

## Planning Department

W240N3065 Pewaukee Road  
Pewaukee, WI 53072  
(262) 691-0770 Fax (262) 691-1798

### **PLAN COMMISSION MEETING NOTICE AND AGENDA Thursday, May 20, 2021 6:00 PM**

Common Council Chambers ~ Pewaukee City Hall  
W240 N3065 Pewaukee Rd., Pewaukee, WI 53072

- 
1. Call to Order and Pledge of Allegiance
  2. Discussion and Action Regarding Approval of the March 18, 2021 Meeting Minutes
  3. Discussion and Action Regarding Applications for Outdoor Activity on Premises Where Alcoholic Beverages are Consumed
    - 2.1 5 O'clock Club
    - 2.2 Boomer's Sports Pub & Grill
    - 2.3 Curly's Waterfront
    - 2.4 Gina's Sports Dock
    - 2.5 The Station
    - 2.6 Sunset Grill
    - 2.7 Waukesha Gun Club
    - 2.8 Wonderland Tap
  4. Discussion and Possible Action Regarding a Revised Conceptual Plan by Interstate Partners for a Proposed Multi-Family Apartment Development Located at N18 W22670 Watertown Road (PWC 0958990005 & PWC 0958990006)
  5. Discussion and Action Regarding the Revised Site and Building Plans for Badgerland Supply Located at W229 N2450 Homewood Court for the Purpose of Enclosing Three Existing Buildings (PWC 0915994001)
  6. Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Permit and Site and Building Plans for Zeilhofer Properties, LLC for Property Located at N4 W22540 Bluemound Road for the Purpose of Constructing a New Freestanding Two-Story Storage Building (PWC 0963997)
  7. Discussion and Action Regarding a Petition for a Rezoning Public Hearing for Century Fence to Rezone a 2.07 Acre Portion of Land in the City of Pewaukee Located at Approximately 1300 Hickory Street in the Village of Pewaukee From M-6 Mixed Industrial To M-1 General Wholesale (PWC 0921997003)
  8. Discussion and Action Regarding the Site and Building Plans for Century Fence Company Located at Approximately 1300 Hickory Street for the Purpose of Creating an Outdoor Storage Area (PWC 0921997003)
  9. Discussion and Action Regarding a Certified Survey Map for Richard Knutson for Property Located

at N28 W26658 Peterson Drive in Order to Divide the Property Into Three Lots and an Outlot (PWC 0930052009)

10. Discussion and Action Regarding the Site and Building Plans for Lakewood Baptist Church Located at W274 N1490 Riverland Drive (PWC 0940997002)
11. Discussion and Possible Action Regarding the Lake Pewaukee Sanitary District Site Plan and Generator Building for LPSD Lift Station No. 10 Located Within Rocky Point Avenue Right-Of-Way
12. Adjournment

Ami Hurd  
Deputy Clerk

5/13/2021

**NOTICE**

Due to the COVID virus, this meeting may be attended virtually if you so wish.

To attend this meeting virtually or by phone please contact Nick Fuchs, City Planner, 262-691-6007, [fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us) **before 3 P.M. on the date of the meeting** for directions. Meeting materials are available at <https://pewaukee.novusagenda.com/AgendaPublic/>.

It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum. At the above stated meeting, no action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the City Planner, Nick Fuchs, at (262) 691-6007 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**CITY OF PEWAUKEE  
PLAN COMMISSION AGENDA ITEM 2.**

**DATE:** May 20, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:**

***SUBJECT:***

Discussion and Action Regarding Approval of the March 18, 2021 Meeting Minutes

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

3.18.21 Minutes

**In attendance:**

Mayor S. Bierce, Alderman B. Bergman, D. Linsmeier, S. Sullivan, and D. Kiser.

**Also in attendance:**

City Planner & Community Development Director N. Fuchs, Administrator S. Klein, Department of Public Works Director M. Wagner, and Deputy Clerk A. Hurd.

1. Call to Order and Pledge of Allegiance

Chairman Bierce called the meeting to order at 7:00pm and requested everyone stand for the Pledge of Allegiance.

2. Discussion and Action Regarding Approval of the January 21st, 2021 and February 18th, 2021 Meeting Minutes

**A motion was made and seconded (D. Kiser, D. Linsmeier) to approve the January 21<sup>st</sup>, 2021 and February 18<sup>th</sup>, 2021 meeting minutes.** Motion Passed: 5-For, 0-Against.

3. Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Permit and Site and Building Plans for Zeilhofer Properties, LLC for Property Located at N4 W22540 Bluemound Road for the Purpose of Constructing a New Freestanding Two-Story Storage Building (PWC 0963997)

Mr. Fuchs stated the property owner was currently operating a real estate office on the site and they are looking to add a 7,600 square foot storage building. The proposal meets the B-4 zoning district standards.

The applicant has requested to not extend utilities. Water would preferably be extended to the west, and sewer is on the opposite side of Bluemound Road. City staff is recommending that utilities be extended. Mr. Fuchs noted that the new building does not need sewer and water.

Mr. Fuchs stated staff was recommending approval with the conditions that any dumpsters on-site be enclosed, Engineering approval of the final grading and erosion control plans, and separate review and approval of the sign permit for the proposed monument sign.

Mark Wershay with Zimmerman Architects stated it is a steep side and they would be building up into the hill on the north side of the property above the existing structure. It was originally a residential structure but is now a real estate business. He noted the parking lots would be screened on the sides and the building screens the views from Bluemound Road. The east, west and north are landscaped around the lot, and there is a smaller lot with landscape screening in between the existing structure and the proposed building. The grade and the existing structure will block most of the view. The long, two-story view will be the view from Bluemound Road.

Chairman Bierce felt the building needed more detail and felt it was one long expanse. Commissioner Bergman suggested adding a lighted panel on the doors to break up the look on the lower level. He wanted to see the same on the north elevation. Mr. Wershay stated they would be able to do that.

Commissioner Kiser questioned if it was a concern that the garage doors were facing the street. He felt they looked more like dock doors. Further discussion took place regarding the placement and screening of the garage doors.

Ms. Wagner referred to the sewer and water in the area and noted that they are both in Takoma Drive, so at a minimum, they would have to connect there. She recommended the water main be looped from Eastmound Drive, which is the first street to the west of this property. Ms. Wagner stated there are not facilities in the proposed structure, but the grading work will go through their septic field, so in order to accommodate that, they would have to extend the sewer. Given that the use is changing, it should be on municipal water instead of well and septic.

Mr. Wershay noted they were not clear on where the septic field was and stated they would not be excavating in that area. He felt this would be a huge cost for a building that does not have any sewer or water going into it. Mr. Wershay noted they would have to run utilities hundreds of feet to get to this property.

Property owner Robb Zeilhofer stated the cost to hook up would end the entire project. He felt it was substantial for a building that has no water usage.

Commissioner Bergman suggested the applicant work with City staff to see if the project can move forward on a financial basis with connecting to water and sewer.

No action was taken.

4. Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Permit and Site and Building Plans for Octane Coffee for Property Located at W229 N1400 Westwood Drive for the Purpose of Installing and Operating a Drive-Thru Coffee Business (PWC 0959988004)

Mr. Fuchs stated this was a stand-alone coffee drive-thru use proposed on the north side of the parking lot of the property and it would be fully automated. The structure is a modified shipping container, and yellow striping would be utilized to designate the drive-thru lane and parking. Mr. Fuchs noted he discussed with the applicant some more permanent site features such as curbing and landscape islands to better designate the building location and drive-thru lane. As a start-up business, the applicant wanted less change for the property owner, in the event the business is not successful. Mr. Fuchs added a condition in the staff report that if approved, the City could bring the applicant back in a year to revisit those site improvements. He noted staff was recommending approval.

Adam James with Vision Architecture stated this was a local startup company, and it is an automated coffee system along with a mobile phone application to make it function. Customers would order coffee from the app on their phone, and thru GPS and Bluetooth, the system will have the coffee ready in the mobile delivery system. Mr. James noted that in the short term, there will be a person there making sure it is operating, but once it is up and running, there will be no one there other than for deliveries and maintenance.

Commissioner Kiser questioned semi-permanent structures in a parking lot, so that this does not become a kiosk central for multiple businesses. Mr. Fuchs stated it was being looked at as a permanent use for the site and not a temporary approval.

Commissioner Linsmeier questioned if striping was the only method of directing traffic and he noted that there was no curb. Mr. James confirmed that and stated they wanted to test the market to make sure it was financially viable before they invest in the cost of more permanent parking changes.

Commissioner Bergman stated he was not excited about this because of the container. He noted that right across the street from this there is a Class A office building, and a hotel across the other street. He also noted it would be located at a non-signalized intersection and felt there would be a traffic issue with it.

Commissioner Kiser liked the idea but felt it should look more like a permanent structure and he suggested working with staff.

Chairman Bierce summarized the hurdles as safety issues concerning the location of the building in general regarding traffic, curbing, and the metal building issue.

Ms. Wagner was concerned about where they were tying into the utilities for this property. She questioned if it would be off the existing laterals or if they would be tapping new laterals.

No action was taken.

5. Discussion and Possible Action Regarding a Conceptual Plan by Interstate Partners for a Proposed Multi-Family Apartment Development Located at N18 W22670 Watertown Road (PWC 0958990005 & PWC 0958990006)

Mr. Fuchs stated this was a proposal for a multi-family development with 237 units within 13 two-story buildings. The site is 33.8 acres with a gross density of about seven units per acre, and a net density of about nine units. It is in compliance with the Rm-2 zoning district, which is likely what would be requested for the rezoning. There are wetlands and environmental corridors that bisect the property. Mr. Fuchs noted access from the north would be from Elmwood Drive and from Watertown Road on the south side. The site would include storm water ponds and a clubhouse.

Chairman Bierce did not see how the Plan Commission could consider this without doing a traffic study, as the intersection is horrible, and this would not make it better.

Ms. Wagner noted that Waukesha County was looking to do a realignment of the intersection of North Avenue and Watertown Road in 2023, and she recommended the applicant contact Waukesha County to discuss it. She mentioned that preliminary sketches show the intersection would be pushed further to the west so that North Avenue would come in at 90 degrees at Watertown Road.

Caroline Brzezinski with Interstate Partners stated she has reached out to Waukesha County and she was trying to get a copy of the traffic study. She stated they intentionally left that corner bare because of the potential for the intersection change. She mentioned there would not be a significant number of cars coming and going at one time and it is not like an office building.

Commissioner Sullivan felt the neighbors in Springdale Estates would not be in favor of this and he felt this was way too much for the area. He also mentioned the back ups on Watertown Road because of the train crossing.

Ms. Brzezinski mentioned that they will work with the City and the DNR to try to cross the wetlands on the far western side so that Elmwood Road would be a secondary or emergency exit only.

Commissioner Linsmeier felt this was a very dense development, especially with single-family homes surrounding two sides of this.

Ms. Brzezinski stated it was their intent to create as much of a buffer as possible between the buildings and the existing homes. There is a lot of green space and they will also have landscape buffers and ponds.

Chairman Bierce felt a project like this would be the end of multi-family in the City in order to keep the multi-family to single-family ratio, as the City is heavy in multi-family right now.

Commissioner Kiser was concerned with the traffic and felt the railroad was horrific. He requested some data on the issue.

Discussion took place regarding the multi-family use of the land and the density of the site. It was noted that the City's Master Plan currently shows the site as medium-density residential. The Plan Commissioners were in agreement that this proposal was too dense.

No action was taken.

6. Discussion and Possible Action to Determine if the Plan Commission Will Continue Virtual Meetings and the Possibility of Changing the Start Time of Meetings

The Plan Commissioners were all in agreement that starting in April, all meetings would begin at 6:00pm in-person at City Hall, with the option for virtual attendance.

7. Adjournment

**A motion was made and seconded (D. Kiser, D. Linsmeier) to adjourn the meeting at 8:36pm.** Motion Passed: 5-For, 0-Against.

Respectfully Submitted,

Ami Hurd  
Deputy Clerk

**CITY OF PEWAUKEE  
PLAN COMMISSION AGENDA ITEM 3.**

**DATE:** May 20, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:**

***SUBJECT:***

Discussion and Action Regarding Applications for Outdoor Activity on Premises Where Alcoholic Beverages are Consumed

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

5 O'clock Club Application

5 O'clock Club Request

Boomers Application

Boomers Request

Curly's Waterfront Application

Curly's Waterfront Request

Gina's Sports Dock Application

Gina's Sports Dock Request

The Station Application

The Station Request

Sunset Grill Application

Sunset Grill Request

Waukesha Gun Club Application

Waukesha Gun Club Request

Wonderland Tap Application

Wonderland Tap Request

# 2021 APPLICATION FOR OUTDOOR ACTIVITY ON PREMISES WHERE ALCOHOLIC BEVERAGES ARE CONSUMED

**FILING DEADLINE IS MAY 8<sup>th</sup>, 2020** 2021

ANNUAL FEE: \$30

The 50'Clock Club of Pewaukee LTD  
Name of Business PWL 0930052010

Residential  
not conforming

128 W 26658 Peterson Dr.  
Address of Business

Pewaukee 53072  
City Zip

Richard Knutson  
Contact Person / Agent for the Business

(262) 691-9760  
Phone Number

Knutson Bros Partnership  
Owner of the Property

( ) NA  
Owner's Phone Number

SERVING

## LIST NORMAL BUSINESS HOURS OF OPERATION

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<u>Closed</u>	<u>Closed</u>	<u>11:30 AM</u> <u>10:00 PM</u>	<u>11:30 AM</u> <u>10:00 PM</u>	<u>11:30 AM</u> <u>10:00 PM</u>	<u>11:30 AM</u> <u>10:00 PM</u>	<u>11:30 AM</u> <u>10:00 PM</u>

List Proposed Start to Finish Times on Each of the Days

(Please mark "N/A" if not applicable)

## SPORTS RELATED OUTDOOR ACTIVITIES

### VOLLEYBALL

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### HORSESHOES

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### BAGS

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### CLAY TARGET SHOOTING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### OTHER

(please list in space below)

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

# ENTERTAINMENT RELATED OUTDOOR ACTIVITIES

*outdoor*

## DINING / DRINKING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<del>Closed</del>	<del>Closed</del>	11:30 AM 10:00 PM	11:30 AM 10:00 PM	11:30 AM 10:00 PM	11:30 AM 10:00 PM	11:30 AM 10:00 PM

## TYPE OF AREA

<input checked="" type="checkbox"/> DECK	<input checked="" type="checkbox"/> PATIO	<input checked="" type="checkbox"/> GARDEN	<input checked="" type="checkbox"/> DESIGNATED SMOKING AREA	<input type="checkbox"/> OTHER
Square Footage of Area 33x16 32x12	Square Footage of Area 32x30	Square Footage of Area ?	Square Footage of Area LOWER OUTDOOR Patio	Square Footage of Area
Seating Capacity 42 people	Seating Capacity 24 people	Seating Capacity NA walk Thru	Seating Capacity same as "Patio"	Seating Capacity

## TYPE OF MUSIC

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<del>Closed</del>	<del>Closed</del>	same as Dining/Drinking Hours above				
<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified

**Sound:** Please list how many speakers you will have and on your site plan indicate where they will be located and where the sound is directed.

*SEE attached*

**Lighting:** Please list what types of lights you have, how many, what the wattage is and indicate where they will be located on your site plan.

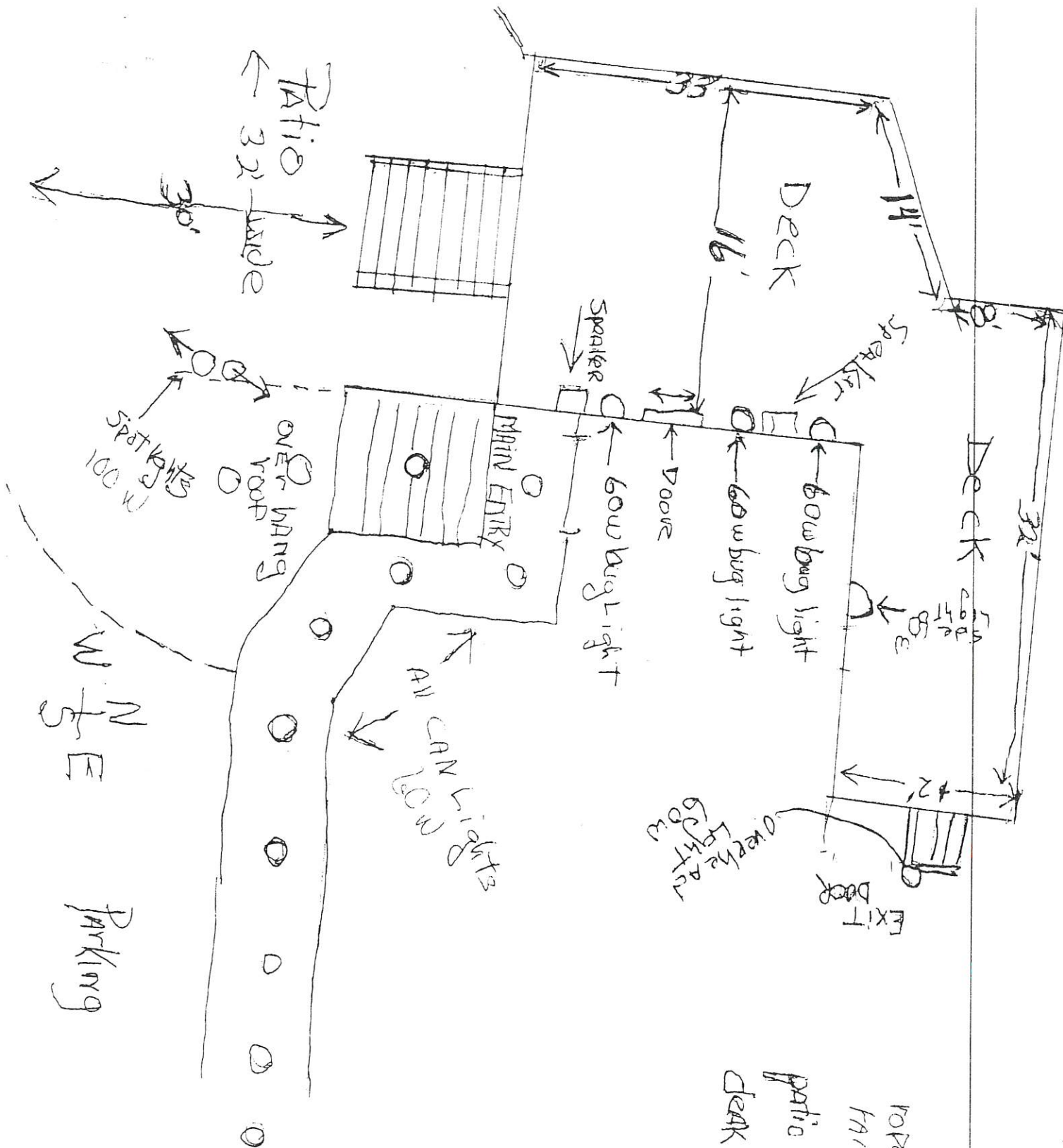
*SEE attached*

**The following items MUST accompany this application:**

- ☒ **SITE PLAN** to scale, showing buildings on the premises, outdoor facilities and distance to buildings on adjoining properties.
- ☒ **SCALED DRAWING OR MAP** showing the location of all speakers or other means of providing music, television and/or sporting activities.
- ☐ **BUILDING PLAN OF OPERATION**

If you have any questions about this process, please contact the Community Development Director Nick Fuchs, during his regular office hours of Monday through Friday 8:00 a.m. to 4:30 p.m. at (262) 691-0770.





rope lights along all  
railings on deck  
patio seating for 24 p  
deck 11 11 42 p



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**OUTDOOR ENTERTAINMENT PERMIT**  
**VALID FROM JULY 1, 2021 THROUGH JUNE 30, 2022**

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**THE 5 O'CLOCK CLUB**  
**N28 W26658 PETERSON DRIVE**  
**PEWAUKEE, WI 53072**

In accordance with City of Pewaukee Ordinance Section 11.02 an outdoor entertainment permit has been issued for the following activities:

<b>DINING / DRINKING</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A	N/A	11:30 a.m. – 10:00 p.m.	11:30 a.m. – 10:00 p.m.	11:30 a.m. – 10:00 p.m.	11:30 a.m. – 10:00 p.m.	11:30 a.m. – 10:00 p.m.

<b>MUSIC</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A	N/A	11:30 a.m. – 10:00 p.m.	11:30 a.m. – 10:00 p.m.	11:30 a.m. – 10:00 p.m.	11:30 a.m. – 10:00 p.m.	11:30 a.m. – 10:00 p.m.

Given under my hand and the corporate seal of the City of Pewaukee, County of Waukesha, State of Wisconsin, this \_\_\_\_ day of June, 2021.

\_\_\_\_\_  
Kelly Tarczewski – Clerk/Treasurer

**\*NO CHANGES\***

# 2021 APPLICATION FOR OUTDOOR ACTIVITY ON PREMISES WHERE ALCOHOLIC BEVERAGES ARE CONSUMED

**FILING DEADLINE IS MAY 8<sup>th</sup>, 2020**

**ANNUAL FEE: \$30**

Boomers Sports Pub + Grill  
Name of Business

B-6  
Property Zoned

N29 W24483 Hwy M  
Address of Business

Pewaukee WI  
City

53072  
Zip

Tyler Paspera  
Contact Person / Agent for the Business

(262) 391-6000  
Phone Number

Tyler Paspera  
Owner of the Property

(262) 391-6000  
Owner's Phone Number

**RECEIVED**  
MAY 04 2021

CITY OF PEWAUKEE  
CLERK'S OFFICE

## LIST NORMAL BUSINESS HOURS OF OPERATION

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am-2pm	11am-2Am	11am-2Am	11am-2am	11am-2Am	11am-2:30am	11am-2:30am

**List Proposed Start to Finish Times on Each of the Days**

(Please mark "N/A" if not applicable)

## SPORTS RELATED OUTDOOR ACTIVITIES

### VOLLEYBALL

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am-9pm	11am-10pm	11am-10pm	11am-10pm	11am-10pm	11am-10pm	11am-9pm

### HORSESHOES

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### BAGS

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### CLAY TARGET SHOOTING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### OTHER

(please list in space below)

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

## ENTERTAINMENT RELATED OUTDOOR ACTIVITIES

DINING / DRINKING						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am - 9pm	11am - 10pm	11am - 10pm	11am - 10pm	11am - 10pm	11am - 10pm	11am - 10pm

TYPE OF AREA				
<input checked="" type="checkbox"/> DECK	<input type="checkbox"/> PATIO	<input type="checkbox"/> GARDEN	<input type="checkbox"/> DESIGNATED SMOKING AREA	<input type="checkbox"/> OTHER
Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area
Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity

TYPE OF MUSIC						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am - 8pm	11am - 10pm	11am - 10pm	11am - 10pm	11am - 10pm	11am - 11pm	11am - 11pm
<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified

**Sound:** Please list how many speakers you will have and on your site plan indicate where they will be located and where the sound is directed.

Just one SBL speaker

**Lighting:** Please list what types of lights you have, how many, what the wattage is and indicate where they will be located on your site plan.

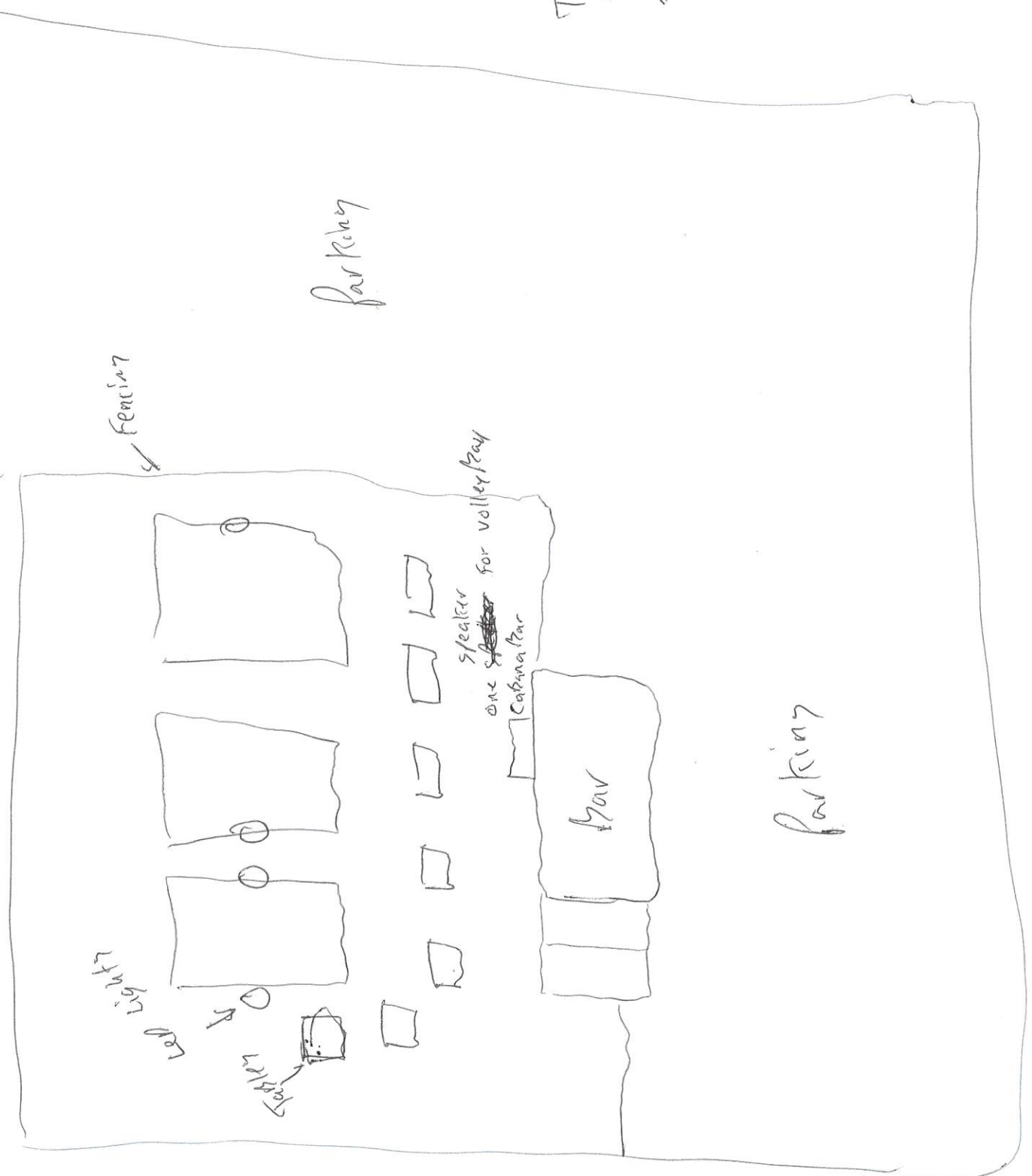
4 LED Volleyball lights

The following items **MUST** accompany this application:

- ☐ **SITE PLAN** to scale, showing buildings on the premises, outdoor facilities and distance to buildings on adjoining properties.
- ☐ **SCALED DRAWING OR MAP** showing the location of all speakers or other means of providing music, television and/or sporting activities.
- ☐ **BUILDING PLAN OF OPERATION** on File

If you have any questions about this process, please contact the Community Development Director Nick Fuchs, during his regular office hours of Monday through Friday 8:00 a.m. to 4:30 p.m. at (262) 691-0770.

