, FRAMES, AND HARDWARE
  - GLASS & GLAZING SYSTEMS
  - ALL INTERIOR AND EXTERIOR FINISHES; SUCH AS FLOORING, BASE, PAINT, WALL COVERINGS, CEILINGS, SPECIALTY FINISHES, EXTERIOR CLADDING MATERIALS, ETC.
  - MILLWORK
  - ACCESSORIES/SPECIALTY EQUIPMENT
  - LIGHTING AND DEVICES (SPEC'S, COLORS, ETC.)
  - PLUMBING FIXTURES
- N. ALL INTERIOR PLAN DIMENSIONS ARE TO FACE OF INTERIOR FINISH OR CENTER OF WALL, U.N.O.
- O. ALL FIRE AND LIFE SAFETY DEVICES TO MEET CURRENT CODE.
- P. CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS NOTED ON DRAWINGS, UNLESS NOTED OTHERWISE.
- Q. ALL WORK TO BE PERFORMED DURING REGULAR BUSINESS HOURS. LOUD AND ODOROUS WORK TO BE PERFORMED OUTSIDE OF BUSINESS HOURS.
- R. 'TYPICAL' (OR TYP.) AS USED IN THESE DOCS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS U.N.O.

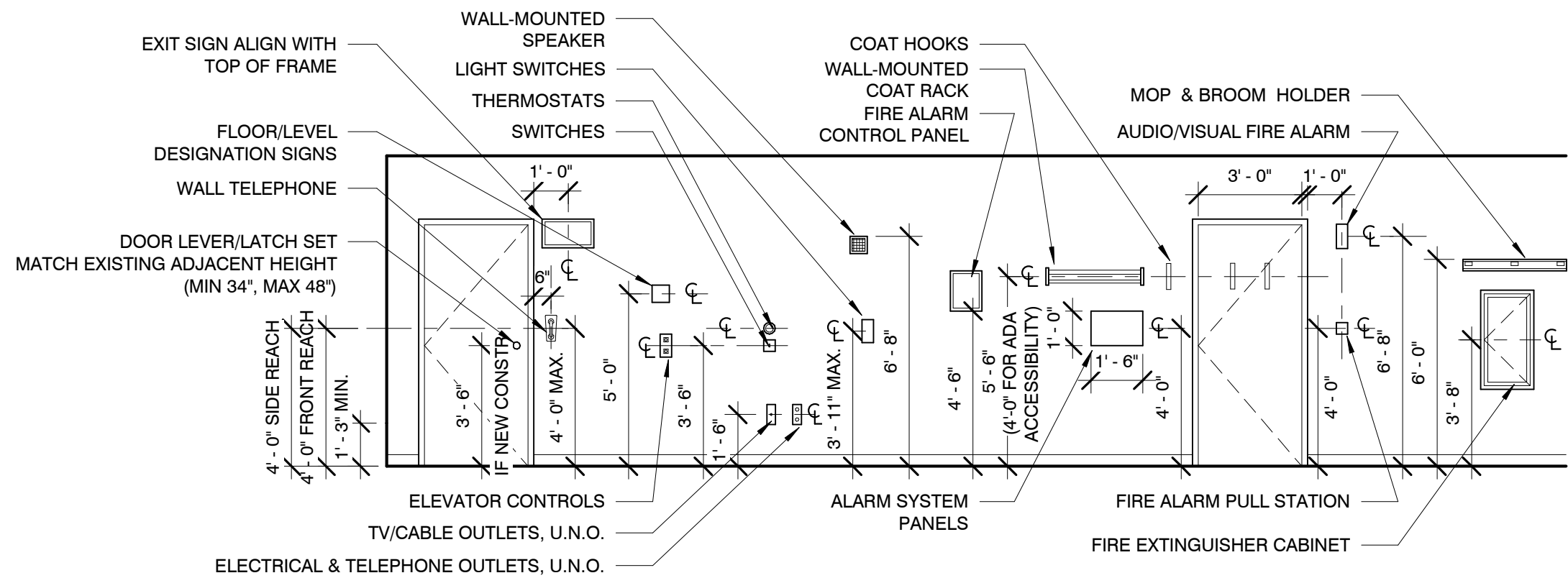
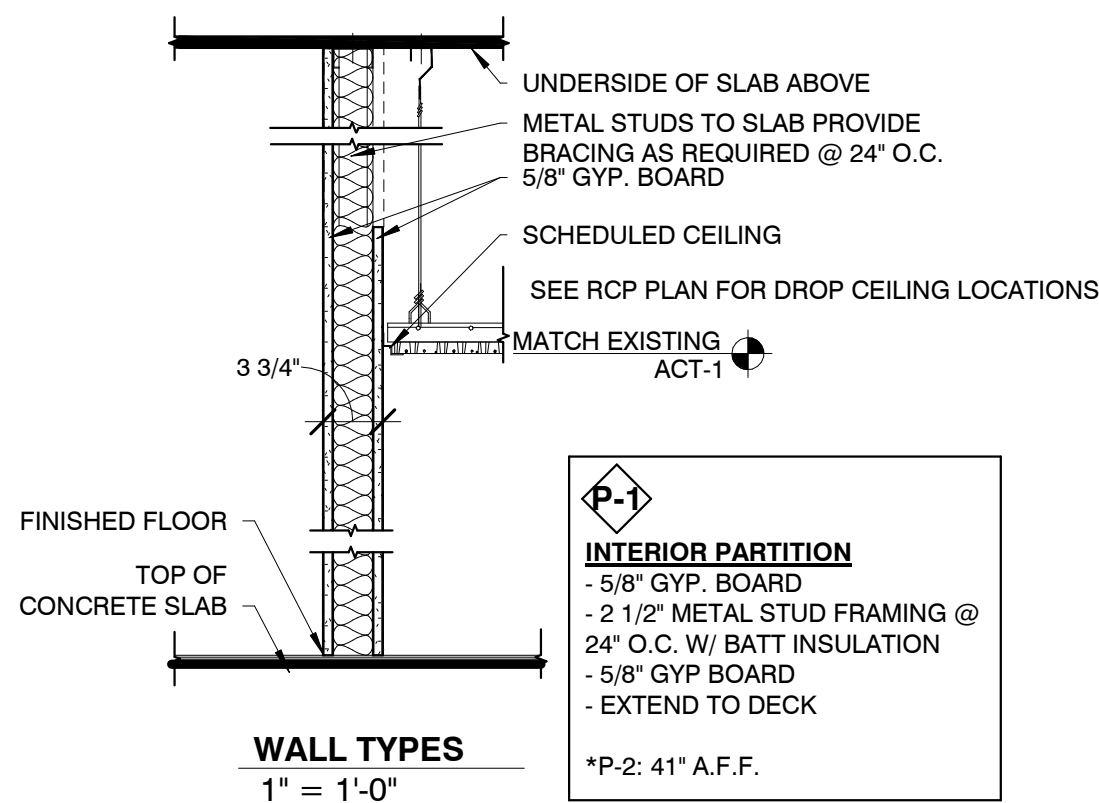


\* TYPICAL FRONT APPROACH CLEARANCES, 24" IF LATCH APPROACH, 42" IF HINGE APPROACH

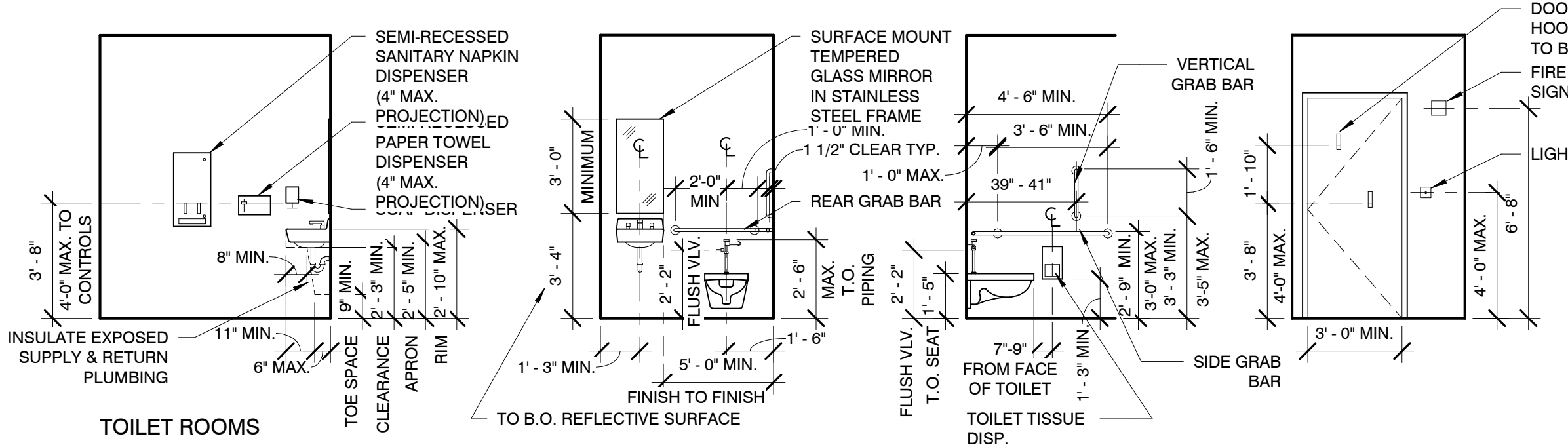
\*\* 12" MIN. IF BOTH CLOSER AND LATCH ARE PROVIDED; 6" MIN. IF BOTH CLOSER AND LATCH ARE NOT PROVIDED

SEE ANSI A117.1.1-2003 (FIG.404.2.3.2) FOR FURTHER INFORMATION

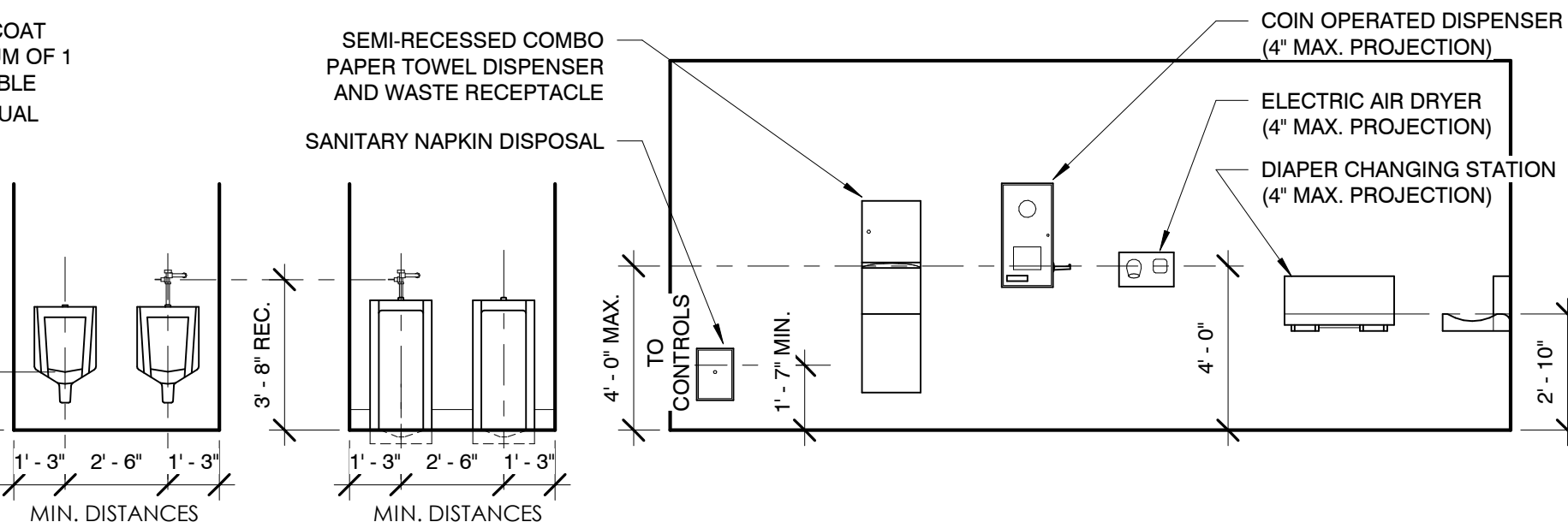
3 TYP. DOOR OFFSET  
A1.0 3/4" = 1'-0"



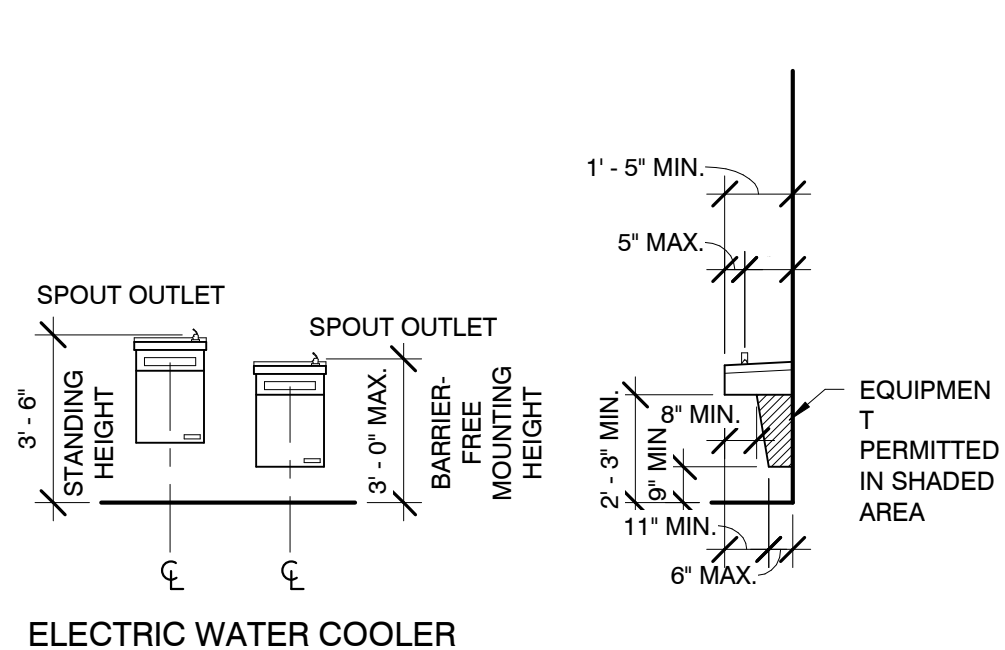
FOR REFERENCE ONLY - DOES NOT INDICATE EQUIPMENT OR FIXTURES TO BE PROVIDED



FOR REFERENCE ONLY - DOES NOT INDICATE EQUIPMENT OR FIXTURES TO BE PROVIDED

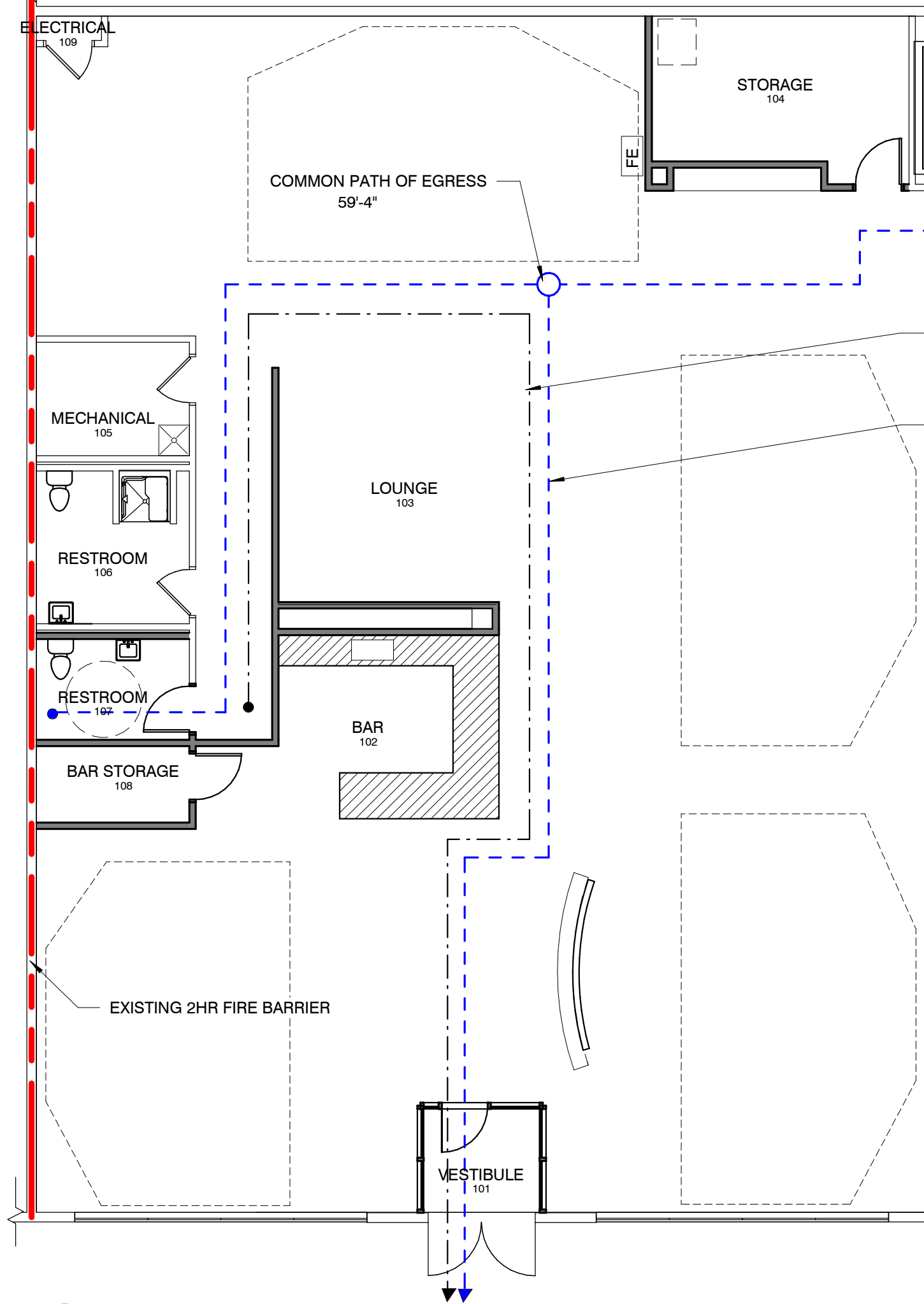
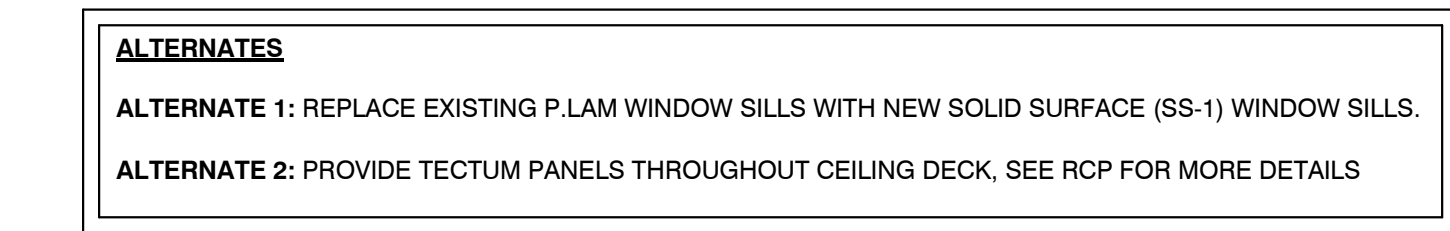


MISC. ACCESSORY MOUNTING HEIGHTS  
FOR REFERENCE ONLY - DOES NOT INDICATE EQUIPMENT OR FIXTURES TO BE PROVIDED



SHEET INDEX

- A1.0 TITLE SHEET, SHEET INDEX, LOCATION MAP
- A3.0 DEMOLITION AND CONSTRUCTION PLAN
- A3.1 RCP, FINISH FLOOR PLAN AND ROOM FINISH SCHEDULE
- A4.1 DOOR SCHEDULE, TYPES AND DETAILS
- A4.2 INTERIOR ELEVATIONS AND DETAILS
- A4.4 INTERIOR ELEVATIONS AND DETAILS



1 CODE PLAN  
A1.0 1/8" = 1'-0"

PROJECT INFORMATION:

OCCUPANCY:	A-3
CONSTRUCTION TYPE	IIB
SQUARE FOOTAGE:	4,558 SF
OCCUPANT LOAD:	92
NUMBER OF FLOOR LEVELS	1
FULLY SPRINKLERED	NO

TOILET FIXTURE CALCULATIONS:

A-3 REQUIRES 1 WATER CLOSET PER 125 MALES, AND 1 WATER CLOSET PER 65 FEMALES, AND 1 LAVATORY PER 200 OCCUPANTS.

92 TOTAL OCCUPANTS = 46 MALES/46 FEMALES

(1) MEN/(1) FEMALE RESTROOMS PROVIDED, EACH WITH WATER CLOSET AND LAVATORY

DRINKING FACILITIES PROVIDED AT BAR AREA

(1) EXISTING MOP SINK TO REMAIN

Drawings For:

URBAN SLOPES

N35W23770 CAPTIOL DR  
PEWAUKEE, WI 53072

REVISIONS



PROJECT INFO

Original Issue Date	3/31/21
Project No.	21.009
Drawn By	BR

SHEET TITLE

TITLE SHEET, SHEET INDEX,  
LOCATION MAP

A1.0

FOR CONSTRUCTION



N. WHERE FLOOR DRAINS ARE REQUIRED (SEE PLUMBING) PITCH CONCRETE SLAB TO DRAINS 1/8" PER FOOT, TYP UNLESS NOTED OTHERWISE.

K. SPECIFIC LOW VOLTAGE CABELING AND TERMINATIONS BY LOW VOLTAGE CONTRACTOR.

THIS DRAWING INDICATES THE GENERAL LOCATION OF FIXTURES, ARCHITECTURAL DETAILS, AND FINISHES. DESIGN/BUILD ELECTRICIAN SHALL REVIEW LIGHTING SPECIFICATIONS AND PROVIDE ANY AND ALL REQUIRED ASSOCIATED ACCESSORIES, WIRING, JUNCTION BOXES, ETC., WHICH MAY NOT BE EXPLICITLY IDENTIFIED IN THE DRAWINGS

K. REMOVE ELECTRICAL EQUIPMENT IN WALLS TO BE DEMOLISHED. MAINTAIN CIRCUIT CONTINUITY AT ELECTRICAL FIXTURES TO REMAIN

TAG #	DESCRIPTION
1	THREE PHASE POWER DROP FROM CEILING FOR SKI SIMULATOR EQUIPMENT.
2	75KVA 208 VOLT THREE PHASE ISOLATION TRANSFORMER BC75R-23 TO BE UTILIZED IN ASSOCIATION WITH SKI SIMULATORS. COORDINATE WITH OWNERS EQUIPMENT SUPPLIER.
3	F-2 FAUCET WITH S-2 DOUBLE BASIN SINK. SEE PLUMBING FIXTURE SCHEDULE FOR MORE DETAIL.
4	SKI SIMULATOR EQUIPMENT PROVIDED BY OWNER.
5	DOUBLE SIDED FIREPLACE. SEE ELEVATIONS FOR MORE DETAIL.
6	NEW STOREFRONT ALUMINUM VESTIBULE. SEE ELEVATIONS.
7	NEW F-1 FAUCET WITH S-1 SINK M-1 MIRROR TO BE MOUNTED ABOVE. SEE PLUMBING FIXTURE SCHEDULE FOR MORE DETAILS.
8	NEW T-1 TOILET. SEE PLUMBING FIXTURE SCHEDULE FOR MORE DETAILS.
9	REINSTALL SALVAGED TOILET IN ORIGINAL LOCATION AFTER NEW FINISHES HAVE BEEN INSTALLED
10	MODIFY/REPLACE STOREFRONT DOOR HARDWARE SO THAT DOORS CAN ONLY BE OPENED WITH KEY INSIDE AND OUT, AND PROVIDE NEW/IMPROVED WEATHER SEALS. DOOR WILL NOT BE USED FOR EGRESS PURPOSES
11	NEW BAR MILLWORK. SEE ELEVATIONS AND SECTIONS FOR DETAILS
12	ALTERNATE 1: REPLACE EXISTING P.LAM WINDOW SILLS WITH NEW SOLID SURFACE (SS-1) WINDOW SILLS.
13	EXISTING MOP SINK TO REMAIN.

TAG #	DESCRIPTION
1	EXISTING COLUMN TO REMAIN. PREP FOR NEW FINISHES.
2	EXISTING WALL TO BE REMOVED.
3	REMOVE AND SALVAGE DOOR FRAME AND DOOR FOR POSSIBLE REUSE.
4	REMOVE AND DISCARD EXISTING WINDOWS.
5	REMOVE AND DISCARD EXISTING FLOORING AND BASE. PREP SUBFLOOR FOR NEW FINISHES.
6	REMOVE AND DISCARD ANY CEILING AND LIGHT FIXTURES.
7	REMOVE AND SALVAGE SINK FOR POSSIBLE REUSE. CAP PLUMBING.
8	REMOVE AND SALVAGE TOILET AND GRAB BARS FOR POSSIBLE REUSE. CAP PLUMBING IN EAST RESTROOM ONLY
9	REMOVE AND DISCARD SHOWER, WALLS, AND EQUIPMENT. CAP PLUMBING.
10	REMOVE AND DISCARD ALL FLOOR AND WALL TILE. PREP SURFACES FOR NEW SURFACES.
11	EXISTING CEILING AND LIGHT FIXTURES TO REMAIN.
12	REMOVE FLOOR AND WALL TILE IN SHOWER. REMOVE AND SALVAGE SHOWER FIXTURES AND HARDWARE TO BE REINSTALLED.
13	REMOVE EXISTING MIRROR AND ADHESIVE FROM BLOCK WALL.
14	REMOVE EXISTING BUILT IN SHELVING, PATCH WALLS TO REMAIN
15	EXISTING ELECTRICAL PANELS TO REMAIN, REMOVE ANY UNNECESSARY LOW VOLTAGE CABLING/DEVICES, DO NOT REMOVE ANY COMMON BUILDING DEVICES, VERIFY WITH OWNER IF UNCERTAIN.
16	EXISTING ELECTRICAL PANEL TO BE REMOVED/RELOCATED, ELECTRICAL DESIGN/BUILD CONTRACTOR TO VERIFY
17	HVAC DESIGN/BUILD CONTRACTOR TO RELOCATE EXISTING THERMOSTAT
18	REMOVE EXISTING EXIT LIGHT AND SIGNS FROM THIS DOOR(S)
19	EXISTING MOP SINK TO REMAIN.