Badmers  
 Sports  
 Pub +  
 Grill  
 129 W 24th St  
 Hwy 101  
 Newarker WI  
 53072  
 Tyler Pasdera  
 262-391-6000  
 TPasdera@gmail.com





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## OUTDOOR ENTERTAINMENT PERMIT

### VALID FROM JULY 1, 2021 THROUGH JUNE 30, 2022

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#### BOOMERS SPORTS BAR & GRILL N29 W24483 WATERTOWN ROAD PEWAUKEE, WI 53072

In accordance with City of Pewaukee Ordinance Section 11.02 an outdoor entertainment permit has been issued for the following activities:

VOLLEYBALL						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – 9 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10:00 p.m.	11 a.m. – 9 p.m.

DINING / DRINKING						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – 8 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.

MUSIC						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – 8 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 11 p.m.	11 a.m. – 11 p.m.

Given under my hand and the corporate seal of the City of Pewaukee, County of Waukesha, State of Wisconsin, this \_\_\_\_ day of June, 2021.

\_\_\_\_\_  
Kelly Tarczewski – Clerk/Treasurer

#### **\*NOTICE OF CHANGES FOR BOOMERS\***

Removal of Bags.

#### **VOLLEYBALL**

Friday hours were reduced to end at 10 p.m. instead of 10:30 p.m. Saturday hours were reduced to end at 9 p.m. instead of 10:30 p.m.

#### **DINING/DRINKING**

Sunday hours were increased to end at 9 p.m. instead of 8 p.m. Friday and Saturday hours were reduced to end at 10 p.m. instead of 11 p.m.

# 2021 APPLICATION FOR OUTDOOR ACTIVITY ON PREMISES WHERE ALCOHOLIC BEVERAGES ARE CONSUMED

**FILING DEADLINE IS MAY 8<sup>th</sup>, 2020**

**ANNUAL FEE: \$30**

Curlys Waterfront  
Name of Business PWC 0936022001

W272 N2696 Lakeview Blvd  
Address of Business

Ryan Gardner  
Contact Person / Agent for the Business

Kevin Kleczka  
Owner of the Property

Property Zoned \_\_\_\_\_  
Pewaukee 53072  
City Zip

(262) 691-4243  
Phone Number

(650) 799-8311  
Owner's Phone Number

**RECEIVED**  
**APR 23 2021**  
CITY OF PEWAUKEE  
CLERK'S OFFICE

## LIST NORMAL BUSINESS HOURS OF OPERATION

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am-2am	11am-2am	11am-2am	11am-2am	11am-2am	11am-2:30am	11am-2:30am

**List Proposed Start to Finish Times on Each of the Days**

*(Please mark "N/A" if not applicable)*

## SPORTS RELATED OUTDOOR ACTIVITIES

### VOLLEYBALL

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### HORSESHOES

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### BAGS

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### CLAY TARGET SHOOTING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### OTHER

*(please list in space below)*

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

## ENTERTAINMENT RELATED OUTDOOR ACTIVITIES

DINING / DRINKING						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am-10pm	11am-10pm	11am-10pm	11am-10pm	11am-10pm	11am-10pm	11am-10pm

TYPE OF AREA				
<input checked="" type="checkbox"/> DECK	<input type="checkbox"/> PATIO	<input type="checkbox"/> GARDEN	<input type="checkbox"/> DESIGNATED SMOKING AREA	<input type="checkbox"/> OTHER
Square Footage of Area 250 ft <sup>2</sup>	Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area
Seating Capacity 15	Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity

TYPE OF MUSIC						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified

**Sound:** Please list how many speakers you will have and on your site plan indicate where they will be located and where the sound is directed.

**Lighting:** Please list what types of lights you have, how many, what the wattage is and indicate where they will be located on your site plan.

**The following items MUST accompany this application:**

- ☐ **SITE PLAN** to scale, showing buildings on the premises, outdoor facilities and distance to buildings on adjoining properties.
- ☐ **SCALED DRAWING OR MAP** showing the location of all speakers or other means of providing music, television and/or sporting activities.
- ☐ **BUILDING PLAN OF OPERATION**

If you have any questions about this process, please contact the Community Development Director Nick Fuchs, during his regular office hours of Monday through Friday 8:00 a.m. to 4:30 p.m. at (262) 691-0770.



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**OUTDOOR ENTERTAINMENT PERMIT**  
**VALID FROM JULY 1, 2021 THROUGH JUNE 30, 2022**

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**CURLY'S WATERFRONT**  
**W272 N2696 LAKEVIEW BLVD**  
**PEWAUKEE, WI 53072**

In accordance with City of Pewaukee Ordinance Section 11.02 an outdoor entertainment permit has been issued for the following activities:

<b>DINING / DRINKING</b>						
<b>Sunday</b>	<b>Monday</b>	<b>Tuesday</b>	<b>Wednesday</b>	<b>Thursday</b>	<b>Friday</b>	<b>Saturday</b>
11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.

Given under my hand and the corporate seal of the City of Pewaukee, County of Waukesha, State of Wisconsin, this \_\_\_\_ day of June, 2021.

\_\_\_\_\_  
Kelly Tarczewski – Clerk/Treasurer

**\*NO CHANGES\***

# 2021 APPLICATION FOR OUTDOOR ACTIVITY ON PREMISES WHERE ALCOHOLIC BEVERAGES ARE CONSUMED

**RECEIVED**  
APR 29 2021

**FILING DEADLINE IS MAY 8<sup>th</sup>, 2020**

CITY OF PEWAUKEE  
ANNUAL FEE: \$30

Gina's Sports Deck  
Name of Business PWC

10278 N2345 Prospect Ave  
Address of Business

Gina M. Schwister  
Contact Person / Agent for the Business

Coleman Norris  
Owner of the Property

Business / Commercial  
Property Zoned

Pewaukee 53072  
City Zip

(262) 695-9600 work  
Phone Number 262-490-6072 cell

(+41) 79-619-4003  
Owner's Phone Number

## LIST NORMAL BUSINESS HOURS OF OPERATION

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11AM - 2AM	11AM - 2AM	11AM - 2AM	11AM - 2AM	11AM - 2AM	11AM - 2:30AM	11AM - 2:30AM

List Proposed Start to Finish Times on Each of the Days

(Please mark "N/A" if not applicable)

## SPORTS RELATED OUTDOOR ACTIVITIES

### VOLLEYBALL

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

### HORSESHOES

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

### BAGS

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

### CLAY TARGET SHOOTING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

### OTHER

(please list in space below)

BINGO

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
X	5:30-7pm (very quiet)	X	X	X	X	X

## ENTERTAINMENT RELATED OUTDOOR ACTIVITIES

### DINING / DRINKING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 AM - 2 AM	11 AM - 2 AM	11 AM - 2 AM	11 AM - 2 AM	11 AM - 2 AM	11 AM - 2:30 AM	11 AM - 2:30 AM

### TYPE OF AREA

<input type="checkbox"/> DECK	<input type="checkbox"/> PATIO	<input type="checkbox"/> GARDEN	<input type="checkbox"/> DESIGNATED SMOKING AREA	Beach Bar <input checked="" type="checkbox"/> OTHER
Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area
Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity 120

### TYPE OF MUSIC

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
Live 2-6 (11-9)	2-6 Live Holidays (11-9)	(11-9)	(11-9)	(11-9)	Live 3-7 (11-9)	Live 2-6 (11-9)
<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input type="checkbox"/> Unamplified

**Sound:** Please list how many speakers you will have and on your site plan indicate where they will be located and where the sound is directed.

2 speakers on opposite ends of building facing lake. Pointed down to beach area to keep noise from going across lake. Music (recorded) goes off at sundown. Bands have amplified speakers to reduce noise.

**Lighting:** Please list what types of lights you have, how many, what the wattage is and indicate where they will be located on your site plan.

4 Flood lights 2 each on South + North Points of building. 100 Wt. facing lake. Canted down on beach area.

The following items **MUST** accompany this application:

- ☐ **SITE PLAN** to scale, showing buildings on the premises, outdoor facilities and distance to buildings on adjoining properties.
- ☐ **SCALED DRAWING OR MAP** showing the location of all speakers or other means of providing music, television and/or sporting activities.
- ☐ **BUILDING PLAN OF OPERATION**

If you have any questions about this process, please contact the Community Development Director Nick Fuchs, during his regular office hours of Monday through Friday 8:00 a.m. to 4:30 p.m. at (262) 691-0770.



# Waukesha County GIS Map

LAND INFORMATION SYSTEMS DIVISION



## Legend

- Plats
- Assessor Plat
  - CSM
  - Condo Plat
  - Subdivision Plat

## Notes:

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Printed: 4/1/2015

0 93.73 Feet

## Business Plan of Operation

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Gina's Sports Dock  
W278 N2345 Prospect Ave  
Pewaukee, WI 53072  
262-695-9600

Bob and Gina Schwister, Owners

Gina Schwister, Business Operator  
W317 N8431 Hwy 83  
Hartland, WI 53029  
Phone Number 262-695-9600 Bar 262-490-6072 cell

Description of Business Operation: Bar and grill with Beach Bar

Type of Business: Service

Hours of Operation: 11:00 am opening 7 days a week  
Closing 2:00 am Sunday through Thursday  
Closing 2:30 am Friday and Saturday

Seasonal Operation of Beach Bar  
11:00 am opening 7 days a week  
Closing 10pm Sunday through Thursday \*  
Closing 11pm Friday and Saturday \*

- With any recorded music through speakers going off in time of city ordinances

Expected customers a day: 250 / 50 vehicles, at any given time (this will include boat traffic parked at our piers) this is an average of weekday traffic as well as weekend traffic.

Parking spaces: over 80

No overnight parking or outside storage

Public sewer and private well

Solid waste removal: GFL

No Flammable Substances

Building/Grounds Maintenance: Staff/TS Cleanup, LLC

Method of Security: Hired Staff

During hours of operation Gina's Sports Dock will serve food and drink to customers, offering recorded music and occasional live music at the main bar inside the building.

During hours of operation for the seasonal Beach Bar, Gina's Sports Dock will serve food and drinks to customers with recorded music through 2 speakers with an occasional band or acoustic musician or duo.

We offer plenty of parking for our customers as well as our entire staff without having to go off premise for parking.

Throughout the busy summer season as well as many weekends throughout the year we offer parking lot attendants for our customers to assure there are no parking issues and to make sure we utilize our property to the best we can.

All liquor and beer are stored at the main bar and beach bar for serving, with stock rooms in basement for back stock of both liquor and beer.

Property Owner:  
H. Coleman Norris  
Postfach 10  
Chalet am Renn  
Wargistalstrasse 68  
3818 Grindelwald Switzerland

Lease Holder:  
Gina and Robert Schwister  
GNB Enterprises, Inc.  
DBA Gina's Sports Dock  
W317 N8431 Hwy 83  
Hartland, WI 53029




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## OUTDOOR ENTERTAINMENT PERMIT

### VALID FROM JULY 1, 2021 THROUGH JUNE 30, 2022

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### GINA'S SPORTS DOCK W278 N2345 PROSPECT AVENUE PEWAUKEE, WI 53072

In accordance with City of Pewaukee Ordinance Section 11.02 an outdoor entertainment permit has been issued for the following activities:

<b>DINING / DRINKING / BEACH BAR</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – 2 a.m.	11 a.m. – 2 a.m.	11 a.m. – 2 a.m.	11 a.m. – 2 a.m.	11 a.m. – 2 a.m.	11 a.m. – 2:30 a.m.	11 a.m. – 2:30 a.m.

<b>MUSIC</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
Live Music 2 p.m. – 6 p.m. Recorded Amplified Music 11 a.m. – 9 p.m.	Live Music Only on Holidays 2 p.m. – 6 p.m. Recorded Amplified Music 11 a.m. – 9 p.m.	Recorded Amplified Music 11 a.m. – 9 p.m.	Recorded Amplified Music 11 a.m. – 9 p.m.	Recorded Amplified Music 11 a.m. – 9 p.m.	<b>Live Music</b> <b>3 p.m. –</b> <b>7 p.m.</b> Recorded Amplified Music 11 a.m. – 9 p.m.	Live Music 2 p.m. – 6 p.m. Recorded Amplified Music 11 a.m. – 9 p.m.

<b>BINGO</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
	<b>5:30 p.m. –</b> <b>7 p.m.</b>					

Given under my hand and the corporate seal of the City of Pewaukee, County of Waukesha, State of Wisconsin, this \_\_\_\_ day of June, 2021.

\_\_\_\_\_  
Kelly Tarczewski – Clerk/Treasurer



**\*NOTICE OF CHANGE FOR GINA'S SPORTS DOCK\***

Addition of Bingo.

**MUSIC:**

Addition of Live Music on Fridays from 3 p.m. to 7 p.m.

DRAFT

**2021 APPLICATION FOR OUTDOOR ACTIVITY  
ON PREMISES WHERE ALCOHOLIC BEVERAGES ARE CONSUMED**

**RECEIVED**  
APR 28 2021  
CLERK'S OFFICE

**FILING DEADLINE IS MONDAY, MAY 3<sup>rd</sup>, 2021**

**ANNUAL FEE: \$30**  
PEWAUKEE  
CLERK'S OFFICE

The Station Pub & Grill  
Name of Business PWC 0914981 801

W226 N3013 Duplainville Road  
Address of Business

Danielle Zinda  
Contact Person / Agent for the Business

Gregory Zinda  
Owner of the Property

Commercial  
Property Zoned

Pewaukee 53072  
City Zip

(262) 695-5300  
Phone Number

(262) 542-9710  
Owner's Phone Number

**LIST NORMAL BUSINESS HOURS OF OPERATION**

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am - 8pm	11am - 12am	11am - 12am	11am - 12am	11am - 12am	11am - 2:30am	11am - 2:30am

**List Proposed Start to Finish Times on Each of the Days**

*(Please mark "N/A" if not applicable)*

**SPORTS RELEATED OUTDOOR ACTIVITIES**

**VOLLEYBALL**

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

**HORSESHOES**

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am - 8pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm

league on Tuesday evenings during summer, but open to patrons @ any time.

**BAGS**

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

**CLAY TARGET SHOOTING**

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

**OTHER**

*(please list in space below)*

Soccer Golf

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am - 8pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm

## ENTERTAINMENT RELATED OUTDOOR ACTIVITIES

DINING / DRINKING						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am - 7pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm

TYPE OF AREA				
<input type="checkbox"/> DECK	<input checked="" type="checkbox"/> PATIO	<input type="checkbox"/> GARDEN	<input type="checkbox"/> DESIGNATED SMOKING AREA	<input type="checkbox"/> OTHER
Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area
	Approx 500ft <sup>2</sup>			
Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity
	24			

TYPE OF MUSIC						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
NONE						
<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified

**Sound:** Please list how many speakers you will have and on your site plan indicate where they will be located and where the sound is directed.

N/A

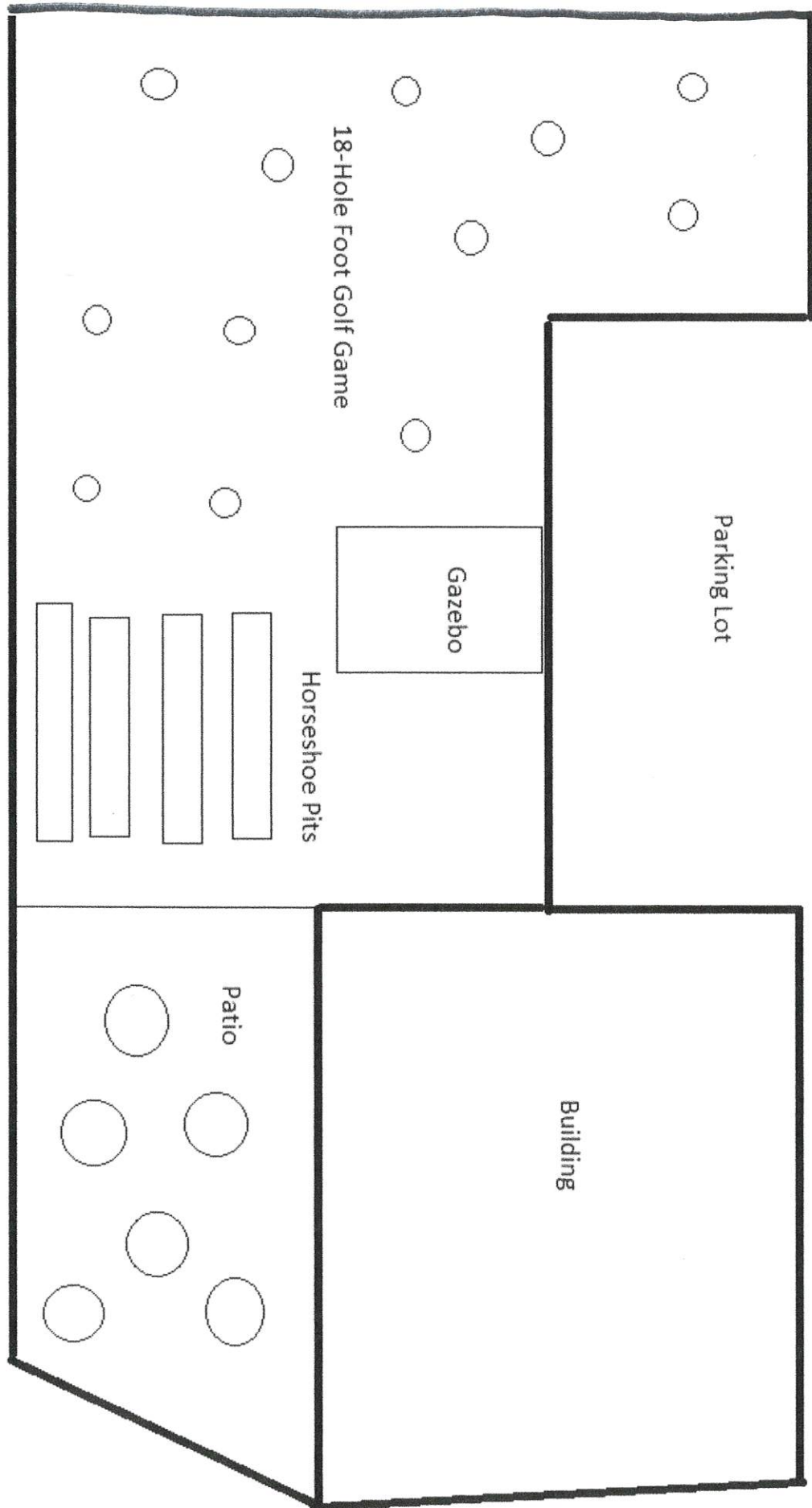
**Lighting:** Please list what types of lights you have, how many, what the wattage is and indicate where they will be located on your site plan.

N/A - Parking lot lights only

**The following items MUST accompany this application:**

- ☐ **SITE PLAN** to scale, showing buildings on the premises, outdoor facilities and distance to buildings on adjoining properties.
- ☐ **SCALED DRAWING OR MAP** showing the location of all speakers or other means of providing music, television and/or sporting activities.
- ☐ **BUILDING PLAN OF OPERATION**

If you have any questions about this process, please contact the Community Development Director Nick Fuchs, during his regular office hours of Monday through Friday 8:00 a.m. to 4:30 p.m. at (262) 691-0770.





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**OUTDOOR ENTERTAINMENT PERMIT**  
**VALID FROM JULY 1, 2021 THROUGH JUNE 30, 2022**

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**THE STATION PUB & GRILL**  
**W226 N3013 DUPLAINVILLE ROAD**  
**WAUKESHA, WI 53186**

In accordance with City of Pewaukee Ordinance Section 11.02 an outdoor entertainment permit has been issued for the following activities:

<b>SOCCER GOLF</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – 8 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.

<b>HORSESHOES</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – 8 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.

<b>DINING / DRINKING</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – <b>7 p.m.</b>	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.

Given under my hand and the corporate seal of the City of Pewaukee, County of Waukesha, State of Wisconsin, this \_\_\_\_\_ day of June, 2021.

\_\_\_\_\_  
Kelly Tarczewski – Clerk/Treasurer

**\*NOTICE OF CHANGES FOR THE STATION\***

**DINING/DRINKING**

Sunday hours were reduced to end at 7 p.m. instead of 8 p.m.

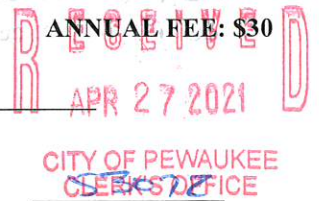
# 2021 APPLICATION FOR OUTDOOR ACTIVITY ON PREMISES WHERE ALCOHOLIC BEVERAGES ARE CONSUMED

**FILING DEADLINE IS MAY 8<sup>th</sup>, 2020**

**ANNUAL FEE: \$30**

Sunset Grill & Pizzeria  
Name of Business PWC 0935977  
W278 N2315 Prospect Ave  
Address of Business PWC 0935977  
Bennie Kook  
Contact Person / Agent for the Business  
Anne Ber LLC (Bennie Kook)  
Owner of the Property

B3  
Property Zoned  
Pewaukee  
City  
262  
Zip  
(414) 696-4578  
Phone Number  
(414) 350-1133  
Owner's Phone Number



## LIST NORMAL BUSINESS HOURS OF OPERATION

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<u>11:00 AM</u> <u>2:00 AM</u>	<u>11:00 AM</u> <u>7:00 AM</u>	<u>11:00 AM</u> <u>2:00 AM</u>	<u>11:00 AM</u> <u>2:00 AM</u>	<u>11:00 AM</u> <u>2:00 AM</u>	<u>11:00 AM</u> <u>7:30 AM</u>	<u>11:00 AM</u> <u>2:30 AM</u>

List Proposed Start to Finish Times on Each of the Days

(Please mark "N/A" if not applicable)

## SPORTS RELATED OUTDOOR ACTIVITIES

### VOLLEYBALL

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>

### HORSESHOES

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>

### BAGS

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<u>11:00 AM</u> <u>Sunset</u>	<u>11:00 AM</u> <u>Sunset</u>	<u>11:00 AM</u> <u>Sunset</u>	<u>11:00 AM</u> <u>Sunset</u>	<u>11:00 AM</u> <u>Sunset</u>	<u>11:00 AM</u> <u>Sunset</u>	<u>11:00 AM</u> <u>Sunset</u>

### CLAY TARGET SHOOTING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>

### OTHER

(please list in space below)

BOLLE BALL

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<u>11:00</u> <u>Sunset</u>	<u>11:00</u> <u>Sunset</u>	<u>11:00</u> <u>Sunset</u>	<u>11:00</u> <u>Sunset</u>	<u>11:00</u> <u>Sunset</u>	<u>11:00</u> <u>Sunset</u>	<u>11:00</u> <u>Sunset</u>

## ENTERTAINMENT RELATED OUTDOOR ACTIVITIES

### DINING / DRINKING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
9:00 AM 2:00 AM	11:00 AM 2:00 AM	11:00 AM 2:00 AM	11:00 AM 2:00 AM	11:00 AM 2:00 AM	11:00 AM 2:30 AM	11:00 AM 2:30 AM

### TYPE OF AREA

<input checked="" type="checkbox"/> DECK	<input checked="" type="checkbox"/> PATIO	<input checked="" type="checkbox"/> GARDEN	<input checked="" type="checkbox"/> DESIGNATED SMOKING AREA	<input checked="" type="checkbox"/> OTHER
Square Footage of Area 613	Square Footage of Area 2880	Square Footage of Area 1982	Square Footage of Area 252	Square Footage of Area N/A
Seating Capacity 55	Seating Capacity 170	Seating Capacity 72	Seating Capacity -0-	Seating Capacity -0-

### TYPE OF MUSIC

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11:00 AM 9:00 PM	11:00 AM 9:00 PM	11:00 AM 9:00 PM	11:00 AM 9:00 PM	11:00 AM 9:00 PM	11:00 AM 11:00 PM	11:00 AM 11:00 PM
<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input checked="" type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input checked="" type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input checked="" type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input checked="" type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input checked="" type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input checked="" type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input checked="" type="checkbox"/> Unamplified

**Sound:** Please list how many speakers you will have and on your site plan indicate where they will be located and where the sound is directed.

8 Speakers directed into the building surrounding the outdoor seating/dining patio and deck area.

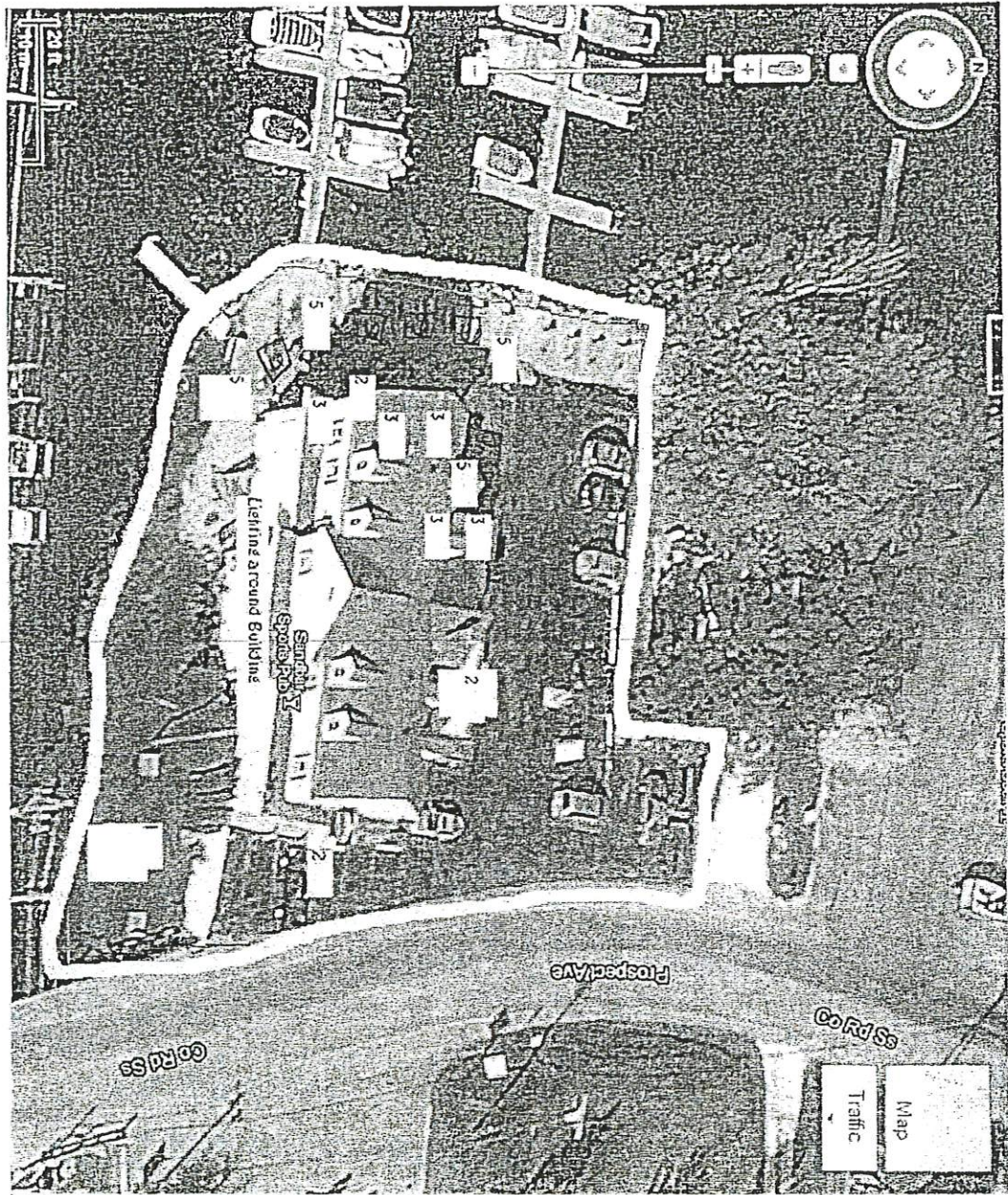
**Lighting:** Please list what types of lights you have, how many, what the wattage is and indicate where they will be located on your site plan.

2 300 lumen LED floodlights shining on parking lot  
40 11" watt LED recessed accent lights around the building  
1 string of LED light decorating lights over the patio/deck area  
5 3000 lumen LED floodlights shining on porch

The following items **MUST** accompany this application:

- ☒ **SITE PLAN** to scale, showing buildings on the premises, outdoor facilities and distance to buildings on adjoining properties.
- ☒ **SCALED DRAWING OR MAP** showing the location of all speakers or other means of providing music, television and/or sporting activities.
- ☒ **BUILDING PLAN OF OPERATION**

If you have any questions about this process, please contact the Community Development Director Nick Fuchs, during his regular office hours of Monday through Friday 8:00 a.m. to 4:30 p.m. at (262) 691-0770.



- 1 = Horse shoe Pits
- 2 = Smoking Areas
- 3 = Speakers (5 Speakers on Patio)  
Live entertainment on Patio
- 4 = Bar
- 5 = Dining (All Patio)  
Lining wraps around building with 40-50  
water can tents and 6 speakers on lot.

#### 6. Additional Speakers




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## OUTDOOR ENTERTAINMENT PERMIT

### VALID FROM JULY 1, 2021 THROUGH JUNE 30, 2022

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### SUNSET GRILL W278 N2315 PROSPECT AVENUE PEWAUKEE, WI 53072

In accordance with City of Pewaukee Ordinance Section 11.02 an outdoor entertainment permit has been issued for the following activities:

<b>BAGS</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset

<b>BOCCE BALL</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset

<b>DINING / DRINKING</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – 2 a.m.	11 a.m. – 2 a.m.	11 a.m. – 2 a.m.	11 a.m. – 2 a.m.	11 a.m. – 2 a.m.	11 a.m. – 2:30 a.m.	11 a.m. – 2:30 a.m.

<b>MUSIC</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 11 p.m.	11 a.m. – 11 p.m.

Given under my hand and the corporate seal of the City of Pewaukee, County of Waukesha, State of Wisconsin, this \_\_\_\_ day of June, 2021.

\_\_\_\_\_  
Kelly Tarczewski – Clerk/Treasurer

**\*NO CHANGES\***

# 2021 APPLICATION FOR OUTDOOR ACTIVITY ON PREMISES WHERE ALCOHOLIC BEVERAGES ARE CONSUMED

**FILING DEADLINE IS MONDAY, MAY 3<sup>rd</sup>, 2021**

**ANNUAL FEE: \$30**

Waukesha Gun Club

Name of Business

N22 W23170 Watertown Rd

Address of Business

Pat Gerbensky - Pres.

Contact Person / Agent for the Business

Waukesha Gun Club

Owner of the Property

Property Zoned

Waukesha, WI 53188

City

Zip

(262) 470-1635

Phone Number

(262) 541-9785

Owner's Phone Number

**RECEIVED**  
MAY 04 2021  
CITY OF PEWAUKEE  
CLERK'S OFFICE

## LIST NORMAL BUSINESS HOURS OF OPERATION

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
9am - 3pm	CLOSED	12 - 8pm	12 - 8pm	12 - 8pm	9 - 3pm	9 - 3pm

List Proposed Start to Finish Times on Each of the Days

(Please mark "N/A" if not applicable)

## SPORTS RELATED OUTDOOR ACTIVITIES

### VOLLEYBALL

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

### HORSESHOES

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

### BAGS

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

### CLAY TARGET SHOOTING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
8am - 10pm	8am - 10pm	8am - 10pm	8am - 10pm	8am - 10pm	8am - 10pm	8am - 10pm

### OTHER

(please list in space below)

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

## ENTERTAINMENT RELATED OUTDOOR ACTIVITIES

DINING / DRINKING						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
8 <sup>am</sup> -10pm	8am-10pm	8am-10pm	8am-10pm	8am-10pm	8am-10pm	8am-10pm
* Drinking after shooting <u>ONLY</u>						
TYPE OF AREA						
<input type="checkbox"/> DECK	<input checked="" type="checkbox"/> PATIO	<input type="checkbox"/> GARDEN	<input type="checkbox"/> DESIGNATED SMOKING AREA	<input type="checkbox"/> OTHER		
Square Footage of Area  N/A	Square Footage of Area  1600	Square Footage of Area  N/A	Square Footage of Area  N/A	Square Footage of Area  N/A		
Seating Capacity	Seating Capacity  100	Seating Capacity	Seating Capacity	Seating Capacity		

TYPE OF MUSIC						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A	→					
<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified

**Sound:** Please list how many speakers you will have and on your site plan indicate where they will be located and where the sound is directed.

N/A

**Lighting:** Please list what types of lights you have, how many, what the wattage is and indicate where they will be located on your site plan.

(5) Trap, Skeeet Field are lighted for  
night shooting

The following items **MUST** accompany this application:

- ☐ **SITE PLAN** to scale, showing buildings on the premises, outdoor facilities and distance to buildings on adjoining properties.
- ☐ **SCALED DRAWING OR MAP** showing the location of all speakers or other means of providing music, television and/or sporting activities.
- ☐ **BUILDING PLAN OF OPERATION**

If you have any questions about this process, please contact the Community Development Director Nick Fuchs, during his regular office hours of Monday through Friday 8:00 a.m. to 4:30 p.m. at (262) 691-0770.

Southeast one-quarter of Section 14  
T7N R19E  
City of Pewaukee, Waukesha County

PAUL ROAD

CTH M

Gan Club  
Property

LEGEND

PROPOSED EXCAVATION SITE

PROPOSED DREDGE SPOIL DISPOSAL SITE

WETLAND BOUNDARY

SECONDARY ENVIRONMENTAL CORRIDOR

2 PLANT COMMUNITY NUMBER

WETLAND STAKED BY SEWRPC ON 6/5/2001

SOURCE: SEWRPC

200 0 200 400 Feet



Date of Photography: 2000



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**OUTDOOR ENTERTAINMENT PERMIT**  
**VALID FROM JULY 1, 2021 THROUGH JUNE 30, 2022**

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**WAUKESHA GUN CLUB**  
**N22 W23170 WATERTOWN ROAD**  
**WAUKESHA, WI 53188**

In accordance with City of Pewaukee Ordinance Section 11.02 an outdoor entertainment permit has been issued for the following activities:

<b>CLAY TARGET SHOOTING</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.

<b>DINING / DRINKING</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.

Given under my hand and the corporate seal of the City of Pewaukee, County of Waukesha, State of Wisconsin, this \_\_\_\_ day of June, 2021.

\_\_\_\_\_  
Kelly Tarczewski – Clerk/Treasurer

**\*NO CHANGES\***

# 2021 APPLICATION FOR OUTDOOR ACTIVITY ON PREMISES WHERE ALCOHOLIC BEVERAGES ARE CONSUMED

**FILING DEADLINE IS MONDAY, MAY 3<sup>rd</sup>, 2021**

**ANNUAL FEE: \$30**

WONDERLAND TAP  
Name of Business PWC 0948996  
W233 N536 HY F  
Address of Business  
Robert BOETHEN  
Contact Person / Agent for the Business  
Robert BOETHEN  
Owner of the Property

Property Zoned  
Waukegan 53188  
City Zip  
(262) 227-6782  
Phone Number  
(262) 547-6788  
Owner's Phone Number

RECEIVED  
APR 30 2021  
CITY OF PEWAUKEE  
CLERK'S OFFICE

## LIST NORMAL BUSINESS HOURS OF OPERATION

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
10AM-2AM	10AM-2AM	10AM-2AM	10AM-2AM	6AM-2AM	6AM-2AM	10AM-2AM

**List Proposed Start to Finish Times on Each of the Days**

*(Please mark "N/A" if not applicable)*

## SPORTS RELATED OUTDOOR ACTIVITIES

### VOLLEYBALL

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### HORSESHOES

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
1PM-10PM <del>10PM-</del>						1PM-10PM

### BAGS

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### CLAY TARGET SHOOTING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### OTHER

*(please list in space below)*

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

## ENTERTAINMENT RELATED OUTDOOR ACTIVITIES

DINING / DRINKING						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

TYPE OF AREA				
<input type="checkbox"/> DECK	<input type="checkbox"/> PATIO	<input type="checkbox"/> GARDEN	<input type="checkbox"/> DESIGNATED SMOKING AREA	<input type="checkbox"/> OTHER
Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area
Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity

TYPE OF MUSIC						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified

**Sound:** Please list how many speakers you will have and on your site plan indicate where they will be located and where the sound is directed.

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**Lighting:** Please list what types of lights you have, how many, what the wattage is and indicate where they will be located on your site plan.

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**The following items MUST accompany this application:**

- ☐ **SITE PLAN** to scale, showing buildings on the premises, outdoor facilities and distance to buildings on adjoining properties.
- ☐ **SCALED DRAWING OR MAP** showing the location of all speakers or other means of providing music, television and/or sporting activities.
- ☐ **BUILDING PLAN OF OPERATION**

If you have any questions about this process, please contact the Community Development Director Nick Fuchs, during his regular office hours of Monday through Friday 8:00 a.m. to 4:30 p.m. at (262) 691-0770.



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**OUTDOOR ENTERTAINMENT PERMIT**  
**VALID FROM JULY 1, 2021 THROUGH JUNE 30, 2022**

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**WONDERLAND TAP**  
**W233 N536 HWY F**  
**WAUKESHA, WI 53186**

In accordance with City of Pewaukee Ordinance Section 11.02 an outdoor entertainment permit has been issued for the following activities:

<b>HORSESHOES</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
1 p.m. – 10 p.m.	1 p.m. – 10 p.m.	1 p.m. – 10 p.m.	1 p.m. – 10 p.m.	1 p.m. – 10 p.m.	1 p.m. – 10 p.m.	1 p.m. – 10 p.m.

Given under my hand and the corporate seal of the City of Pewaukee, County of Waukesha, State of Wisconsin, this \_\_\_\_ day of June, 2021.

\_\_\_\_\_  
Kelly Tarczewski – Clerk/Treasurer

**\*NOTICE OF CHANGE FOR WONDERLAND TAP\***

**HORSESHOES**

Hours were increased to end at 10 p.m. instead of 9 p.m.

**CITY OF PEWAUKEE  
PLAN COMMISSION AGENDA ITEM 4.**

**DATE:** May 20, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:**

***SUBJECT:***

Discussion and Possible Action Regarding a Revised Conceptual Plan by Interstate Partners for a Proposed Multi-Family Apartment Development Located at N18 W22670 Watertown Road (PWC 0958990005 & PWC 0958990006)

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

Interstate Partners Staff Report 5.20.21

Interstate Partners Staff Report 3.18.21

Interstate Partners Revised Conceptual Plans



**Office of the Planning & Community Development Director**  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of May 20, 2021

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**Date:** May 11, 2021

**Project Name:** Interstate Partners Multi-Family Apartments Conceptual Review

**Project Address/Tax Key No.:** Approximately N18W22670 Watertown Road/PWC 0958990005 & 0958990006

**Applicant:** Interstate Partners II LLC

**Property Owner:** Marincic Family LLC

**Current Zoning:** A-2 Agricultural District and LC Lowland Conservancy District

**2050 Land Use Map Designation:** Medium Density Residential (6,500 Sq. Ft. – 1/2 Ac./D.U.) and Flood Plains, Lowland & Upland Conservancy, and other natural areas

**Use of Surrounding Properties:** Single-family residential to the north and east and agricultural land to the south and west

---

### Project Description

At the March 18, 2021 Plan Commission meeting, the applicant presented conceptual plans for a multi-family development for properties located at the northwest corner of Watertown Road and North Avenue.

The table below shows the applicant's changes in dwelling units and density.

	<b>3-18-21 Plan Commission Concept</b>	<b>5-20-21 Plan Commission Concept</b>
<b>Number of buildings</b> (not including clubhouse)	13	10
<b>Number of units</b>	237	174
<b>Gross Density</b>	7.01	5.15
<b>Net Density</b>	9.19	6.74

Other site plan changes include:

- Increased setback and buffer from the existing single-family residential along Elmwood Drive.
- The Site Plan illustrates the drive through the wetland and environmental portion of the site to connect the north and south portions of the development.
- Ingress/egress via Elmwood Drive is shown as emergency access only.
- Two exit lanes are included on the Watertown Road egress.
- An ingress/egress was added to North Avenue.

The March 18<sup>th</sup> report to the Plan Commission is attached for additional information.

## **Recommendation**

No action required.

It is recommended that sufficient feedback be provided to allow the applicant to determine whether to proceed or not with detailed site and building plans as well as the Rezoning, Conditional Use Permit, and Site & Building Plan Review applications.



**Office of the Planning & Community Development Director**  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of March 18, 2021

---

**Date:** March 11, 2021

**Project Name:** Interstate Partners Multi-Family Apartments Conceptual Review

**Project Address/Tax Key No.:** Approximately N18W22670 Watertown Road/PWC 0958990005 & 0958990006

**Applicant:** Interstate Partners II LLC

**Property Owner:** Marincic Family LLC

**Current Zoning:** A-2 Agricultural District and LC Lowland Conservancy District

**2050 Land Use Map Designation:** Medium Density Residential (6,500 Sq. Ft. – 1/2 Ac./D.U.) and Flood Plains, Lowland & Upland Conservancy, and other natural areas

**Use of Surrounding Properties:** Single-family residential to the north and east and agricultural land to the south and west

---

### Project Description

The applicant submitted conceptual plans for Plan Commission review of a proposed multi-family apartment development upon two properties located at approximately N18W22670 Watertown Road. The properties are located at the northwest corner of North Avenue and Watertown Road and both properties are used for agricultural purposes. The easternmost property is vacant and the westernmost property contains a single-family home. There is also an environmental corridor and wetland area that runs east/west and divides the sites into two halves.

The proposed development consists of 237 dwelling units within 13 two-story buildings. The total acreage of the two sites is about 33.8 acres. This results in a gross density of about 7 units per acre and a net density of approximately 9 units per acre. Note net density only counts 20% of the wetland area, but does include other portions of the environmental corridor. In total, the site contains roughly 10 acres of environmental corridor and wetland area.

The conceptual plan illustrates building locations, exterior parking areas, and potential storm water pond locations. It also includes a clubhouse and courtyard on the southern portion of the site and a large amenity area on the north side of the development. Additionally, the plan includes landscape berms to buffer the existing single-family homes along Elmwood Drive.

The northern portion of the site will be accessed from Elmwood Drive and the southern portion from Watertown Road. There is an existing 66-foot wide strip of right-of-way extending from Elmwood Drive between two existing single-family properties, which was dedicated to the City via CSM No. 9269. The applicant is also showing a possible drive that would connect the north and south development areas; however, that drive will require WDNR approvals as it will impact wetlands.

The subject properties are currently zoned A-2 Agricultural District and LC Lowland Conservancy District. With a net density of 9 dwelling units per acre or less, the properties would be rezoned to Rm-2 District to accommodate the development. Note that wetland and natural resource areas would be zoned or remained zoned as LC District.

The sample renderings provided show the buildings primarily consisting of multiple siding types and stone. The buildings also include balconies and awnings over the individual entrances.

The future land use designation is Medium Density Residential (6,500 Sq. Ft. – 1/2 Ac./D.U.) and Flood Plains, Lowland & Upland Conservancy, and other natural areas. Based upon the standard of 6,500 square feet per dwelling unit, 226 units is the maximum allowed under the Medium Density designation. At 237 units, the project would require a Comprehensive Master Plan Amendment to High Density Residential.

The Rm-2 District permits three to eight unit multiple-family structures with one 2-car attached or detached garage per unit as defined in Section 17.1402. The proposed buildings and parking does not meet this use. However, the Rm-2 District allows cluster developments as a Conditional Use, subject to the following:

PUD's shall comply with the following minimum standards:

- (a) The minimum PUD development area shall be 25 acres.
- (b) The minimum PUD lot or space area shall not be less than 0.22 acre with not less than 3,227 square feet per dwelling unit.
- (c) The minimum average PUD lot or space width shall be 100 feet per detached three or four-unit structure and 20 feet for each unit of a townhouse or attached condominium complex.
- (d) The minimum PUD building height and size shall be the same as required for permitted principal uses, however, the yard requirements as set forth in "f" 1 and 3 below may be reduced by 30 percent.
- (e) No detached principal structure shall be located closer than 40 feet to another structure within the development. Yards adjacent to exterior property lines shall not be less than those required for permitted principal uses.

According to the applicant, the greenspace, building separation, parking, building height, and all Rm-2 District standards are met.

As currently designed, it is anticipated that the project will require a Rezoning, Comprehensive Master Plan Amendment, Conditional Use Permit, and a Site & Building Plan Review Application.

## **Recommendation**

No action required.

It is recommended that sufficient feedback be provided to allow the applicant to determine whether to proceed or not with detailed site and building plans as well as the Rezoning, Comprehensive Master Plan Amendment, if required, Conditional Use Permit, and Site & Building Plan Review applications.



# Interstate Partners LLC

N16 W23217 Stone Ridge Drive • Suite 120 • Waukesha, WI 53188 • Tel: 262.506.1000 • Fax: 262.506.1001 • [interstatepartners.com](http://interstatepartners.com)

May 5, 2021

City of Pewaukee  
W240 N3065 Pewaukee Road  
Pewaukee, WI 53072

**RE: Revised request for Conceptual Review of rezoning of agricultural land located near Watertown Road and North Avenue.**

Interstate Partners, a local commercial developer, is requesting the Plan Commission provide a Conceptual Review of our **revised** request to rezone an approximately 33.8-acre site located at N18W22670 Watertown Road in Pewaukee. The requested zoning change is from Agricultural to a multi-family use. We have provided a site plan and renderings illustrating an example of the proposed use and layout.

We last came before Plan Commission on March 18, 2021 for conceptual review with a plan showing 237 total residential units, or 9 units per acre (after accounting for the factor of 20% for wetlands). At that March meeting, we heard members of Plan Commission voice several concerns related to density, train traffic and neighbors along Elmwood Drive.

We have revised the proposed site plan in an effort to improve the effects a rezoning may have on land immediately surrounding the site, and lessen some of the concerns with this site being rezoned to multi-family.

**SUMMARY OF REVISIONS TO PREVIOUS PLAN:**

- Reduced density from 237 residential units (9/acre) to 174 units (6.7/acre) for a total reduction of 63 units. (When only looking at total units compared to overall acreage without accounting for wetlands – the ratio is 5.15 units per acre). This falls under the medium density designation, which is what is called for in the Pewaukee Comprehensive Master Plan.
- Increased green space and increased distance from the proposed residential buildings to the nearest existing homes. As noted on the plan, the nearest home on Elmwood Drive is now 320 feet away from the nearest proposed residential building, with landscape buffers and berms between the two.
- We would seek approvals to cross the environmental corridor with a road as shown on the plan, leaving the Elmwood Drive connection for emergency vehicles only and propose to have this drive chained off for public ingress/egress.
- We are proposing two exit lanes leaving this site onto Watertown Road. This will allow cars leaving the project the ability to queue within the site boundaries in the event there is train traffic, while still allowing others to turn left, or exit or enter the site off a new North Avenue ingress/egress drive. This new drive is shown on the site plan, all being subject to city and county approvals.

There are high barriers to entry today when trying to buy a single-family home, including high home purchase prices, lack of inventory and increased costs of raw materials. A new, Class A multifamily development with various price points such as this allows people the ability to live in a community such as Pewaukee until they either choose to purchase a home, or downsize from a previously-owned home. Each of the proposed units has its own garage and its own private entry, which are both highly sought after in today's rental market.

Given this site's proximity to the train tracks, surrounding commercial uses including the gun club, and the nearby single-family homes, we believe this proposal provides a high-quality transition for all nearby uses. We would also work with the city on the extension of sewer currently located near the bridge on Watertown Road.

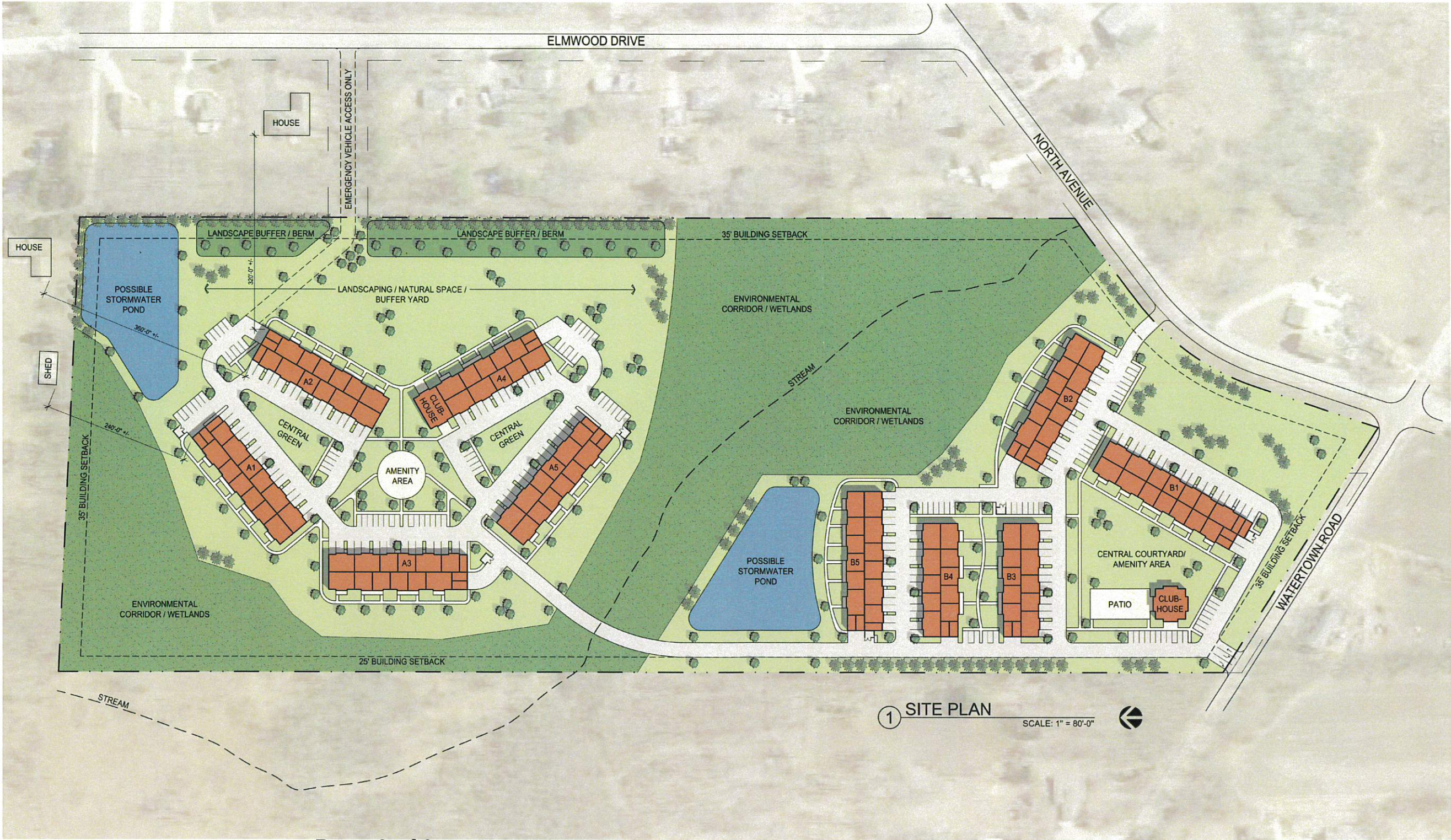
Thank you for consideration of this matter. We look forward to continuing our long partnership with the City of Pewaukee.

Please feel free to contact Caroline Brzezinski with any questions or comments.

Sincerely,

A handwritten signature in cursive script, appearing to read "Caroline Brzezinski".