TAG	MANUFACTURER	INFORMATION	COMMENTS
F-1	KOHLER	HONESTY SINGLE HANDLE FAUCET - K-99760-4-BL - MATTE BLACK	USE F-1 WITH S-1
F-2	DELTA	TRINISIC SINGLE HANDLE PULL-DOWN BAR/PREP FAUCET, ARCTIC STAINLESS	USE F-2 WITH S-2
M-1	REJUVENATION	ROUNDED RECTANGLE METAL FRAMED MIRROR - E4773 - OIL RUBBED BRONZE - 24"x36"	
S-1	AMERICAN STANDARD	DECORUM WALL-HUNG SINK WITH EVERCLEAN - 9024000ECC.020 - WHITE	
S-2	KOHLER	UNDERSTONE 31.5" X 18" X 7.75" UNDERMOUNT DOUBLE-EQUAL BASIN STAINLESS STEEL SINK	
T-1	AMERICAN STANDARD	CADET RIGHT HEIGHT ADA TOILET - 2467.016.020 - WHITE	



NORTH

$$1/8'' = 1'-0''$$


## DEMOLITION AND CONSTRUCTION

## Original Issue Date

NO.	REV. DATE	DESCRIPTION
-----	-----------	-------------

# URBAN SLOPES

N35W23770 CAPTIOL DR  
PEWAUKEE, WI 53072

**in.**studio  
architecture

833 E. Michigan St. | Suite 540 | Milwaukee, WI 53202  
 ph. 414.278.6804 | [www.instudioarch.com](http://www.instudioarch.com)

## FOR CONSTRUCTION



KEY SCHEDULE - FINISHES							
CODE	MATERIAL TYPE	MANUFACTURER	PRODUCT	COLOR	SIZE / FINISH	INSTALL PATTERN	NOTES
ACT-1	ACOUSTICAL CEILING TILE	ARMSTRONG			TILE 24" x 24", GRID 15/16"		
CFT-1	CERAMIC TILE (FLOOR)	VIRGINIA TILE	WOW 60 DEGREES CHEVRON	WOOD MID	4"X20.5" CHEVRON	LINEAR	USE GT-1
CFT-2	CERAMIC TILE (RESTROOM FLOOR)	VIRGINIA TILE	WOW HEXA FLOOR	GRAPHITE	8"X9" HEXAGON	STANDARD HEXAGON	USE GT-2
CFT-3	CERAMIC TILE (ACCENT FLOOR)	VIRGINIA TILE	WOW TRAPEZIUM	WOOD MID	4" X 9" TRAPEZOID	SEE FINISH PLAN	USE GT-2
CFT-4	CERAMIC TILE (ACCENT FLOOR)	VIRGINIA TILE	WOW TRAPEZIUM FLOOR	GRAPHITE MATT	4" X 9" TRAPEZOID	SEE FINISH PLAN	USE GT-2
CPT-1	CARPET	SHAW	PROCESS TILE 5T302	MEDINA 01505	18"X36"	1/3 ASHLAR	CUSTOM RUNNER WITH SERGED EDGE AND NON-SKID BACKING. SEE FINISH PLAN FOR LOCATION AND QUANTITY. CONTACT DENISE KIRSCHMAN@SHAWCONTRACT.COM FOR MORE INFORMATION.
CPT-2	CARPET RUNNERS	SHAW	PROCESS TILE 5T302	MEDINA 01505	3' X 18'	1/3 ASHLAR	
CPT-3	CARPET (WALK-OFF)	MILLIKEN	OBEX TILE CUT/CROSS	DARK GREY CSC118-119	50CM X 50CM	MONOLITHIC	
CWT-1	CERAMIC TILE (WALL)	DALTILE	CONSULATE	EMBASSY SILVER CS07	12"X24"	SEE ELEVATION	USE GT-3. SOME TILES TO BE CUT 6"X48" FOR INSTALL, SEE ELEVATION FOR INSTALLATION PATTERN.
CWT-2	CERAMIC TILE (WALL)	VIRGINIA TILE	WOW USA ELLE	GRAPHITE, GREEN,WOOD	7"X7"	SEE DETAIL	EQUAL MIX OF THREE COLORS NOTED. USE GT-2
GT-1	GROUT	MAIPEI	PROVIDE SEALER WITHIN GROUT	WALNUT 106			USE WITH CFT-1
GT-2	GROUT	MAIPEI	PROVIDE SEALER WITHIN GROUT	BLACK 10			USE WITH CFT-2, CWT-2,3,4
GT-3	GROUT	MAIPEI	PROVIDE SEALER WITHIN GROUT	COBBLESTONE 103			USE WITH CWT-1
PLAM-1	PLASTIC LAMINATE	FORMICA					
PNT-1	PAINT (WALL TYP.)	SHERWIN WILLIAMS			BLACKENED STEEL 8918-58		1 COAT PRIMER, 2 COATS PAINT
PNT-2	PAINT (HM FRAME/DOORS)	SHERWIN WILLIAMS			SW7651 FRONT PORCH		1 COAT PRIMER, 2 COATS PAINT
PNT-3	PAINT (TRIM)	SHERWIN WILLIAMS			SW6278 TRICORN BLACK		
PNT-4	PAINT (EXPOSED STRUCTURE)	SHERWIN WILLIAMS			SW7651 FRONT PORCH		
PNT-5	PAINT (ACCENT)	SHERWIN WILLIAMS			SW6278 TRICORN BLACK		
PNT-7	PAINT (ACCENT)	SHERWIN WILLIAMS			SW7659 GRIS		
PNT-8	PAINT (PULLEY PAINT)	SHERWIN WILLIAMS			SW6233 SAMOVAR SILVER		
QTZ-1	QUARTZ	CAMBRIA			ARCHDALE		
SS-1	SOLID SURFACE	LG HAUSYS			RIPE COTTON G518R		
VB-1	VINYL BASE	JOHNSONITE			BLACK		
WB-1	WOOD BASE				PAINT PNT-1		PROVIDE PRE-FORMED INSIDE AND OUTSIDE CORNERS
WD-1	WOOD WALL AND CEILING PANELING						PROVIDE ALLOWANCE OF \$5/SF MATERIAL COST
WP-1	WOOD PANELING	BARK HOUSE	POPLAR POLE CUT END PANEL, STAGGERED BLOCK LENGTH,KEYED EDGE		LAQUERED FINISH		
WS-1	WINDOW TREATMENTS	SWF CONTRACT			SMOKE/PLATINUM		3% OPEN WEAVE
							OPERATION MECHANISM: PULL CHAIN, INCLUDE VALANCE. VERIFY DIMENSIONS IN FIELD.



NOTE: REFER TO RENDERING FOR FLOOR TILE PATTERN AND COLOR LOCATION



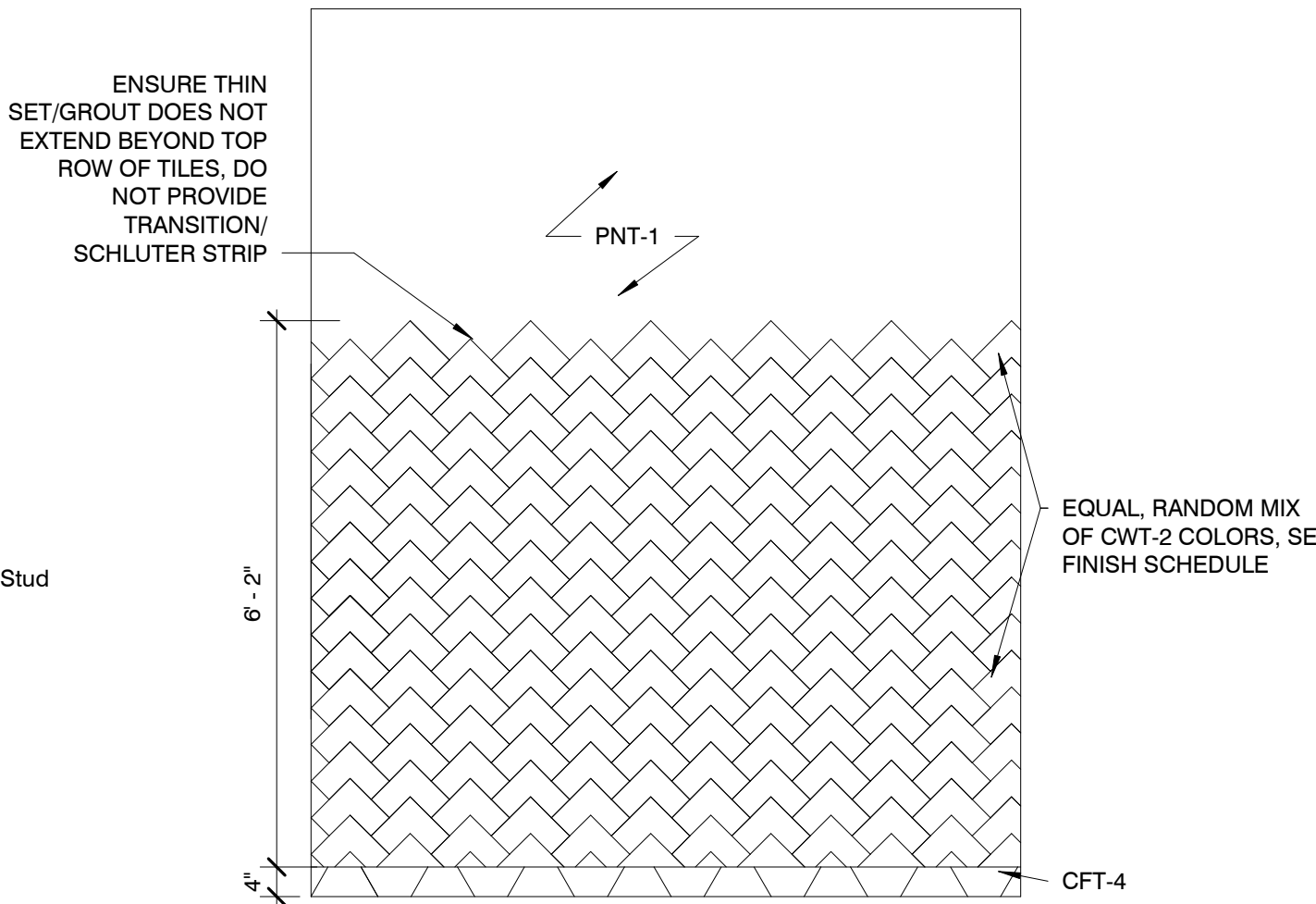
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833 E. Michigan St. | Suite 540 | Milwaukee, WI 53202  
ph. 414.278.6804 | www.instudioarch.com

KEYED REFLECTED CEILING PLAN NOTES	
TAG #	DESCRIPTION
1	EXISTING CEILING AND LIGHT FIXTURES TO REMAIN.
2	ALTERNATE 2: INSTALL 3' X 6' BLACK TEXTUM PANELS IN BETWEEN STRUCTURAL SUPPORT BEAMS AT EXPOSED CEILING WHERE LIGHT FIXTURES ARE NOT BEING HUNG. LEAVE 2'-0" SPACE BETWEEN PANELS. PANELS SHOWN ARE NA EXAMPLE, PANELS TO BE INSTALLED THROUGHT ENTIRE SPACE, PER EXAMPLE AREA.
3	CUSTOM PAINTED WOOD/MDF SKI LIFT PULLEY BY MILLWORKER, SEE DETAILS ON A4.4
4	NO LIGHTS OVER SIMULATOR UNITS.

ROOM FINISH SCHEDULE						
ROOM #	ROOM NAME	FLOOR FINISH	BASE FINISH	Wall Finish	CEILING FINISH	COMMENTS
100	SIMULATOR ZONE	CFT-1	WB-1	PNT-1	--	SEE FINISH PLAN FOR ACCENT FLOOR LOCATIONS
101	VESTIBULE	WCPT-1	--	--	PNT-1	
102	BAR	CFT-2,3,4	WB-1	PNT-1	--	SEE FINISH PLAN AND RENDERING FOR ACCENT FLOOR LOCATIONS
103	LOUNGE	CPT-1	WB-1	PNT-1	--	SEE FINISH PLAN FOR ACCENT WALL TILE LOCATIONS
104	STORAGE	SC-1	VB-1	PNT-1	--	
105	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	
106	RESTROOM	CFT-2	CFT-4	PNT-1	ACT-1	SEE ELEVATION FOR WET WALL TILE PATTERN.
107	RESTROOM	CFT-2	CFT-4	PNT-1	ACT-1	SEE ELEVATION FOR WET WALL TILE PATTERN.
108	BAR STORAGE	SC-1	VB-1	PNT-1	--	
109	ELECTRICAL	EXISTING	EXISTING	EXISTING	EXISTING	

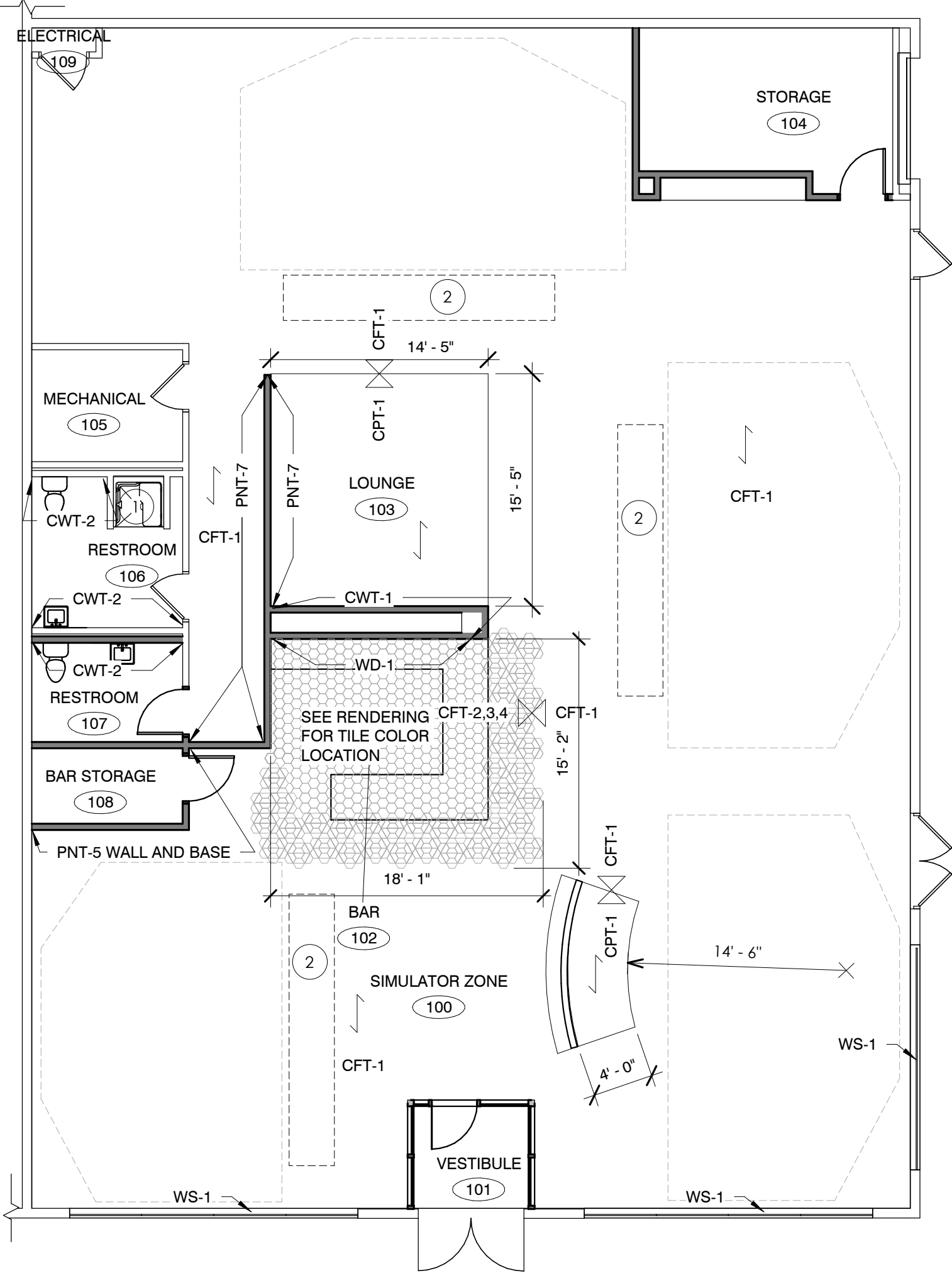
KEYED FINISH FLOOR PLAN NOTES	
TAG #	DESCRIPTION
1	SHOWER WALL AND FLOOR TILE TO BE CWT-1. INSTALL IN 1/3 ASHLAR PATTERN IN NORTH-SOUTH ORIENTATION ON WALL.
2	3' X 18' CUSTOM LOOSE LAY RUG, CPT-2. SEE FINISH SCHEDULE FOR MORE DETAILS.



4 RESTROOM WALL TILE PATTERN  
1/2" = 1'-0"

FINISH FLOOR PLAN GENERAL NOTES:

- THIS DRAWING INDICATES THE GENERAL LOCATION OF FIXTURES, ARCHITECTURAL DETAILS AND FINISHES. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
- SEE FINISH SCHEDULE, REFLECTED CEILING PLAN, STRUCTURAL DRAWINGS, AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- FLOORING TRANSITIONS TO OCCUR AT CENTERLINE OF DOOR OPENING, U.N.O.
- SEE SCHEDULE FOR BASE TYPES.
- MECHANICAL GRILLES AND DIFFUSERS SHALL BE PAINTED TO MATCH ADJACENT WALL SURFACE, U.N.O.
- FLOOR TILE INSTALLER SHALL PROVIDE ARCHITECT A FLOOR PLAN PROVIDING PROPOSED CONTROL JOINT LOCATIONS PRIOR TO INSTALLATION.
- SEE SCHEDULE FOR PORCELAIN TILE INFO (INCLUDING PATTERN).
- SEAL ALL GROUT AND FLOORING AS RECOMMENDED BY MANUFACTURER.
- HATCH PATTERNS ON FINISH PLAN ARE REPRESENTATIVE OF DIFFERENT MATERIALS AND DO NOT DESIGNATE TILE LAYOUTS/SPACING/ETC.
- INDICATES FLOORING PATTERN DIRECTION.

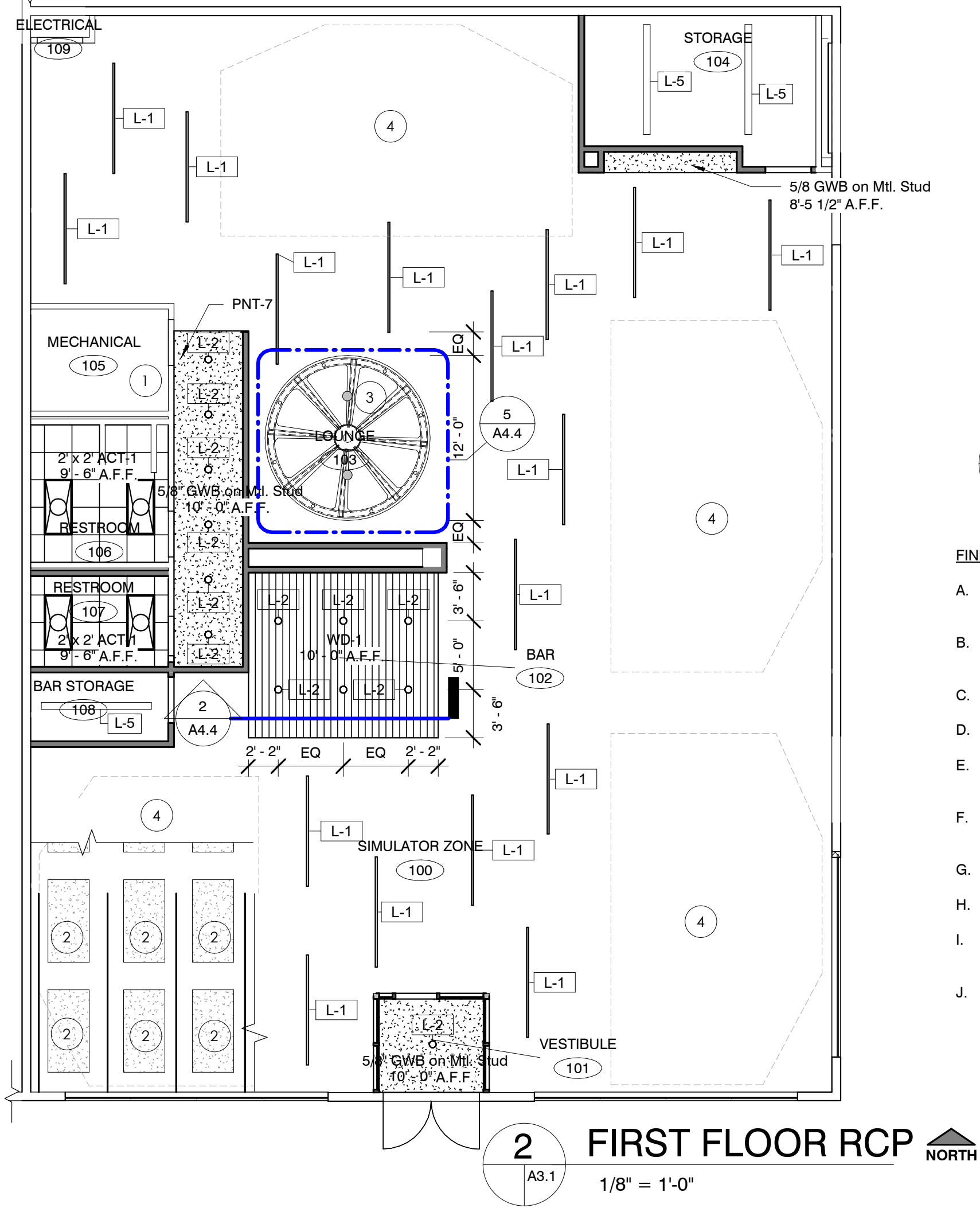


1 FINISH FLOOR PLAN  
1/8" = 1'-0"

REFLECTED CEILING PLAN GENERAL NOTES:

- THIS DRAWING INDICATES THE GENERAL LOCATION OF FIXTURES, ARCHITECTURAL DETAILS AND FINISHES. DESIGN/BUILD ELECTRICIAN SHALL REVIEW LIGHTING SPECIFICATIONS AND PROVIDE ANY AND ALL REQUIRED ASSOCIATED ACCESSORIES, WIRING, JUNCTION BOXES, ETC. WHICH MAY NOT BE EXPLICITLY IDENTIFIED IN THESE DRAWINGS.
- SEE FINISH SCHEDULE, FINISH PLANS, AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL CEILING TILE TO BE CENTERED IN BOTH DIRECTIONS IN EACH ROOM OR SPACE U.N.O.
- SEE ELECTRICAL DRAWINGS FOR FIXTURE LOCATIONS. VERIFY MOUNTING HEIGHTS OF DECORATIVE FIXTURES WITH ARCHITECT PRIOR TO INSTALLATION.
- ALL DOWN LIGHTS AND WALL WASHERS TO BE CENTERED IN CEILING TILE OR SOFFIT, U.N.O.
- DESIGN/BUILD MECHANICAL CONTRACTOR SHALL REVIEW FOR DUCT AND EQUIPMENT LAYOUT AND PROVIDE ANY AND ALL REQUIRED ASSOCIATED ACCESSORIES, DUCTS, EQUIPMENT, ETC. WHICH MAY NOT BE EXPLICITLY IDENTIFIED IN THESE DRAWINGS.
- COORDINATE LOCATION OF ELECTRICAL FIXTURES, MECHANICAL GRILLES AND DIFFUSERS, SPRINKLER HEADS, AND OTHER CEILING MOUNTED ITEMS. NOTIFY ARCHITECT OF CONFLICTS PRIOR TO FINAL INSTALLATION.
- EXIT AND EXIT ACCESS DOORS SHALL BE MARKED BY EXIT SIGNS. EXIT SIGNS SHALL COMPLY WITH IBC 1013.1. PROVIDE ABILITY TO PROVIDE 90 MINUTE OF CONTINUOUS ILLUMINATION IN CASE OF POWER LOSS. EMERGENCY LIGHTING TO BE DESIGNED/PROVIDED BY DESIGN/BUILD ELECTRICIAN.
- ALL LIGHTING TO BE DIMMABLE VIA DIMMER SWITCHES, DIMMING IS NOT REQUIRED AT STORAGE AND UTILITY ROOMS.

- 2X2 SCHEDULED ACOUSTIC CEILING TILE
- PAINTED GYP. BD. CEILING
- L-1 FOCAL POINT SEEM 1 8FT SUSPENDED LINEAR
- L-2 4" LED RECESSED CAN
- L-3 TECH LIGHTING SOCO PENDANT, 700TDMRD-11-PORT-T-B-700TDSOCOP-M-08-B-B, # 300BHV520 T1-4 ARCHPELAGO RADIO 2700K BULB
- L-4 AMICA 2X4 LED LAY IN LIGHT FIXTURE, FAML-24-ACR-4500L-35K-1C-G1-WH
- L-5 LED UTILITY LIGHT FIXTURES BY CONTRACTOR



2 FIRST FLOOR RCP  
1/8" = 1'-0"

Drawings For:

URBAN SLOPES

N35W23770 CAPTOL DR  
PEWAUKEE, WI 53072

REVISIONS

PROJECT INFO

Original Issue Date  
3/31/21

Project No.  
21.009

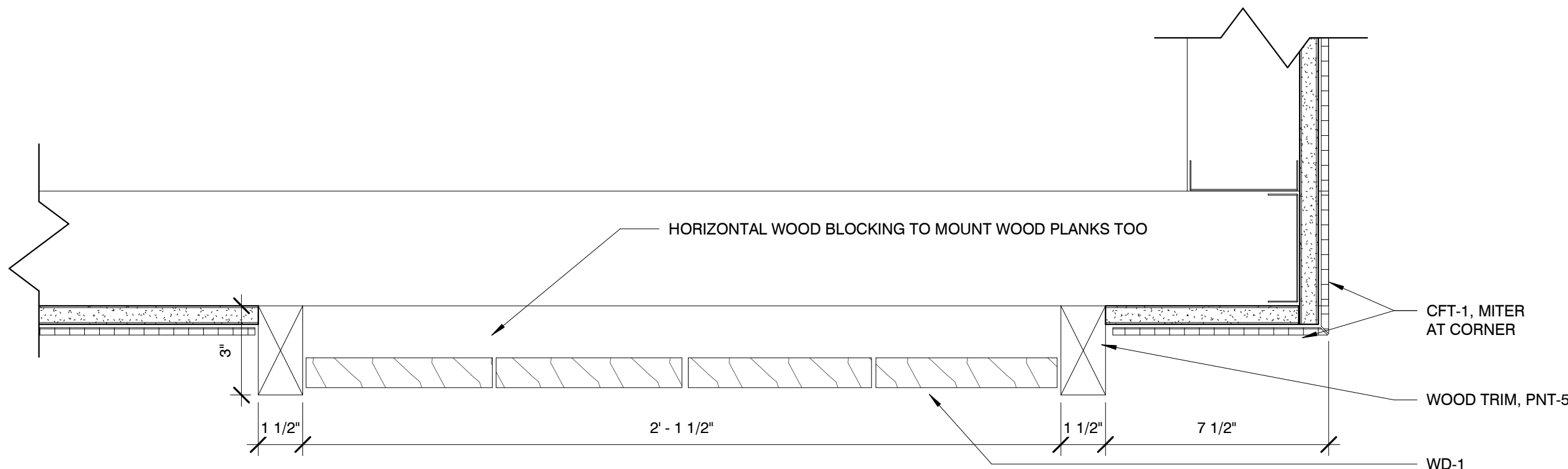
Drawn By  
BR

SHEET TITLE  
RCP, FINISH FLOOR PLAN AND  
ROOM FINISH SCHEDULE

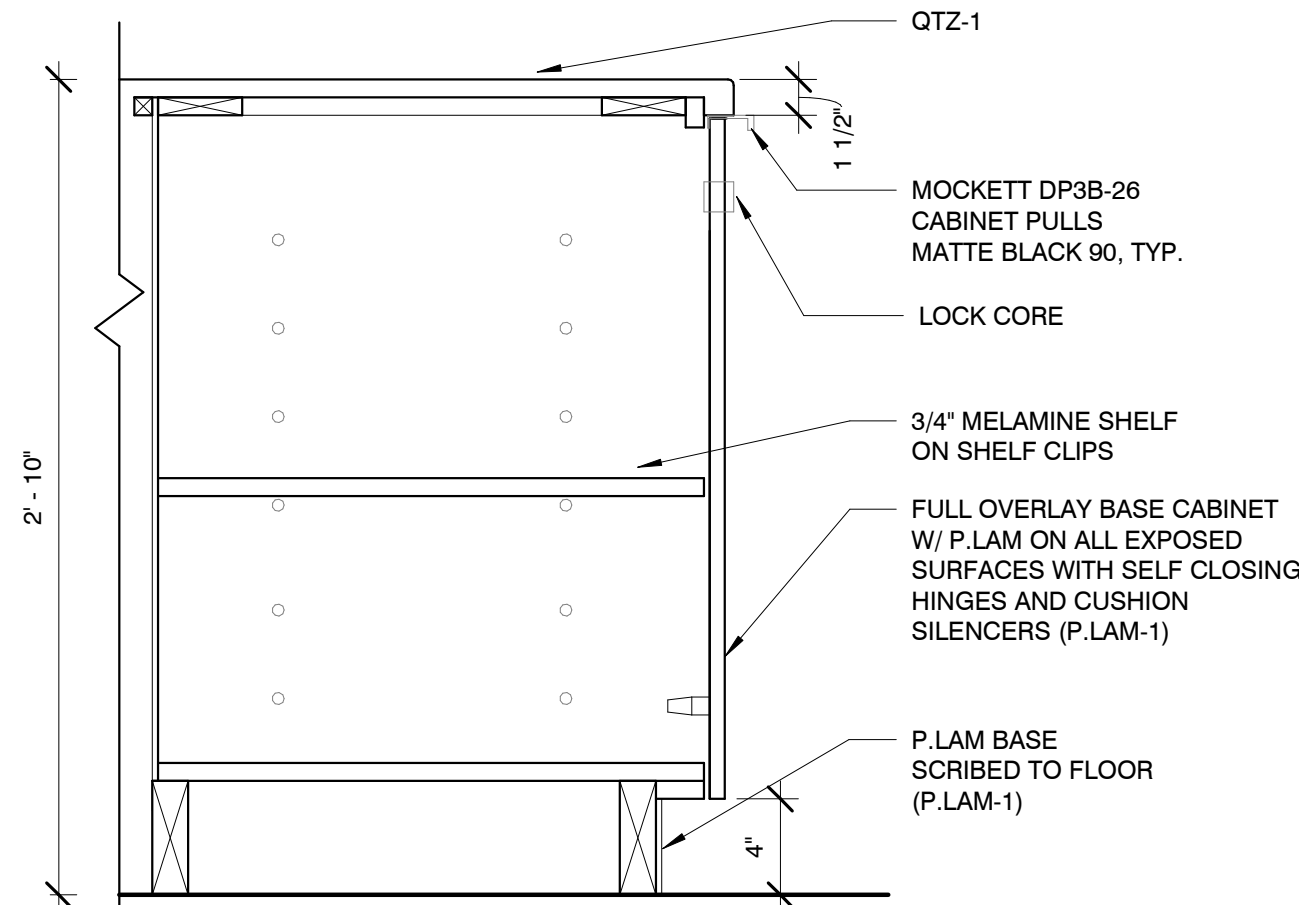
A3.1

FOR CONSTRUCTION

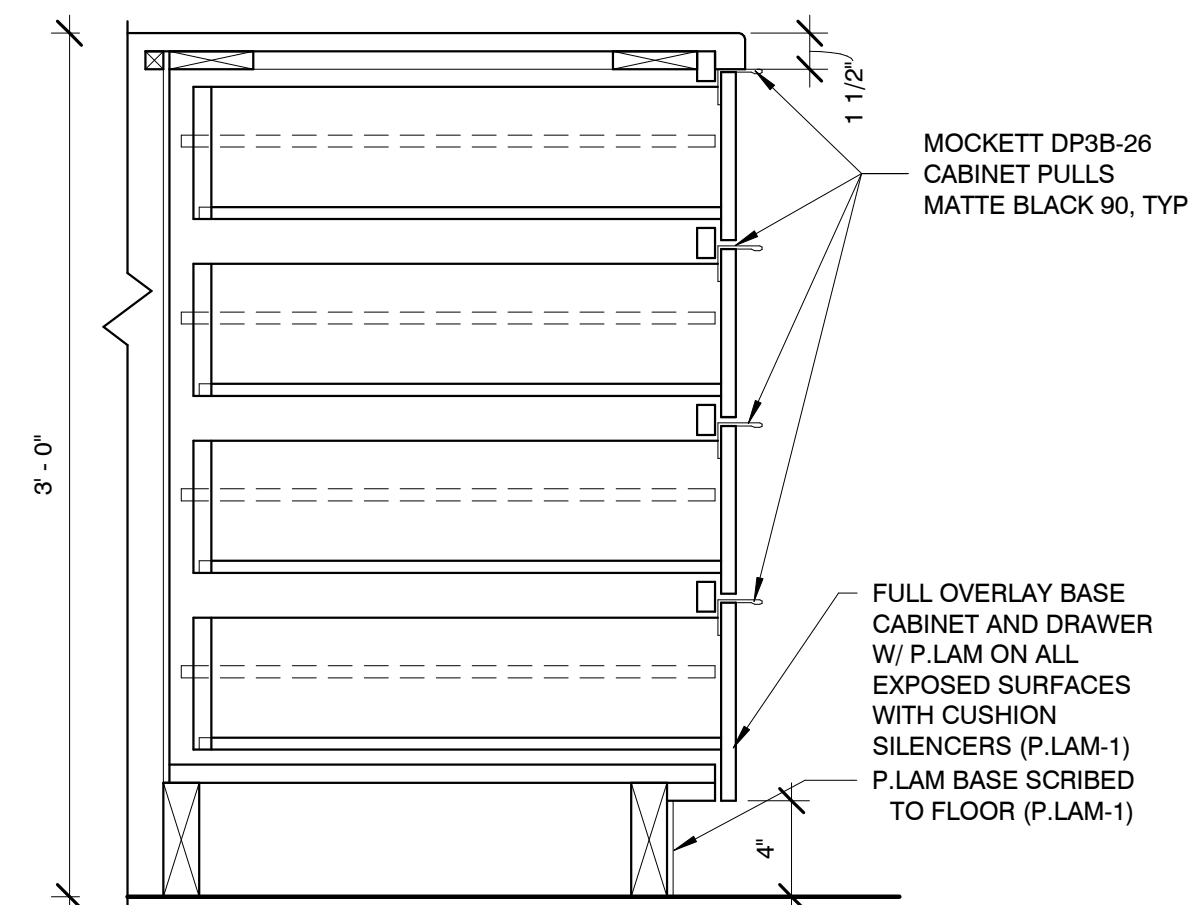




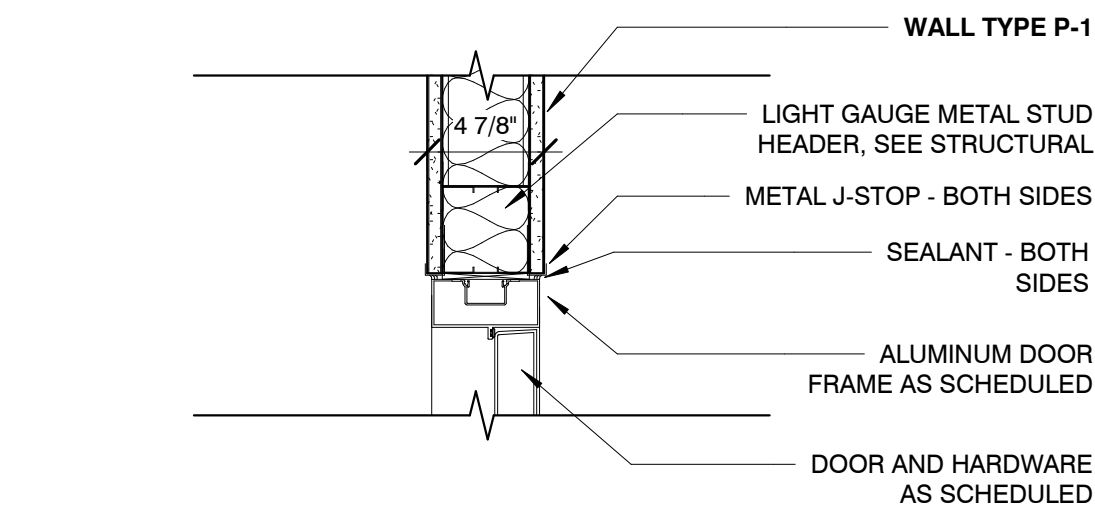
9 BAR WOOD WALL DETAIL  
A3.0 | A4.1  
3" = 1'-0"



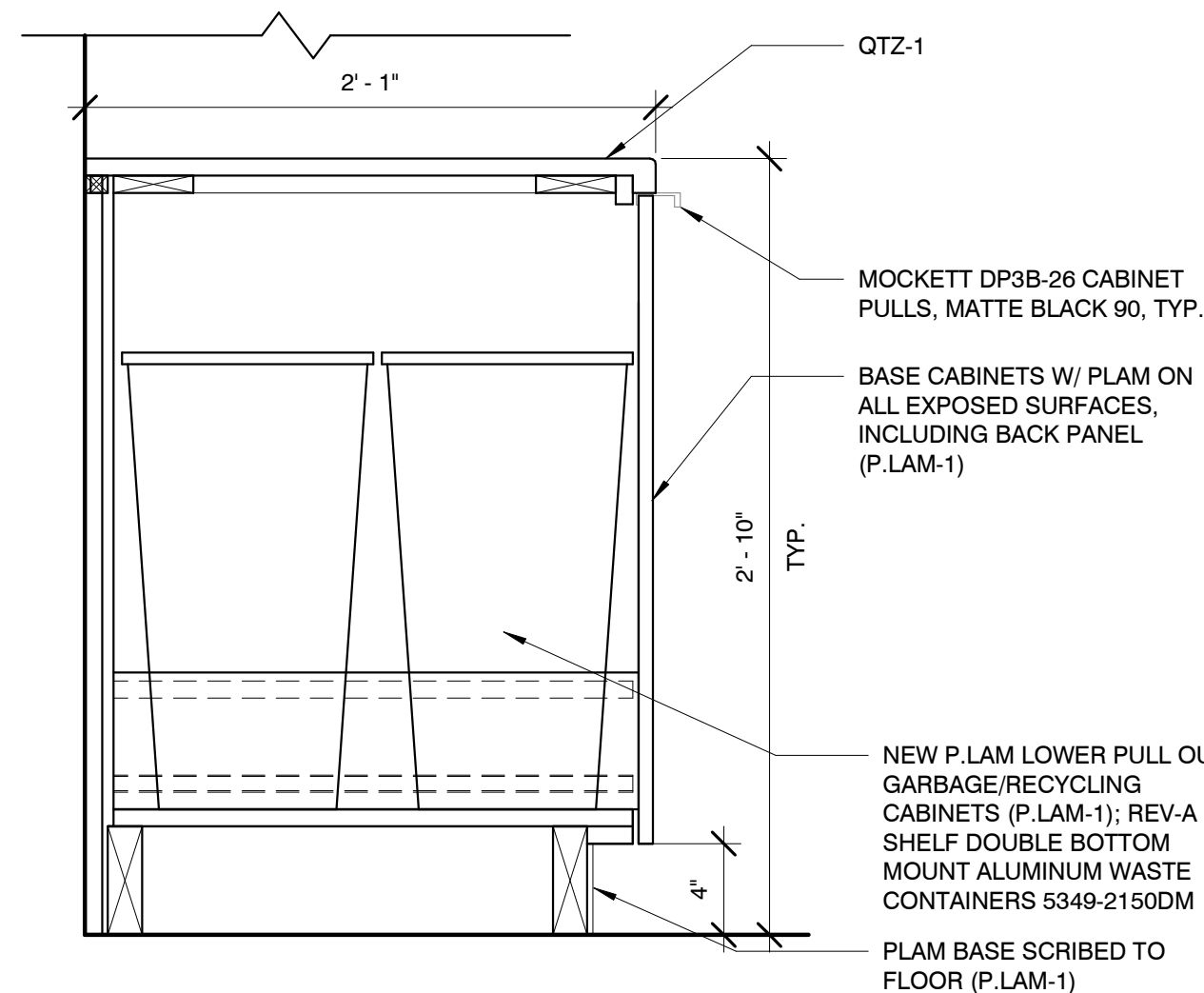
8 MILLWORK LOWER  
A4.2 | A4.1  
1 1/2" = 1'-0"



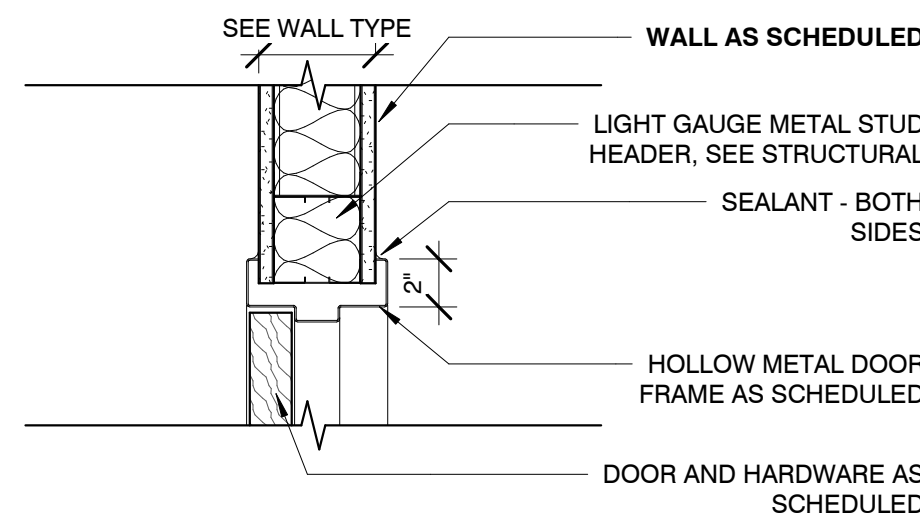
55 MILLWORK LOWER DRAWERS  
A4.2 | A4.1  
1 1/2" = 1'-0"



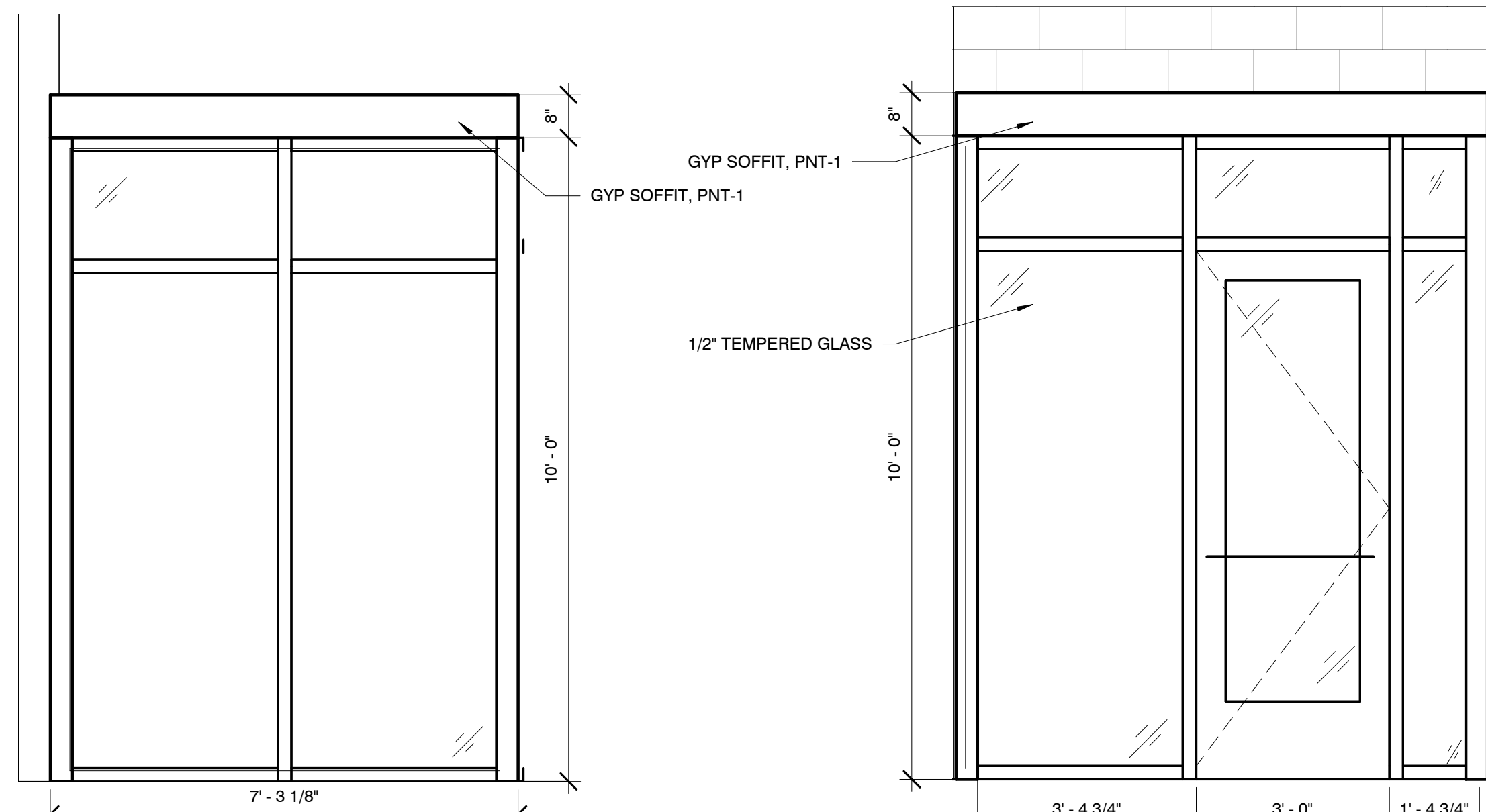
7 DOOR HEAD - JAMB SIM  
A4.1  
1 1/2" = 1'-0"



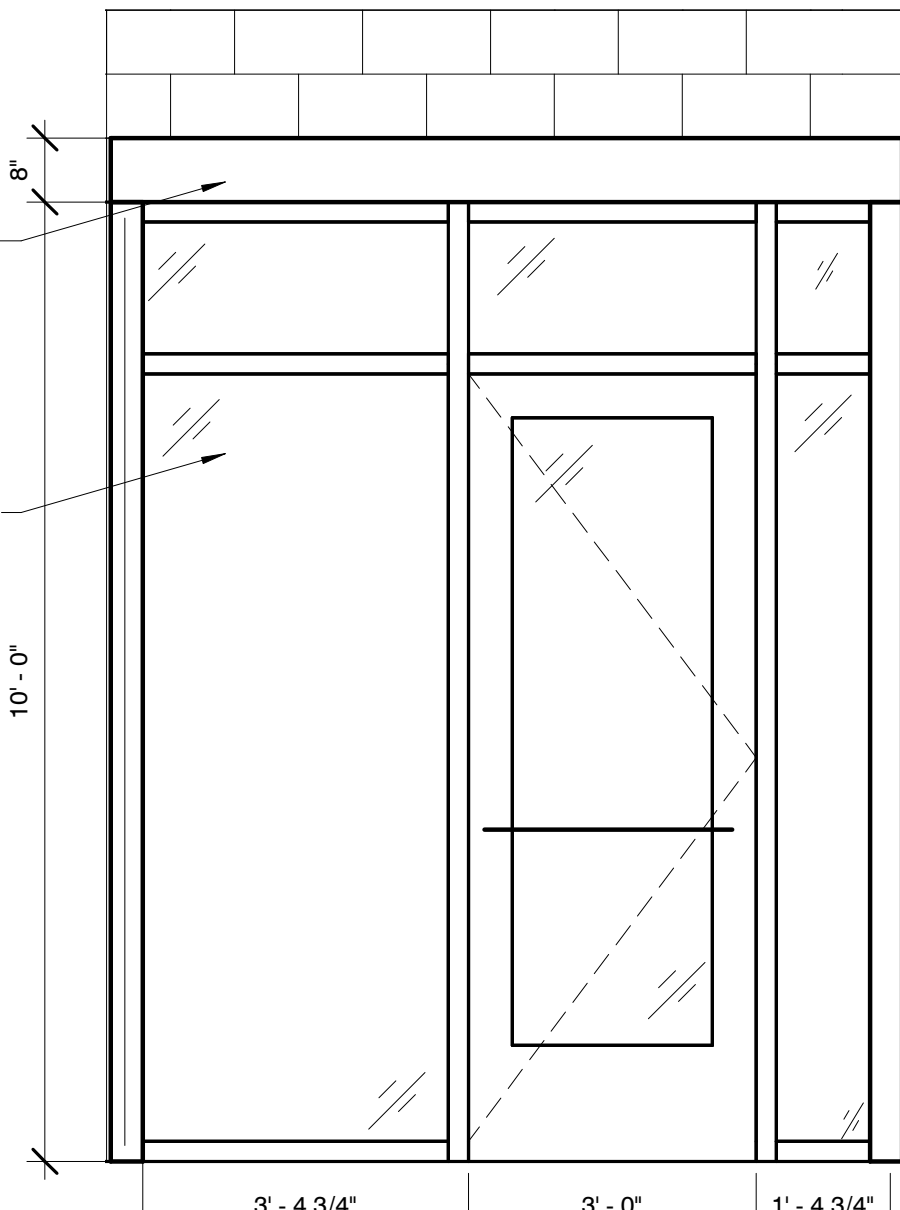
4 GARBAGE/RECYCLING MILLWORK  
A4.2 | A4.1  
1 1/2" = 1'-0"



6 DOOR HEAD - JAMB SIM  
A4.1  
1 1/2" = 1'-0"

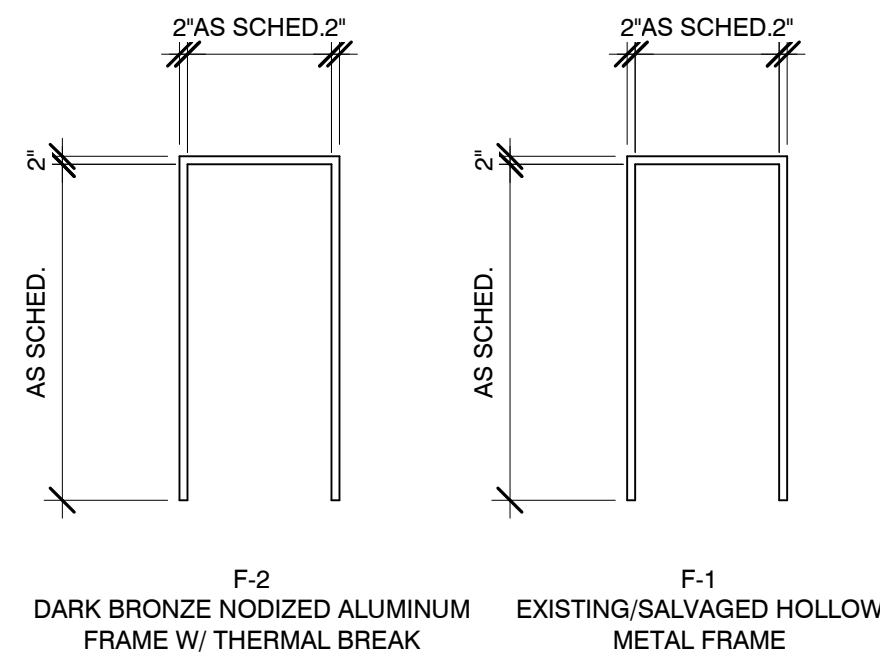


2 VESTIBULE WALL, TYPICAL  
A3.0 | A4.1  
1/2" = 1'-0"

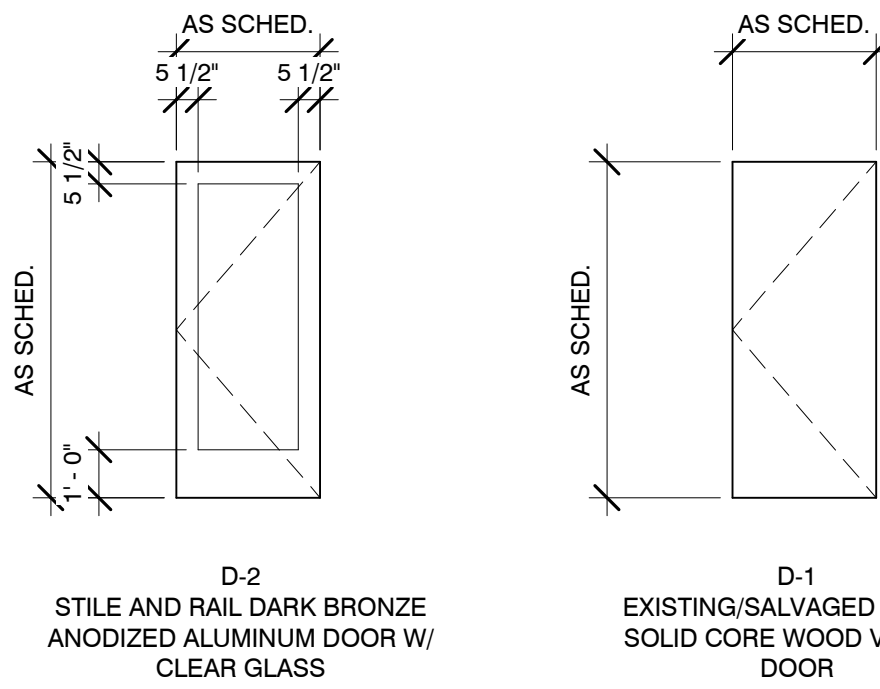


1 VESTIBULE ENTRY  
A3.0 | A4.1  
1/2" = 1'-0"

DOOR SCHEDULE															
Door #	Type	Door						Fire Rating	Hardware	Frame					Comments
		Width	Height	Thickness	Material	Finish	Under Cut			Type	Material	Finish	Jamb	Head	
101B	D-2	3' - 0"	8' - 0"	1 3/4"	ALUM/GLASS	ANOD.			HW-02	F-2	ALUM	ANOD	7/A4.1	7/A4.1	
101C	D-1	3' - 0"	8' - 0"	1 3/4"	WD	PNT-2			HW-03	F-1	HM	PNT-2			EXISTING DOOR AND FRAME
104	D-1	3' - 0"	8' - 0"	1 3/4"	WD	PNT-2			HW-03	F-1	HM	PNT-2	6/A4.1	6/A4.1	REUSE SALVAGED DOOR AND FRAME, PROVIDE HARDWARE AS SCHEDULED
105	D-1	3' - 0"	8' - 0"	1 3/4"	WD	PNT-2			EXIST	F-1	HM	PNT-2	6/A4.1	6/A4.1	EXISTING DOOR AND FRAME
106	D-1	3' - 0"	8' - 0"	1 3/4"	WD	PNT-2			HW-01	F-1	HM	PNT-2	6/A4.1	6/A4.1	EXISTING DOOR AND FRAME
107	D-1	3' - 0"	8' - 0"	1 3/4"	WD	PNT-2			HW-01	F-1	HM	PNT-2	6/A4.1	6/A4.1	REUSE SALVAGED DOOR AND FRAME, PROVIDE HARDWARE AS SCHEDULED
108	D-1	3' - 0"	8' - 0"	1 3/4"	WD	PNT-2			HW-03	F-1	HM	PNT-2	6/A4.1	6/A4.1	REUSE SALVAGED DOOR AND FRAME, PROVIDE HARDWARE AS SCHEDULED
109	D-1	3' - 0"	8' - 0"	1 3/4"	WD	PNT-2			EXIST	F-1	HM	PNT-2			EXISTING DOOR AND FRAME
110	D-1	3' - 0"	8' - 0"	1 3/4"	HM	PNT-2			HW-04	F-1	HM	PNT-2	6/A4.1	6/A4.1	EXISTING DOOR AND FRAME HAS SOME RUST, REMOVE, AND PROPERLY PREP DOOR FOR NEW PAINT



FRAME TYPES  
1/4" = 1'-0"

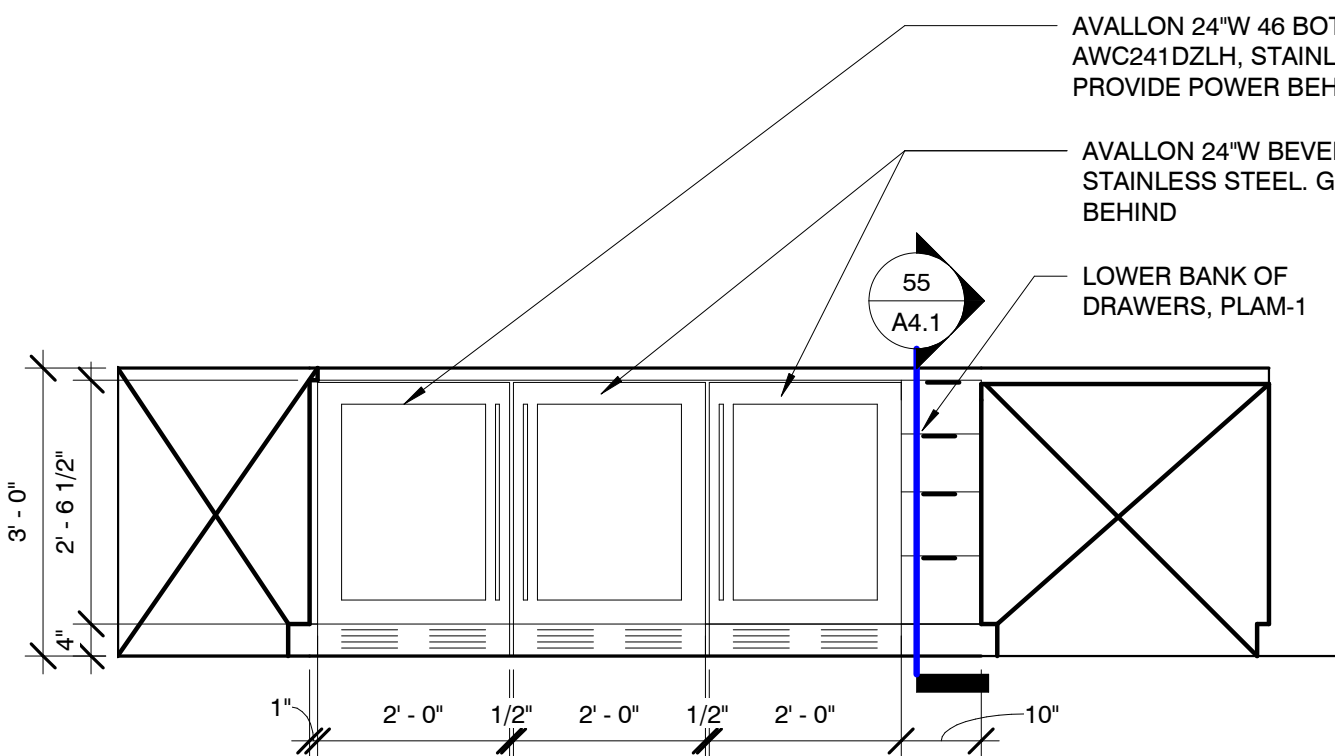


DOOR TYPES  
1/4" = 1'-0"