Caroline Brzezinski  
Vice President, Interstate Partners  
262-506-6204  
[cb@interstatepartners.com](mailto:cb@interstatepartners.com)



<b>SITE AREA:</b> <ul style="list-style-type: none"><li>- APPROX. 33.8 ACRES (+/-)</li></ul>	
<b>NORTHERN, BUILDINGS/UNITS:</b> <ul style="list-style-type: none"><li>- BUILDING A1: (11) 1-BR, (7) 2-BR, 18 TOTAL</li><li>- BUILDING A2: (11) 1-BR, (7) 2-BR, 18 TOTAL</li><li>- BUILDING A3: (11) 1-BR, (7) 2-BR, 18 TOTAL</li><li>- BUILDING A4: (10) 1-BR, (5) 2-BR, 15 TOTAL</li><li>- BUILDING A5: (11) 1-BR, (7) 2-BR, 18 TOTAL</li></ul>	<b>SOUTHERN, BUILDINGS/UNITS:</b> <ul style="list-style-type: none"><li>- BUILDING B1: (14) 1-BR, (7) 2-BR, 21 TOTAL</li><li>- BUILDING B2: (11) 1-BR, (7) 2-BR, 18 TOTAL</li><li>- BUILDING B3: (10) 1-BR, (5) 2-BR, 15 TOTAL</li><li>- BUILDING B4: (10) 1-BR, (5) 2-BR, 15 TOTAL</li><li>- BUILDING B5: (11) 1-BR, (7) 2-BR, 18 TOTAL</li></ul>
<b>NORTHERN TOTAL:</b> <ul style="list-style-type: none"><li>- (54) 1BR (62%)</li><li>- (33) 2BR (38%)</li><li>- 87 TOTAL UNITS</li></ul>	<b>SOUTHERN TOTAL:</b> <ul style="list-style-type: none"><li>- (56) 1BR (64%)</li><li>- (31) 2BR (36%)</li><li>- 87 TOTAL UNITS</li></ul>
<b>NORTHERN PARKING:</b> 131 SURFACE SPACES 87 GARAGE SPACES (1 PER UNIT) 218 TOTAL SPACES (2.50 PER UNIT)	<b>SOUTHERN PARKING:</b> 131 SURFACE SPACES 87 GARAGE SPACES (1 PER UNIT) 218 TOTAL SPACES (2.50 PER UNIT)



PURE architecture studio, llc  
735 N Water Street, Suite 1228  
Milwaukee, WI 53202  
www.pure-arch.com

**PROJECT**

Pewaukee  
Multifamily

**OWNER**

Interstate Partners /  
Red Sky Partners

This drawing, its design concept, and its detail are the sole property of PURE architecture studio, llc and shall not be copied in any form or manner, or used on any other projects, without written authorization of its designer/creator.

REVISIONS		
NO.	DESCRIPTION	DATE

INFORMATION	
PROJECT ARCHITECT	PA
PROJECT MANAGER	
PROJECT NUMBER	
ISSUED FOR	REVIEW
DATE	04.09.2021

**SHEET**

SITE PLAN CONCEPT

SP1.1



**CITY OF PEWAUKEE  
PLAN COMMISSION AGENDA ITEM 5.**

**DATE:** May 20, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:**

***SUBJECT:***

Discussion and Action Regarding the Revised Site and Building Plans for Badgerland Supply Located at W229 N2450 Homewood Court for the Purpose of Enclosing Three Existing Buildings (PWC 0915994001)

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

Badgerland Supply Staff Report 5.20.21

Badgerland Supply Staff Report 4.15.21

Badgerland Supply Revised Site & Building Plans



**Office of the Planner & Community Development Director**  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of May 20, 2021

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**Date:** May 12, 2021

**Project Name:** Badgerland Supply Site & Building Plan Review

**Project Address/Tax Key No.:** W229N2450 Homewood Court/PWC 0915994001

**Applicant:** Boyd Coleman, StrucRite, Inc.

**Property Owner:** Klumb Holdings LLC

**Current Zoning:** M-2 Limited Industrial District

**2050 Land Use Map Designation:** Manufacturing/Fabrication/Warehousing

**Use of Surrounding Properties:** Industrial properties with outdoor storage (zoned M-2 District) to the north and west, an M-6 District zoned industrial property to the south, and the Canadian National Railroad to the east

---

### Project Description/Analysis

At their April 15, 2021 meeting, the Plan Commission took no action regarding the Badgerland Supply proposed building modifications to enclose the three existing buildings located on their properties. The Plan Commission expressed concerns regarding the use of metal as a primary building material.

As such, the applicant has revised plans to replace the metal wall panels with a Hardie Panel & Battens siding. The color of the siding will be white to match the existing color of the buildings.

The April 15<sup>th</sup> report to the Plan Commission is attached for further information.

### Recommendation

A motion to approve the Site & Building Plan Review Application for Badgerland Supply, Inc., subject to the following conditions.

- The two properties shall be combined via Certified Survey Map as the properties function as a single development.
- The applicant shall comply with the Fire Chief's recommendation to provide additional fire suppression system(s) or record a deed restriction limiting storage to noncombustible materials.

It can be noted that the applicant has prepared and signed a deed restriction to be recorded with the Waukesha County Register of Deeds.



**Office of the Planner & Community Development Director**  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of April 15, 2021

---

**Date:** April 7, 2021

**Project Name:** Badgerland Supply Site & Building Plan Review

**Project Address/Tax Key No.:** W229N2450 Homewood Court/PWC 0915994001

**Applicant:** Boyd Coleman, StrucRite, Inc.

**Property Owner:** Klumb Holdings LLC

**Current Zoning:** M-2 Limited Industrial District

**2050 Land Use Map Designation:** Manufacturing/Fabrication/Warehousing

**Use of Surrounding Properties:** Industrial properties with outdoor storage (zoned M-2 District) to the north and west, an M-6 District zoned industrial property to the south, and the Canadian National Railroad to the east

---

### Project Description/Analysis

The applicant submitted a Site and Building Plans related to the enclosure of three existing buildings located at approximately W229N2450 Homewood Court.

The subject development is located upon two separate parcels. The site plan provided by the applicant shows the location of all existing buildings, including the three buildings that are proposed to be modified.

Currently all three of these buildings contain white CMU end walls (east and west elevations) and are fully open on the north and south sides.

The applicant is proposing to combine the two buildings on the southern parcel into a single building. This is illustrated on Sheets A1.1 and A2.0 and will be done by adding a new roof to connect the buildings and adding white metal wall panels between the end walls to create a single building. The north and south sides of the building will also be enclosed with the same white metal wall panels. The new portions of the building will include overhead doors on the north and east elevations and service doors on the north and west elevations.

The building located on the north parcel will be modified in a similar fashion as shown on Sheets A1.2 and A2.1 of the applicant's plans. The CMU end walls (east and west elevations) will remain and the north and south elevations will be enclosed with white metal wall panels. The north elevation will have two overhead doors and two service doors and will be open in the middle. The south elevation consists of the new metal wall panels and will be opened in the center.

Based upon Section 17.0210e.(3)(b) and f.(4) of the Zoning Code, which discourages the use of metal as a primary building material (see below) and recent Plan Commission discussions, it is recommended that the applicant revise the plans to eliminate the use of metal wall panels or provide for an upgraded type of metal panel as may be approved by the Plan Commission.

(3) STANDARD NO. BD-3

(a) The number of materials, textures or colors that visually change the appearance of the building shall be limited to no more than three.

(b) Painted, unpainted or anodized metal panels used as a facade material shall not be extended or have the appearance of extending to within four (4) feet of the ground elevation and shall comprise no more than ten (10) percent of the facade of any side of a building.

(4) Many types of totally or partially metal-clad buildings do not give the visual impression of permanence and, in addition, such buildings are often vulnerable to both physical and visual decay within a relatively short period. There are those cases, however, where buildings have been or may be designed using special metallic panels which are at once both durable and visually attractive and not merely an inexpensive method of building construction. In such cases, when it can be demonstrated to the satisfaction of the Plan Commission that a building having more than ten (10) percent of the building facade covered with such metal panels is both attractive and provides a visual permanence within the community, the Plan Commission may reduce or waive those standards which relate to such cases.

There is no new impervious surface proposed as the site is already mostly paved and graveled; therefore, there are no applicable storm water management requirements that must be met at this time. Also, there are no other proposed changes to parking, landscaping, lighting, or signage onsite.

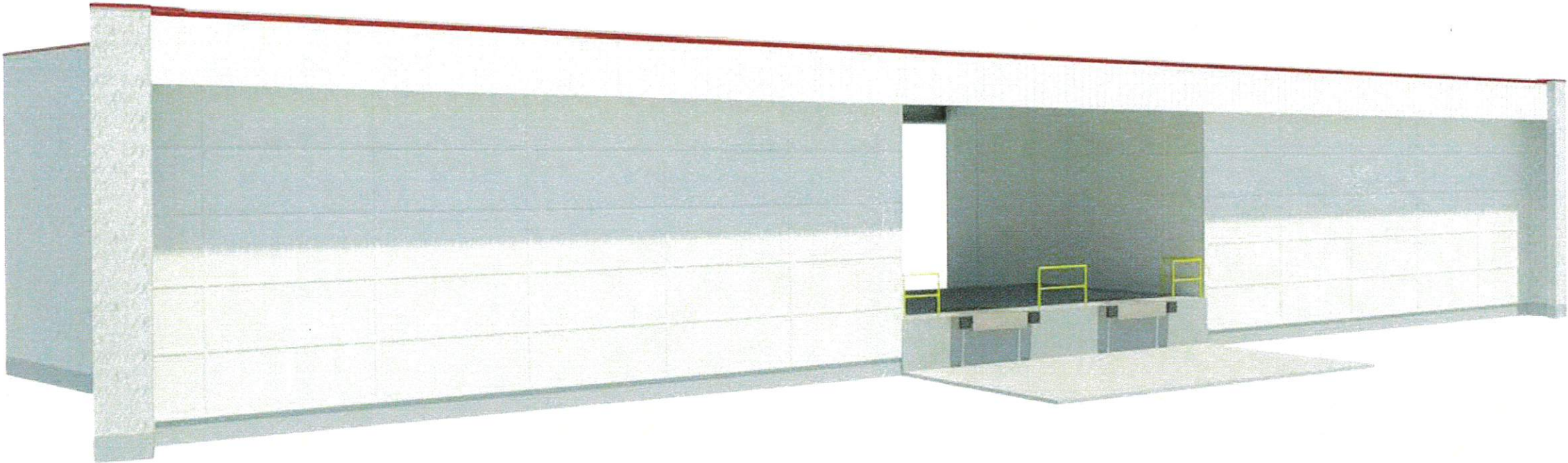
Staff is also recommending that:

- The two properties shall be combined via Certified Survey Map as the properties function as a single development.
- The applicant shall comply with the Fire Chief's recommendation to provide additional fire suppression system(s) or record a deed restriction limiting storage to noncombustible materials.

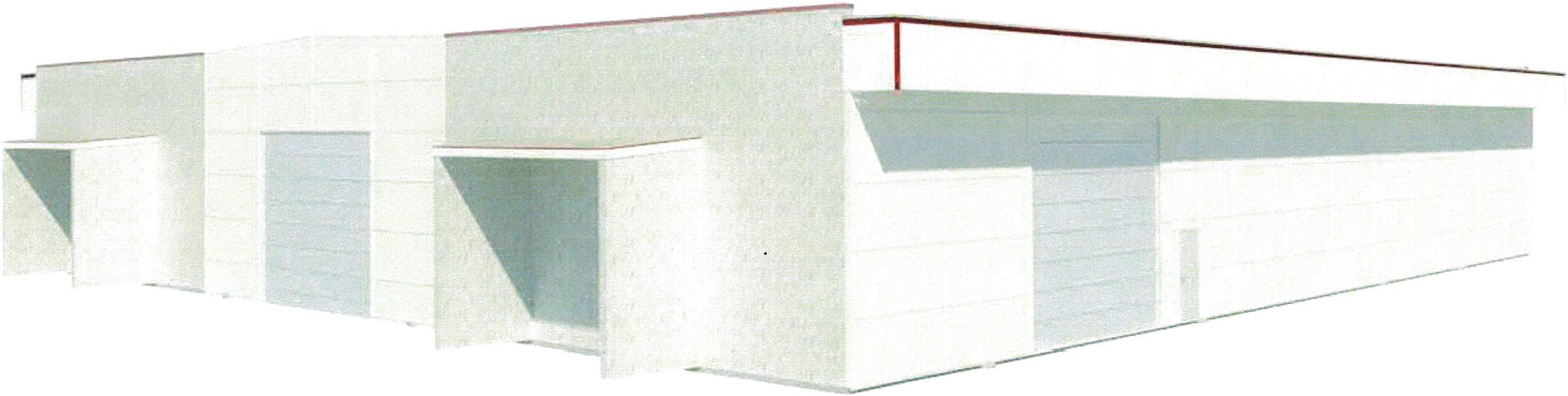
## **Recommendation**

A motion to approve the Site & Building Plan Review Application for Badgerland Supply, Inc., subject to staff's recommendations contained within this staff report.

**Badgerland Supply, Inc.**  
Dock & Gyp. Board Buildings  
W229 N2450 Homewood Ct



1 Loading Dock Bldg  
12" = 1'-0"



2 Gypsum Board Bldg  
12" = 1'-0"

SHEET TITLE

SHEET TITLE

Renderings

PROJECT DATA

JOB NUMBER: 21034

DATE: 05.05.2021

DRAWN BY: JJR

SHEET NUMBER:

**RA 1.0**

**Badgerland Supply, Inc.**  
GYP BOARD BUILDING  
W229 N2450 Homewood Ct

**SHEET INDEX**

- A0.0 ARCH. SITE PLAN
- A1.0 FLR PLAN BOARD BLDG
- A1.1 FLR PLAN DOCK BLDG
- A2.0 ELEV BOARD BLDG
- A2.1 ELEV DOCK BLDG

**REVISIONS**

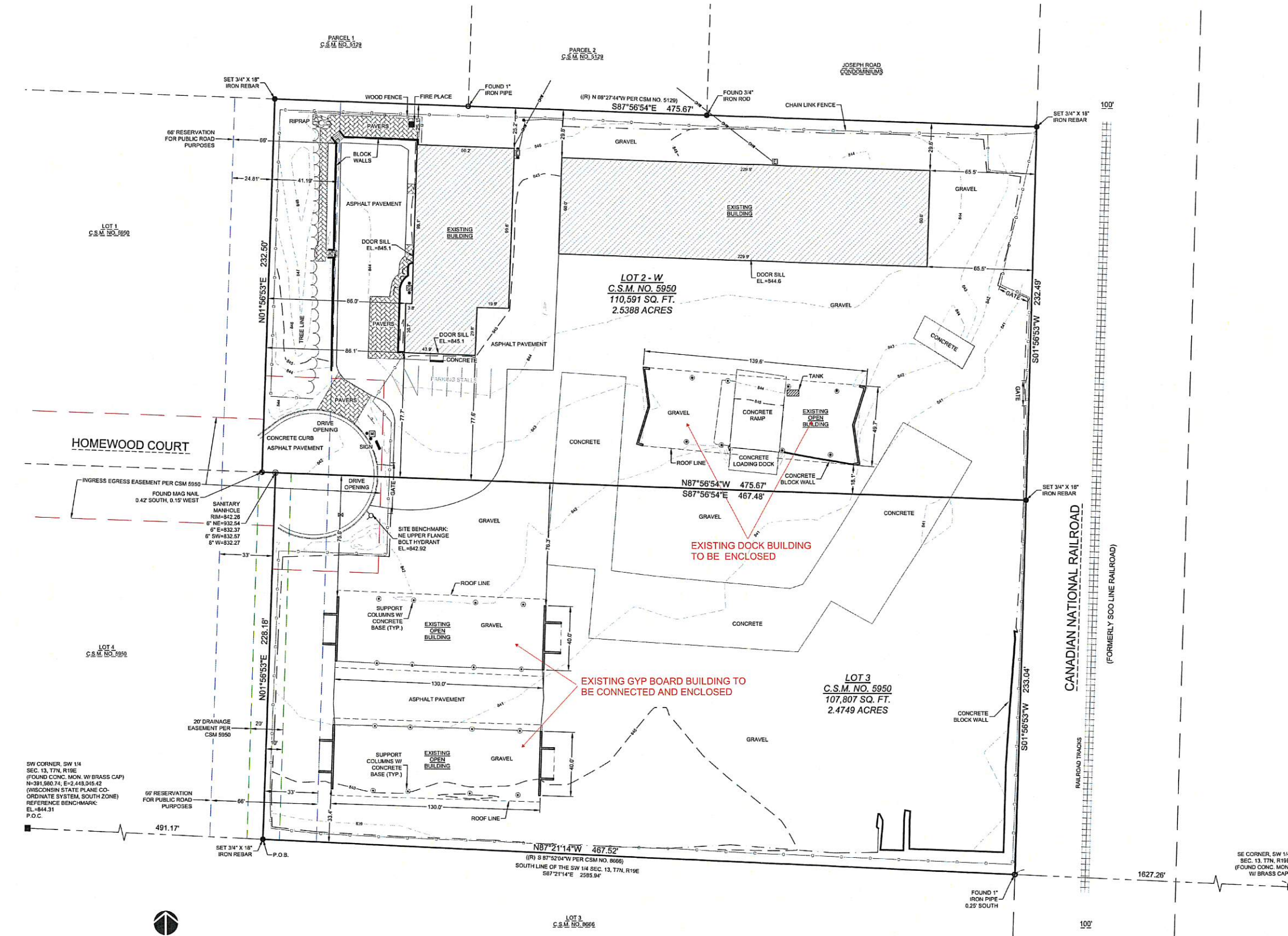
No.	DATE	DESCRIPTION
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THESE DOCUMENTS REFLECT INTENT AND  
MAY BE SUBJECT TO CHANGE. THESE ARE  
NOT FINAL CONSTRUCTION DOCUMENTS AND  
SHOULD NOT BE USED FOR FINAL BIDDING  
OR CONSTRUCTION-RELATED PURPOSES.

**PLAN COMMISSION**

SHEET TITLE:	ARCH. SITE PLAN
JOB NUMBER:	21034
ISSUED DATE:	05.6.2021
DRAWN BY:	BE
SHEET NUMBER:	

**A0.0**



**1 SITE PLAN**  
1" = 30'-0"

**Badgerland Supply, Inc.**  
GYP BOARD BUILDING  
W229 N2450 Homewood Ct

REVISIONS

No.	DATE	DESCRIPTION
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OR CONSTRUCTION-RELATED PURPOSES.

PLAN COMMISSION

SHEET TITLE:  
FLR PLAN BOARD BLDG

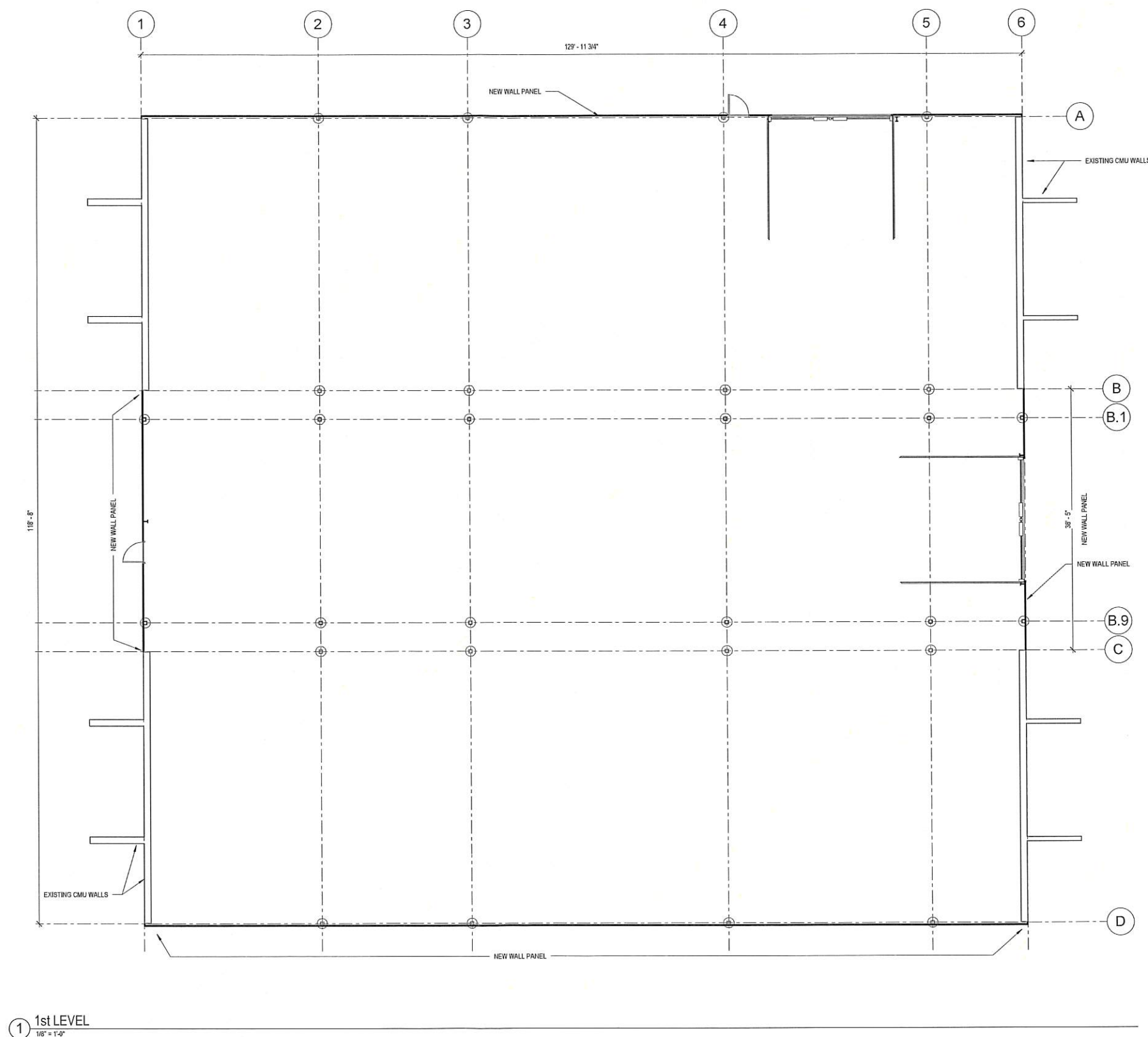
JOB NUMBER: 21034

ISSUED DATE: 05.6.2021

DRAWN BY: ks

SHEET NUMBER:

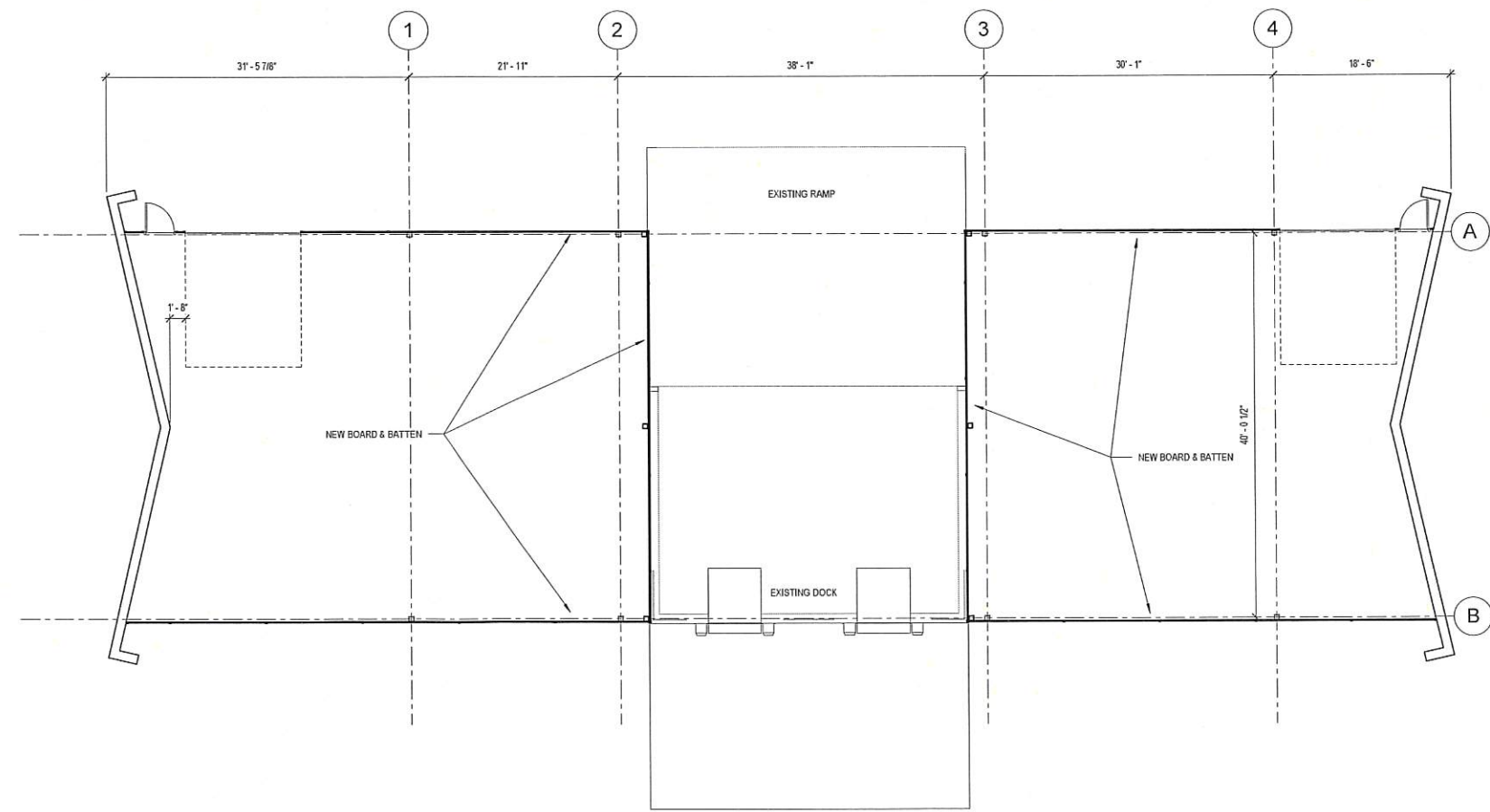
**A1.0**



① 1st LEVEL  
1/8\" = 1'-0\"