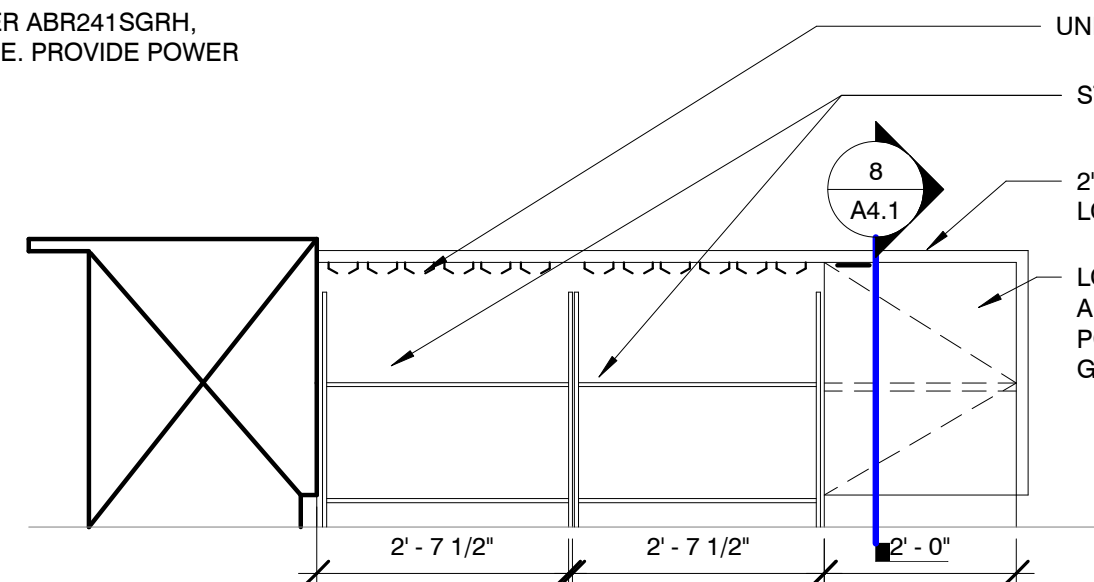
DOOR HARDWARE			
<b>HW-01 TOILET ROOMS</b>			
(3) 4.5x4.5 BB1279 HINGES	693	HAGER	
ND40S PRIVACY LOCK	622	SCHLAGE	
40S WALL STOP	BSP	ROCKWOOD	
K1050 KICKPLATE	BSP	ROCKWOOD	
(1) 404XP CLOSER	BLK	LCN	
<b>HW-02 VESTIBULE ENTRY</b>			
CONTINUOUS HINGE			
RM3310-RM3312 OFFSET PULL	BSP	ROCKWOOD	
RM3102-RM3122 PUSH	BSP	ROCKWOOD	
4040XP CLUSH H/O CLOSER		LCN	
<b>HW-3 STORAGE ROOM</b>			
(3) 4.5x4.5 BB1279 HINGES	693	HAGER	
ND80 STOREROOM FUNCTION	622	SCHLAGE	
(1) 4040XP CLOSER	BLK	LCN	
40S WALL STOP		ROCKWOOD	
<b>HW-4 EMERGENCY EXIT</b>			
3 EA HINGES		EXISTING	
1 EA EXIT DEVICE		EXISTING	
2 EA CYLINDER	AS REQUIRED	626	YAL
1 EA CLOSER		EXISTING	
1 EA THRESHOLD	8425		
1 EA SWEEP	200NA	628	NGP
1 SET WEATHERSTRIPPING	110NA	628	NGP

- GENERAL DOOR AND HARDWARE NOTES:**
1. VERIFY LEVER STYLE WITH OWNER PRIOR TO APPROVAL.
  2. ITEMS OF HARDWARE NOT DEFINITELY SPECIFIED HEREIN, BUT NECESSARY FOR COMPLETION OF THE WORK SHALL BE PROVIDED. SUCH ITEMS SHALL BE OF TYPE AND QUALITY SUITABLE TO THE SERVICE REQUIRED AND COMPARABLE TO THE ADJACENT HARDWARE. WHERE SIZE AND SHAPE OF MEMBERS IS SUCH AS TO PREVENT THE USE OF TYPES SPECIFIED, HARDWARE SHALL BE FURNISHED OF SUITABLE TYPES HAVING AS NEARLY AS PRACTICABLE THE SAME OPERATION AND QUALITY AS THE TYPE SPECIFIED. SIZES SHALL BE ADEQUATE FOR THE SERVICE REQUIRED. INCLUDE SUCH NUANCES AS STRIKE TYPE, STRIKE LIP, RAISED BARREL HINGES, MOUNTING BRACKETS, FASTENERS, SHIMS, AND COORDINATION BETWEEN CONFLICTING PRODUCTS.
  3. ALL DOORS SHALL BE PROVIDED WITH A STOP.
  4. PROVIDE CYLINDERS FOR ALL NEW HARDWARE.
  5. CONFIRM ALL KEYING WITH OWNER PRIOR TO ORDERING CYLINDERS.
  6. ITEMS OF HARDWARE NOT DEFINITELY SPECIFIED HEREIN, BUT NECESSARY FOR COMPLETION OF THE WORK SHALL BE PROVIDED.
  7. HARDWARE SUPPLIER TO COORDINATE ELECTRICAL HARDWARE WITH ELECTRICAL CONTRACTOR. VERIFY ALL VOLTAGES AND TRANSFORMER REQUIREMENTS.
  8. FIRE RATED OPENINGS SHALL BE PROVIDED AS POSITIVE LATCHING AND SELF-CLOSING REGARDLESS OF WHAT IS SPECIFIED IN THE SETS.
  9. ALL HARDWARE SHALL BE ADA COMPLIANT PER APPLICABLE CODES.

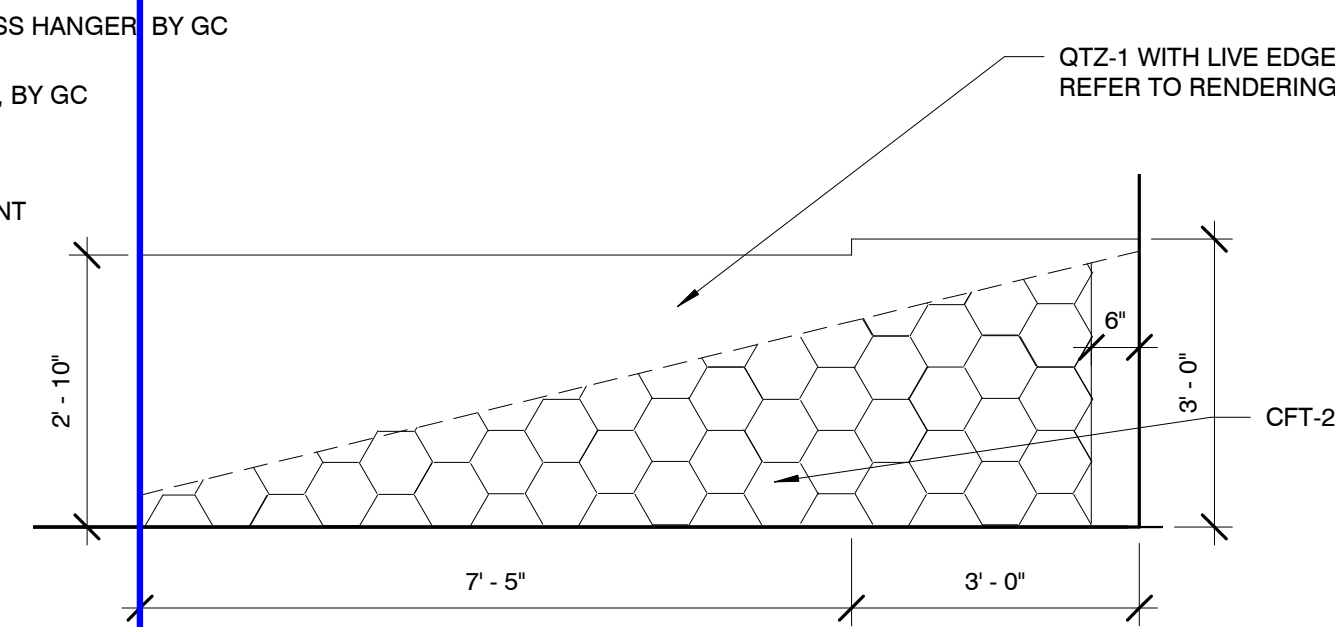




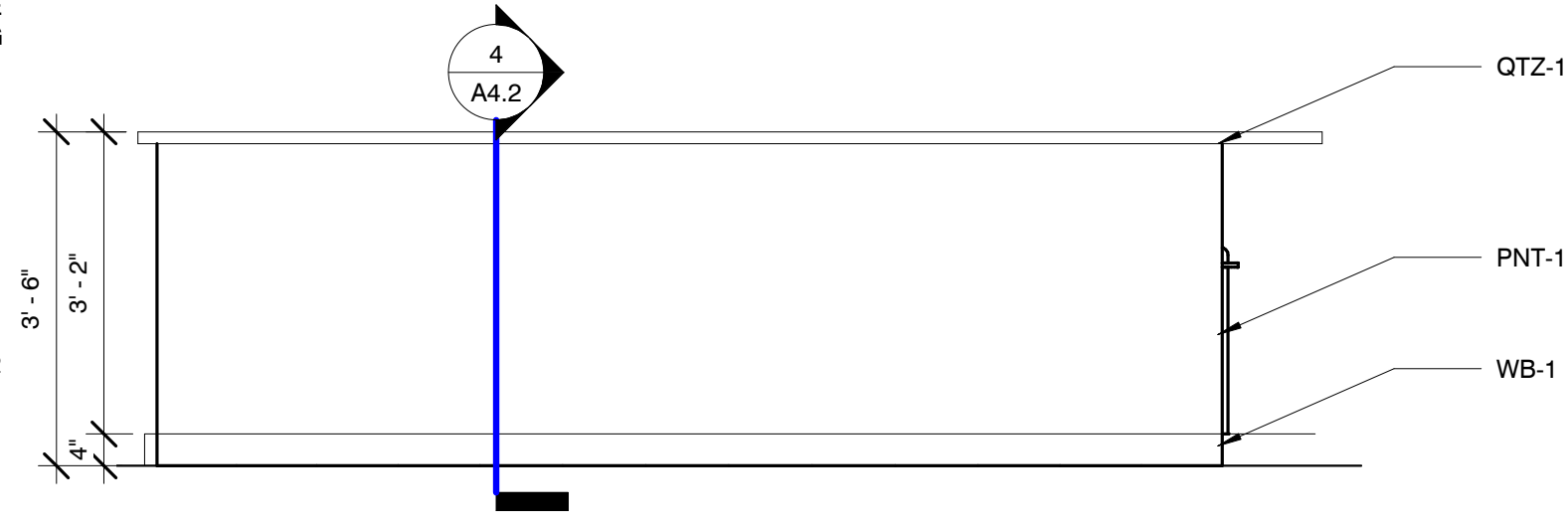
10 BAR INTERIOR SIDE  
A3.0 A4.2  
1/2" = 1'-0"



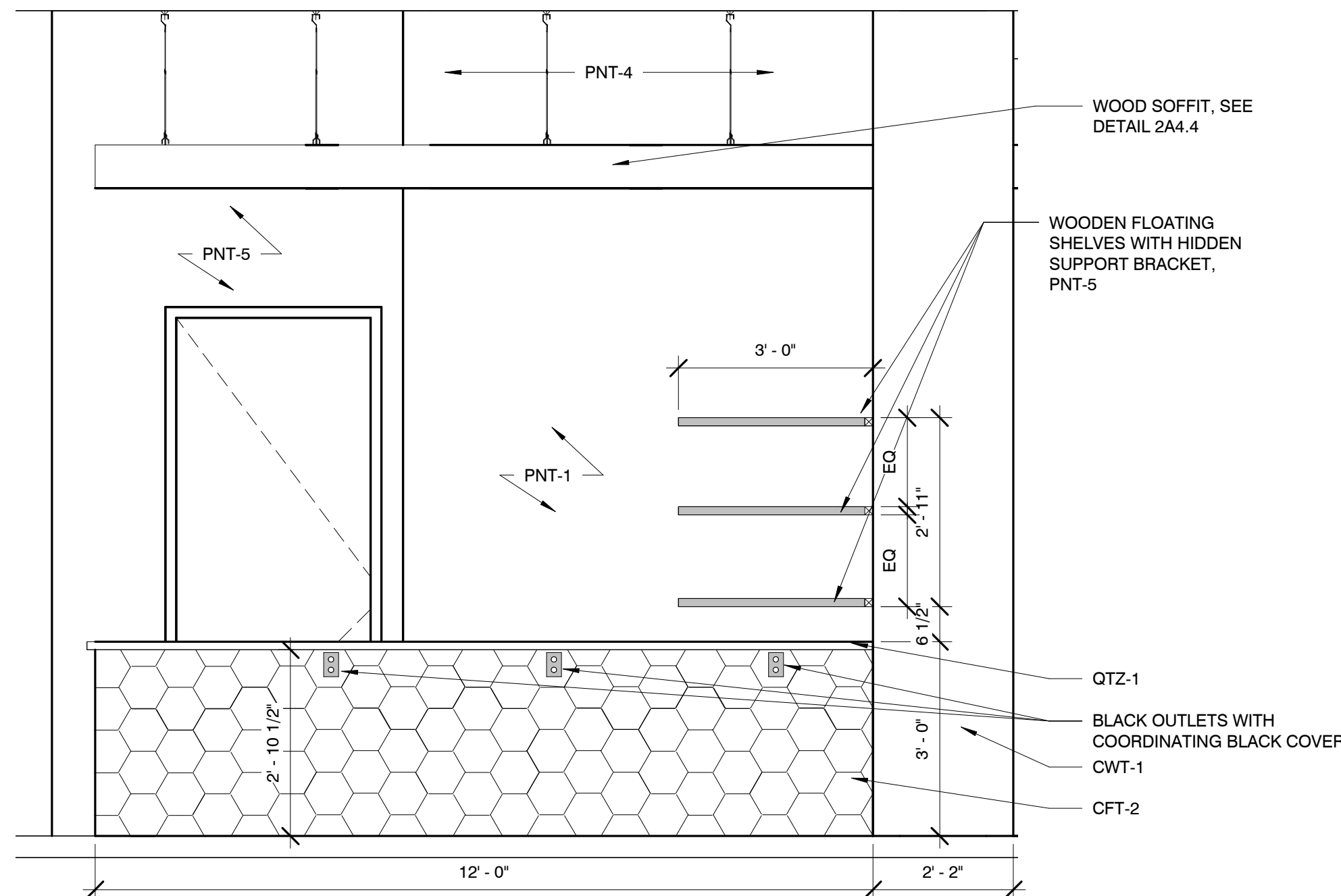
9 BAR INTERIOR FRONT  
A3.0 A4.2  
1/2" = 1'-0"



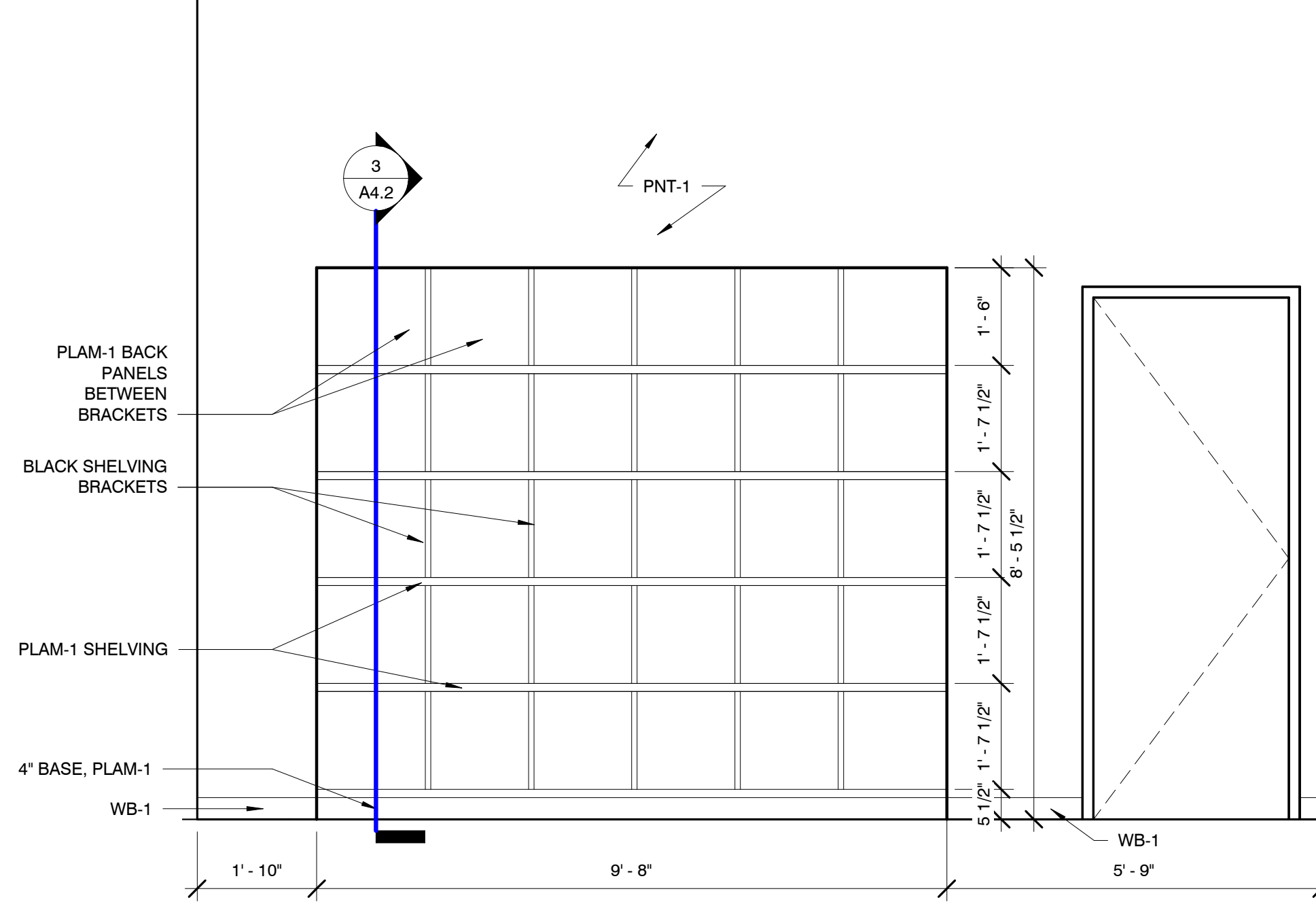
8 BAR EXTERIOR FRONT  
A3.0 A4.2  
1/2" = 1'-0"



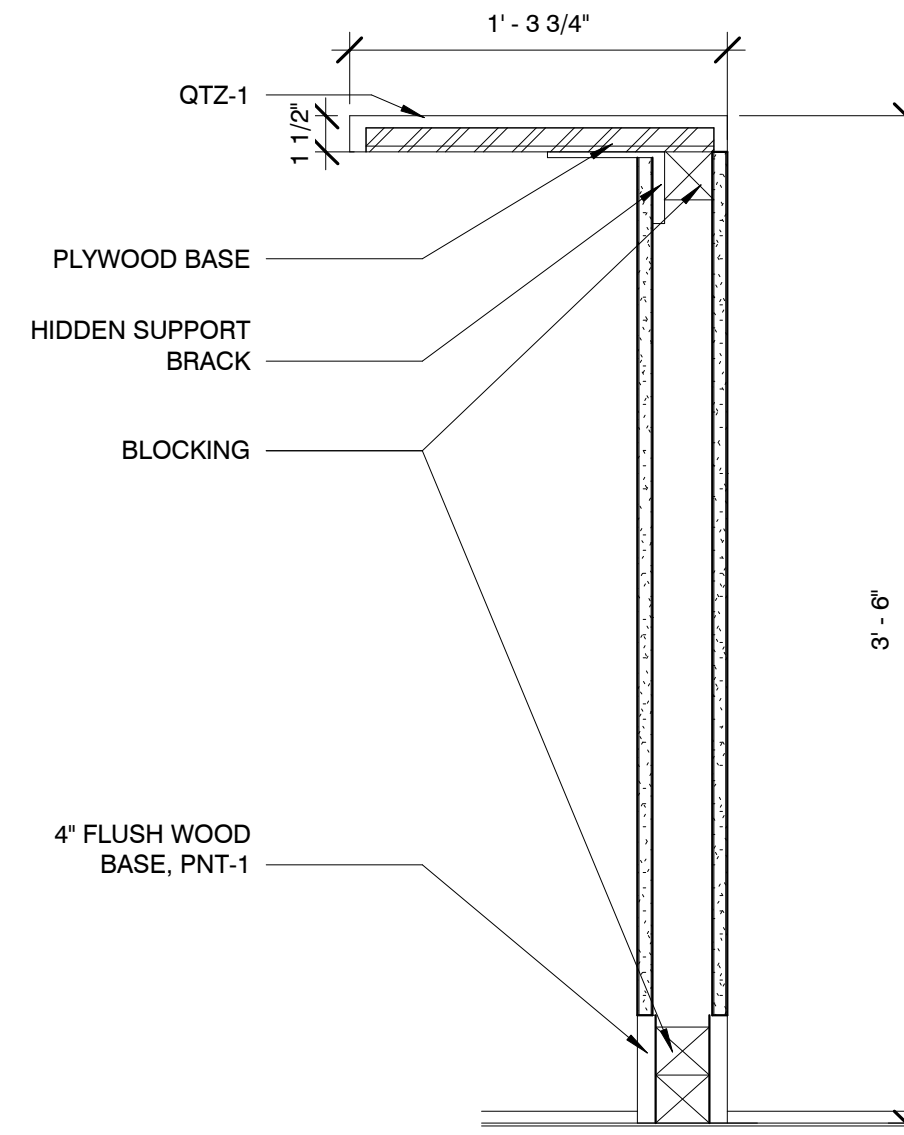
7 SIMULATOR SEATING WALL  
A3.0 A4.2  
1/2" = 1'-0"



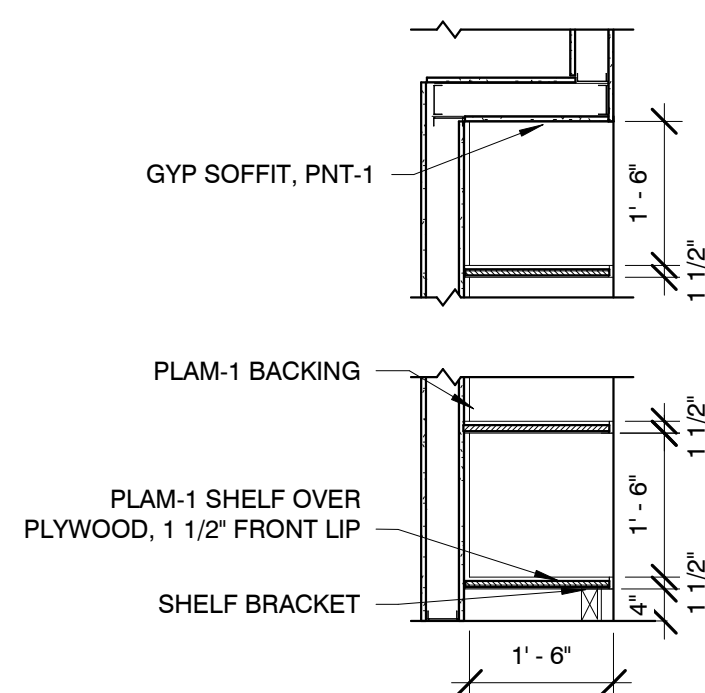
6 BAR EXTERIOR SIDE  
A3.0 A4.2  
1/2" = 1'-0"



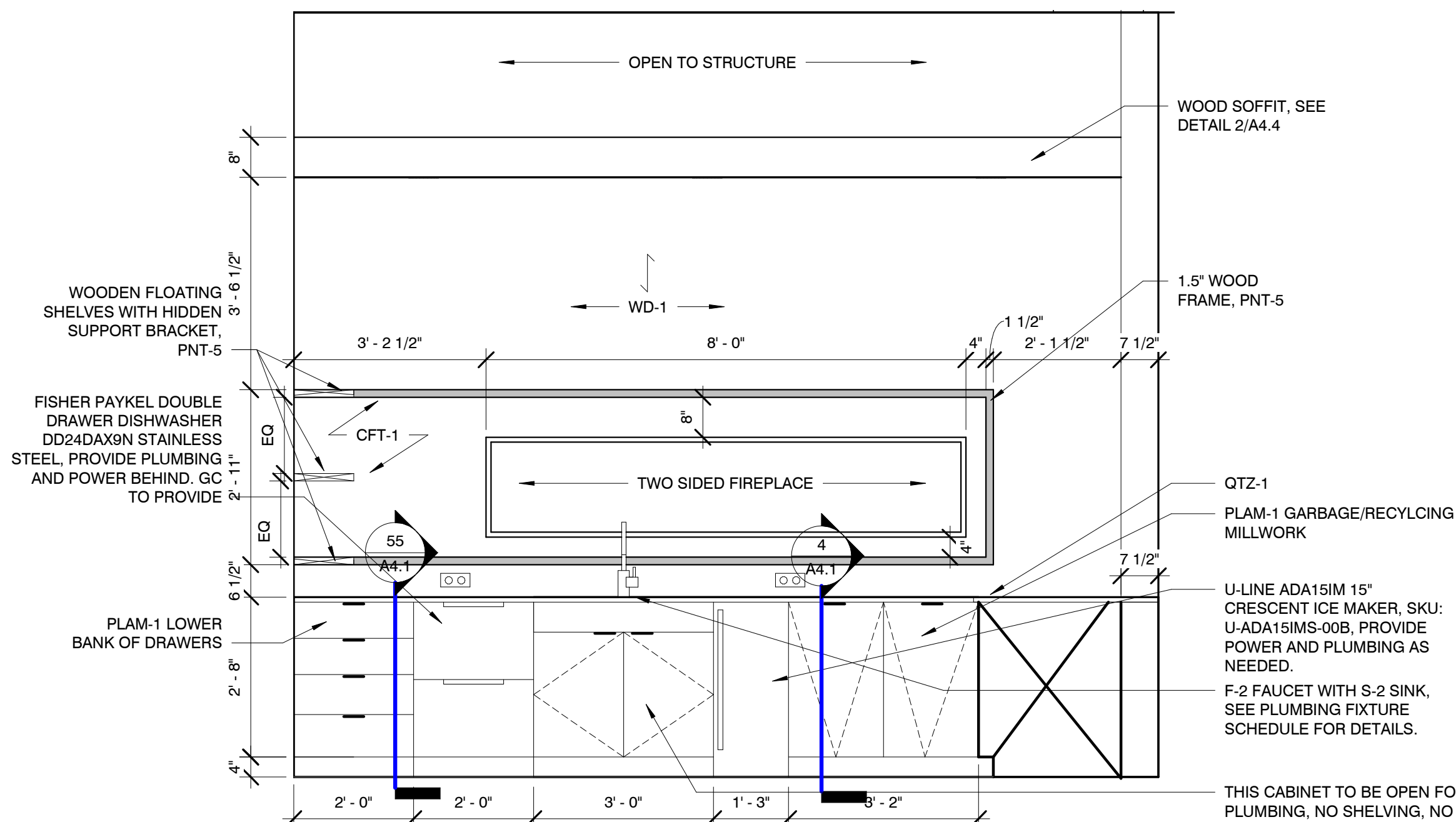
5 SKI BOOT STORAGE  
A3.0 A4.2  
1/2" = 1'-0"



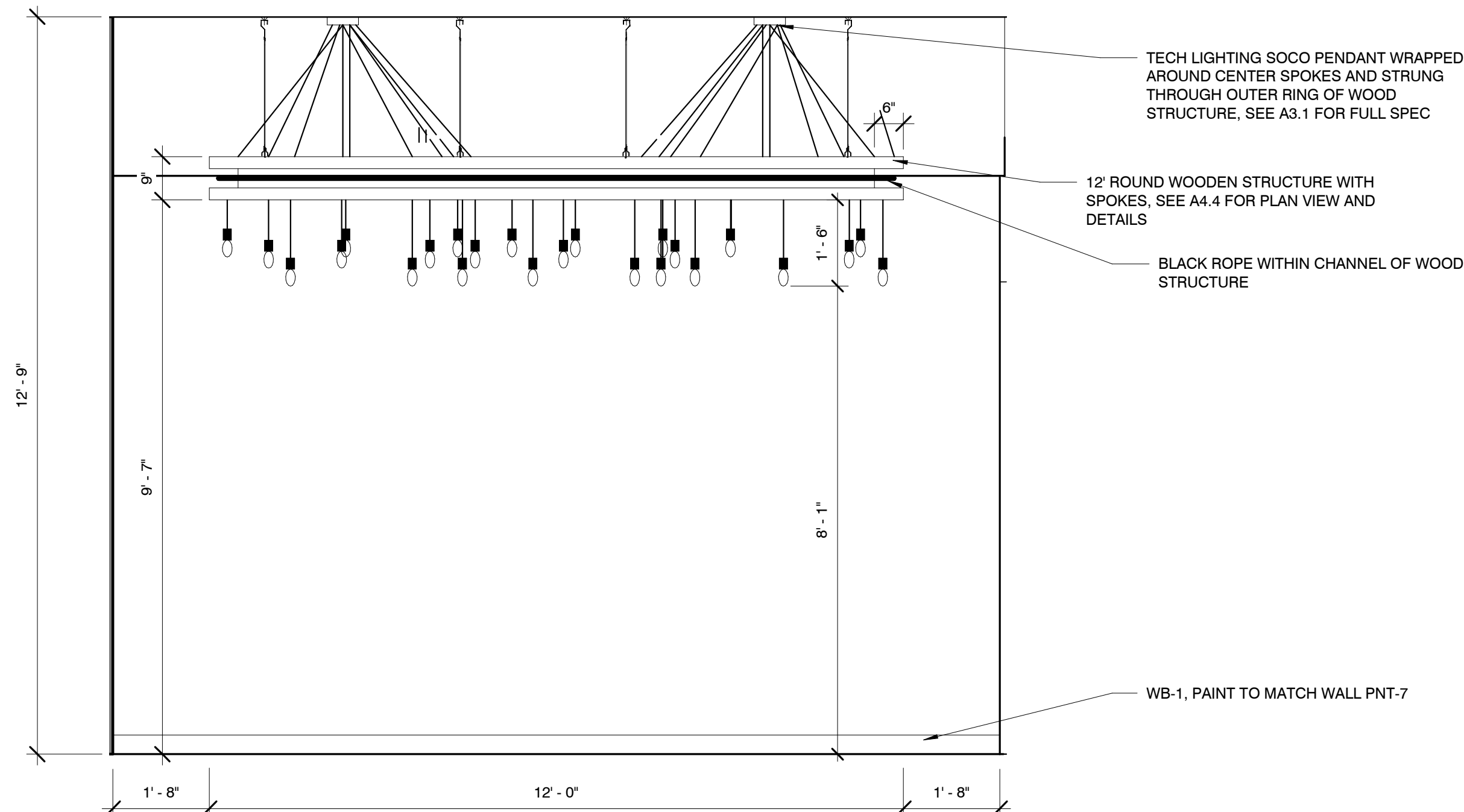
4 SEATING WALL SECTION  
A4.2 A4.2  
1 1/2" = 1'-0"



3 SKI BOOT SHELVE  
A4.2 A4.2  
1/2" = 1'-0"

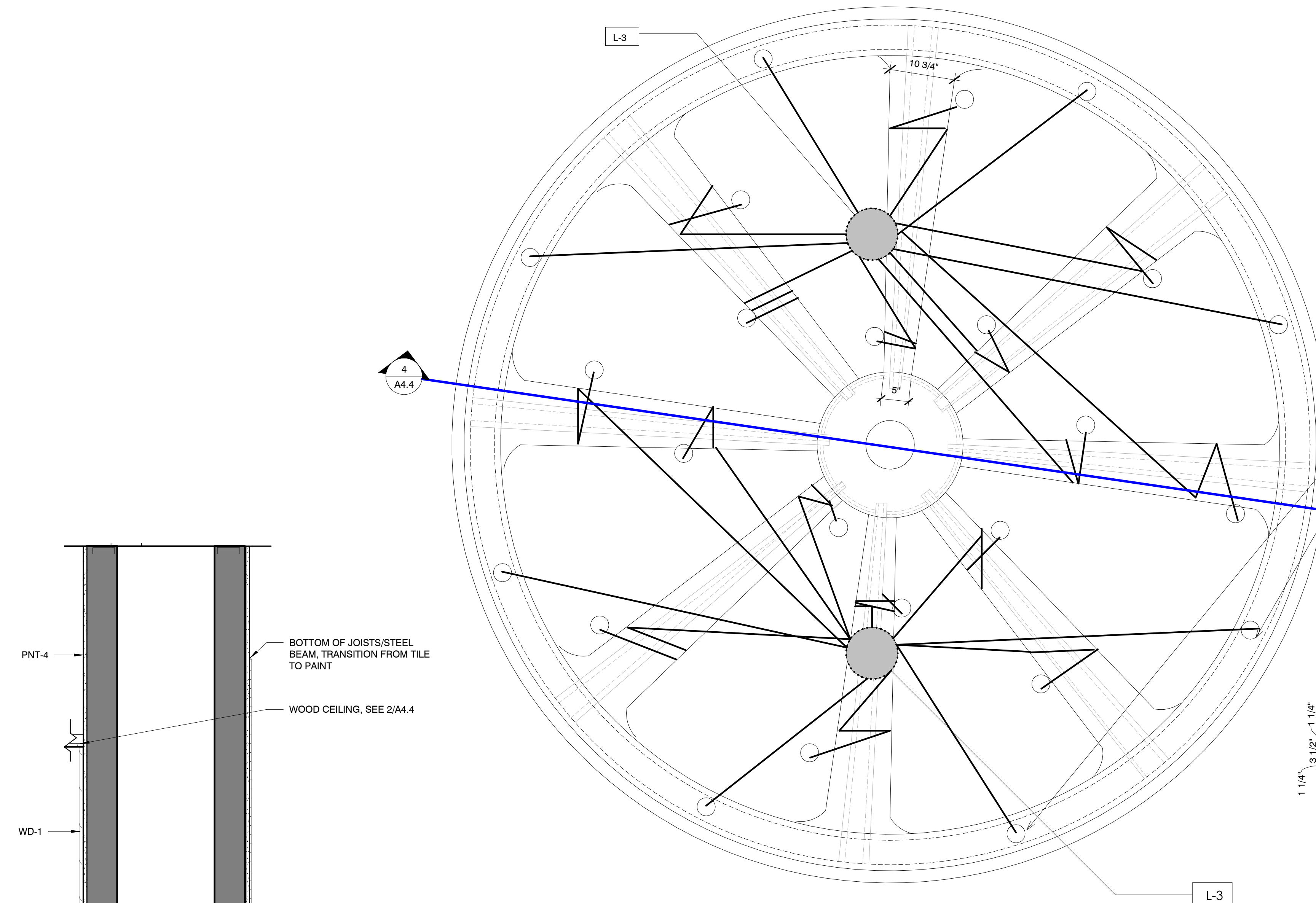


2 BAR FIREPLACE WALL  
A3.0 A4.2  
1/2" = 1'-0"

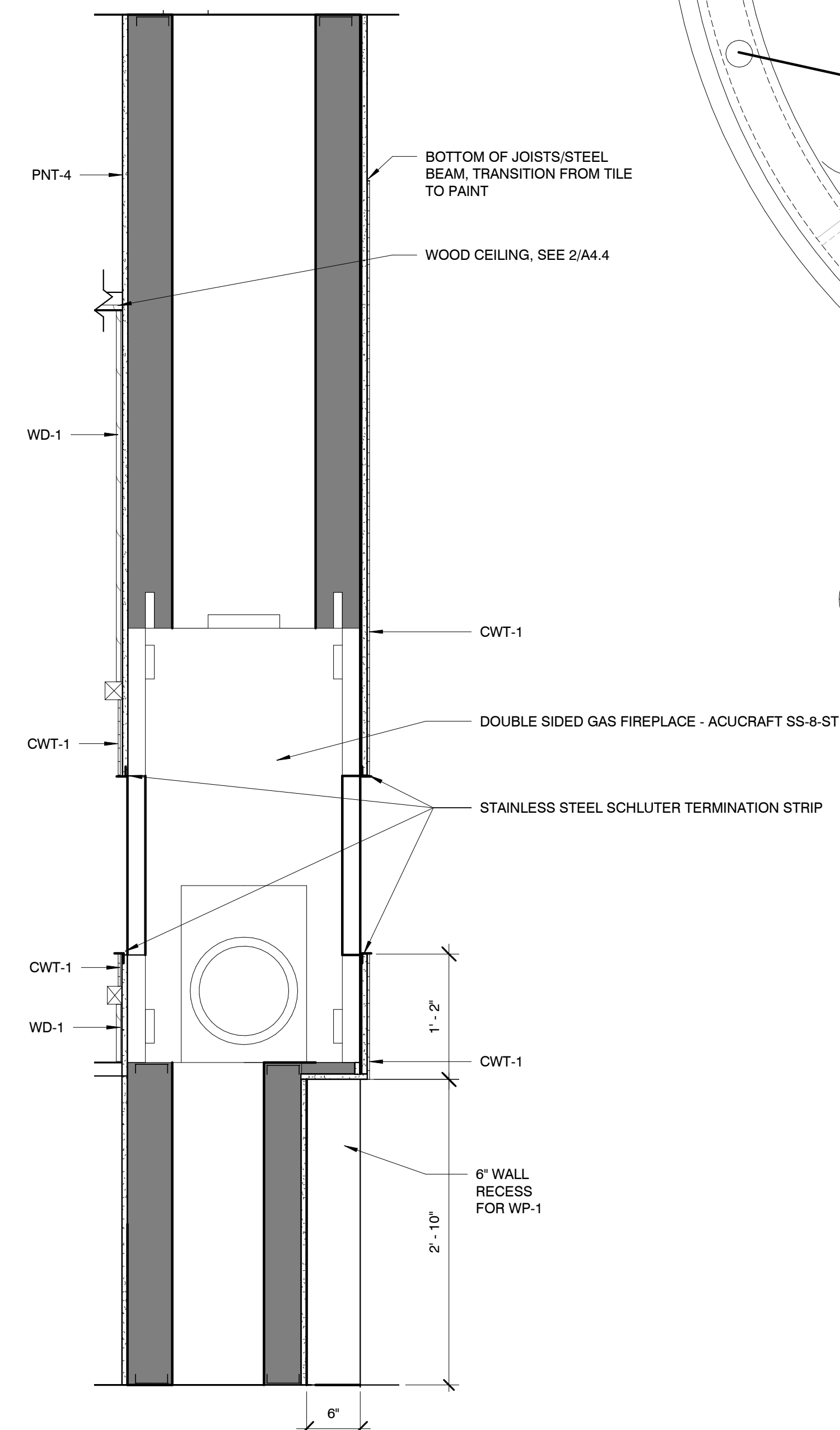


1 LOUNGE BACK WALL  
A3.0 A4.2  
1/2" = 1'-0"

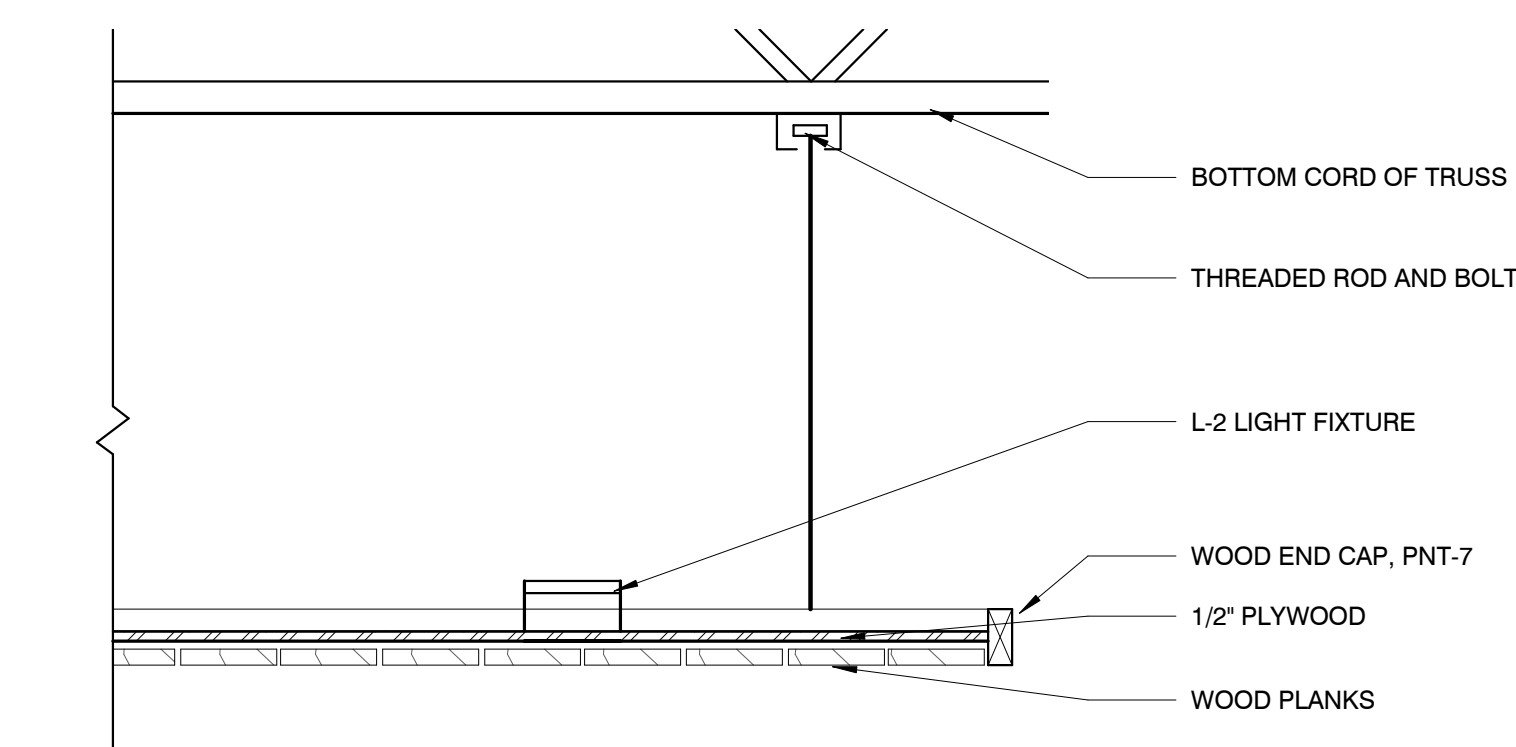




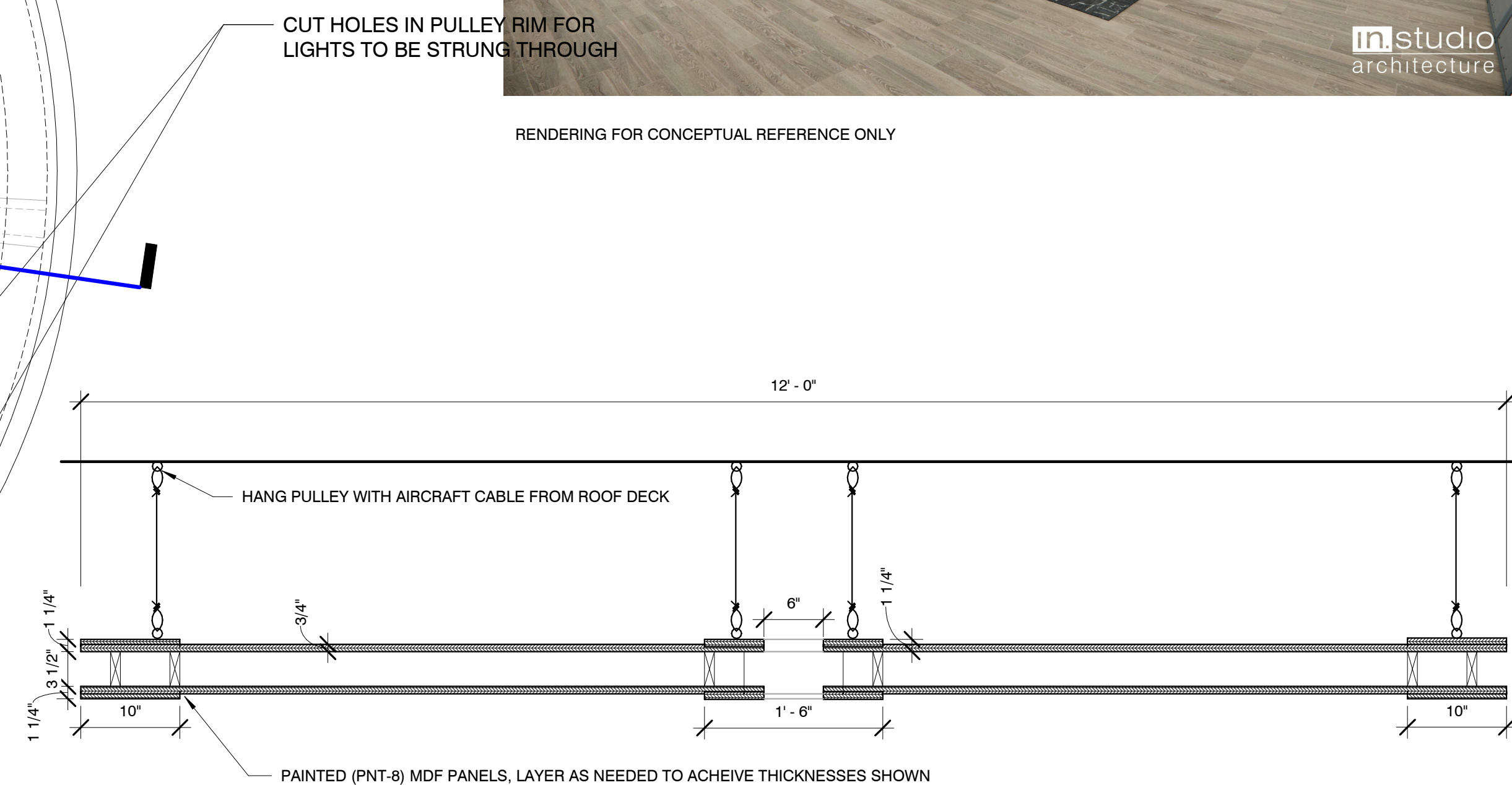
5 PULLEY LIGHT - PLAN VIEW  
1" = 1'-0"



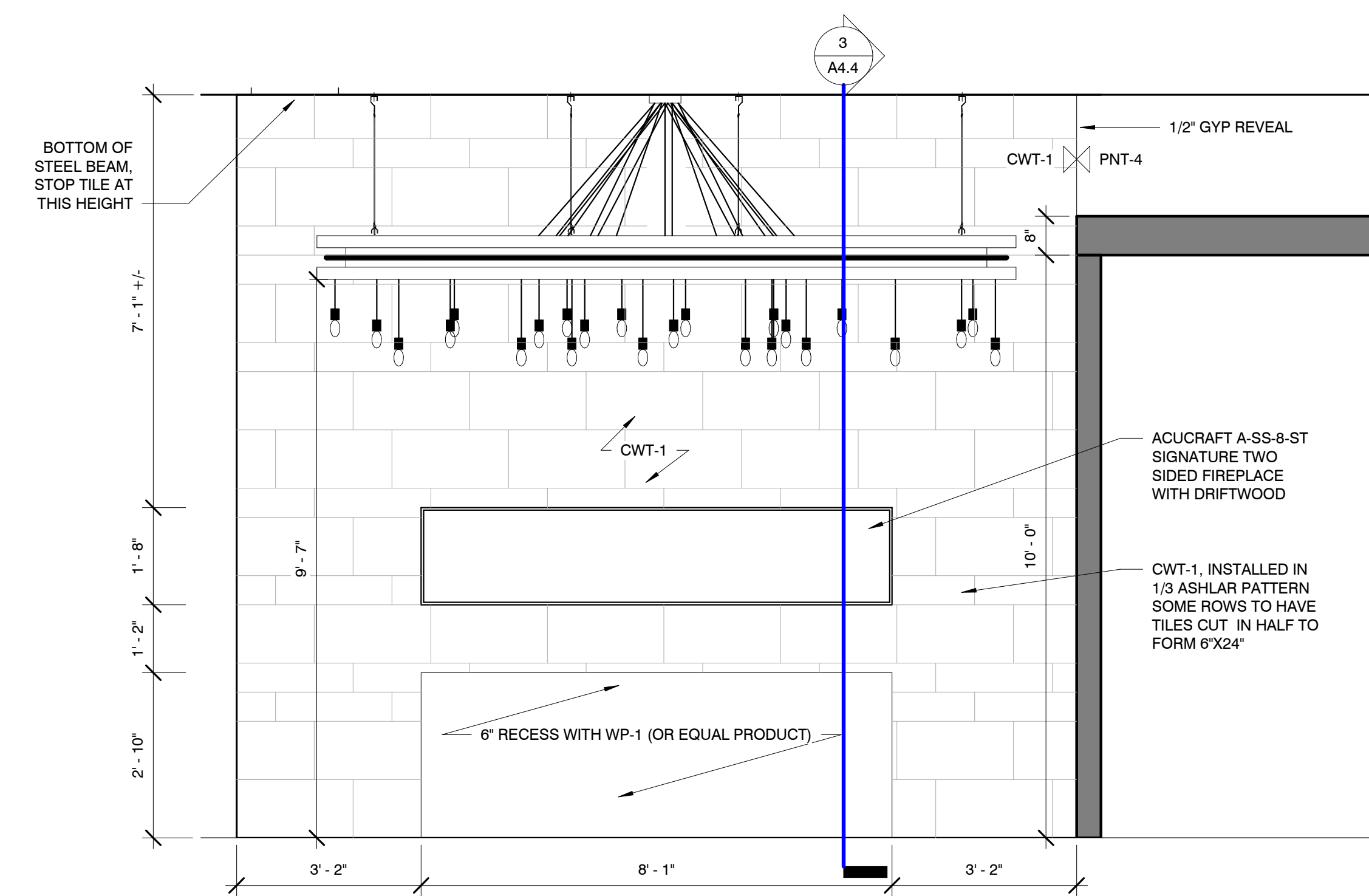
3 TWO SIDED FIREPLACE WALL SECTION  
1" = 1'-0"



2 WOOD SOFFIT SECTION  
1" = 1'-0"



4 PULLEY LIGHT - SECTION CUT  
1" = 1'-0"



1 LOUNGE FIREPLACE WALL  
1/2" = 1'-0"



RENDERING FOR CONCEPTUAL REFERENCE ONLY

NO.	REVISIONS	
	REV. DATE	DESCRIPTION

PROJECT INFO	
Original Issue Date	3/31/21
Project No.	21.009
Drawn By	BR

SHEET TITLE  
INTERIOR ELEVATIONS AND DETAILS

A4.4

FOR CONSTRUCTION

**A COVENANT  
REGARDING THE ISSUANCE OF A  
CONDITIONAL USE PERMIT  
BY THE  
CITY OF PEWAUKEE**

**TAX KEY NUMBER(S)  
OR PARCEL(S) INVOLVED:**      **CONDITIONAL USE  
PERMIT:  
NO. CUP-21-6-1**

**PWC 0906999006**

**LEGAL DESCRIPTION:**

PARCEL 4 CSM #1804 VOL 12/218 REC AS DOC #844507 PT  
NW1/4 SEC 11 T7N R19E :: ALSO ELY 33 FT LYING  
IMMEDIATELY E OF PARCEL 4 CSM #1804 :: INCLUDING  
ACCESS EASEMENT AS SHOWN ON CSM #1804 RECORDED  
ON MARCH 23, 1973 AND EXTENDED BY DOC #4367365  
RECORDED ON OCTOBER 23, 2018 :: EX HWY PER DOC  
#3091993 :: DOC #3850862

**PERSON(S), AGENT(S) OR CORPORATION(S) PETITIONING  
FOR PERMIT:**

Urban Slopes, LLC

Recording area

Name & Return Address

City of Pewaukee  
W240N3065 Pewaukee Rd  
Pewaukee, WI 53072

**WHEREAS,** It is understood by all parties to this covenant that Section 62.23 of WIS. Statutes prescribes the legal basis for the granting of a conditional use permit by a City and Chapter 17 of the City Codes and Ordinances provides for the issuance of such permits as well as the standards by which all such uses will be measured; and,

**WHEREAS,** The City Plan Commission has held a meeting on June 17, 2021; has reviewed the various elements of the petitioner's proposal; and has recommended that a Conditional Use Permit be granted to the above-named petitioner for the property/parcel identified above; and,

**WHEREAS,** The City Common Council held a public hearing meeting on June 21, 2021.

**NOW, THEREFORE,** let it be known that the City Common Council, by its action on June 21, 2021 has, hereby, granted a Conditional Use Permit for the following use(s):

Operating a ski simulator facility.



**FURTHER,** such approved use of the above designated parcel(s) are hereby allowed based on the following conditions being continually met:

1. The sale and service of alcohol beverages shall be contingent upon the City's granting of a liquor license.

The parties hereto, namely the City of Pewaukee and the Equitable Owner of the property for which this conditional use has been sought, set their signatures or the signatures of their representatives below, thereby agreeing to the provisions and conditions set forth in this covenant.

\_\_\_\_\_  
Attest:

\_\_\_\_\_  
Signature of equitable owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Kelly Tarczewski  
City Clerk

\_\_\_\_\_  
Steve Bierce  
Mayor, City of Pewaukee

\_\_\_\_\_  
Date

State of Wisconsin  
County of Waukesha

Signed or attested before me on \_\_\_\_\_, 2021 by Steve Bierce, Mayor and Kelly Tarczewski, Clerk.