**Badgerland Supply, Inc.**  
Dock & Gyp. Board Buildings  
W229 N2450 Homewood Ct

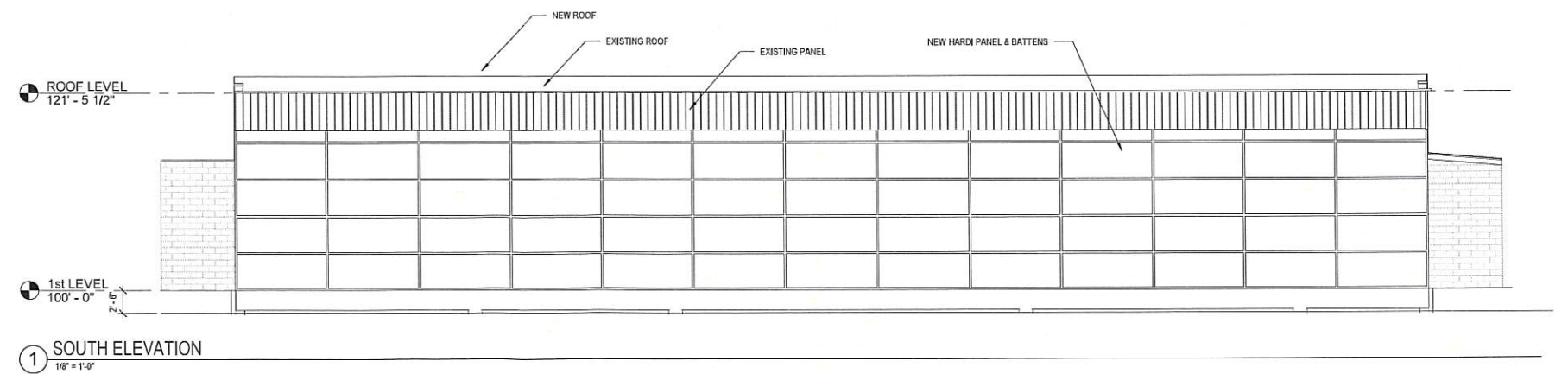
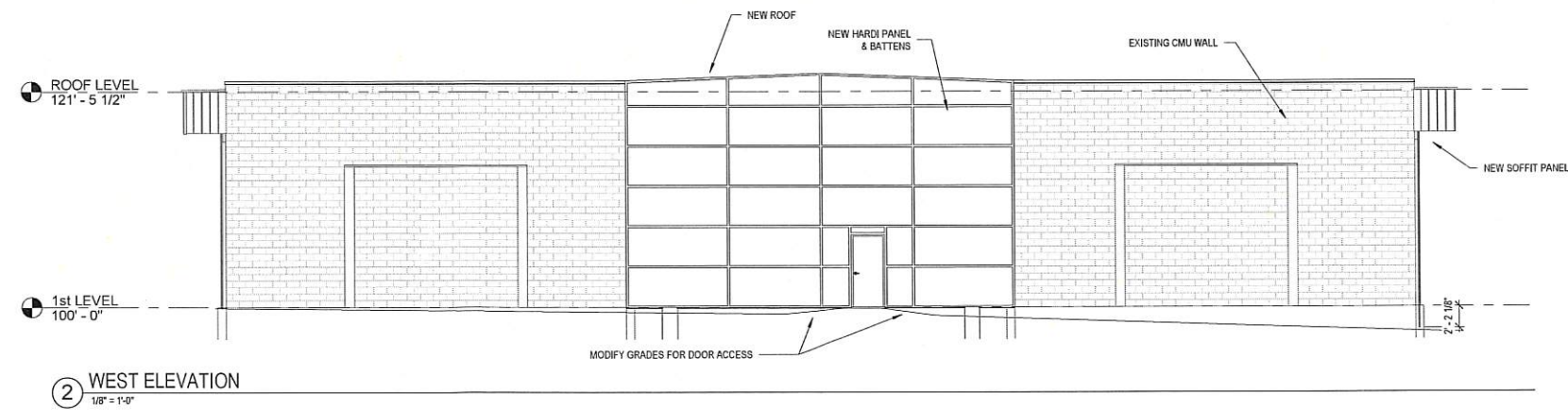
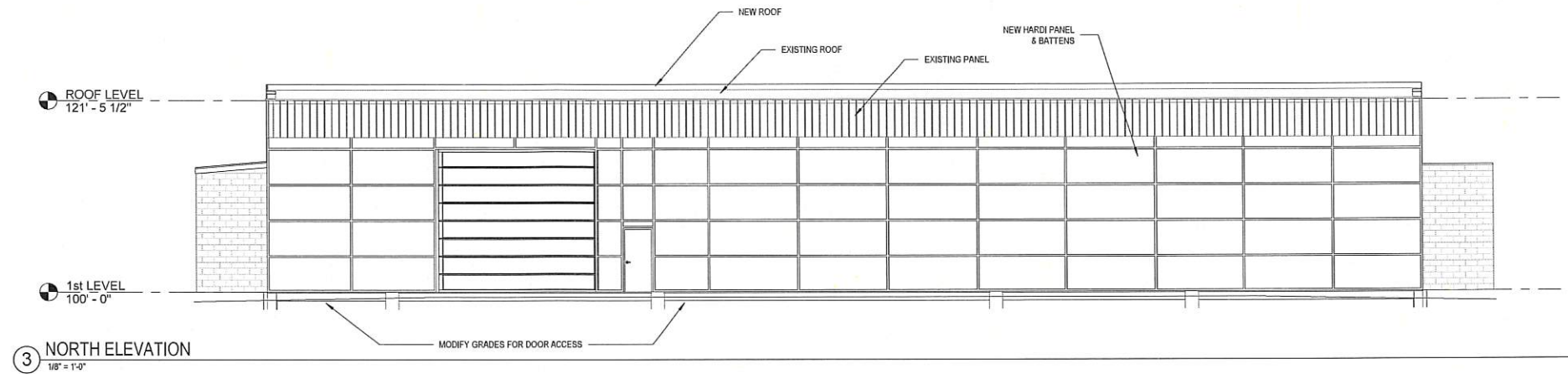
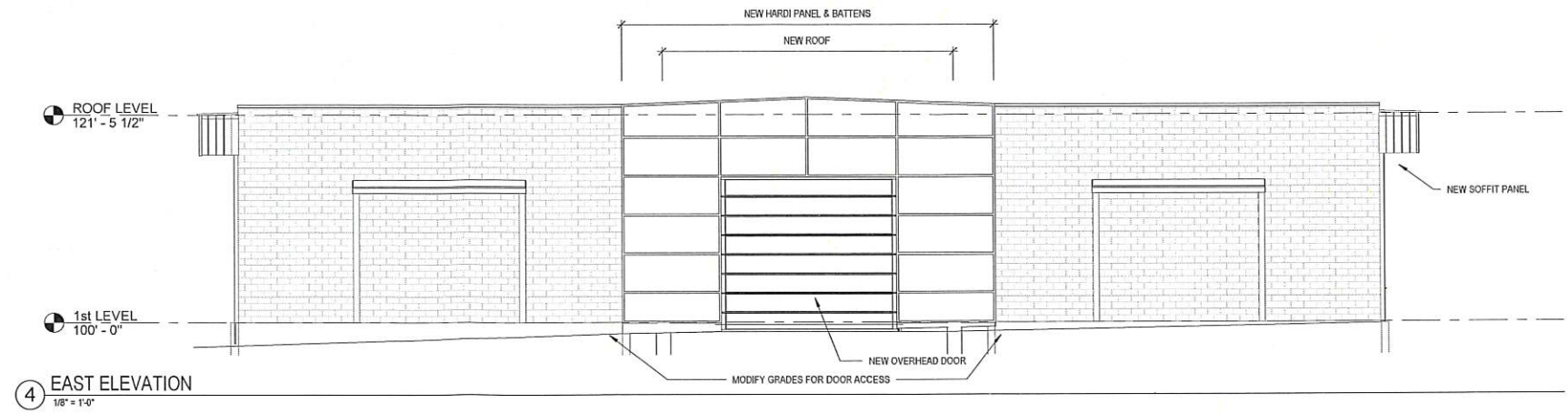


1 1st LEVEL  
1/8" = 1'-0"



REVISIONS		
No.	DATE	DESCRIPTION
THESE DOCUMENTS REFLECT INTENT AND MAY BE SUBJECT TO CHANGE. THESE ARE NOT FINAL CONSTRUCTION DOCUMENTS AND SHOULD NOT BE USED FOR FINAL BIDDING OR CONSTRUCTION-RELATED PURPOSES.		
PLAN COMMISSION		
SHEET TITLE: FLR PLAN DOCK BLDG		
JOB NUMBER: 21034		
ISSUED DATE: 05.06.2021		
DRAWN BY: ks		
SHEET NUMBER: A1.1		

**Badgerland Supply, Inc.**  
GYP BOARD BUILDING  
W229 N2450 Homewood Ct



**REVISIONS**

No.	DATE	DESCRIPTION

THESE DOCUMENTS REFLECT INTENT AND MAY BE SUBJECT TO CHANGE. THESE ARE NOT FINAL CONSTRUCTION DOCUMENTS AND SHOULD NOT BE USED FOR FINAL BIDDING OR CONSTRUCTION-RELATED PURPOSES.

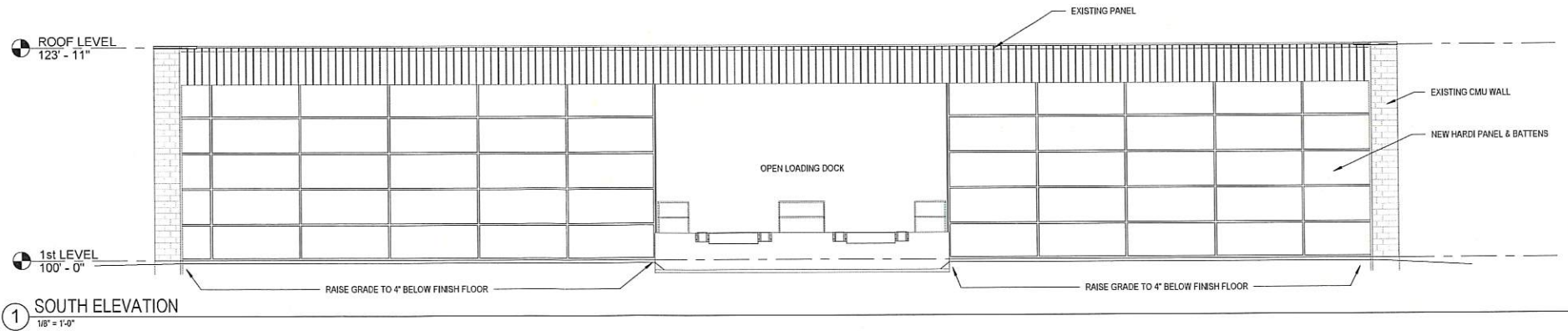
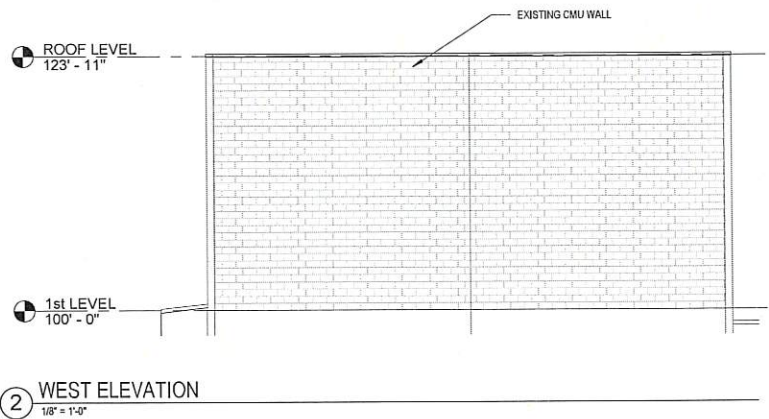
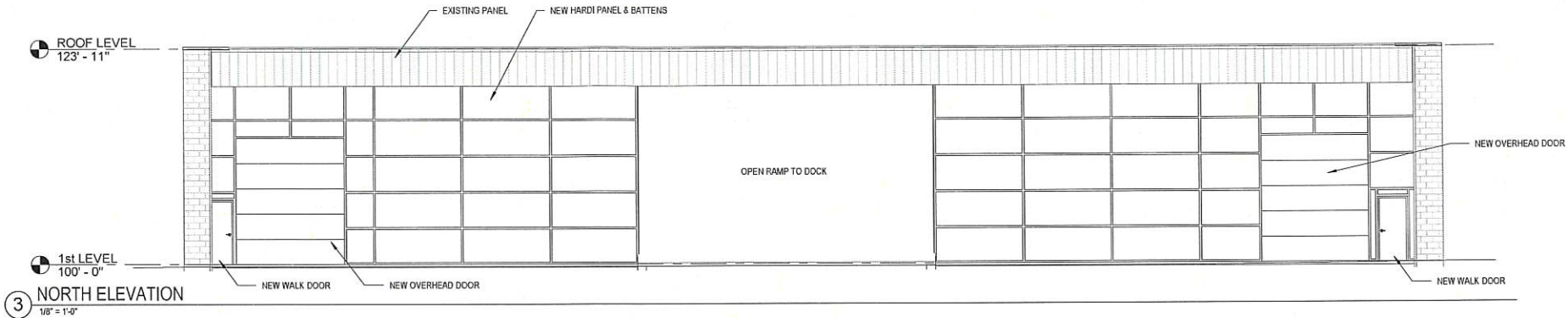
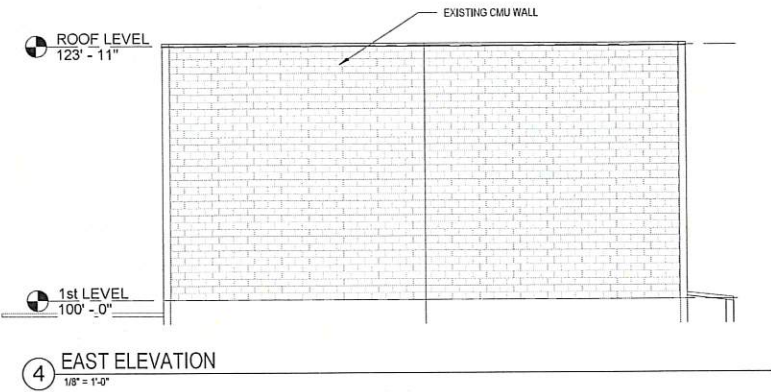
**PLAN COMMISSION**

SHEET TITLE: ELEV BOARD BLDG  
JOB NUMBER: 21034  
ISSUED DATE: 05.6.2021  
DRAWN BY: ks  
SHEET NUMBER:

**A2.0**

**Badgerland Supply, Inc.**  
Dock & Gyp. Board Buildings  
W229 N2450 Homewood Ct

REVISIONS		
No.	DATE	DESCRIPTION
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PLAN COMMISSION		
SHEET TITLE: ELEV DOCK BLDG		
JOB NUMBER: 21034		
ISSUED DATE: 05.06.2021		
DRAWN BY: KS		
SHEET NUMBER: A2.1		



**CITY OF PEWAUKEE  
PLAN COMMISSION AGENDA ITEM 6.**

**DATE:** May 20, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:** Nick Fuchs

***SUBJECT:***

Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Permit and Site and Building Plans for Zeilhofer Properties, LLC for Property Located at N4 W22540 Bluemound Road for the Purpose of Constructing a New Freestanding Two-Story Storage Building (PWC 0963997)

***BACKGROUND:***

The applicant is anticipating submitting plans with minor changes to the southeast corner of the building. Those plans will be distributed as soon as possible. According to the applicant, there are no changes proposed to the building footprint or site plan.

At the March 18th meeting, the Plan Commission discussed the need to extend public sewer and water to serve this development. The applicant is requesting approval of the building without public sewer and water facilities as the storage building does not require sewer or water.

Staff continues to recommend and encourage the extension of public utilities. If the Plan Commission and Common Council chooses not to require utilities to be extended, staff then recommends that a holding tank be utilized as it is likely the grading activities and construction of the drive will disturb the existing septic field. If approved as such, the applicant will be required to enter into a holding tank agreement and provide the required holding tank deposit to the City.

Otherwise, staff continues to recommend all conditions of approval contained within the March 18th report to the Plan Commission.

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

Zeilhofer Staff Report 3.18.21

Zeilhofer Narrative

Zeilhofer Revised Civil Plans

Zeilhofer Revised Exterior Elevations





**Office of the Planner & Community Development Director**  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
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[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of March 18, 2021

---

**Date:** March 11, 2021

**Project Name:** Zeilhofer storage building Conditional Use and Site & Building Plan Review

**Project Address/Tax Key No.:** N4W22540 Bluemound Road/PWC 0963997

**Applicant:** Mark Wershay, Zimmerman Architectural Studios, Inc.

**Property Owner:** Robb Zeilhofer

**Current Zoning:** B-4 Office District

**2050 Land Use Map Designation:** Manufacturing / Fabrication / Warehousing

**Use of Surrounding Properties:** Industrial to the north and west, single-family residential to the south, and mixed use property zoned single-family residential to the east

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### **Project Description/Analysis**

The applicant submitted a Conditional Use Permit and a Site & Building Plan Review Application for the construction of a storage building upon property located at N4W22540 Bluemound Road.

The subject property currently contains a single-family home that was previously converted to an office. The applicant/property owner is currently utilizing the building as an office for his real estate management and construction business.

#### Conditional Use Permit

The subject property is zoned B-4 Office District. As noted above, the existing structure is being used as office space for Mr. Zeilhofer's business. The proposed storage building, which will house vehicles and equipment related to Mr. Zeilhofer's real estate business, is allowed as a conditional use per Sections 17.0209c. and 17.0209d. of the City's Zoning Code.

Section 17.0209c. states, "...In addition to those uses specified elsewhere herein, the following uses may be deemed to be conditional uses by the Plan Commission: Any principal use in addition to the first such use on a single building parcel or space."

Section 17.0209d. allows "Unclassified or Unspecified Uses may be permitted by the Plan Commission provided that such uses are similar in character to the principal uses permitted in the zoning district and create no circumstances that would detrimentally affect adjacent properties."

It can be noted that this property as well as the properties to the north, east and west are all designated as Manufacturing/Fabrication/Warehousing on the City's Year 2050 Land Use/Transportation Plan map. The proposed use is consistent with that designation.

It can also be noted that a rezoning was considered to accommodate this development; however, the property is 1.2677-acres, which is less than the 2-acre minimum lot size of the M-2 District and the 3-acre minimum of the M-4 District, which are both adjacent zoning districts to the subject property and would permit this use. Furthermore, building and parking setbacks are smaller in the B-4 District, which are more appropriate for a property of this size. As such, staff found that the Conditional Use option was appropriate.

### Site & Building Plans

The proposed storage building is 2-stories and approximately 7,600 square feet. The building consists of cement board siding and a CMU foundation, which will be exposed on the south elevation and partially exposed on the sides of the building.

The north elevation includes three overhead doors and a service door. The south elevation has five overhead doors and a row of windows along the top of the building. The east and west elevations both contain windows and a service door. The building has a standing seam metal roof.

Considering the existing and proposed improvements, the site has almost 50% greenspace, which is in compliance with the City's minimum greenspace ratio of 40%.

In addition to the building, the site includes a gravel area to the north of the building, which will be used to store and park vehicles and trailers. A dumpster will be located within this area as well. It is recommended that the applicant construct an enclosure around the dumpster to screen it and contain any loose trash and debris.

As the development disturbs less than one acre of land, storm water management is not required. It is recommended that final grading and erosion control plans shall be submitted for approval by the Engineering Department prior to any land disturbance activities.

### Parking:

There are six parking spaces along the west property line. Parking spaces are all a minimum of 180 square feet to comply with the City's Zoning Code standard. There is also an ADA accessible parking space located on the north side of the office building.

### Lighting:

The only proposed lighting is on the building and shown on the north and south building elevations. In total there are three wall lights.

### Signage:

The applicant plans to remove the existing freestanding sign and replace it with a new monument sign. The location is illustrated on the site plan. Note that signage shall comply with all standards set forth in Section 17.0700 of the City's Zoning Code and require separate review and approval by the City Planner as well as a Sign Permit from the Building Services Department, prior to installation.

Landscape Plan:

The Demo Plan (Sheet C1.20) shows the existing trees that will be removed. A Landscape Plan has been provided that illustrates the new plantings to be provided. This includes evergreen plantings along the east and west property lines to screen the paved area between the two buildings and the gravel area on the north end of the site.

Utilities:

Sewer and water is not located directly to this site. They would have to be extended from the south side of Bluemound Road at Takoma Drive. The applicant is requesting to construct this building without having to extend public utilities to the site. The applicant has noted that the proposed building does not have any water or sanitary needs.

## **Recommendation**

Staff recommends that the Plan Commission recommend approval of the Conditional Use Permit and approve the Site & Building Plan Review Application, subject to Conditional Use approval and staff's recommendations as noted above in this report.

February 1, 2021

Nick Fuchs  
Planner & Community Development Director  
City of Pewaukee  
W240N3065 Pewaukee Road  
Pewaukee, WI 53072

RE: Zeilhofer Storage Building, N4W22540 Bluemound Road  
Conditional Use and Plan Commission Submittals

Mr. Fuchs,

We are excited to present to you this request for Building Plan/Plan Commission review for a new freestanding two-story storage building located at N4W22540 Bluemound Road, Pewaukee WI 53186. This property is zoned B-4 and the existing office building on site will be maintained. Aside from some new exterior paving leading up to that structure, we are not improving it in any way as part of this project.

Following a preliminary review by Staff, it was determined that the existing lot size was not eligible for a rezoning to either a M-2 or M-4 District. Therefore, we are simultaneously requesting a Conditional Use Permit to allow the proposed contractor storage building on a B-4 property. Our property is flanked by manufacturing business parks on three sides.

The proposed 7,600 square foot building will be used for storage of goods consumed in real estate management and real estate construction related businesses. Hours of operation would be unchanged; 7:00am – 7:00 pm, Monday through Saturday.

Construction would tentatively commence spring of 2021 and be wrapped up by spring of 2022. The estimated value of new construction is \$900,000.

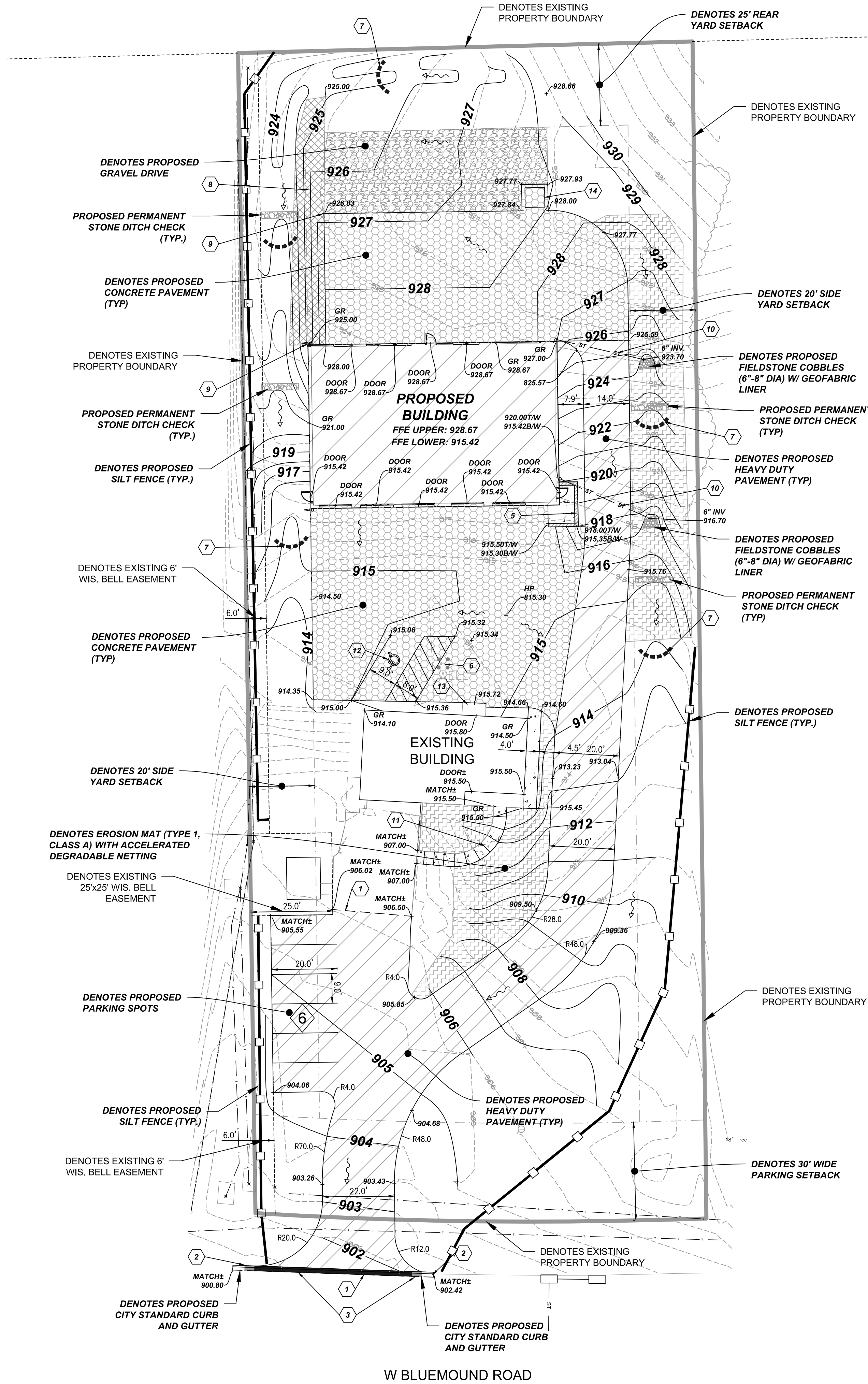
If you have any additional questions about our business plan, please reach out to me directly.

Thank you,

Robb Zeilhofer, Owner  
Zeilhofer Properties, LLC  
(414) 507-1550



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



SITE CALCULATION TABLE

TOTAL SITE AREA	1.136 AC
TOTAL DISTURBED AREA	0.881 AC
PROPOSED GREENSPACE	0.565 AC (49.7% OF SITE)

\*CONTRACTOR SHALL STAY WITHIN THE SILT FENCE BOUNDARY AND FOLLOW THE GRADING, EROSION CONTROL AND DEMO PLAN AS NOT TO DISTURB OVER 1 ACRE.