(Seal)

\_\_\_\_\_  
Ami Hurd  
My Commission expires \_\_\_\_\_

This instrument was drafted by Ami Hurd, Deputy Clerk

**CITY OF PEWAUKEE  
PLAN COMMISSION AGENDA ITEM 5.**

**DATE:** June 17, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:**

***SUBJECT:***

Discussion and Possible Action Regarding a Conceptual Plan by Westridge Builders for a Proposed Multi-Use Project Located at W278 N2345 Prospect Avenue on the Gina's Sports Dock Property (PWC 0935987)

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

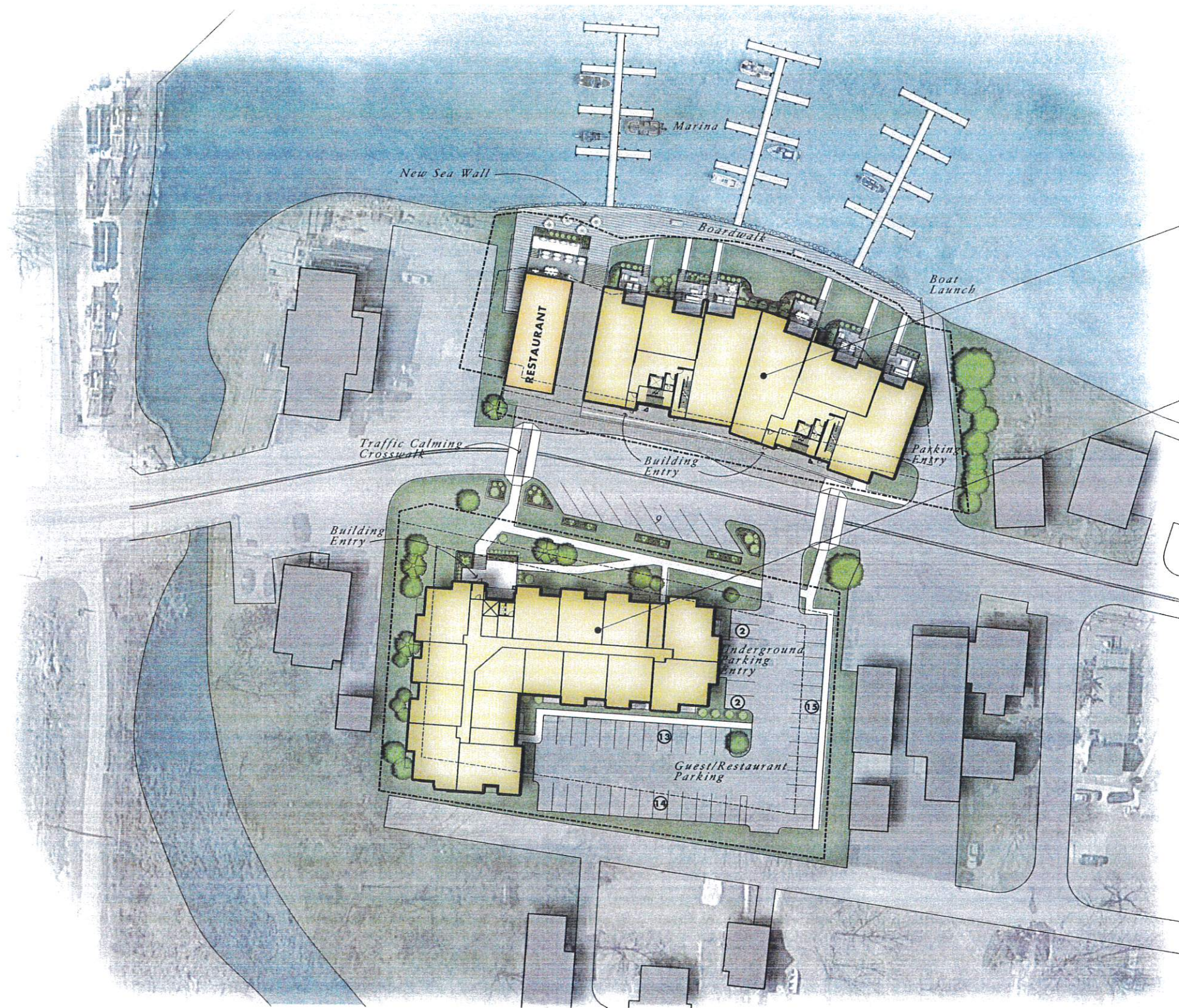
**ATTACHMENTS:**

Description

Westridge Builders site plan

Westridge Builders Concept Plan Staff Report





#### RESIDENTIAL CONDOS

5 STORIES OVER PARKING  
28 UNITS  
89,349 TOTAL SQFT  
56 ENCLOSED PARKING STALLS

#### RESIDENTIAL APARTMENTS

3 STORIES OVER PARKING  
42 UNITS  
64,700 SQFT  
42 ENCLOSED PARKING STALLS  
31 SURFACE PARKING STALLS  
1.73 STALLS/UNIT

#### PARKING

ENCLOSED PARKING - 98 STALLS  
SURFACE PARKING - 55 STALLS  
TOTAL STALLS - 153 STALLS

#### RESTAURANT

LOWER LEVEL - 2,152 SQFT  
UPPER LEVEL - 1,550 SQFT

APRIL 26 2021



**RESIDENTIAL BUILDINGS**  
*Pewaukee, Wisconsin*







**Office of the Planning & Community Development Director**  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of June 17, 2021

---

**Date:** June 11, 2021

**Project Name:** Carl Tomich Conceptual Review

**Project Address/Tax Key No.:** Approximately W278N2345 Prospect Avenue/PWC 0935985-0935988 & 0935034-0935038

**Applicant:** Carl Tomich

**Property Owner:** H Coleman Norris and Edgewater Bay LLC

**Current Zoning:** B-3 General Business, F-1 Floodplain, and SO Shoreland Overlay

**2050 Land Use Map Designation:** Retail/Service Commercial and Flood Plains, Lowland & Upland Conservancy, and other natural areas

**Use of Surrounding Properties:** Single-family residential and multi-family to the north, commercial to the south, single-family residential (zoned B-3 and F-1) to the east and Pewaukee Lake to the west

---

### Project Description

The applicant submitted a conceptual plan for Plan Commission review of a proposed multi-family condominium, apartment and restaurant development upon properties located at approximately W278N2345 Prospect Avenue.

The properties included within this development are below. (Lakeside properties are italicized.)

Address	Tax Key	Current Owner	Acreage
W278N2345 PROSPECT AVE	0935034	EDGEWATER BAY LLC	0.6599
W278N2336 PROSPECT AVE	0935035	H COLEMAN NORRIS REVOCABLE TRUST	0.1706
W278N2326 PROSPECT AVE	0935038	H COLEMAN NORRIS REVOCABLE TRUST	0.3477
<i>W278N2337 PROSPECT AVE</i>	<i>0935985</i>	<i>H COLEMAN NORRIS 1992 REVOCABLE TRUST DATED 9-8-92</i>	<i>0.1858</i>
<i>Not Assigned</i>	<i>0935986</i>	<i>H COLEMAN NORRIS REVOCABLE TRUST</i>	<i>0.0423</i>
<i>W278N2345 PROSPECT AVE</i>	<i>0935987</i>	<i>EDGEWATER BAY LLC</i>	<i>0.4152</i>
<i>W278N2361 PROSPECT AVE</i>	<i>0935988</i>	<i>H COLEMAN NORRIS 1992 REVOCABLE TRUST</i>	<i>0.476</i>

The total acreage of properties abutting the lake is 1.1193 acres. The acreage of properties on the east side of Prospect Avenue is 1.1782 acres. Therefore the total development encompasses about 2.3-acres.

The proposed concept plan includes a 5-story condominium building and a 2-story restaurant adjacent to Pewaukee Lake and a 3-story apartment building on the other side of the street. Parking for this development is a combination of underground parking and surface parking.

It is not expected that this development will conform to an existing zoning district. It's anticipated that density, setbacks, building height and other standards will exceed the City's current maximums and minimums. Therefore, if the developer proceeds, a new zoning district may be required to accommodate this type of development, which is more urban and dense in nature. Additionally, it does not appear that the 40% minimum greenspace standard is met. Further review will also be needed of the floodplain and floodplain setback requirements.

Moreover, staff would note the following:

- Any improvements to Prospect Avenue will require Waukesha County approval.
- A connection to the Lake Country Recreational Trail is recommended.
- The development will require a water main extension to serve the buildings. Staff will recommend that the water main be looped to ensure adequate pressures for these buildings.
- Lake Pewaukee Sanitary District will need to approve sewer connections and abandonments.
- The WDNR will be involved in the permitting of piers and the boardwalk.
- Chapter 19, site erosion and storm water management, requirements must be met.

In addition to a potential new zoning district, it is expected that the process may include a rezoning, Comprehensive Master Plan Amendment, certified survey maps, site and building plan review, and conditional use permits.

## **Recommendation**

No action required.

It is recommended that sufficient feedback be provided to allow the applicant to determine whether to proceed or not with detailed site and building plans as well as any other required applications.

**CITY OF PEWAUKEE  
PLAN COMMISSION AGENDA ITEM 6.**

**DATE:** June 17, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:**

***SUBJECT:***

Discussion and Action Regarding the Site and Building Plans for the City of Pewaukee to Construct a New Department of Public Works Garage and Recycling Yard Located at W225 N3131 Duplainville Road (PWC 0911993005)

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

DPW Garage Staff Report

DPW garage renderings

DPW garage site & building plans



**Office of the Planning & Community Development Director**  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of June 17, 2021

---

**Date:** June 11, 2021

**Project Name:** Pewaukee DPW Garage and Recycling Yard Site & Building Plan Review

**Project Address/Tax Key No.:** W225N3131 Duplainville Road/PWC 0911993006

**Applicant:** City of Pewaukee

**Property Owner:** W225N3131 Duplainville Rd LLC

**Current Zoning:** I-2 Rural Institutional District and A-2 Agricultural District

**2050 Land Use Map Designation:** Floodplains, Lowland & Upland Conservancy and Other Natural Areas, Medium Density Residential, and Governmental/Institutional

**Use of Surrounding Properties:** Agriculture to the north, single-family residential and industrial to the south, industrial to the east and institutional and single-family residential to the west

---

### **Project Description**

The City of Pewaukee is planning the construction of a new Department of Public Works garage and recycling yard upon property located at W225N3131 Duplainville Road. The project includes a 51,600 square foot building, a 41,000 square foot area for the recycling yard, eight storage bins, a salt shed, fuel tanks, and other related site modifications.

The Property has an area of approximately 24-acres and is zoned I-2 Rural Institutional District and A-2 Agricultural District and designated as Floodplains, Lowland & Upland Conservancy and Other Natural Areas, Medium Density Residential, and Governmental/Institutional.

The site plan also includes a portion of land currently owned by Quad Graphics, Inc., which is zoned M-2 Limited Industrial District and planned as Manufacturing/Fabrication/Warehousing.

*If approved, the site plan is contingent upon approval of a Rezoning and Comprehensive Master Plan Amendment.* These applications are tentatively scheduled for the July Plan Commission meeting. Note that the site plan was designed to meet all I-2 District development standards; therefore, it is anticipated that the entire site would be rezoned to I-2 and the future land use changed to Governmental/Institutional.

The site plan modifications include grading and storm water management improvements and the addition of 23 parking spaces. Accessible parking spaces will be included to comply with ADA standards. The development exceeds the City's 40% minimum greenspace standard. Note that the Engineering Department will approve the final grading and storm water management plans.

The garage building will be constructed with precast concrete wall panels. Metal, fiber cement siding, and block are utilized throughout the design as accent materials.

Below are potential site modifications and site plan details that may occur following approval of this site plan. Staff would anticipate approving these items and not returning to the Plan Commission, unless otherwise directed.

- If the Quad Graphics property is not ultimately acquired by the City, the proposed drive to Duplainville Road will be eliminated.
- The fuel tanks may also be eliminated if the Quad Graphics property is not acquired due to setback requirements.
- The building may be shifted further south (away from the hill).
- Design and review of the Landscape Plan.
- Design and review of a Lighting Plan.

### **Recommendation**

A motion to approve site and building plans for the City's DPW garage and recycling yard as presented.





CITY OF PEWAUKEE DPW GARAGE





CITY OF PEWAUKEE DPW GARAGE

Planning Commission  
06.20.21

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Main Entry





CITY OF PEWAUKEE DPW GARAGE

Planning Commission  
06.20.21

Perspective looking South





CITY OF PEWAUKEE DPW GARAGE

Planning Commission  
06.20.21

Perspective looking East





CITY OF PEWAUKEE DPW GARAGE

Planning Commission  
06.20.21

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Perspective looking North





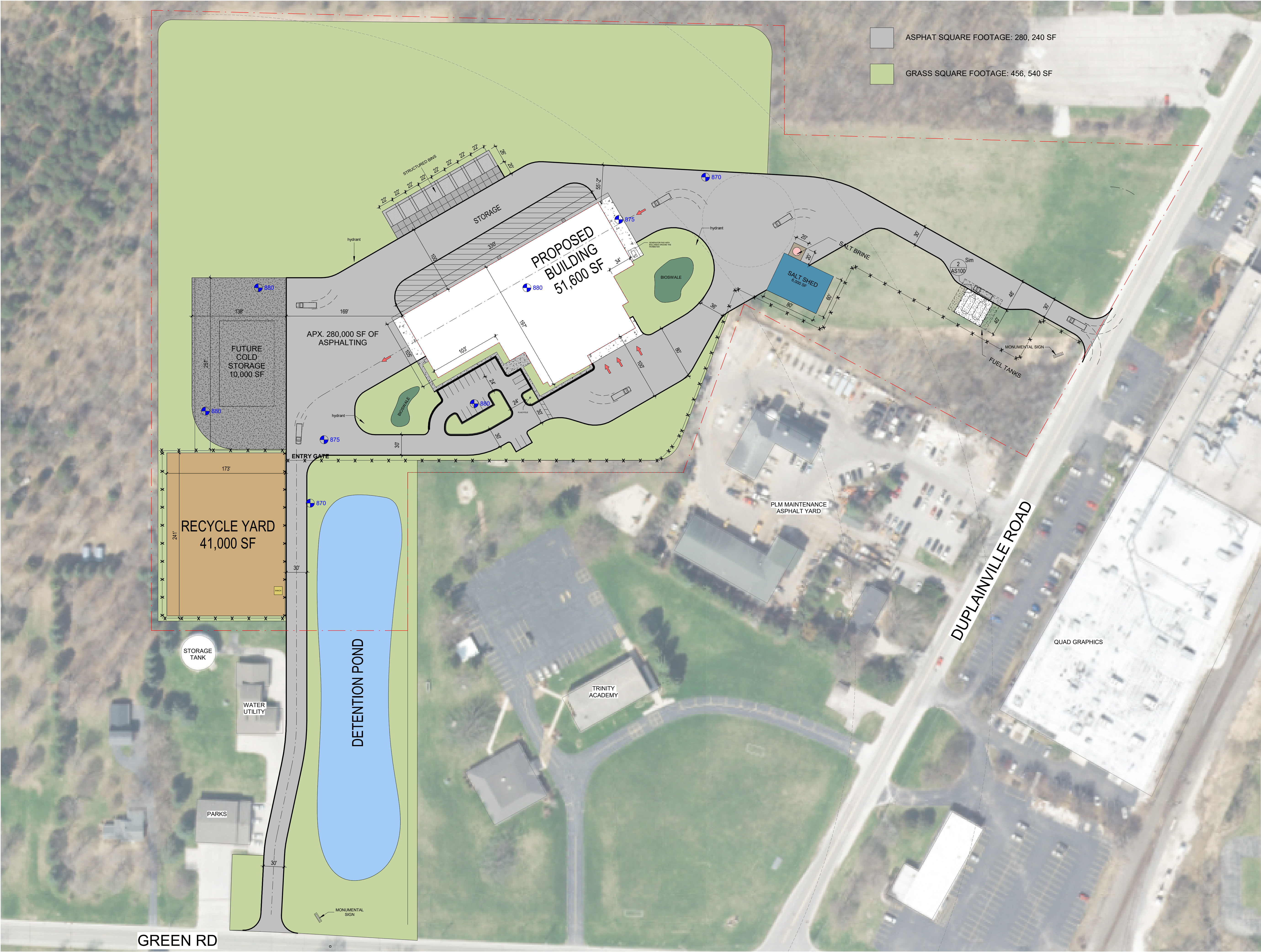


CITY OF PEWAUKEE DPW GARAGE

Planning Commission  
06.20.21

Perspective looking West





CITY OF PEWAUKEE DPW GARAGE  
W225 N3131 DUPLAINVILLE ROAD,  
PEWAUKEE, WI 53072

NO.	DATE	DESCRIPTION
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SET  
BID PACKAGE 1

BARRIENTOS DESIGN PROJECT  
50859

DAT  
Date: 05/20/2021

SHEET  
SITE PLAN - COLORED

SHE  
AS101





**BARRIERITOS**  
design & consulting  
205 West Highland Avenue, Suite 303  
Milwaukee, WI 53203  
office: 414-271-1812  
www.barrientosdesign.com

CONSULTANT

PROJECT TITLE AND LOCATION

**CITY OF PEWAUKEE DPW GARAGE**  
**W225 N3131 DUPLAINVILLE ROAD,**  
**PEWAUKEE, WI 53072**

NO.	DATE	DESCRIPTION
A	05/27/21	ADDENDUM 1

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BARRIERITOS DESIGN PROJECT  
50859

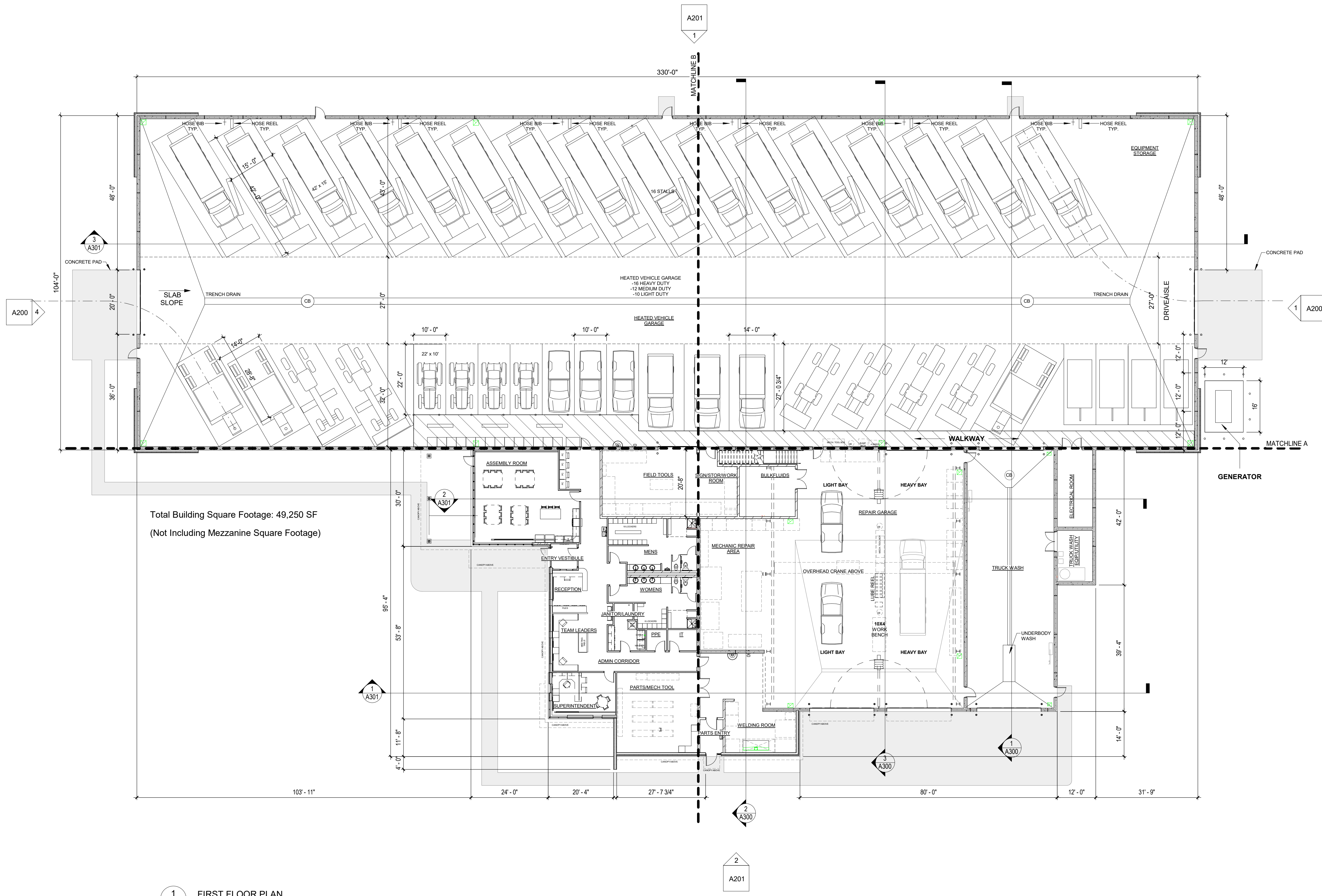
DATE  
Date: 05/20/2021

SHEET  
OVERALL FIRST FLOOR PLAN

SHE

**A100**

NOT FOR CONSTRUCTION



Total Building Square Footage: 49,250 SF  
(Not Including Mezzanine Square Footage)

**1**  
FIRST FLOOR PLAN  
A200/A100 1/16" = 1'-0"



CONSULTANT

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BARRIENTOS DESIGN PROJECT  
50859

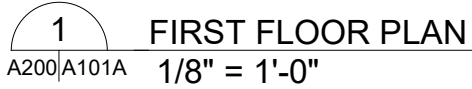
SHEET  
FIRST FLOOR PLAN - AREA A

SHE

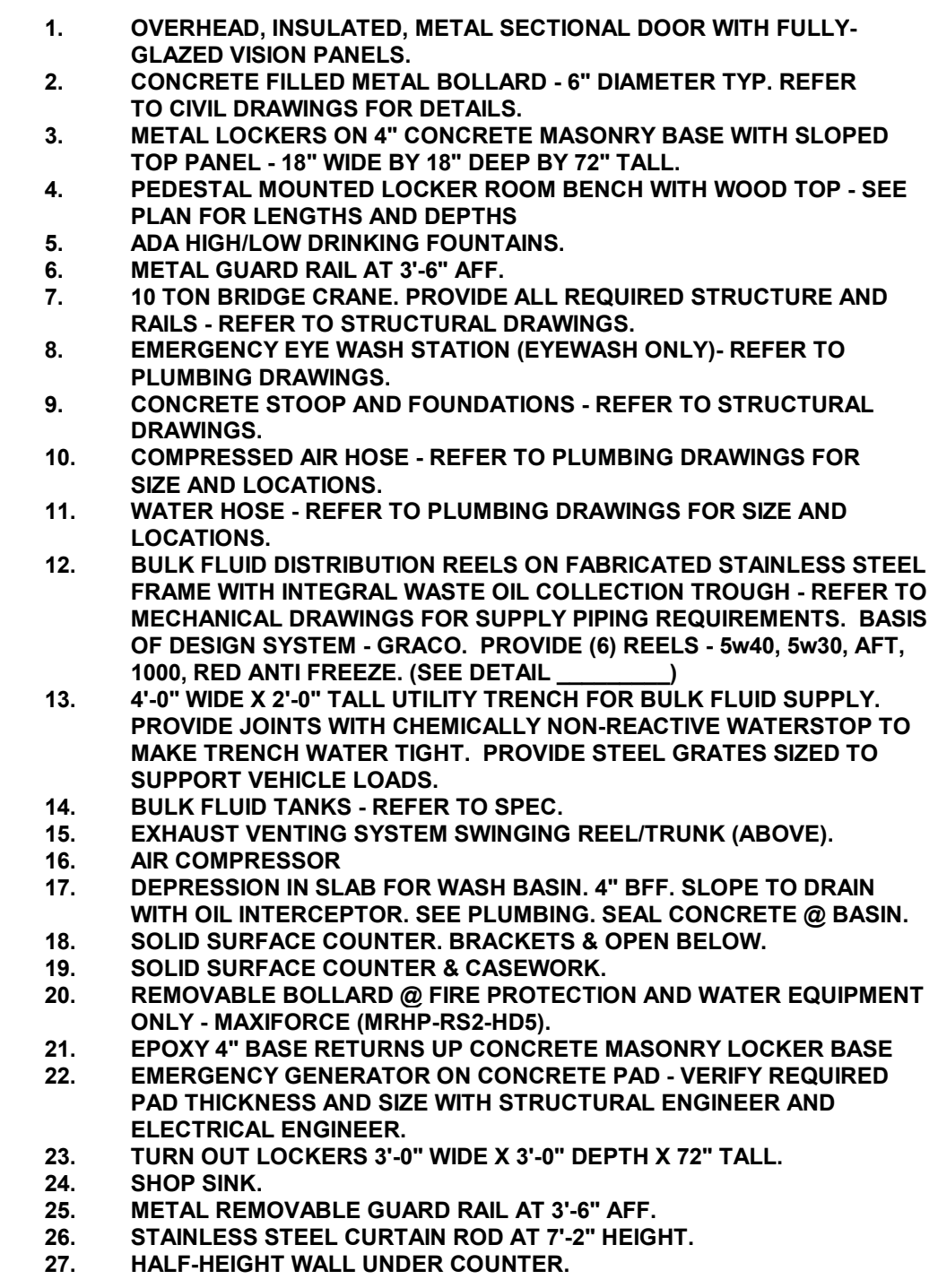
# A101A

- A. ALL DASHED LINES REPRESENT MOVEABLE FURNITURE TO BE OWNER FURNISHED, OWNER INSTALLED.
- B. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).
- C. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE.
- D. REFER TO SHEET A601 FOR DOOR TYPES, WINDOW TYPES, AND NOTES.
- E. REFER TO SHEET A601 FOR ROOM FINISH SCHEDULE, MATERIALS SCHEDULE, DOOR SCHEDULE AND NOTES.

1. OVERHEAD, INSULATED, METAL SECTIONAL DOOR WITH FULLY-GLAZED VISION PANELS.
2. CONCRETE FILLED METAL BOLLARD - 6" DIAMETER TYP. REFER TO CIVIL DRAWINGS FOR DETAILS.
3. METAL LOCKERS ON CONCRETE MASONRY BASE WITH SLOPED TOP PANEL - 18" WIDE BY 18" DEEP BY 72" TALL.
4. PEDESTAL MOUNTED LOCKER REND BENCH WITH WOOD TOP - SEE PLAN FOR LENGTHS AND DEPTHS
5. ADA HIGHLOW DRINKING FOUNTAINS.
6. METAL GUARD RAIL AT 42" AFF.
7. 10 TON BRIDGE CRANE. PROVIDE ALL REQUIRED STRUCTURE AND RAILS - REFER TO STRUCTURAL DRAWINGS.
8. EMERGENCY EYE WASH STATION (EYEWASH ONLY)- REFER TO PLUMBING DRAWINGS.
9. CONCRETE STOOP AND FOUNDATIONS - REFER TO STRUCTURAL DRAWINGS.
10. COMPRESSED AIR HOSE - REFER TO PLUMBING DRAWINGS FOR SIZE AND LOCATIONS.
11. WATER HOSE - REFER TO PLUMBING DRAWINGS FOR SIZE AND LOCATIONS.
12. BULK FLUID DISTRIBUTION REELS ON FABRICATED STAINLESS STEEL FRAME WITH INTEGRAL WASTE OIL COLLECTION TROUGH - REFER TO MECHANICAL DRAWINGS FOR SUPPLY PIPING REQUIREMENTS. BASIS OF DESIGN SYSTEM - GRACO, PROVIDE (6) REELS - 5w40, 5w30, AFT, 100' @ ANTI FREEZE (SEE DETAIL
13. 4'-0" WIDE X 2'-0" TALL UTILITY TRENCH FOR BULK FLUID SUPPLY. PROVIDE JOINTS WITH CHEMICALLY NON-REACTIVE WATERSTOP TO MAKE TRENCH WATER TIGHT. PROVIDE STEEL GRATES SIZED TO SUPPORT VEHICLE LOADS.
14. BULK FLUID TANKS - REFER TO SPEC.
15. EXHAUST VENTING SYSTEM SWINGING REEL/TRUNK (ABOVE).
16. AIR COMPRESSOR
17. DEPRESSION IN SLAB FOR WASH BASIN. 4" BFF. SLOPE TO DRAIN WITH OIL INTERCEPTOR. SEE PLUMBING - SELL CONCRETE @ BASIN.
18. SOLID SURFACE COUNTER - WATER BRACKET & SINK BELOW.
19. SOLID SURFACE COUNTER & CASEWORK.
20. REMOVABLE BOLLARD @ FIRE PROTECTION AND WATER EQUIPMENT ONLY - MAXIFORCE (MRHP-RS2-HDS).
21. EPOXY 4" BASE RETURNS UP CONCRETE MASONRY LOCKER BASE.
22. EMERGENCY GENERATOR - IN CONCRETE PAD - VERIFY REND PAD THICKNESS AND SIZE WITH STRUCTURAL ENGINEER AND ELECTRICAL ENGINEER.
23. TURN OUT LOCKERS 3'-0" WIDE X 3'-0" DEPTH X 72" TALL.
24. SHOP SINK.
25. METAL REMOVABLE GUARD RAIL AT 3'-6" AFF.
26. STAINLESS STEEL CURTAIN ROD AT 7'-2" HEIGHT.
27. HALF-HEIGHT WALL UNDER CURTAIN.







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Page 13 of 18





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SET  
BID PACKAGE 1

BARRIERIOS DESIGN PROJECT  
50859

DATE  
Date: 05/20/2021

SHEET  
FIRST FLOOR PLAN - AREA C

SHE

A101C

#### FLOOR PLAN - GENERAL NOTES

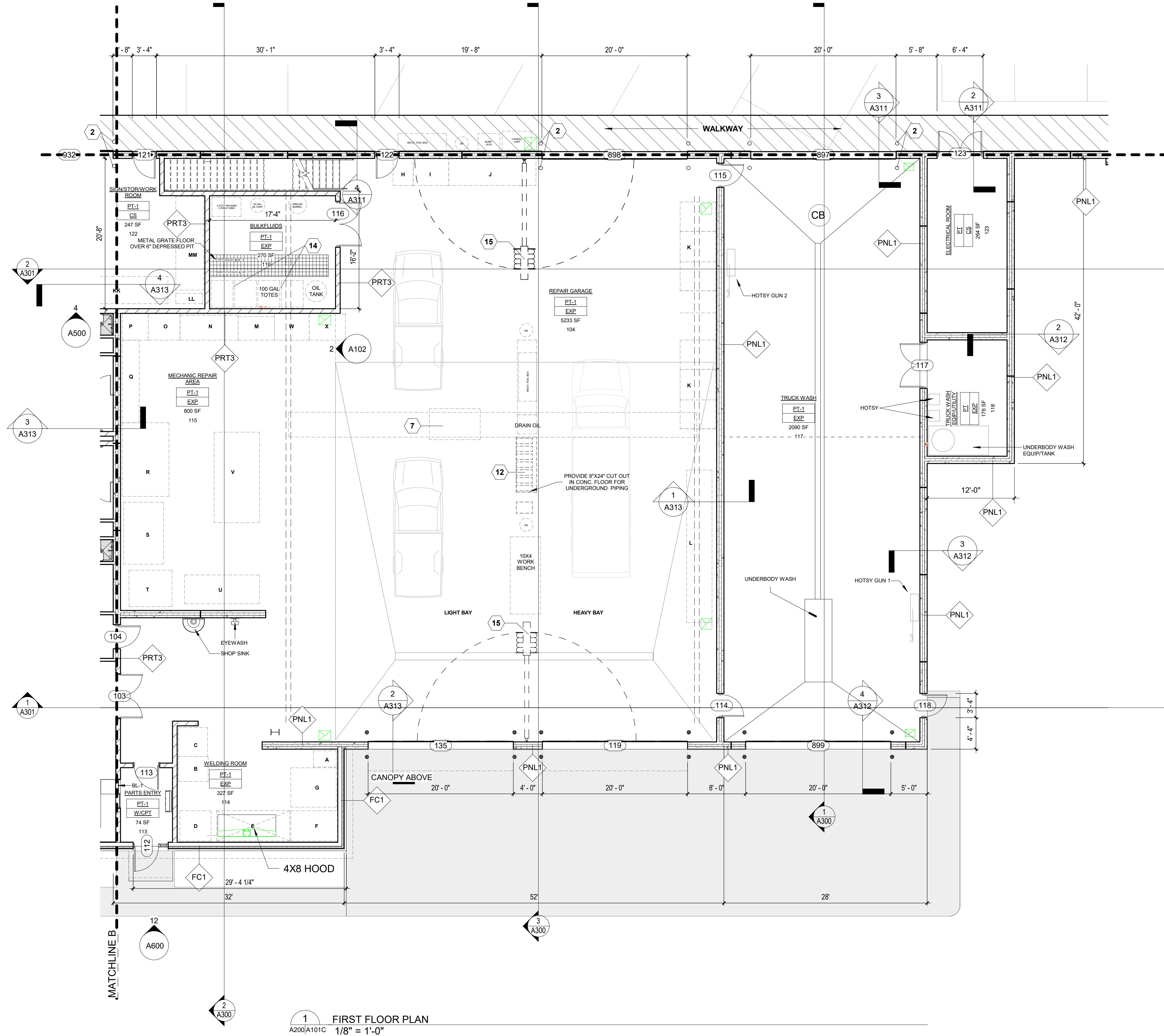
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- REFER TO SHEET A601 FOR ROOM FINISH SCHEDULE, MATERIALS SCHEDULE, DOOR SCHEDULE AND NOTES.

#### FLOOR PLAN - KEYED NOTES

- OVERHEAD, INSULATED, METAL SECTIONAL DOOR WITH FULLY-GLAZED VISION PANELS.
- CONCRETE FILLED METAL BOLLARD - 6" DIAMETER TYP. REFER TO CIVIL DRAWINGS FOR DETAILS.
- METAL LOCKERS ON 4" CONCRETE MASONRY BASE WITH SLOPED TOP PANEL - 18" WIDE BY 18" DEEP BY 72" TALL.
- PEDESTAL MOUNTED LOCKER ROOM BENCH WITH WOOD TOP - SEE PLAN FOR LENGTHS AND DEPTHS.
- ADA HIGH/LOW DRINKING FOUNTAINS.
- METAL GUARD RAIL AT 3'-6" AFF.
- 10 TON BRIDGE CRANE. PROVIDE ALL REQUIRED STRUCTURE AND RAILS - REFER TO STRUCTURAL DRAWINGS.
- EMERGENCY EYE WASH STATION (EYEWASH ONLY)- REFER TO PLUMBING DRAWINGS.
- CONCRETE STOOP AND FOUNDATIONS - REFER TO STRUCTURAL DRAWINGS.
- COMPRESSED AIR HOSE - REFER TO PLUMBING DRAWINGS FOR SIZE AND LOCATIONS.
- WATER HOSE - REFER TO PLUMBING DRAWINGS FOR SIZE AND LOCATIONS.
- BULK FLUID DISTRIBUTION REELS ON FABRICATED STAINLESS STEEL FRAME WITH INTEGRAL WASTE OIL COLLECTION TROUGH - REFER TO MECHANICAL DRAWINGS FOR SUPPLY PIPING REQUIREMENTS. BASIS OF DESIGN SYSTEM - GRACO. PROVIDE (6) REELS - 5w40, 5w30, AFT, 1000, RED ANTI FREEZE. (SEE DETAIL)
- 4'-0" WIDE X 2'-0" TALL UTILITY TRENCH FOR BULK FLUID SUPPLY. PROVIDE JOINTS WITH CHEMICALLY NON-REACTIVE WATERSTOP TO MAKE TRENCH WATER TIGHT. PROVIDE STEEL GRATES SIZED TO SUPPORT VEHICLE LOADS.
- BULK FLUID TANKS - REFER TO SPEC.
- EXHAUST VENTING SYSTEM SWINGING REEL/TRUNK (ABOVE).
- AIR COMPRESSOR
- DEPRESSION IN SLAB FOR WASH BASIN. 4" BFF. SLOPE TO DRAIN WITH OIL INTERCEPTOR. SEE PLUMBING. SEAL CONCRETE @ BASIN.
- SOLID SURFACE COUNTER. BRACKETS & OPEN BELOW.
- SOLID SURFACE COUNTER & CASEWORK.
- REMOVABLE BOLLARD @ FIRE PROTECTION AND WATER EQUIPMENT ONLY - MAXIFORCE (MRHP-RS2-HDS).
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- SHOP SINK.
- METAL REMOVABLE GUARD RAIL AT 3'-6" AFF.
- STAINLESS STEEL CURTAIN ROD AT 7'-2" HEIGHT.
- HALF-HEIGHT WALL UNDER COUNTER.

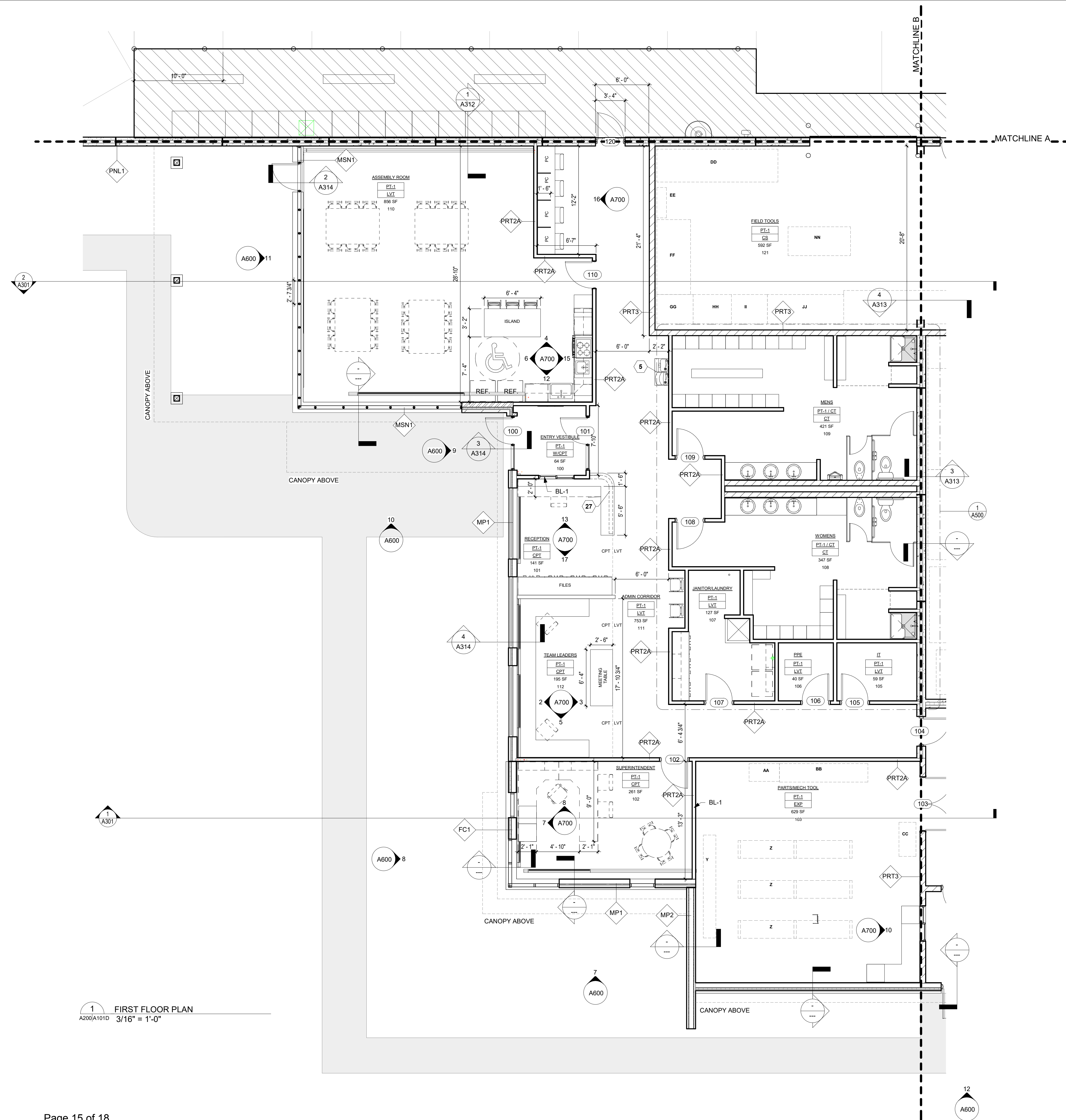
#### EQUIPMENT LEGEND

A	TORCH - OFOI
B	PLASMA CUTTER - OFOI
C	BENCH GRINDER - OFOI
D	DRILL PRESS - OFOI
E	WELDING BENCH - OFOI
F	WELDERS (2) - OFOI
G	BANDSAWS - OFOI
H	CURB SHOES - OFOI
I	CARBIDES - OFOI
J	PILOW CUTTING EDGES - OFOI
K	PORTABLE COLUMN LIFTS (6) - OFOI
L	STEEL STORAGE RACK - OFOI
M	ELECTRICAL REPAIR - OFOI
N	HYDRAULIC HOSE STORAGE/BENCH - OFOI
O	PARTS WASHER - OFOI
P	HYDRAULIC PRESS - OFOI
Q	BATTERY STORAGE/CHARGERS - OFOI
R	BENCH - OFOI
S	TIRE BALANCER - OFOI
T	TIRE CHANGER - OFOI
U	SPARE TIRE RACK - OFOI
V	HYDRAULIC LIFT TABLE - OFOI
W	FLAMABLE CABINETS/ARESOLS - OFOI
X	FLAMABLE CABINETS/PAINTS - OFOI
Y	OIL FILTERS - OFOI
Z	12' SHELIVING (3) - OFOI
AA	MISC. HARDWARE BINS - OFOI
BB	NUTS/BOLTS/WASHERS - OFOI
CC	MANUALS - OFOI
DD	CHAINSAWS/BLOWERS/MAILBOX RACKING - OFOI
EE	POLE SAWS - OFOI
FF	MITRE SAW - OFOI
GG	SCROLL SAW - OFOI
HH	DRILL PRESS - OFOI
II	TABLE SAW - OFOI
JJ	TOOL BOXES - OFOI
KK	ROAD SAW/WACKERS/VACUUMS - OFOI
LL	SIGN POLES - OFOI
MM	SIGN STORAGE - OFOI
NN	WORKBENCH - OFOI
	HOTSY SOAP BARREL - CONTRACTOR PROVIDED
	HOTSY UNIT (ABOVE) - CONTRACTOR PROVIDED



1 FIRST FLOOR PLAN  
A200/A101C 1/8" = 1'-0"





1 FIRST FLOOR PLAN  
A200/A101D 3/16" = 1'-0"

#### FLOOR PLAN - GENERAL NOTES

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D	DRILL PRESS - OFOI
E	WELDING BENCH - OFOI
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CONSULTANT

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SET TYPE  
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BARRIERITOS DESIGN PROJECT NUMBER  
50859

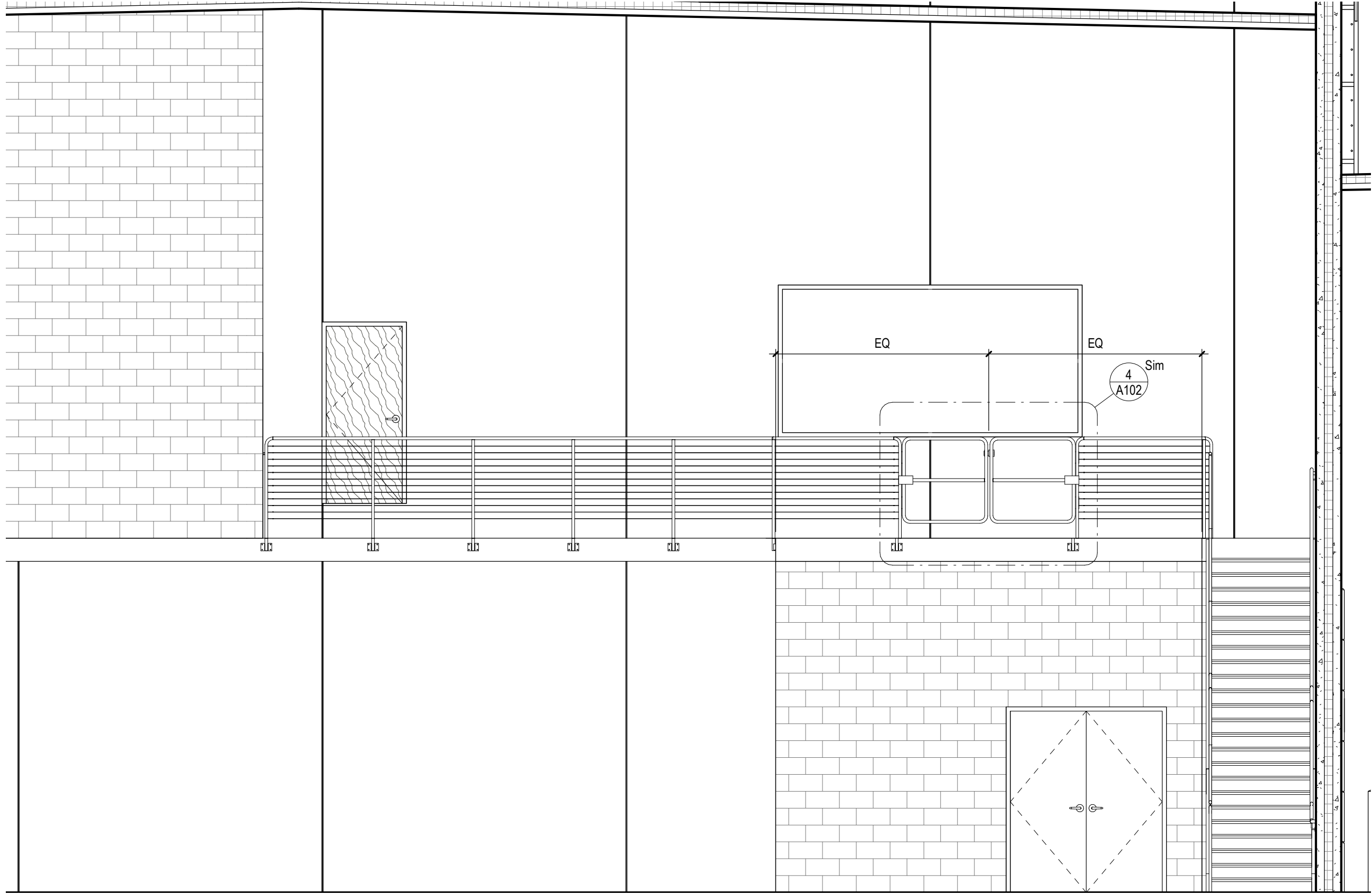
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Date: 05/20/2021

SHEET TITLE  
FIRST FLOOR PLAN - AREA D

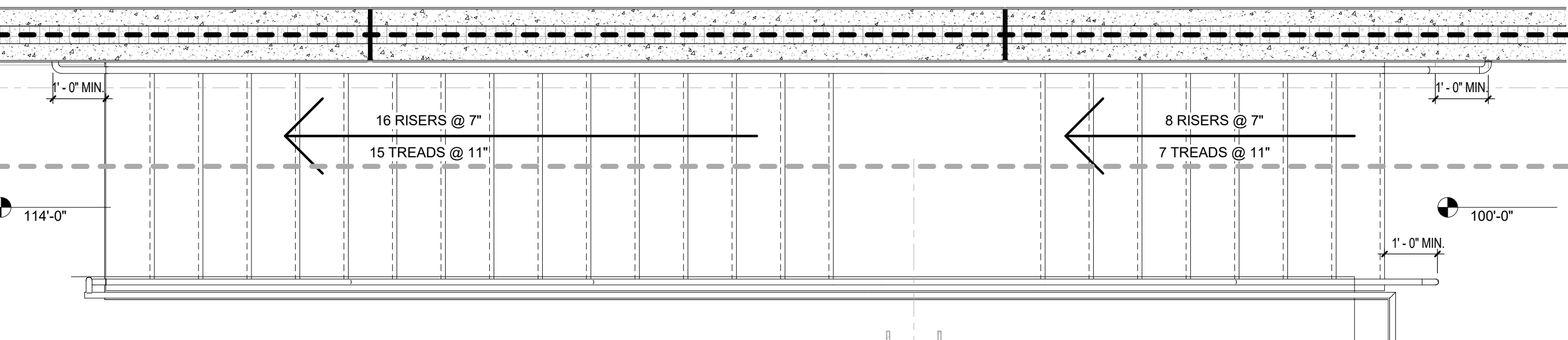
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A101D

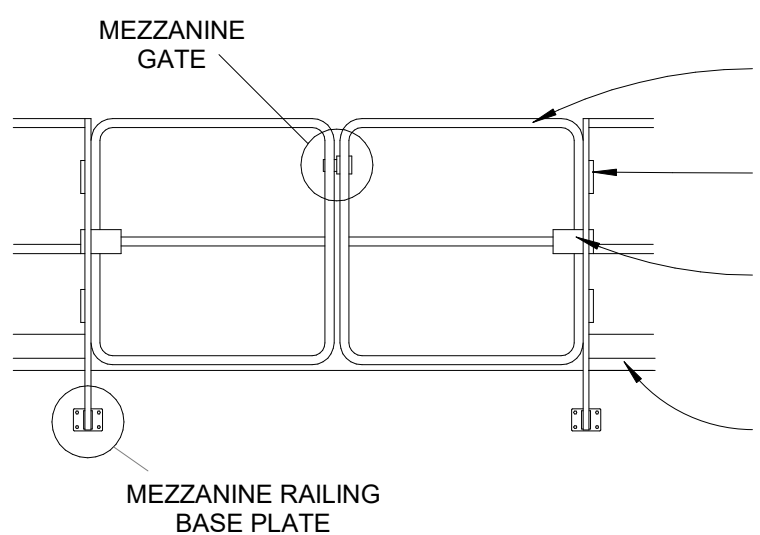




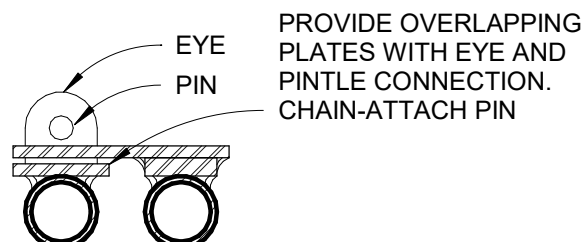
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1/4" = 1'-0"



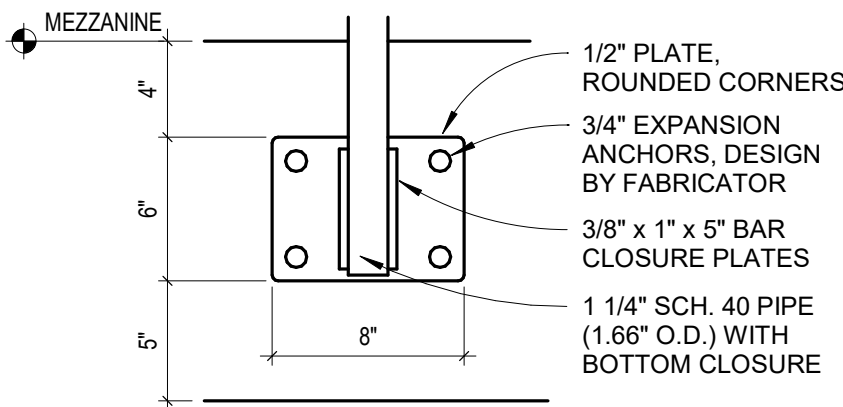
3 MEZZANINE STAIR  
1/2" = 1'-0"



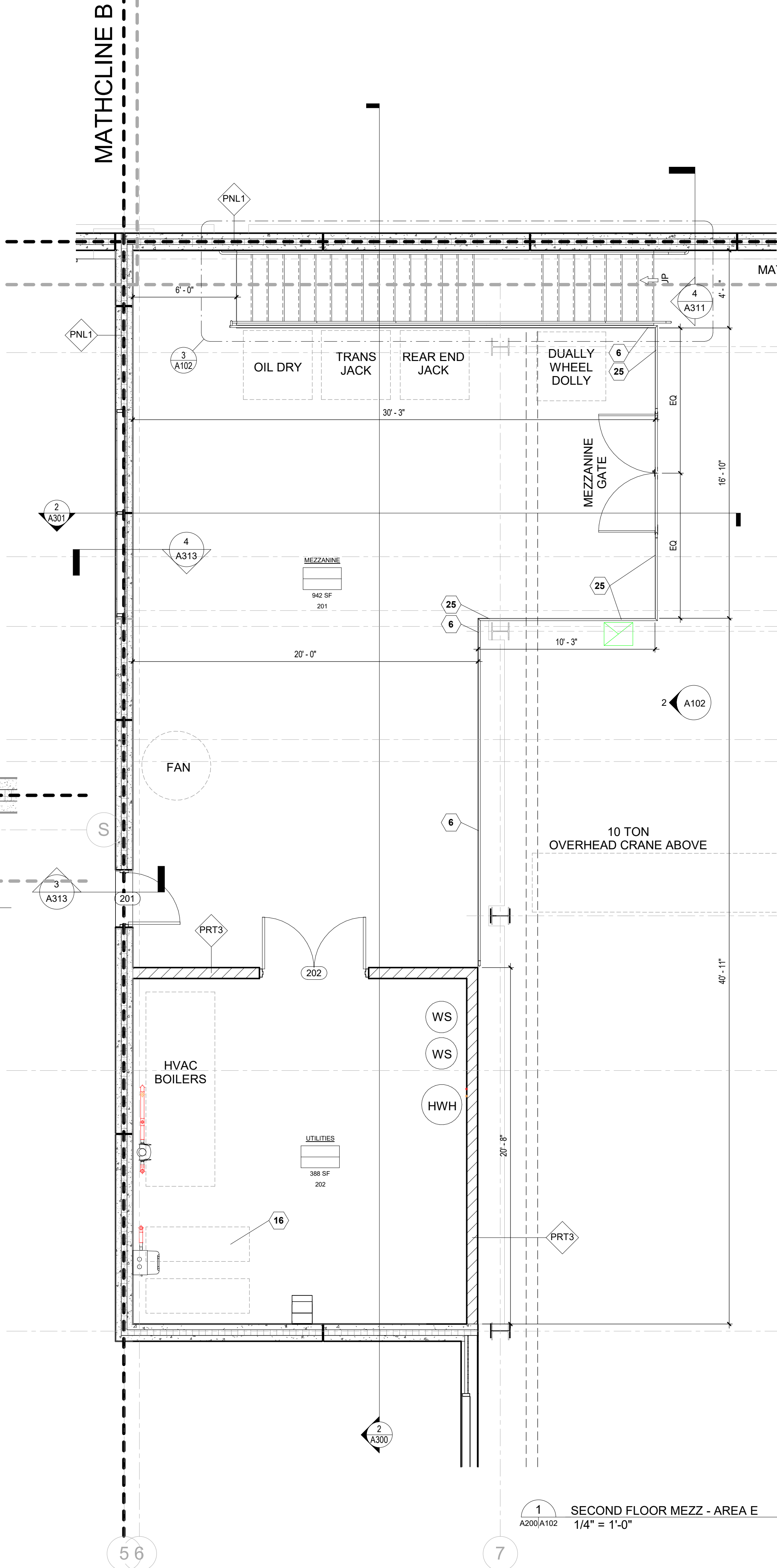
4 MEZZANINE GATE  
3/8" = 1'-0"



5 MEZZANINE GATE PIN  
3" = 1'-0"



6 MEZZANINE RAILING BASE PLATE  
1 1/2" = 1'-0"



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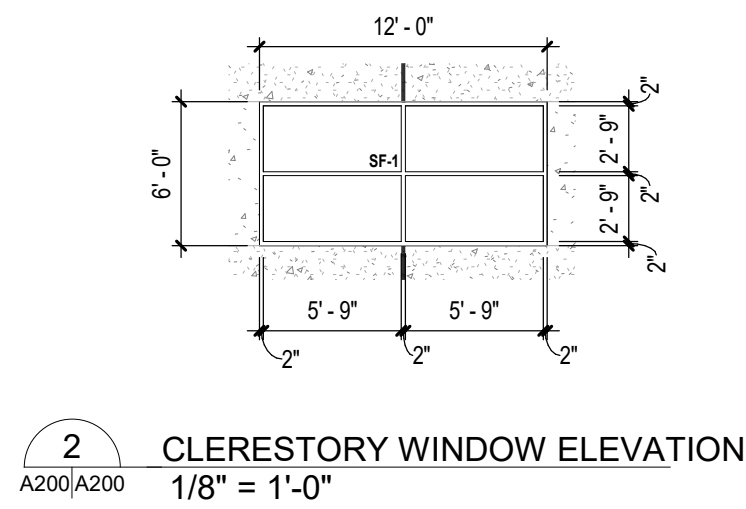
DATE  
Date: 05/20/2021

SHEET  
MEZZANINE FLOOR PLAN

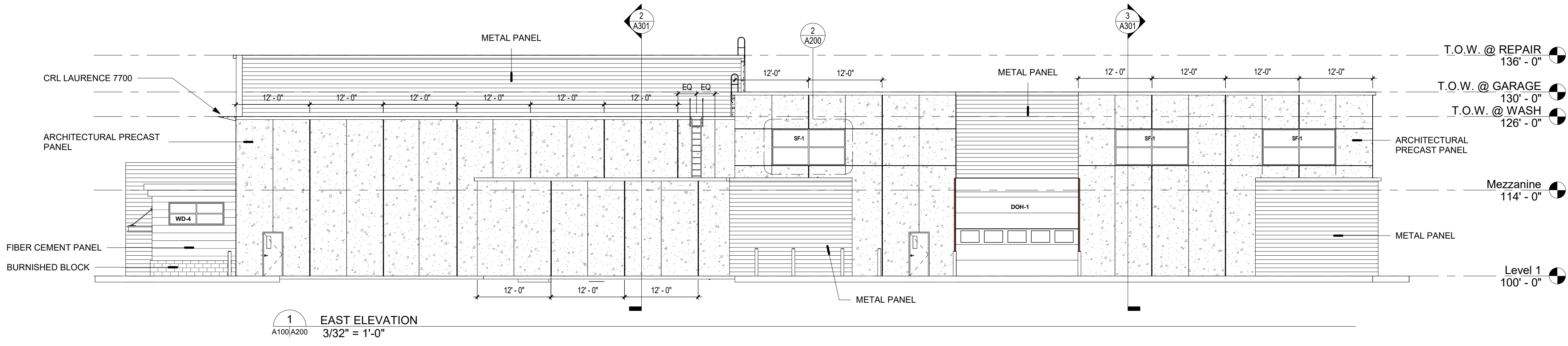
SHE

A102

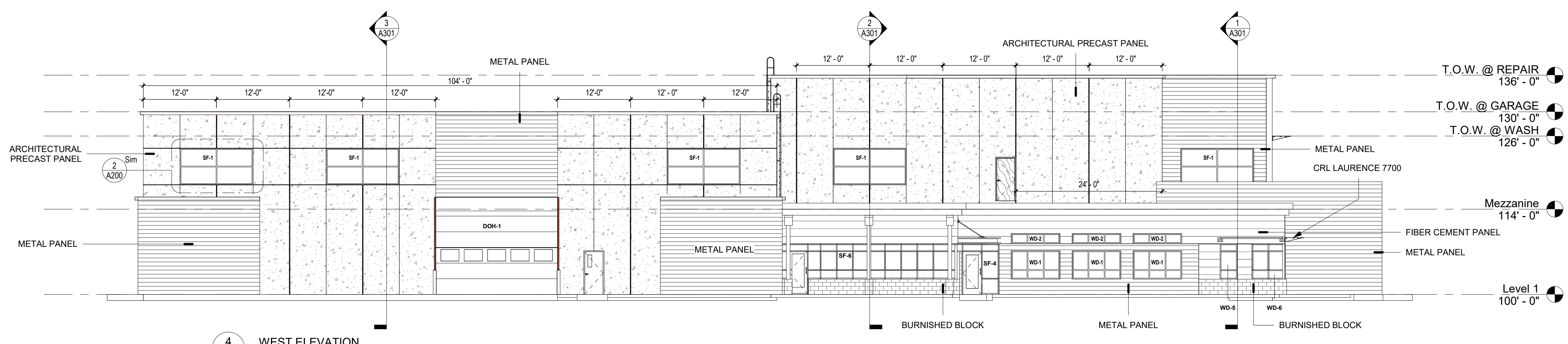




2 CLERESTORY WINDOW ELEVATION  
A200/A200 1/8" = 1'-0"



1 EAST ELEVATION  
A100/A200 3/32" = 1'-0"



4 WEST ELEVATION  
A100/A200 3/32" = 1'-0"



**BARRIENTOS**  
design & consulting  
205 West Highland Avenue, Suite 303  
Milwaukee, WI 53203  
office: 414-271-1812  
www.barrientosdesign.com

CONSULTANT

PROJECT TITLE AND LOCATION

CITY OF PEWAUKEE DPW GARAGE  
W225 N3131 DUPLAINVILLE ROAD,  
PEWAUKEE, WI 53072

NO. DATE DESCRIPTION

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SET  
BID PACKAGE 1

BARRIENTOS DESIGN PROJECT  
50859

DATE  
Date: 05/20/2021

SHEET  
BUILDING ELEVATIONS -  
EAST & WEST

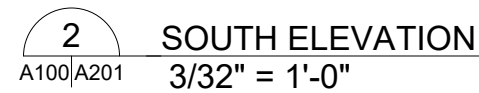
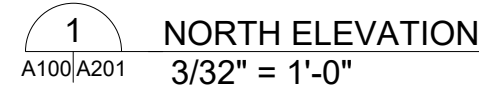
SHE

A200

NOT FOR CONSTRUCTION



CONSULTANT



W225 N3131 DUPLAINVILLE ROAD,  
PEWAUKEE, WI 53072

NO.	DATE	DESCRIPTION
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SET  
BID PACKAGE 1

BARRIENTOS DESIGN PROJECT  
50859

Date: 05/20/2021

SHEET  
BUILDING ELEVATIONS -  
NORTH & SOUTH

SHE

A201



**CITY OF PEWAUKEE  
PLAN COMMISSION AGENDA ITEM 7.**

**DATE:** June 17, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:**

***SUBJECT:***

Discussion and Action and Public Hearing Regarding Proposed Amendments to Chapter 17 of the City of Pewaukee Zoning Ordinance Including Sub-Sections 17.0702f., 17.0706c., 17.0708a., and Section 17.0711, Related to Electronic or Movable Copy Directional Signs and Menu Boards for Restaurants

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

Sign Code Amendment Staff Report

Ch. 17 Ordinance Revisions



**Office of the Planner & Community Development Director**  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of June 17, 2021

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**Date:** June 11, 2021

**Project Name:** Digital Menu Boards and Directional Signs

**Project Address/Tax Key No.:** City-wide

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### **Project Description/Analysis**

The City received a request from Octane Coffee to place a 9 square foot digital monitor/sign on its building to provide messages to their customers. Currently the City's Sign Code does not permit this type of signage.