NOTES

1. SAWCUT EXISTING PAVEMENT (FULL DEPTH) AND CREATE BUTT JOINT WHERE PROPOSED MEETS EXISTING
2. MATCH INTO EXISTING CURB AND GUTTER.
3. DENOTES PROPOSED 3' CURB TAPER.
4. INSTALL NEW DEPRESSED CURB AND GUTTER. MATCH INTO EXISTING CURB AND GUTTER.
5. DENOTES PROPOSED SEGMENTAL CONCRETE RETAINING WALL. OWNER PROVIDED AND INSTALLED.
6. EXISTING WATER WELL TO REMAIN. WELL TO BE MODIFIED AS NEEDED TO MEET CODE. INSTALL 4 BOLLARDS AROUND EXISTING WELL
7. DENOTES PROPOSED DITCH CHECK
8. DENOTES PROPOSED PERMANENT EROSION MATTING
9. DENOTES PROPOSED DOWNSPOUT AT GRADE WITH SPLASHBLOCK
10. DENOTES PROPOSED 6\"/>

EROSION CONTROL LEGEND

SILT FILTER FENCE	
EROSION MAT	
DITCH CHECK	
PERMANENT EROSION MATTING	

HATCH LEGEND

	PROPOSED CONCRETE SIDEWALK
	PROPOSED GRAVEL DRIVE
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT

Consultant:



Project:

Zeilhofer Properties, LLC  
New Storage Building

Location:

N4W22540 Bluemound Road  
Pewaukee, WI 53186

Key Plan:

PLAN COMMISSION  
FINAL SUBMITTAL

Sheet:

**GRADING &  
EROSION  
CONTROL PLAN**

Scale:

SCALE: 1" = 20'

Revisions:

No. Date: Description:

Date:

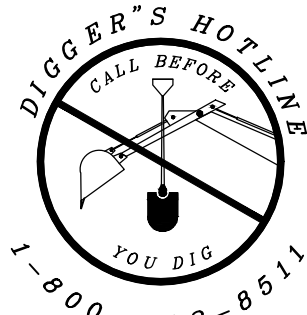
March 8, 2021

Project No.:

200110.00

Sheet No.:

**C1.10**



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS. AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

DENOTES EXISTING TREE TO BE REMOVED. VERIFY ALL TREE REMOVALS WITH OWNER PRIOR TO REMOVAL.

DENOTES EXISTING TREES TO BE REMOVED FOR PROPOSED IMPROVEMENTS. VERIFY ALL TREE REMOVALS WITH OWNER PRIOR TO REMOVAL.


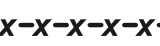



DENOTES EXISTING TREE TO BE REMOVED. VERIFY ALL TREE REMOVALS WITH OWNER PRIOR TO REMOVAL.

DENOTES EXISTING TREE TO BE REMOVED. VERIFY ALL TREE REMOVALS WITH OWNER PRIOR TO REMOVAL.

DENOTES EXISTING CONCRETE STAIRS TO BE REMOVED (TYP.)

DENOTES EXISTING ASPHALT PAVEMENT TO BE REMOVED (TYP.)

EXISTING CURB AND GUTTER TO BE REMOVED  
W BLUEMOUND ROAD



**DEMOLITION LEGEND**

DENOTES ITEM TO BE REMOVED OR DEMOLISHED

DENOTES PAVEMENT REMOVAL AREA

DENOTES CONCRETE SIDEWALK REMOVAL AREA

DENOTES ITEM TO BE ABANDONED OR REMOVED

DENOTES TREE TO BE REMOVED OR RELOCATED (AS NOTED)

Consultant:



255 North 21st Street, Milwaukee, WI 53233  
P 414.675.5554 | [www.hec.com](http://www.hec.com)  
HEC Project Number: 20-0110.00

Project:

Zeilhofer Properties, LLC  
New Storage Building

Location:  
N4W22540 Bluemound Road  
Pewaukee, WI 53186

Key Plan:



PLAN COMMISSION  
FINAL SUBMITTAL

Sheet:

DEMO PLAN

Scale:

SCALE: 1" = 20'



Revisions:

No.	Date	Description

Date:

March 8, 2021

Project No.:

200110.00

Sheet No.:

C1.20

Consultant:



Project:

Zeilhofer Properties, LLC  
 New Storage Building

Location:  
 N4W22540 Bluemound Road  
 Pewaukee, WI 53186

Key Plan:

PLAN COMMISSION  
 FINAL SUBMITTAL

Sheet:

EXISTING  
 SURVEY

Scale:  
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Revisions:

No.	Date:	Description:

Date:

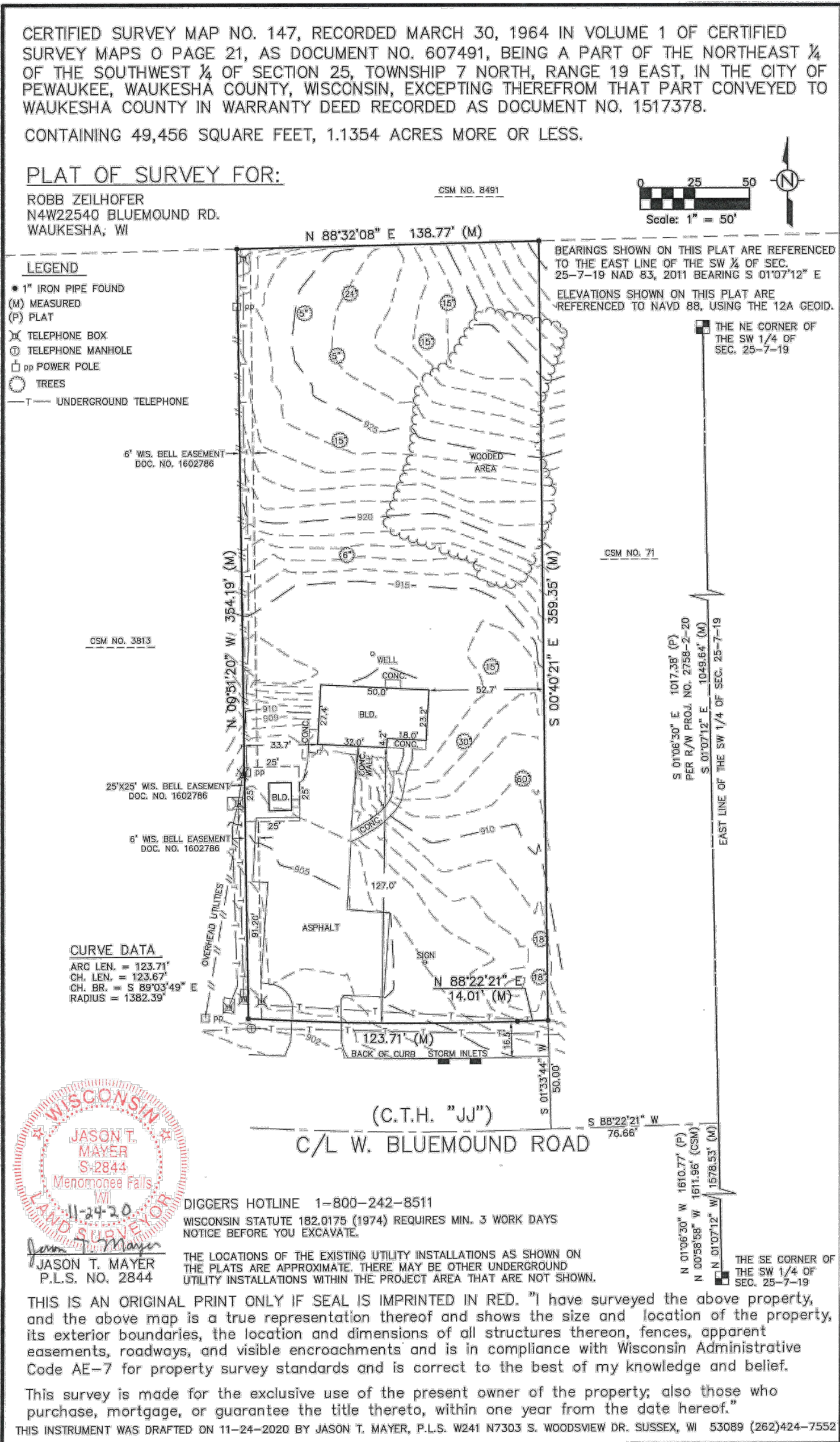
March 8, 2021

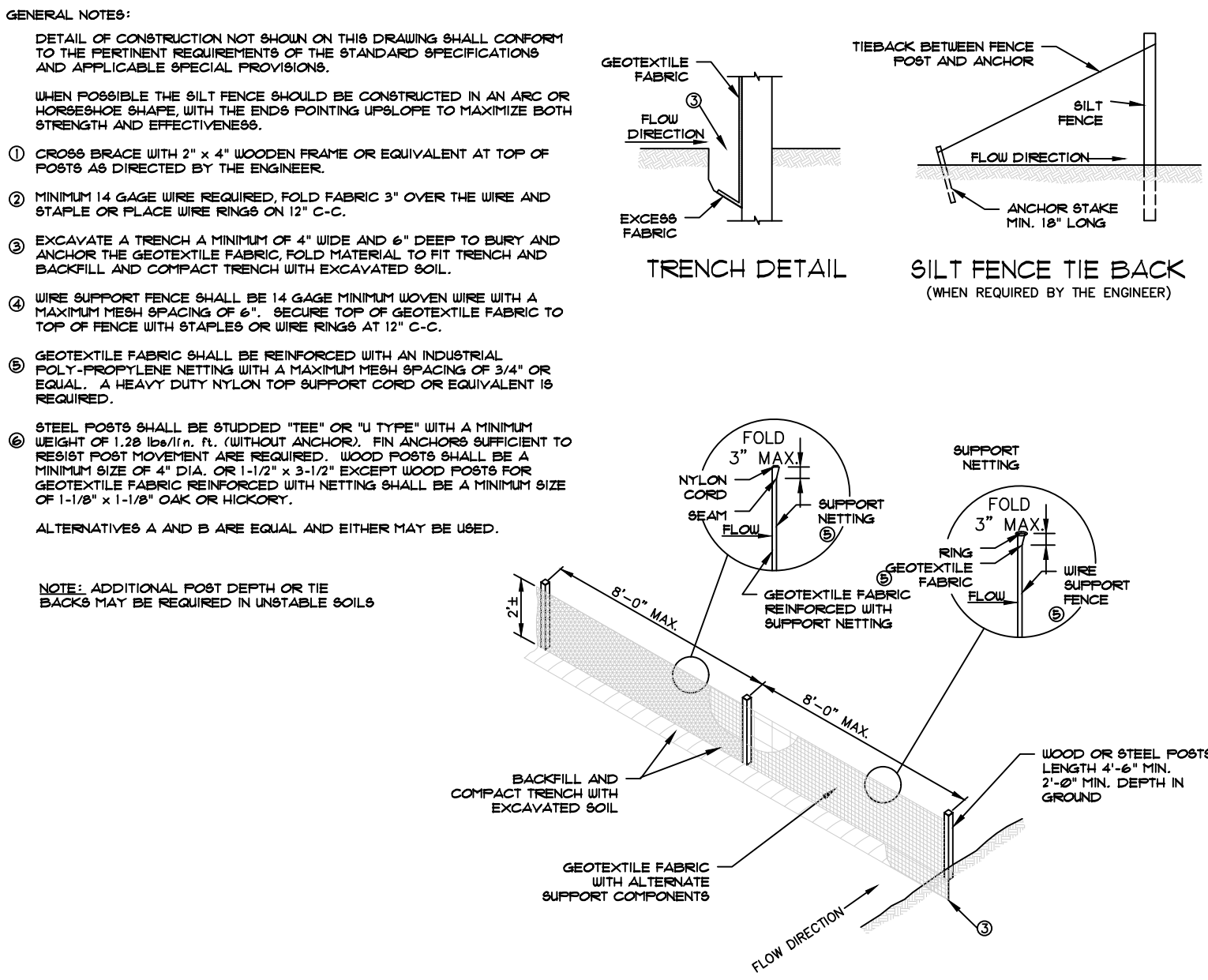
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Sheet No.:

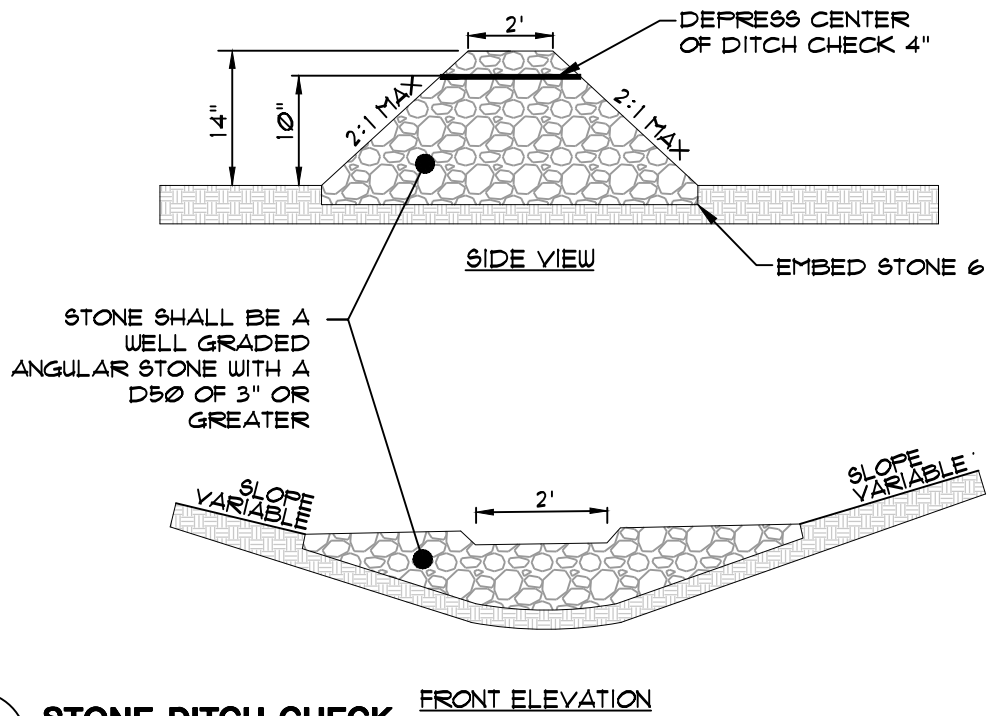
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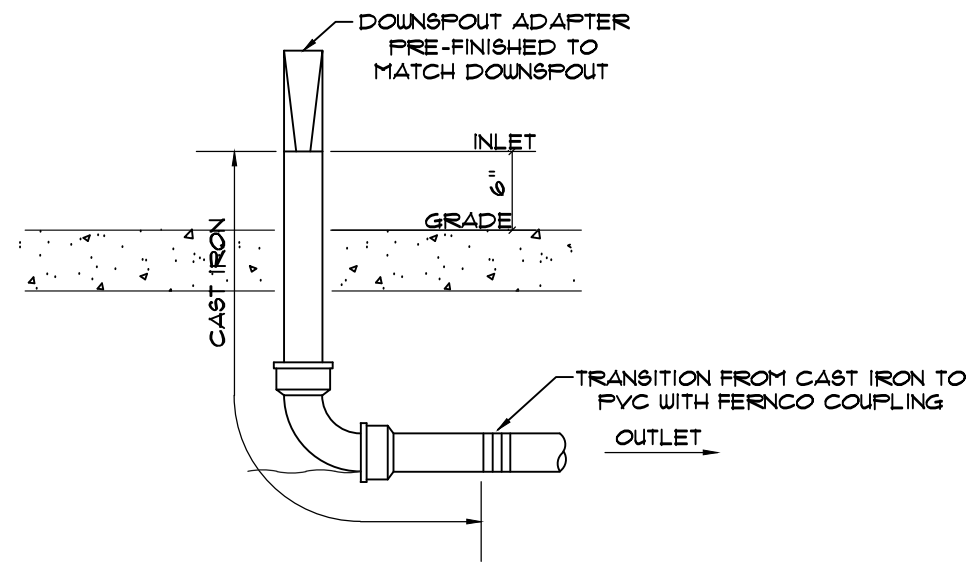
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NTS



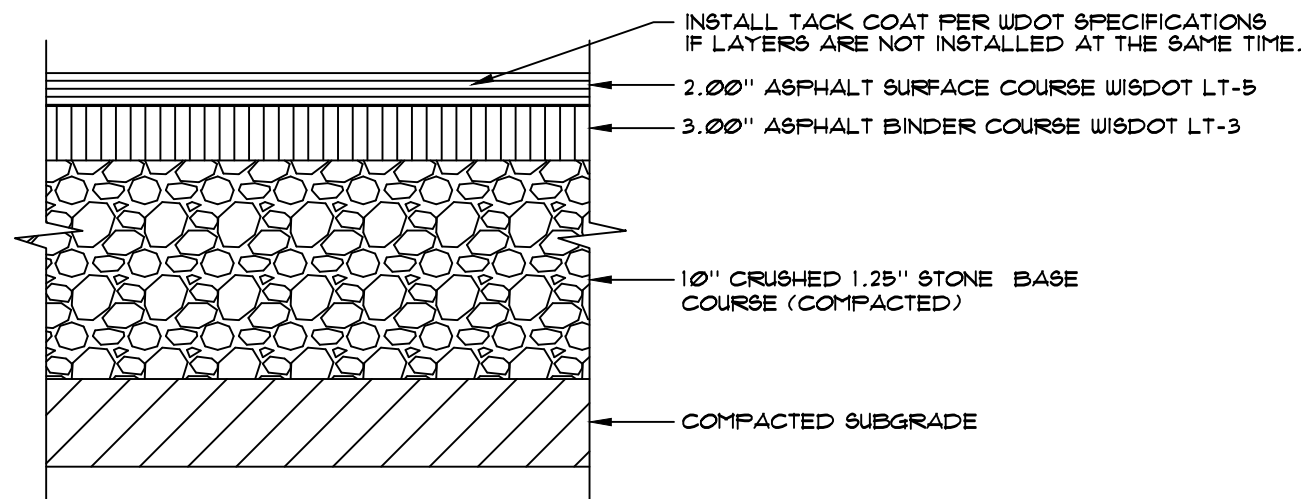
**02 STONE DITCH CHECK**

NTS



**03 DOWNSPOUT DETAIL**

NTS

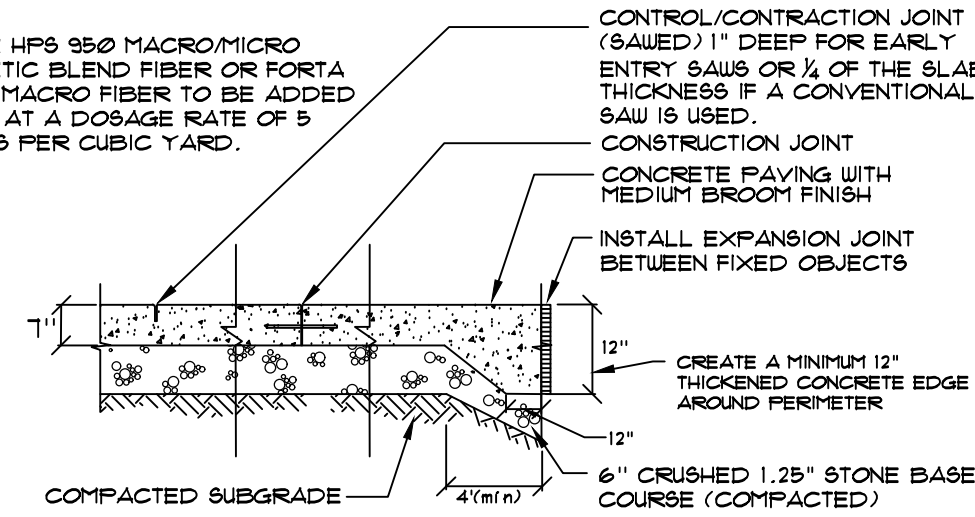


**04 HEAVY DUTY ASPHALT DETAIL**

NTS

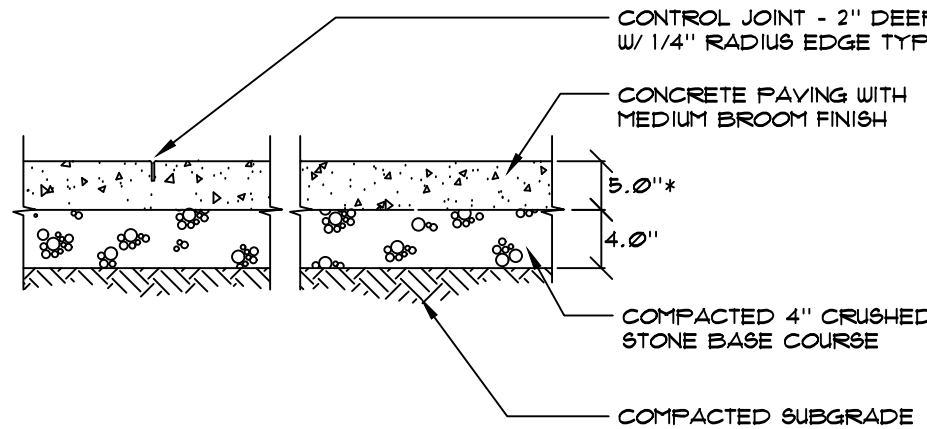
NOTE:

- MATRIX HPS 350 MACROMICRO SYNTHETIC BLEND FIBER OR FORTA FERRO MACRO FIBER TO BE ADDED TO MIX AT A DOSAGE RATE OF 5 POUNDS PER CUBIC YARD.



**05 CONCRETE PAVEMENT DETAIL**

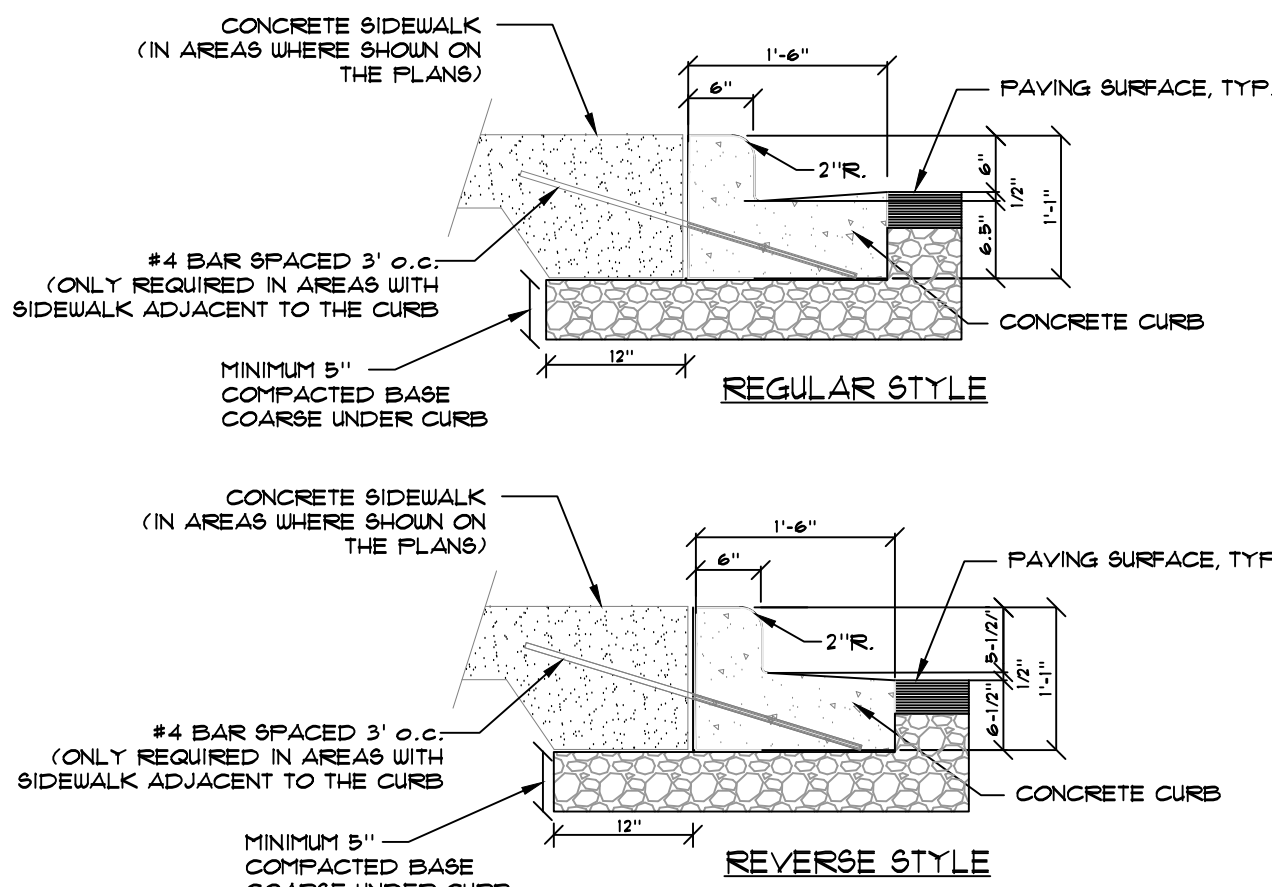
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\* NOTE:  
SIDEWALK SHALL BE 1" AT DRIVEWAY SECTIONS

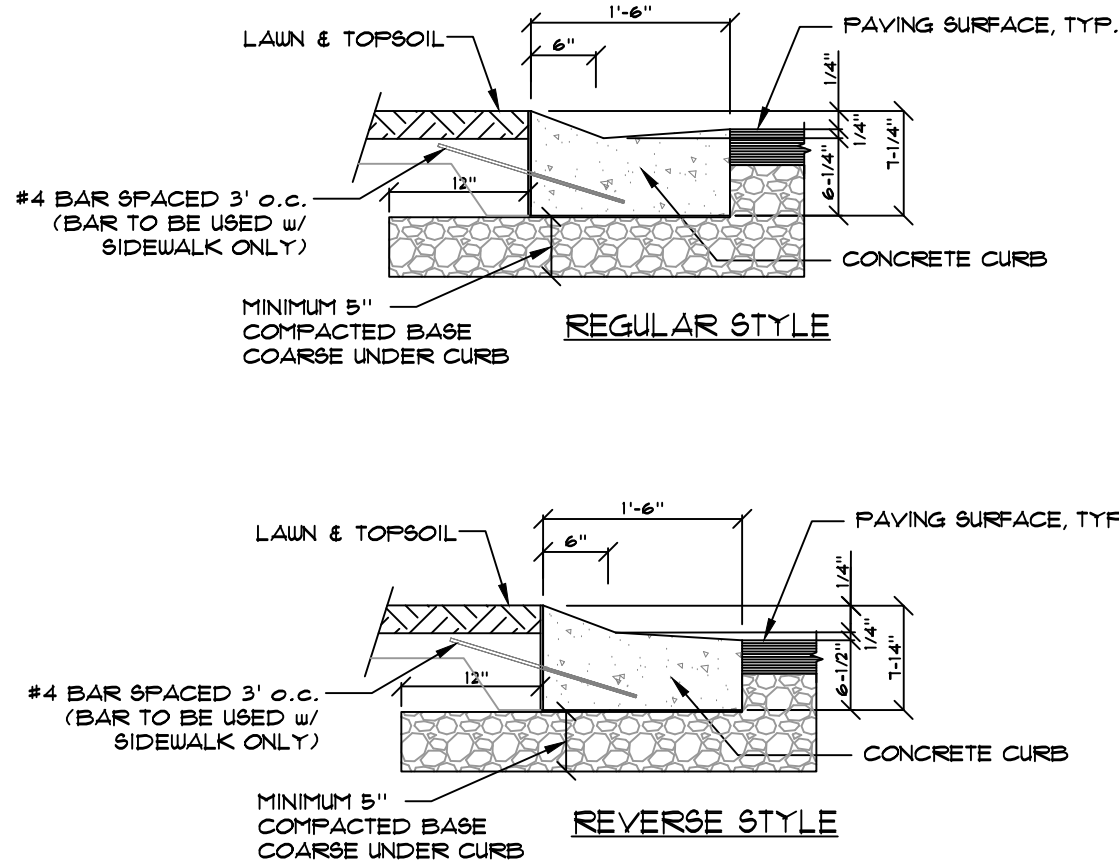
**06 CONCRETE SIDEWALK DETAIL**

NTS



**07 VERTICAL FACE CURB - 18" WIDE**

NTS

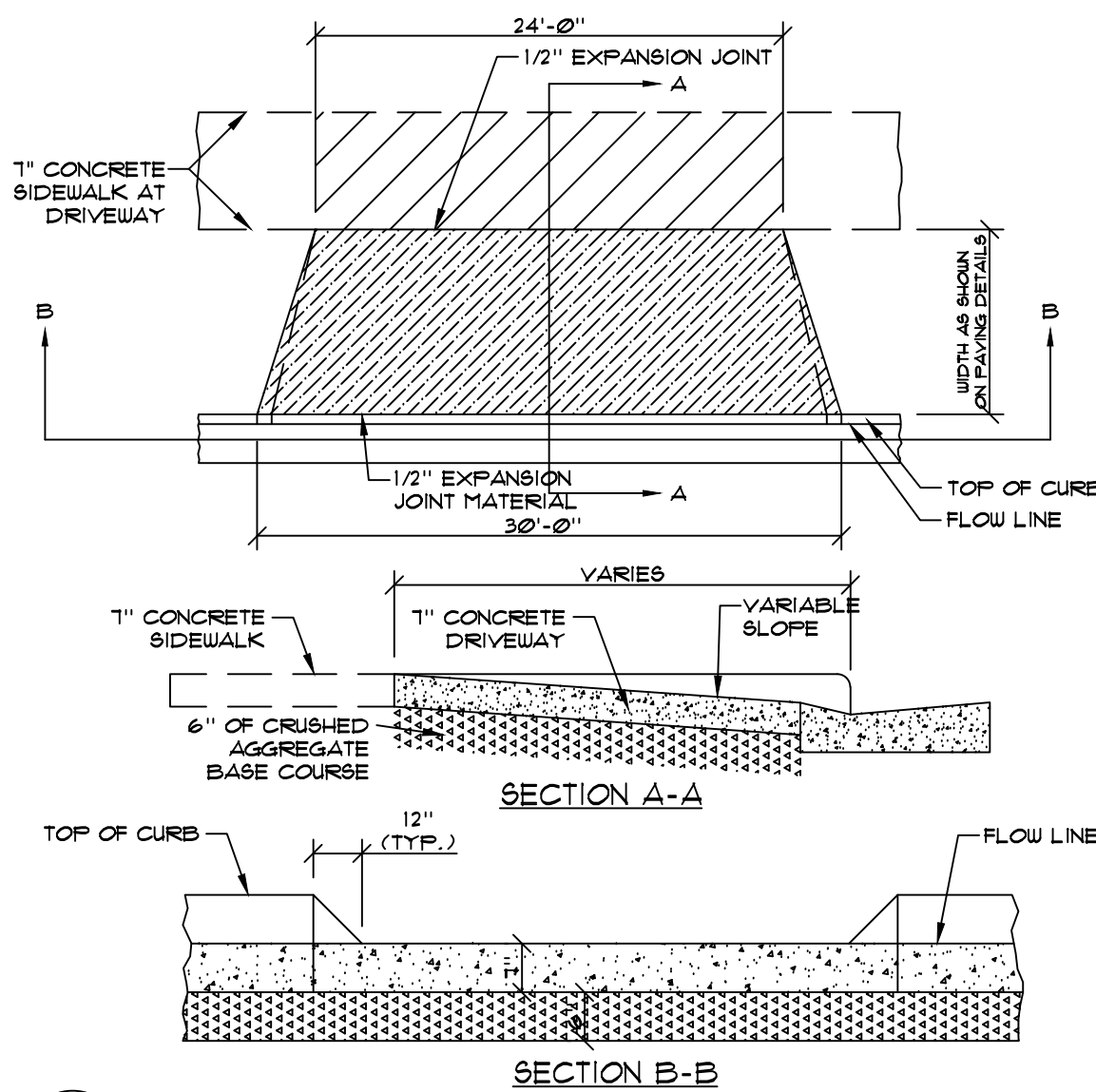


**08 18" DEPRESSED CURB**

NTS

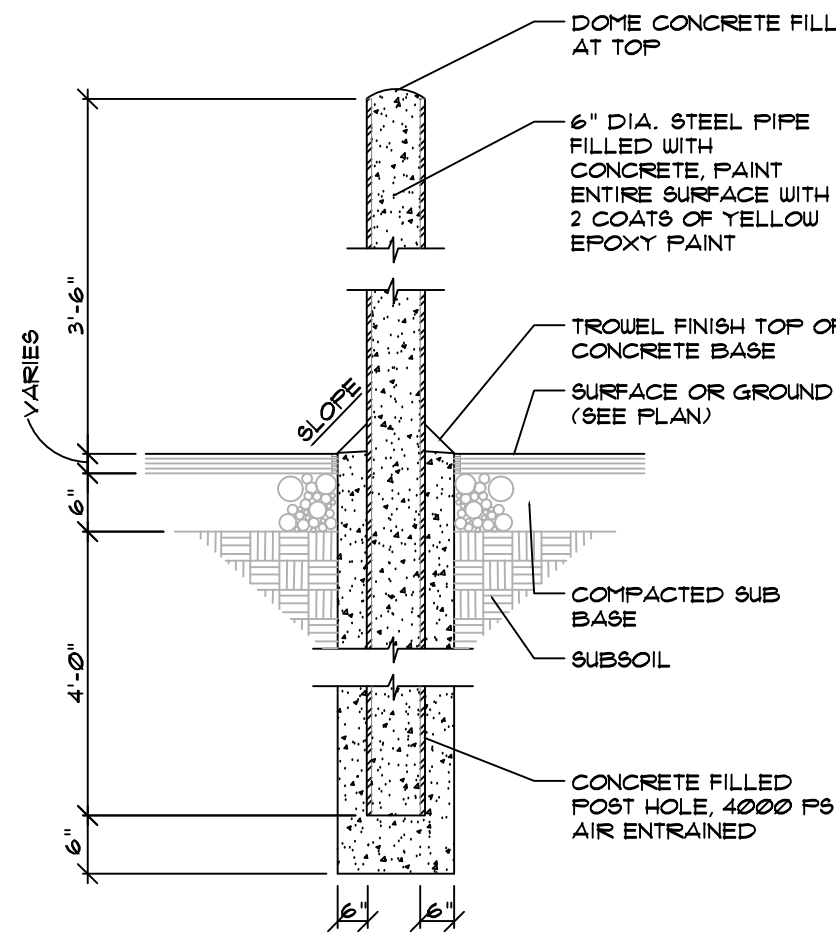
NOTES:

- TIE BARS SHALL BE INSTALLED AT ALL AREAS WHERE CONCRETE PAVEMENT ABUTS CURB AND GUTTER AND CONSIST OF NO. 4 EPOXY COATED REINFORCING BARS 24 INCHES IN LENGTH AND 48 INCHES ON CENTER.
- CONTROL/CONTRACTION/CONSTRUCTION JOINTS SHALL BE SPACED AT 12' MAXIMUM AND CONSTRUCTED IN CONFORMANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI-308R) RECOMMENDATIONS.
- EXPANSION JOINTS SHALL BE PROVIDED WHERE PAVEMENT ABUTS FIXED OBJECTS, MEETING ACI-308R STANDARDS.



**09 CONCRETE DRIVEWAY APPROACH**

NTS



**10 BOLLARD**

NTS

Consultant:



Project:

**Zeilhofer Properties, LLC**  
**New Storage Building**

Location:

**N4W22540 Bluemound Road**  
**Pewaukee, WI 53186**

Key Plan:

North

**PLAN COMMISSION**  
**FINAL SUBMITTAL**

Sheet:

**CONSTRUCTION**  
**DETAILS**

Scale:

Revisions:

No.	Date	Description

Date:

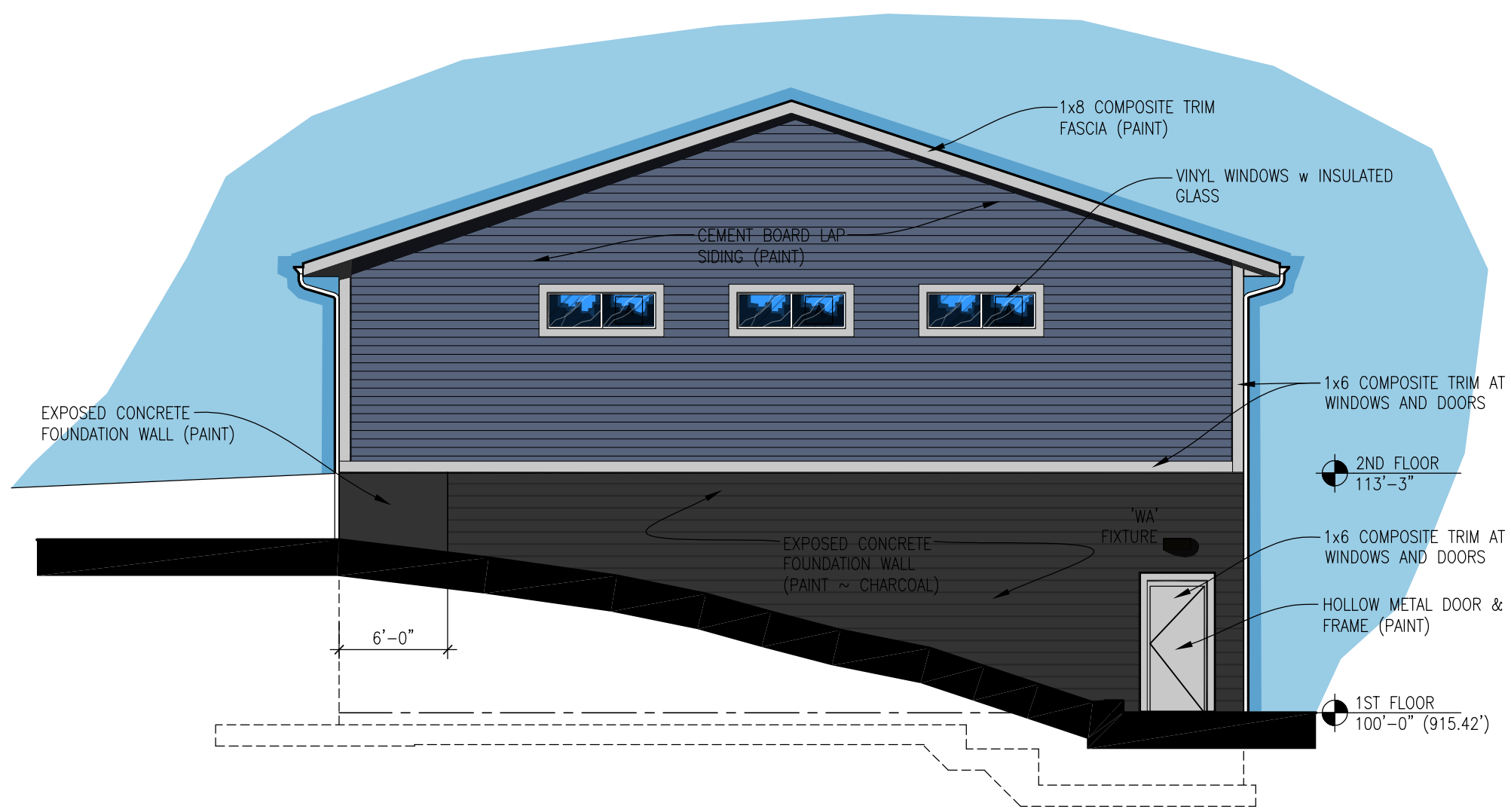
March 8, 2021

Project No.:

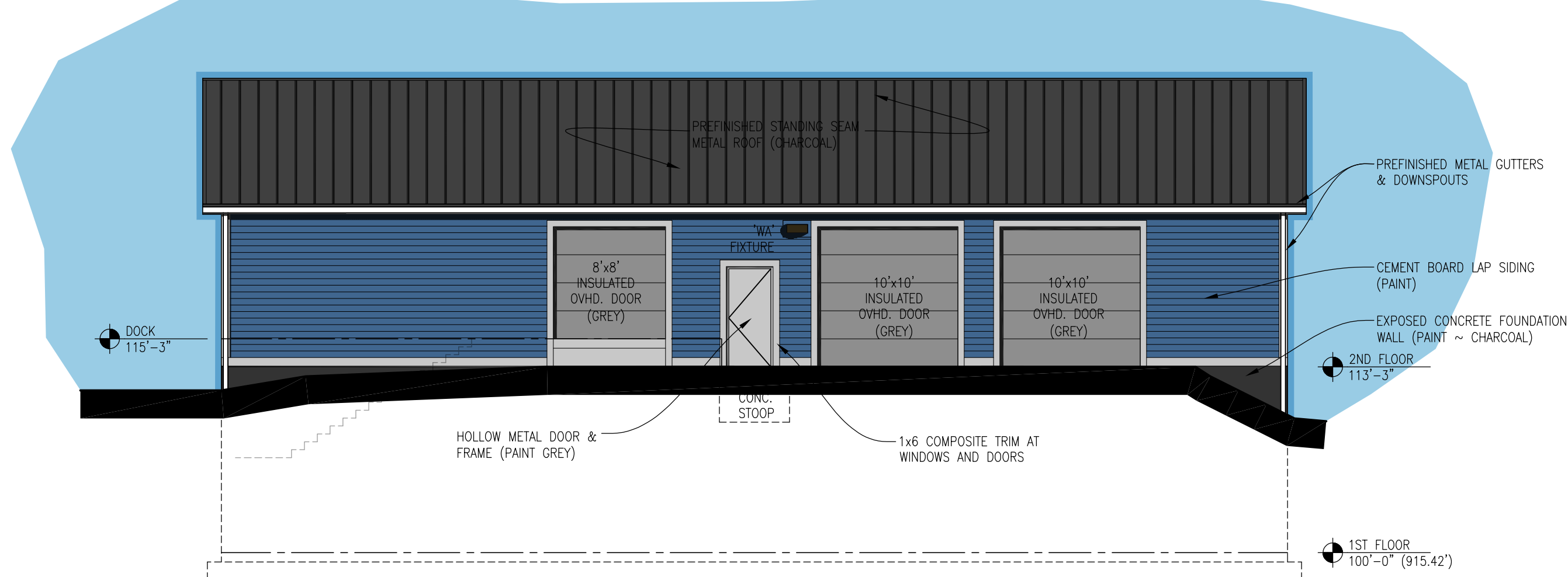
200110.00

Sheet No.:

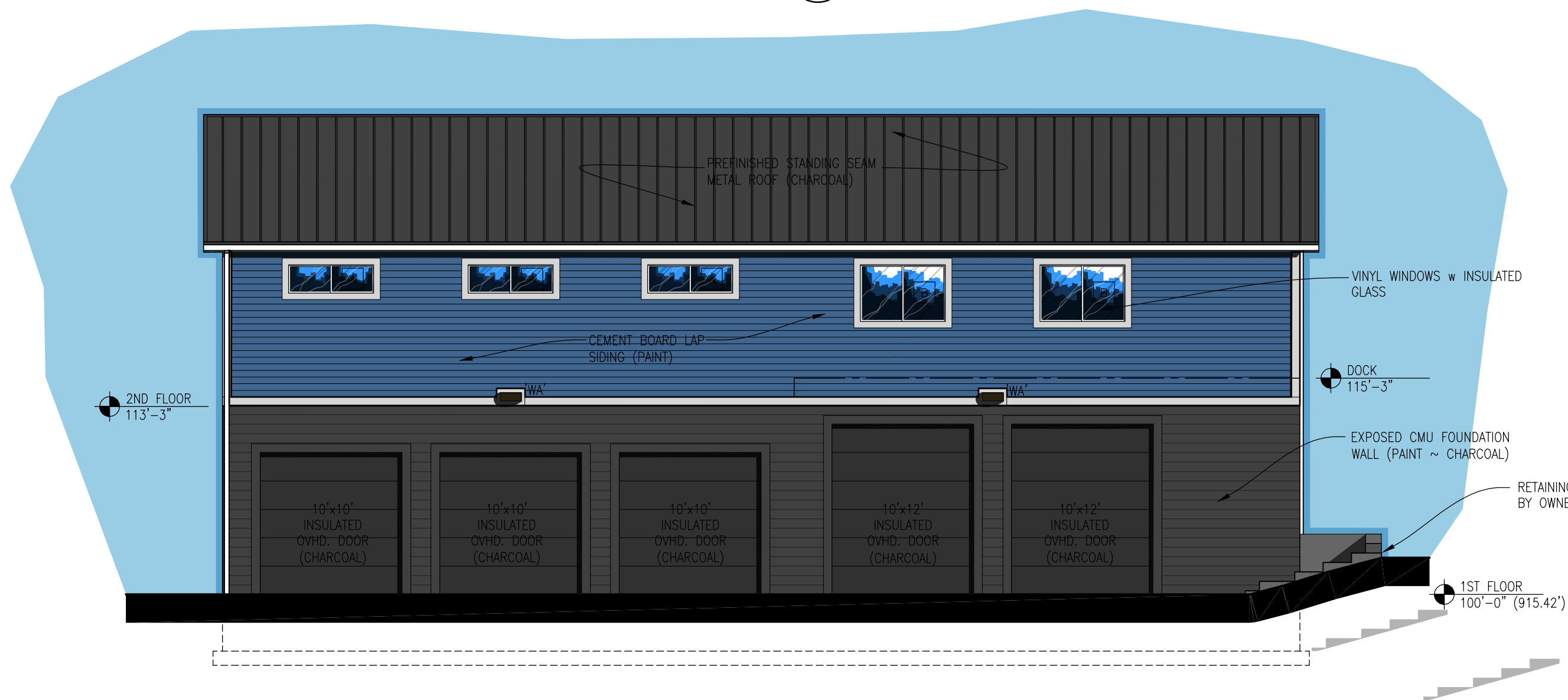
**C5.00**

[illegible]

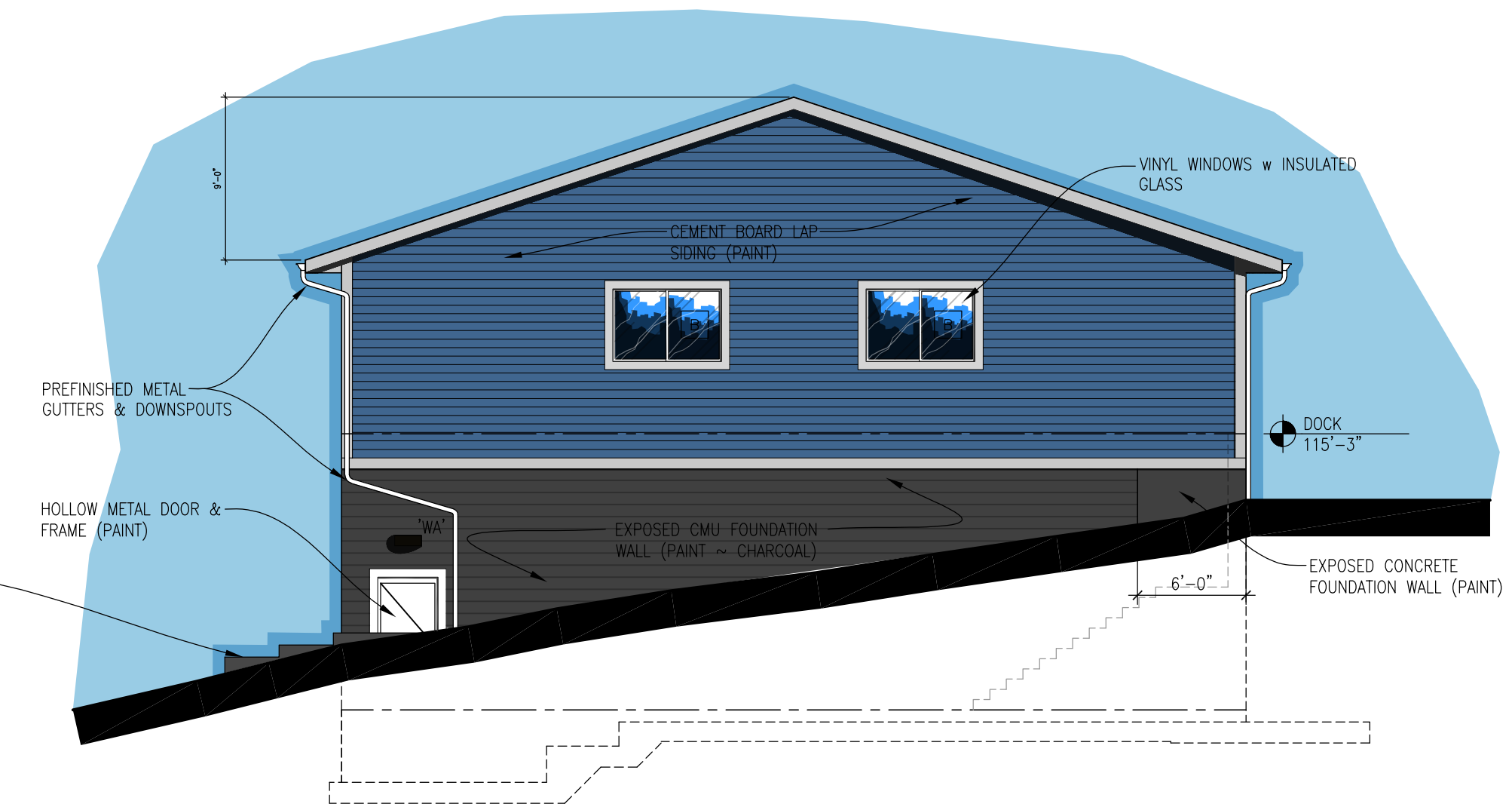
**5 West Elevation**  
1/8" = 1'-0"



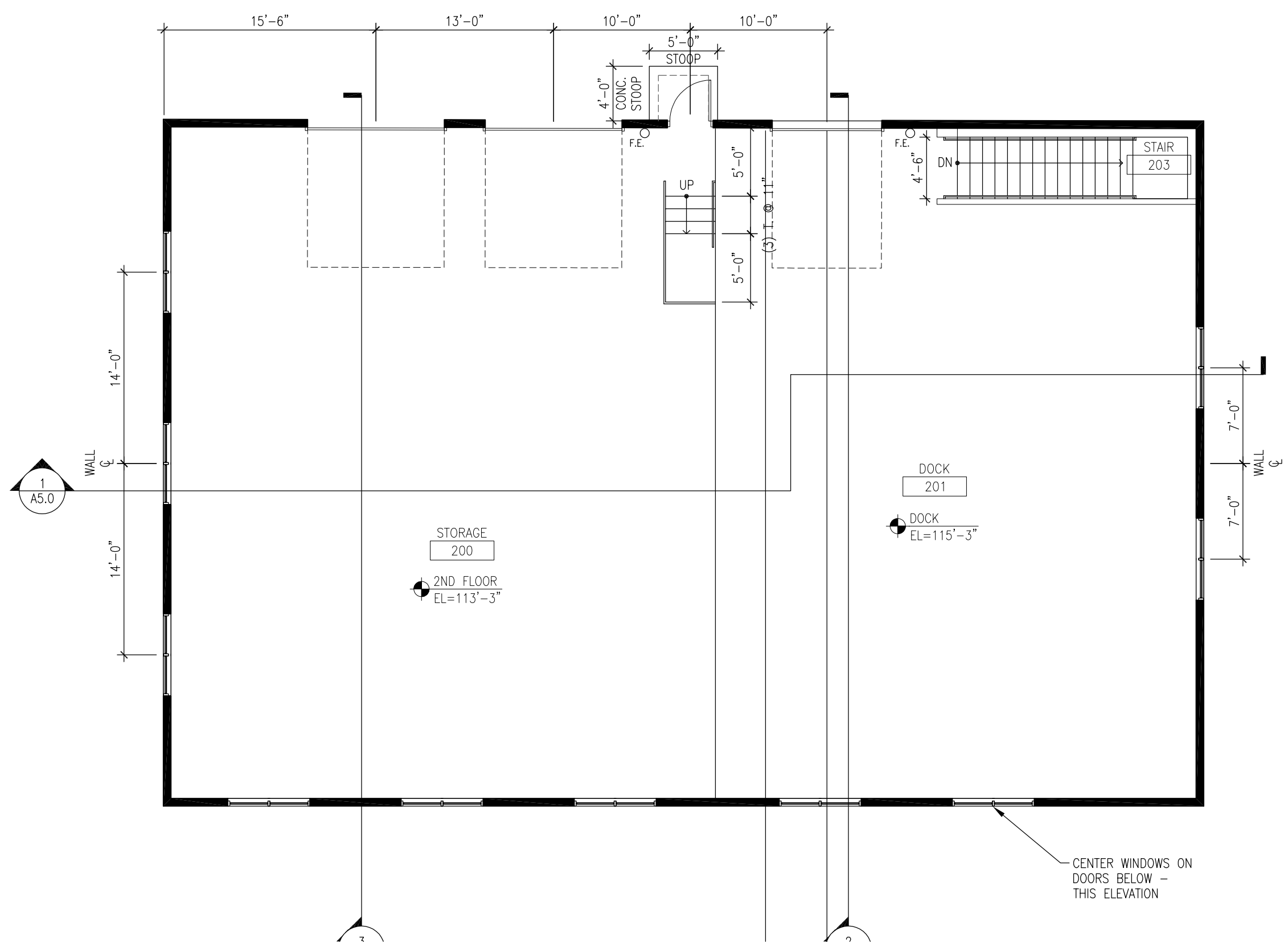
**6 North Elevation**  
1/8" = 1'-0"