As such, staff prepared an amendment to the Sign Code that includes: 1) adding language to Section 17.0702f. to allow electronic or movable copy directional signs as may be approved by the Plan Commission; 2) adding language to Section 17.0706c. to allow movable words and numbers on permanent ground signs if serving solely as a menu board for a restaurant use; 3) adding a reference to Section 17.0702 within Section 17.0708a.; and 4) adding text to 17.0711 to allow movable copy as expressly allowed by ordinance.

The draft changes are attached for review and consideration.

### **Recommendation**

A motion to recommend approval of the proposed Sign Code Amendment related to the allowance of electronic or movable copy directional signs and menu boards for restaurants.



possible access to the property is on a street property line the length of which is less than 300 feet, but in no case shall the distance be less than 150 feet.

- c. Access barriers such as curbing, fencing, gates, ditching, landscaping, or other physical barriers may be required by the Plan Commission to prevent unauthorized vehicular ingress or egress to the above-specified streets or highways.
- d. Temporary access to the above rights-of-way may be granted by the Common Council after review and recommendation by the highway agencies having jurisdiction. Such access permit shall be temporary, revocable, and subject to any conditions required, and shall be issued for a specific period, not exceeding 12 months.

## **SECTION 17.0700 SIGNS AND GRAPHICS**

### **17.0701 INTENT AND PURPOSE**

The intent of this section is to provide for and regulate the location and safe construction of signs in the City in a manner that will ensure that such signs are compatible with surrounding land uses, are aesthetic in design and structure and express the identity of individual proprietors and the community as a whole. It is the further intent that by these regulations, the community will be spared the presence of visual clutter and distraction along its thoroughfares by the display of multiple signs on the same property or on adjacent parcels with near identical content while at the same time ensuring that no property owner is denied his/her right to visually communicate in a regulated, aesthetic and morally responsible manner. It shall be unlawful for any person, firm or corporation to locate, erect, move, reconstruct, extend, enlarge, convert, or structurally alter any sign without first complying with the requirements of this section. All signs shall be maintained and kept in good repair. Signs intended to be permanent must be structurally affixed to a building, structure or a ground mounting and constructed of materials that are permanent in nature. All other signs are classified as temporary signs. Lighting and landscaping of permanent signs must be accomplished to the satisfaction of the Plan Commission. Certain types of signs may be prohibited as set forth in subsection 17.0708.

### **17.0702 SIGNS PERMITTED IN ALL ZONING DISTRICTS WITHOUT A PERMIT**

Certain signs are permitted on private property in all zoning districts without a permit as may be set forth in the individual district regulations. No sign, however, may be located within a public right of way or on public lands without written permission of the public body having jurisdiction. No sign shall be erected on any property without a 'vision triangle' at street intersections. Signs erected in violation of the regulations in this section may be removed without notice. (See sub-section 17.0708) The following signs may be permitted in any zoning district without permit:

- a. Memorial Sign, Tablet, Name of Building and Date of Erection Sign when cut into any masonry surface or when constructed of metal and affixed flat against a structure and not illuminated, thereby rendering them 'permanent' signs.
- b. Any Official Sign such as traffic control, parking restrictions, public information and notices, not exceeding six (6) feet in height unless extended over public right-of-way by use of a cantilevered pole or structure, when authorized by the City. Portable temporary traffic warning or control equipment may be used by

the City or County emergency personnel or authorized highway construction crews within public rights-of-way without a permit.

- c. Election Campaign Signs. Election campaign signs may be allowed in any district without a permit provided that permission shall be obtained from the property owner, renter, or lessee; and provided that such sign shall not be erected for more than the election campaign period (Wis. Stat. 12.04), and removed within seven (7) days following the election. Such signs in residential zoning districts shall not exceed 16 square feet on each sign face per sign, unless located on a county or state trunk highway or City designated arterial street, in which case the maximum sign area may be increased to 32 square feet; may not exceed six (6) feet in height; and, may not exceed a total of 32 square feet per lot. To avoid sign clutter and visual distraction, individual signs more than four square feet in area should be spaced apart from other signs on the property at least 30 feet. No such sign shall be placed on public lands, within public rights-of-way without permission of the unit or agency of government having jurisdiction and if so placed without such permission will be subject to removal without notice.
- d. A Short Term Temporary Sign advertising such neighborhood or community-wide coming activities or events as: a garage sale; a civic organizations annual picnic, bicycle race or boat race; a 'grand opening'; a 'final close out'; a church raffle, picnic or ice cream social; or, a community or county annual fair or outing. Because such signs are intended to be temporary and, therefore, are usually not constructed of materials that will withstand wind, rain and snow conditions for long periods of time, they should be erected for only a short period of time in advance of the event and shall be removed within seven (7) days following the advertised event or activity. The signs shall conform to the size, height and location restrictions in section 17.0702c, above. No such sign shall be placed on public lands, within the rights of way of public streets or highways without written permission of the unit or agency of government having jurisdiction and if so placed without such permission will be subject to removal without notice. (Also see 17.0708).
- e. Real estate 'For Sale' or "For Lease' sign. Such signs on an individual residential parcel shall not exceed 16 square feet in sign face area or, if related to an entire residential subdivision or development plat, may not exceed 32 square feet in area. Such signs in other zoning districts may not exceed 32 square feet in area. If such signs are illuminated a permit issued by the Building Inspector is required. Only one sign will be permitted for each street or lake frontage and must be placed on the property involved. Because such signs, though temporary, might be in place for a long period of time, such signs should be constructed of durable material and shall be maintained in good repair and must be removed within seven (7) days following the sale or lease of the individual building parcel or, if a multi-parcel development, the initial sale or lease of the last parcel in the development. The City may order removal or replacement of signs that are in disrepair. Such signs may not be erected in a location that will block vision of motorists at intersecting streets or at driveways. No such sign may be more than eight (8) feet in height and no such sign may advertise 'for sale' or 'for lease' land or property other than the premises on which the sign is located. (Also see sub-section 17.0708).
- f. Small, Permanent On-Site Traffic Directional Signs erected within private development and not more than nine (9) square feet in area and not more than five (5) feet high. An electronic or movable copy directional sign may be permitted by the Plan Commission if determined to not adversely impact



adjacent properties or cause any traffic or other safety related concerns. Such signs shall be subject to conditions related to message duration, hold times, display change frequency, motion and animation restrictions, text scrolling limitations, lighting and brightness standards, limited hours of operation, and other operational functions as required by the Plan Commission.

17.0703 **SIGNS PERMITTED IN INDIVIDUAL ZONING DISTRICTS WITH A PERMIT**

The following signs may be permitted in any specific zoning district after application and issuance of a permit by the Building Inspector or Zoning Administrator. No sign, however, may be located within a public right of way or on public lands without written permission of the public body having jurisdiction or on any property within a 'vision triangle' of intersecting streets and if so erected or placed in violation of the regulations in this section may be removed without notice. (Also see 17.0708).

- a. Permanent Bulletin Board for public, charitable or religious institutions not to exceed thirty-two (32) square feet in sign area, eight (8) feet in height and located on the premises of the institutional use. Such signs shall be set back from the property line at least one-quarter (1/4) of the building setback requirements of the District in which the property is located and be illuminated only to the extent necessary to permit reading of the sign from a maximum distance of 10 feet. Such signs may have a portion of the sign devoted to words and numbers that are changeable by hand and are not larger than four (4) inches in height.
- b. Temporary Sign or Banner, other than those allowed under sub-section 17.0702. For purposes of this section a temporary sign or banner is one which will be used for no more than sixty (60) days in a six (6) calendar month period, measured from the date the sign is erected. In order to avoid visual clutter of multiple signs only one such sign or banner may be placed on a property street frontage. Such signs shall not exceed 16 square feet in area in residential districts, 32 square feet in sign area in all other districts when placed on the property line abutting a minor, collector or standard arterial street, or up to 100 square feet in sign area when placed on commercial or industrial zoned property and at least 100 feet from the edge of the nearest through traffic lane of an expressway or freeway; shall be attached to the principle building or be erected as a ground sign no more than eight (8) feet in height in an aesthetic and structurally sound manner and shall meet all setback regulations as set forth in this section. Portable signs with or without wheels and signs on trucks, trailers or other vehicles that are parked on public or private property with the intent to be used for temporary or permanent advertisement purposes are not in keeping with the aesthetic requirements of this ordinance and are, therefore, not allowed.

17.0704 **SIGNS PERMITTED IN AGRICULTURAL ZONING DISTRICTS WITH A PERMIT**

The following signs are permitted in Agricultural Zoning Districts upon the issuance of a permit by the Building Inspector or Zoning Administrator, and subject to the following regulations:

- a. Permanent Name, Occupation or Organization Sign not to exceed ten (10) square feet in sign area, six (6) feet in height, and not exceeding one (1) sign per 450 feet of street or highway frontage. No such sign may be erected on public street or highway rights of way or within the vision triangle of two intersecting streets.
- b. 'For Sale' or 'For Lease/rent' sign pertaining to the sale or lease of a farm building or the sale of farm produce raised on the farm, farm equipment or animals. Such signs shall not exceed six (6) feet in height; may be located on the property line up to 25 square feet in area and must be set back from the



property line one (1) foot for each additional square foot in sign area over 25 square feet up to 50 square feet in area; and, shall not exceed one (1) sign per street frontage. No such sign shall be erected or maintained within an inside curve of a highway unless such signs are placed at least fifty (50) feet from the highway right-of-way and further than fifty (50) feet from the right-of-way as may be necessary to prevent such sign from interfering with vision along the highway for a distance of at least one thousand (1,000) feet in each direction by those traveling thereon. Such signs are considered temporary signs and shall be removed no later than seven (7) days after closing of the sale or lease and the permit for such sign shall expire on June 30th each year unless extended for a specific period of time by official action of the Zoning Administrator or Plan Commission.

17.0705 **SIGNS PERMITTED IN RESIDENTIAL DISTRICTS WITH A PERMIT**

The following signs are permitted in residential districts upon the issuance of a permit by the Building Inspector or Zoning Administrator and subject to the following regulations:

- a. Permanent Name Sign not exceeding four (4) square feet in sign area and located on the premises.
- b. Permanent Subdivision/Development Identification Sign no more than six (6) feet in height; constructed of wood, metal and/or masonry; and, of a design which will be compatible with the landscape and shall state only the name and address of the subdivision. Such signs and their location, height and size shall be reviewed and approved by the Plan Commission and/or the City Planner prior to issuance of a permit.

17.0706 **SIGNS PERMITTED IN BUSINESS, INDUSTRIAL, PARK AND INSTITUTIONAL DISTRICTS WITH A PERMIT**

The following signs are permitted in all Business, Industrial, Park and Institutional Districts upon the issuance of a permit by the Building Inspector or Zoning Administrator and subject to the following restrictions:

- a. Permanent Wall Sign placed on or against the exterior wall(s) of buildings shall not extend more than one (1) foot outside of a building's wall surface; shall not exceed in sign area the equivalent of two (2) square feet for each linear one (1) foot of building (store) and, any ancillary lighting shall be shielded to avoid glare. Wall signs (and structure) shall not extend above the ceiling level of the top floor of the building upon which they are located and shall not block window, door or vent openings. Such signs may not be used as 'for sale' or 'for lease/rent' signs except for the property on which the sign is located. The sign must comply with the site and building standards set forth in sub-section 17.0210.
- b. Permanent Projecting Sign fastened to, suspended from or supported by structures on buildings shall not exceed 50 square feet in sign area, or 100 percent of the building setback from the property line as expressed in square feet, whichever is larger, to a maximum of 150 square feet for any one premise; shall not extend into any public right-of-way; shall not extend above the lowest point on the roof; shall not be less than ten (10) feet from all side lot lines, or beyond the building wall, whichever is less; shall not exceed a height of 16 feet above the adjacent center line street grade and shall not be less than ten (10) feet above the level of the primary access, nor less than 15 feet above a driveway and, shall not be located within 150 feet from any ground sign. Such

sign must comply with the site and building standards set forth in sub-section 17.0210.

- c. Permanent Ground Sign, other than billboards, as defined herein, shall not exceed 12 feet in height above the mean centerline grade of the nearest street unless approved by the Plan Commission; shall not exceed in sign area 25 square feet on one side at the street property line but may be increased in sign area size one (1) square foot for each one (1) foot the sign is set back from the street property line to a maximum of 150 square feet on one side. Only one (1) ground sign shall be allowed on a street frontage of a single (individual) property and no ground sign shall be placed closer than 150 feet from another ground sign, projecting sign or billboard. Any such sign located within 660 feet of a residential zoning district boundary shall not be illuminated during the seven hour period beginning at eleven (11) PM and ending at six (6) AM. No such sign shall have exposed flashing, digital or electrically movable lighting or images of any kind with the exception that such signs may have movable words and numbers if serving solely as a menu board for a restaurant use or if required by local, state or federal law. Such signs must comply with the site and building standards set forth in sub-section 17.0210. Permanent ground signs on parcels of more than five acres in area, over 75 feet in sign area, and any subsequent changes to such signs must be approved by the Plan Commission. (Also see sub-section 17.0708).
- d. Off-Premise Directional/Sales Sign as defined herein, other than billboards when permitted by the Plan Commission, shall meet the requirements of the type of sign as set forth in this Section; shall not exceed two (2) in number within the City per business, resort or commercial recreation facility as well as the principal merchandise sold; shall not exceed in sign area 25 square feet on one side at the street property line but may be increased in size one (1) square foot for each one (1) foot the sign is set back from the street property line to a maximum of 50 square feet on one side; and, shall be a maximum three (3) miles distance from the designated business being advertised. Such sign may be placed only in a retail business or industrial zoning district. The permit for such sign shall expire on June 30th each year but may be extended for one year upon issuance of a new permit by the Zoning Administrator or Building Inspector. (Also see sub-section 17.0708).
- f. Permanent Window Sign shall be placed only on the inside of the window and shall not exceed twenty-five (25) percent of the glass area of the window upon which the sign is displayed. Illuminated window signs shall not be illuminated after the business is closed for the day.
- g. Billboard as defined herein is considered a commercial use and as such may only be permitted in retail business or industrial zoned areas and when permitted by the Plan Commission shall not exceed 25 feet in height; shall be set back from a property line the same distance as set forth for principal buildings in the zoning district regulations; shall be located not closer than 1,320 feet from another billboard, ground sign or off-premises sign and no such sign shall have exposed, flashing, digital or electrically movable lighting, or images of any kind. A billboard located within 660 feet of a residential zoning district boundary shall not be illuminated during the seven hour period beginning at eleven (11) PM and ending at six (6) AM.
- h. Combinations of any signs in this Section shall meet all the requirements for the individual sign.



- i. Roof Signs as defined herein shall not be allowed.
- j. All signs with no current permit must be removed.

17.0707 SIGNS PERMITTED IN CONSERVANCY AND FLOODPLAIN ZONING DISTRICTS WITH A PERMIT

Signs as permitted in sub-section 17.0703 (a) and (b) shall be permitted in the Upland and Lowland Conservancy Zoning Districts upon the issuance of a permit by the Building Inspector or Zoning Administrator. No sign may be permitted in a Floodplain District.

17.0708 SPECIAL RESTRICTIVE PROVISIONS

Following are special restrictive provisions that relate, generally, to all signs or premises in the City:

- a. Roof Top signs; Flashing, Blinking or Electronically Movable Copy Signs. Portable and other movable signs, as well as any sign within a public street or highway right-of-way, shall be prohibited except as provided in sub-section 17.0702 or 17.0706 . Small permanent directional signs for religious and other institutional or governmental destinations within the community such as a hospital, a school, government building or a church may be located within public right-of-ways when approved by the Plan Commission or the county or state agency having jurisdiction.
- b. Signs Facing on Federal Interstate or Federal Aid Primary Highways shall meet all the requirements and regulations set forth in Wisconsin statutes and federal regulations as well as the regulations for the type and location of signs set forth herein, whichever is more restrictive.
- c. Words and Phrases on Signs should be kept to a minimum to allow reading or interpretation from a moving vehicle at posted speed limits without slowing down, thereby reducing potential traffic hazard. A combination of ten (10) words, sets of numbers, logos, or pictures should, under normal circumstances, be considered as a guide for maximum sign phrasing.
- d. The Plan Commission or Zoning Administrator may require a cash bond or irrevocable letter of credit of the applicant for a permanent sign permit to ensure that the sign is erected as required by these regulations and the Plan Commissions directions.
- e. Signs advertising land or building space 'For Sale' or 'For Lease/Rent' are temporary signs and may not be a permanent sign and must be removed when the property/premises on which the sign is located is sold, leased or rented. The permit for any such sign requiring a permit will expire on June 30<sup>th</sup> each year and must be renewed in writing by the Building Inspector to extend the permit. Such signs may not advertise properties other than the property on which the sign is located.

17.0709 SEARCHLIGHTS/BALLOONS

The Zoning Administrator or Building Inspector may permit the temporary use of a searchlight or balloons for advertising purposes in any district except residential districts provided that the searchlight or balloon will not be located in any public right-of-way; will not be located closer than 10 feet to an adjacent property; and, will not be a vision or audio nuisance or cause a hazard to traffic or adjoining properties. Searchlight and balloon permits shall be granted for a period of not

more than five (5) days in any six (6) month period and the searchlight shall not be illuminated during the period beginning at 10:00 PM and ending at dawn.

17.0710 FACING OF SIGNS

No illuminated signs, except those permitted in residential zoning districts, shall be permitted to face an adjoining residence and no sign-related illuminating device shall be directed toward residential parcels in a residential zoned district.

17.0711 LIGHTING, DESIGN AND COLOR

Signs shall not resemble, imitate, or approximate the shape, size, form or color of railroad or traffic signs, signals or devices. Signs shall not obstruct or interfere with the effectiveness of railroad or traffic signs, signals, or devices. Signs shall not be erected, relocated, or maintained so as to prevent free ingress to or egress from any door, window, or fire escape and no sign shall be attached to a standpipe or fire escape. Signs shall be placed so as not to obstruct or interfere with traffic visibility and shall not be lighted in a way which causes glare or impairs driver visibility upon public ways. Except as expressly allowed by ordinance, Continuous-moving (traveling) copy, electronically movable copy, or flashing picture signs shall not be allowed. Signs may be illuminated as set forth herein, but non-flashing, decorative or wall art shall only be allowed after affirmative action by the Plan Commission.

17.0712 EXISTING SIGNS

Signs lawfully existing at the time of the adoption of or related amendment to this section may be continued although the size or location does not conform to this section provided that the owners of such signs shall, within three (3) months of the effective date of this section or any amendment thereto, fill out a permit application for the Building Inspector's records. Upon the filing of such application, the Building Inspector shall issue an initial permit to the sign owner without fee. Certain existing signs are of a type that requires a permit that is valid for a specific time period and are subject to the regulation of such signs as set forth herein.

Nonconforming permanent signs shall be kept in good repair, but the cost of maintenance shall not be considered grounds for their continued use. If not kept in good repair to the satisfaction of the Building Inspector, the Building Inspector may require removal of the sign within a 60 day period. The owners of signs which are not repaired, painted, or maintained pursuant to written notification and orders by the Building Inspector shall also be subject to enforcement action. (See sub-section 17.0715)

17.0713 ADMINISTRATION

Applications for permits for the erection of signs requiring a permit shall be filed with the Building Inspector, who shall review the application for its completeness, accuracy and adherence to this ordinance and approve or deny the application within a reasonable period from the date of receipt unless the time is extended by written agreement with the applicant. A sign permit shall become null and void if work authorized under the permit has not been completed within six (6) months from the date of issuance. Applications shall be made on forms provided by the Building Inspector and shall contain or have attached thereto at least the following information:

- a. Name, Address, and Telephone Number of the applicant, and location of building, structure, lot or property to which or upon which the sign is to be attached or erected.
- b. Name of Person, Firm, Corporation or Association erecting the sign.



- c. Written Consent of the owner or lessee of the building, structure, or land to which or upon which the sign is to be affixed or erected.
- d. A Scale Drawing of such sign indicating the dimensions, the materials to be used, the type of illumination, if any, and the method of construction and attachment.
- e. A Scale Site Drawing indicating the location and position of such sign in relation to nearby buildings, structures, property boundaries, streets, driveways or other signs.
- f. Type of Sign such as 'permanent' or 'temporary' or 'for sale/lease'.
- g. Copies of any other permit required and issued for said sign, including the written approval by the Electrical Inspector in the case of illuminated signs. The Building Inspector shall examine the plans and specifications, inspecting all wiring and connections to determine if the same complies with the City Codes and Ordinances.
- h. Additional Information such as photographs
- i. Payment of a fee as set forth herein. The Building Inspector may, if necessity requires, direct that the applicant for a sign permit meet with the Plan Commission to review the request and provide guidance in the issuance of the permit or interpretation of the standards.

17.0714 INSPECTION AND REMOVAL OF SIGNS

From time to time the Zoning Administrator or Building Inspector may inspect signs within the City for compliance with the provisions of this Section and if such provisions are not being met, such fact shall be reported to the sign owner with a request that the sign be made to comply with this Section. If, within a reasonable period of time set by the Building Inspector (see Sections 17.0712 and 17.0713), the sign is not made to comply with this Section, the Building Inspector may direct that the sign be removed by the owner, and if not so removed shall cause the sign to be removed and the cost of such removal assessed to the sign owner or the owner of the property from which the sign is removed.

17.0715 MAINTENANCE OF PERMANENT SIGNS

The owner of a permanent sign and/or the owner of the land on which the sign is located shall maintain such sign in good and safe condition which includes restoring, repainting, or replacement of a worn or damaged legally existing sign to its original condition, and shall maintain the premises on which the sign is erected in a clean, sanitary, and inoffensive condition, free and clear of all obnoxious substances, rubbish, weeds, and grass. Failure to do so after notice from the Building Inspector shall be cause for the removal of such signs under sub-section 17.0714. Whenever the Building Inspector determines that the cost to repair a sign will exceed 50% of its replacement cost, such sign shall be deemed a hazard and the Building Inspector shall order its removal as set forth in sub-section 17.0714. This Section shall apply to both new and legal nonconforming signs.

17.0716 SIGN CONSTRUCTION STANDARDS

- a. Wind Pressure and Dead Load Requirements: All permanent signs and other advertising structures shall and temporary signs should be designed and constructed to withstand wind pressure of not less than 30 pounds per square

foot of area, and shall be constructed to receive dead loads as required in the City Building Code or other Ordinances.

- b. Protection of the Public: The temporary occupancy of a sidewalk or street or other public property during construction, removal, repair, alteration, or maintenance of a sign is permitted provided the space occupied is roped off, fenced off, or otherwise isolated to prevent hazard to pedestrians and property.
- c. Supporting Members or Braces of all signs shall be constructed of galvanized iron, properly treated wood, stainless steel, or other non-corrosive, non-combustible material. All projecting signs, if placed at an angle to the wall of any building, shall be attached by such non-corrosive metal bolts, anchors, cable, or other metal attachments as shall ensure permanent and safe construction and shall be maintained free from defects, rust or other deterioration. Every means or device used for attaching any sign shall extend through the walls of the building should the Building Inspector determine that the safe and permanent support of such sign so requires and shall be securely anchored by wall plates and nuts to the inside of the walls or to bearings on the underside of two (2) or more roof or ceiling joists in accordance with instruction given by the Building Inspector. Small, flat signs containing less than 10 square feet of area may be attached to a building by the use of non-corrosive lag bolts or other means to the satisfaction of the Building Inspector.
- d. No Signs, or any part thereof, or sign anchors, braces, or guide rods shall be attached, fastened, or anchored to any fire escape, fire ladder, or stand pipe, and no such sign or any part of any such sign or any anchor, brace, or guide rod shall be erected, put up, or maintained so as to hinder or prevent ingress or egress through a door, doorway, or window or so as to hinder or prevent the raising or placing of ladders against a building by the Fire Department as necessity therefore may require.

17.0717 PERMIT FEES

- a. Initial Application for a Sign Erection Permit and extension of such permits as required herein. Each application for a required permit or extension of a permit shall be accompanied by a fee as set forth in the City approved fee schedule. (See Appendix A). Each individual sign requires a permit unless specifically stated otherwise in these regulations. All permits for temporary signs expire on June 30th each year unless stated otherwise herein. The fees have been established by the Common Council as a part of the City's comprehensive fee schedule and are subject to periodic review and change by action of the Common Council.
- b. Liability. The acceptance of fees as provided herein shall not be deemed an assumption of liability by the City.