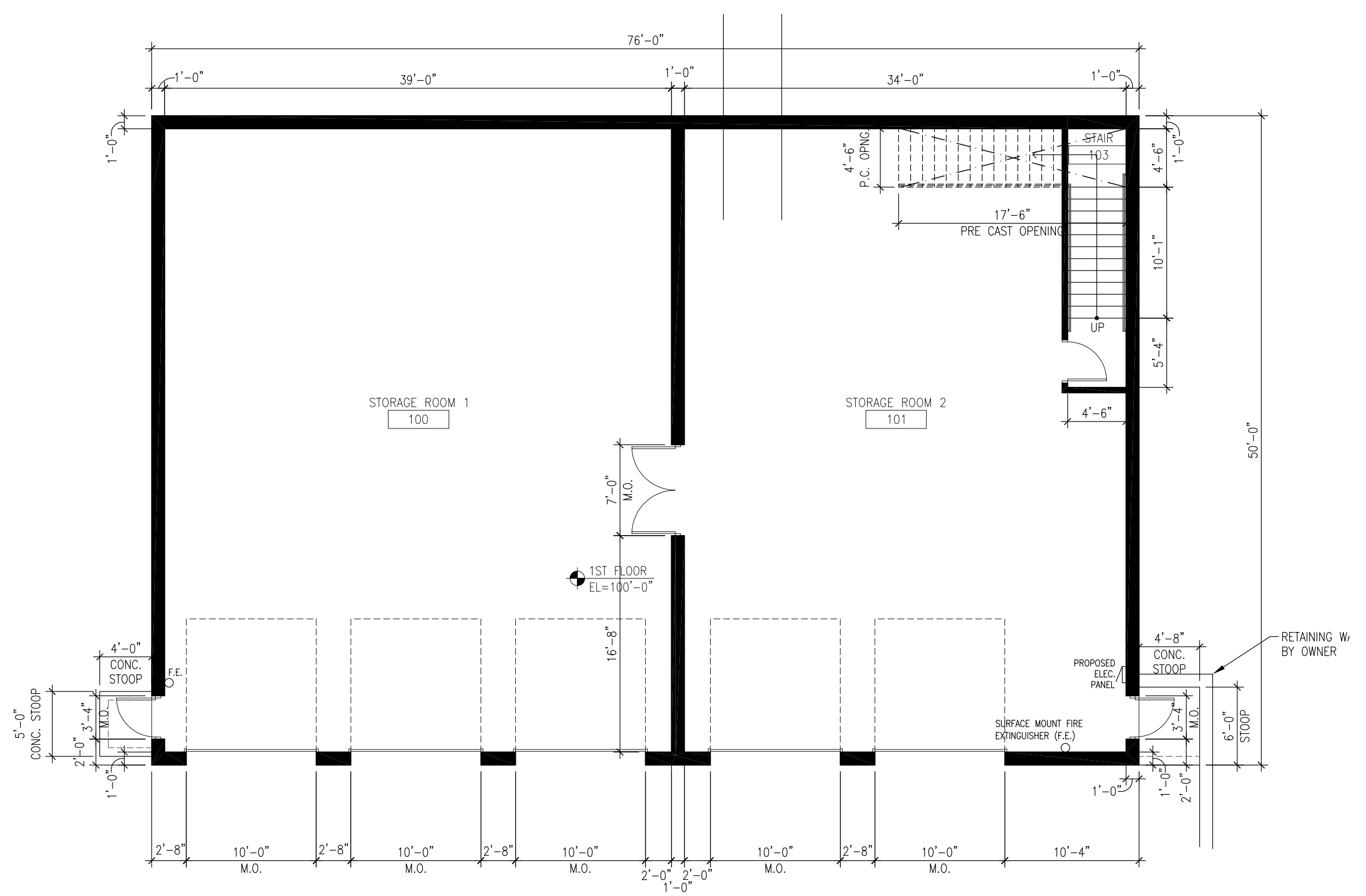
**3 South Elevation**  
1/8" = 1'-0"



**4 East Elevation**  
1/8" = 1'-0"



## 2 Upper Level Floor Plan



**1 Lower Level Floor Plan**  
1/8" = 1'-0"

**zimmerman**  
ARCHITECTURAL STUDIOS, INC.

2122 West Mount Vernon Avenue | Milwaukee, WI 53233 | [zastudios.com](http://zastudios.com)

TELEPHONE [414] 476.9500  
FACSIMILE [414] 476.8582

Consultant

HEC Project Number: 20-0110.00

Project:

Zeilhofer Properties, LLC  
New Storage Building

Location:  
N4W22540 Bluemound Road  
Pewaukee, WI 53186

**Key Plan:**

PLAN COMMISSION  
FINAL SUBMITTAL

Sheet:  
**Exterior Elevations**

Scale:  
1/8" = 1'-0"

Revisions:		
No.	Date:	Description

Date:  
March 8, 2021

Project No.:  
200110.00

Sheet No.:

# A4.0

Consultant:



Project:

Zeilhofer Properties, LLC  
New Storage Building

Location:  
N4W22540 Bluemound Road  
Pewaukee, WI 53186

Key Plan:



Sheet:

Schematic  
Landscape Plan



Scale:

1/16"=1'-0" @ 36x24"

Revisions:

No. Date Description

No.	Date	Description

Date:

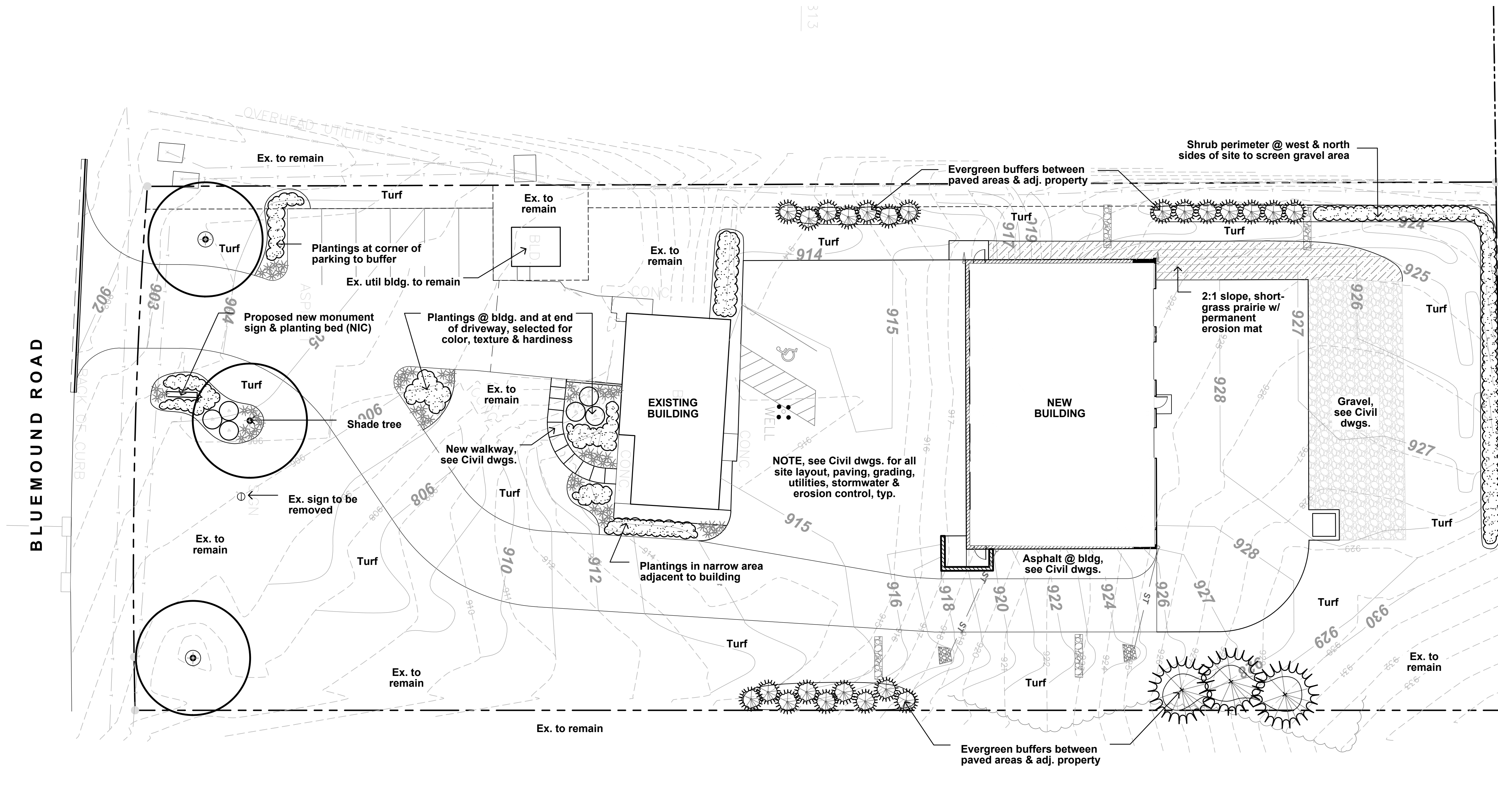
March 8, 2021

Project No.:

200110.00

Sheet No.:

L1.00



General Notes

- 1.00 Harwood Engineering's design scope is through Plan Commission submittal only. Remainder of project work (revisions per City approval requirements, final design, materials selections, species selection, detailing, shop drawing review, et al) shall be by Owner.
- 1.01 All landscape installation & maintenance to conform with all applicable local codes & ordinances, including (but not limited to) select portions of City of Pewaukee Municipal Code.
- 1.02 See Site / Civil dwgs. for work limits, scope of construction, hardscape, dimensions, construction notes, grading, stormwater management, site utilities & erosion control. See Landscape dwgs. for landscape plans, details, schedules, notes. See Arch. drawings for all other content.
- 1.03 Subcontractor (if any) shall provide shop drawings and material submittals of **all** hardscape & landscape construction elements shown in plan set for Owner review prior to construction.
- 1.04 Subcontractor shall provide samples for Owner's approval on all colors, finishes & materials prior to construction, including (but not limited to) topsoil, gravels, mulches, seed mixes et al.
- 1.05 Caution: underground utilities are present on site. Subcontractor shall verify location of all above- and below-grade utilities, **both public & private**, prior to commencement of site construction. If unanticipated above- or below-grade conditions are encountered, notify Owner prior to proceeding. Coordinate with local public utility locating entity as needed.
- 1.06 Subcontractor shall verify layout prior to construction. Contact Owner if discrepancies are found.
- 1.07 Subcontractor shall limit construction traffic to within work limit lines. See Civil drawings for limits of disturbance. All adjacent damage shall be the responsibility of the subcontractor to restore. Turf restoration outside of work limits shall be done with seeded turf.
- 1.08 Existing trees to remain on site shall be protected. Erect snow fencing @ 15' R or tree driplines, whichever is farther. All construction traffic, storage, compaction, parking or other disturbance within protection zones shall be prohibited for the duration of construction, except for work specifically indicated in the site plans.
- 1.09 All written dimensions supersede scaled dimensions. All dimensions are taken from face of curb, wall or existing building foundations.

Landscape Notes

- 2.01 Rough grading & topsoil import/spreading are to be completed by others. Finish grading, seed area and ornamental planting bed preparation shall be the subcontractor's responsibility. Verify all existing site and grading conditions prior to construction.
- 2.02 All landscape areas disturbed within the work limits shall be fine graded and restored with vegetative cover as shown. See plans for cover types & locations, see specifications for materials & installation.
- 2.03 Subcontractor shall verify plant quantities shown on plan. Symbol quantities take precedence over plant keys, except if noted in the schedule. The subcontractor shall forward a material list to the Owner prior to construction identifying species, sizes, quantities & plant sources to be used on the project.
- 2.04 All plant materials shall conform to the schedule and shall meet quality requirements outlined in the ANLA "American Standard for Nursery Stock", ANSI Z60.1-2004. The Owner reserves the right to reject any substandard planting material. Such rejected material shall be removed from the project site immediately.
- 2.05 An Owner's representative shall be allowed to inspect and approve trees at the nursery prior to delivery to the site. The subcontractor shall coordinate with the Owner in a timely fashion to confirm.
- 2.06 All nursery tags/labels shall be left on plant materials until the project punch-list inspection is completed by the Owner. Untagged materials will be assumed to be deficient.
- 2.07 All planting beds shall contain screened blended topsoil mix to a min. depth of 18". All seeded and/or sodded areas shall have min. 6". Subgrade shall be tilled and/or scarified prior to placement of topsoil. Suitable existing soil may be used & mixed if previously approved. Subcontractor shall be responsible for obtaining soil tests for existing or imported topsoil. Soil testing results shall include (but are not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay.) Remove excessive clay, gravel & stones detrimental to healthy plant growth. Remove all debris greater than 1" diameter.
- 2.08 Subcontractor shall be responsible for ensuring that all tree pits & planting areas drain properly. Notify Owner if drainage or moisture problems are encountered while planting.
- 2.09 Subcontractor shall backfill all trees, shrubs & evergreens with a mix of 1/3 plant starter mix & 2/3 remaining soil. Plant Starter Mix shall be provided by Liesener Soils, Cedarburg WI, or approved equal.
- 2.10 All perennial and groundcover areas shall receive a 3" layer of plant starter mix and perennial starter fertilizer, rototilled into the top 6" of blended topsoil in beds.
- 2.11 Unless otherwise shown, all perennials & shrubs shall be planted in triangular arrangements. For plants not shown individually, refer to the spacing shown in the plant schedule.
- 2.12 All plantings shall receive bark mulch in the beds. Bark mulch shall be hardwood bark, shredded, with no pieces larger than 1x4". Recycled mulch and/or dyed mulch will not be accepted. Mulch shall be applied @ 2-3" depth in woody planting areas and 1-2" depth in herbaceous areas. Mulch shall not touch plant trunks or stems.
- 2.13 Bed edging shall be 6" deep shovel-cut edging at all locations, typ.
- 2.14 Subcontractor shall provide positive drainage away from all structures for a minimum of 10'.
- 2.15 Subcontractor shall be responsible for providing base bid comprehensive landscape establishment, maintenance and warranty care for one year after installation. Work shall include all watering, weeding, pruning, fertilizing & pest management. Prior to beginning installation, the contractor shall submit a 12-mo. calendar for review/approval including all anticipated maintenance activities.

Seeding Notes & Mixes

- 3.01 This work shall consist of preparing the seed beds and furnishing, sowing and mulching the required seed on the various seeded areas, as outlined in the site plans and specifications. All turf restoration shall be seeded turf unless otherwise noted.
- 3.02 Rough grading, drainage work, topsoiling and fine grading shall be completed before sowing the seed mixes. The areas to be seeded shall be worked with plow chisels, discs & harrows, soil finishers and/or other appropriate equipment until a reasonably even and loose seedbed is obtained. Seed beds shall be prepared immediately in advance of the seeding. If proposed seed areas are weedy, contractor to apply herbicide or other weed control measures to eliminate weeds. Conform with seed supplier's specifications if required.
- 3.03 Confirm that anticipated project schedule date(s) fall within the respective seed supplier's approved calendar prior to installation. Installations completed outside of acceptable seeding dates shall be the performed at the sole responsibility and expense of the subcontractor. For dormant seeding, a min. of one over-seed application in the following season will be required.
- 3.04 Seeds shall be PLS and will be mixed in accordance w/ mfr's specifications. Provide invoices, bag-tags or mix analysis results for approval prior to installation.
- 3.05 Seed mixtures shall be sown by means of equipment adapted to the purpose. Mechanical distribution of seed (i.e. Truax seed drill, Brillion seeder, cultipacker, slit-seeder, drop spreader or broadcast spreader) are the only accepted methods. No hand-broadcasting of seed.
- 3.06 No seeding shall occur if the wind exceeds 12 MPH.
- 3.07 Coordinate erosion control and/or mulching with Civil dwgs:

- In sloped areas steeper than 4:1, erosion matting shall be installed by others. Landscape installation shall be coordinated with the erosion control contractor. Note areas where permanent erosion matting is specified.
- In areas with slopes between 4:1 and 8:1, subcontractor shall apply clean hay or straw mulch, free of debris and seeds, on all newly seeded areas. Mulch shall be uniformly spread over the designated area at a rate of 55 bales per acre or as indicated in the respective seed supplier's specifications. Mulch material shall be chopped and blown into the seeded area.
- Lightweight E.C. matting and/or hydromulch will be accepted as a no-cost alternate if approved by Owner prior to application.

- 3.08 See Civil dwgs for erosion control devices. Coordinate with erosion control contractor where required to ensure that topsoil, seeding and/or mat installations are properly coordinated.

- 3.09 Subcontractor shall be responsible for obtaining soil tests for all seeded areas. Soil testing results shall include (but are not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay.) Contaminated soil shall be removed from the project site if discovered. If necessary, supply soil amendments required for specified seed mixes and/or coordinate alternate mixes if soils cannot be properly conditioned.

- 3.10 Cover crop seeding: All seeded areas shall include temporary annual cover crop seeding. Cover crop shall be Annual Rye or approved alternate species, seed rates appropriate for the season (i.e. spring, summer or fall application.)

- 3.11 Seed mix substitutions shall be considered only if submitted for approval 10 days before the close of bidding. All mixes shall be installed & maintained per supplier's specifications.

BLUEGRASS MIX:  
"Deluxe 50 Mix" shall be supplied by Reinders, Sussex WI, 262-786-3300. Apply @ 6 lbs per 1000 GSF.

SLOPE MIX:  
"Erosion Control Mix for Medium Soils" shall be supplied by Prairie Nursery, Westfield WI, 800-476-9453 ph. Apply @ 10 lbs per AC, plus cover crop.

- 3.12 Subcontractor shall be responsible for providing base bid comprehensive seed area establishment, maintenance and warranty care for all seeded areas:

- Bluegrass areas shall be for one season after installation. Work shall include all watering, weeding, fertilizing & mowing. Assume one mowing per week, plus overseeding of any bare spots found after 60 days.

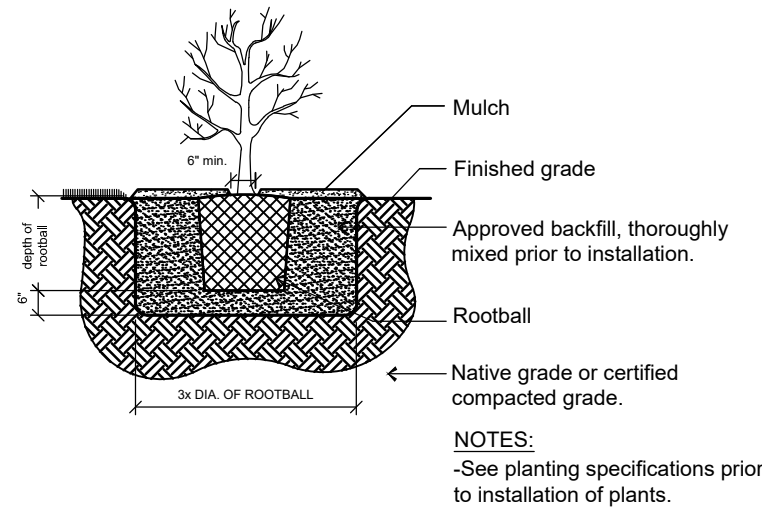
- All other seed areas shall be for three years after installation. Work shall include all watering, weeding (both spot herbicide and/or hand-pulling, depending on necessity), fertilizing, spring / fall clean-up & mowing. Expect 4-5 mowings in the first year, 3-4 mowings in the second year and 2-3 mowings in the third year. All mowings shall be timed to cut germinating weeds but not desirable forbs / grasses. Overseed each spring any bare areas larger than 1 sq. ft.

- Prior to beginning installation, the contractor shall submit a 36-month calendar for review/approval including all anticipated maintenance activities.

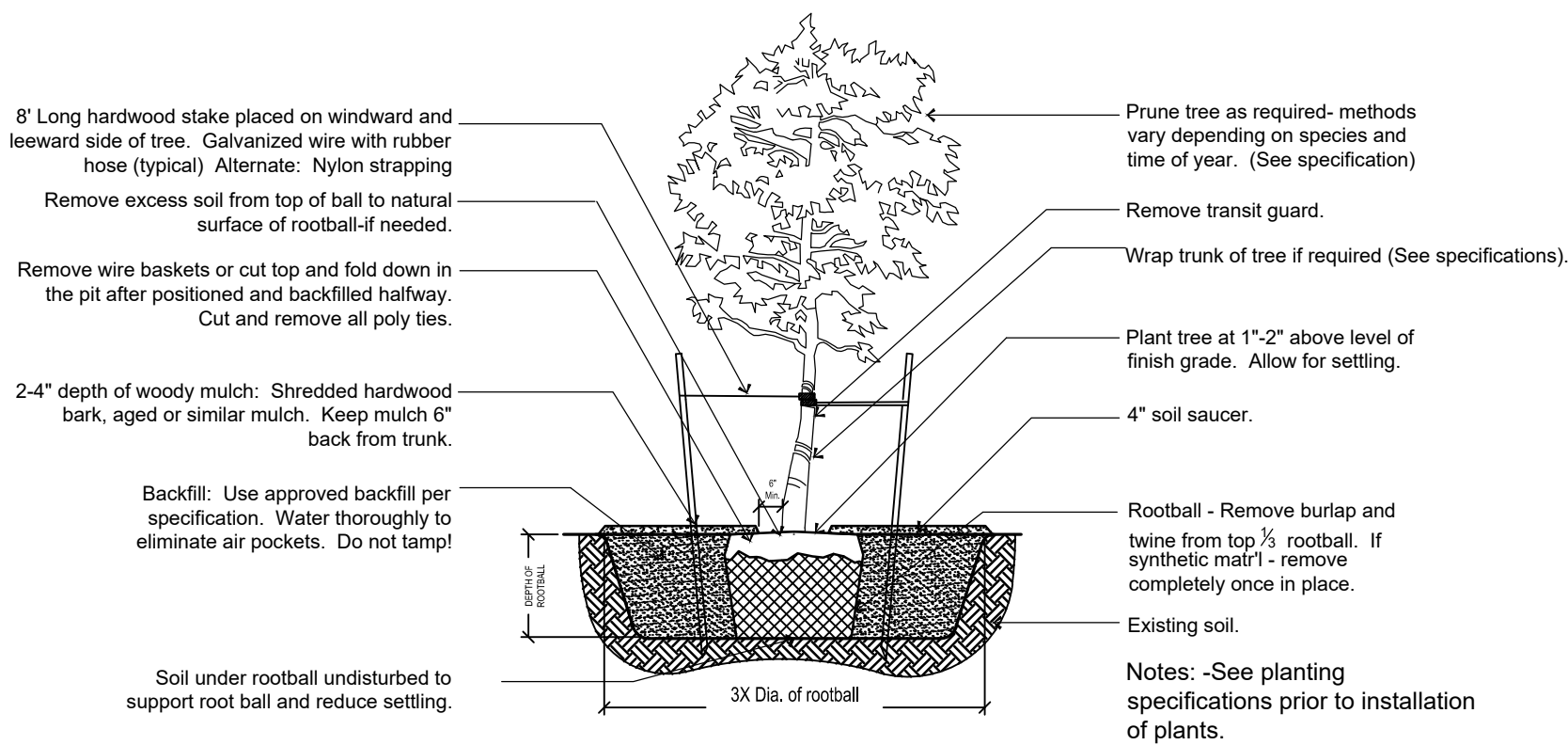
Preliminary Plant Schedule

Note: Species & quantities TBD, final selections By Owner.

Symbol	Qty.	Botanical Name	Common Name	Installed Size	Root	Spacing	Notes
<b>[Qty. 03] Shade Trees</b>							
Ace Sie		Acer freemanii 'Sienna Glenn'	Sienna Glenn Maple	3" Cal.	B/B	As Shown	
<b>[Qty. TBD] Ornamental Trees</b>							
Arne Aut		Amelanchier x. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8' Ht.	B/B	As Shown	25x25' heavy 3-stem
<b>[Qty. 03] Evergreen Trees</b>							
Pic Gla		Picea glauca var densata	Black Hills Spruce	7' Ht.	B/B	As Shown	
<b>[Qty. 23] Large Shrubs</b>							
Thu Tec		Thuja occidentalis 'Technitro'	Technitro Dwf. Arborvitae	5' Ht.	B/B	As Shown	
Vib Red		Viburnum dentatum 'Red Feather'	Red Feather Arrowwood Viburnum	48" Ht.	B/B	As Shown	
<b>[Qty. 925sf] Deciduous Shrubs</b>							
Rib Gre		Ribes alpinum 'Green Mound'	Green Mound Alpine Currant	18-24" Ht.	2 Gal.	48" o.c.	
Spi Fri		Spiraea fritschiana	Fritsch Spirea	15-18" Ht.	2 Gal.	42" o.c.	
Vib Spi		Viburnum carlesii 'Spiced Bouquet'	Spiced Bouquet Comp. Kspice Viburnum	30-36" Ht.	7 Gal.	60" o.c.	
<b>[Qty. 270sf] Evergreen Shrubs</b>							
Jun Kal		Juniperus chinensis 'Kallay'	Kallay Compact Juniper	24" sprd.	7 Gal.	54-60" o.c.	
<b>[Qty. 235sf] Perennials &amp; Grasses</b>							
Cal Ove		Calamagrostis acu. 'Overdam'	Overdam Feather Reed Grass	1 Gal.	Cont.	30-36" o.c.	
Hem Spp		50/50 mix of Hemerocallis 'Happy Returns' & 'Rosy Returns'		4.5"	Cont.	18-24" o.c.	In drifts of 3-5 per spp.
Spo Het		Sporobolus heterolepis	Prairie Dropseed	1 Gal.	Cont.	18-24" o.c.	



2 Shrub Planting Detail  
Not To Scale



1 Tree Planting Detail  
Not To Scale

Consultant:



Project:

Zeilhofer Properties, LLC  
New Storage Building

Location:

N4W22540 Bluemound Road  
Pewaukee, WI 53186

Key Plan:



Sheet:

Landscape Details,  
Schedules & Notes

Scale:

As Shown @ 36x24"

Revisions:

No.	Date	Description

Date:

March 8, 2021

Project No.:

200110.00

Sheet No.:

L5.00



**Office of the Planner & Community Development Director**

W240 N3065 Pewaukee Road

Pewaukee, Wisconsin 53072

Phone (262) 691-0770

Fax (262) 691-1798

[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

---

Date: February 15, 2021 (3/8/21 - A/E Comments in RED)  
To: Mark Wershay, Zimmerman Architectural Studios, Inc.  
From: Nick Fuchs, Planner & Community Development Director  
RE: Zeilhofer storage building Conditional Use and Site & Building Plan Review

---

**Comments and Recommendations:**

Below are comments and recommendations for the proposed development at N4W22540 Bluemound Road (Tax Key No. 0963997).

1. What type of materials and/or equipment will be stored within the building? **Materials and tools used in conjunction with our home remodeling and outdoor living installations. Construction materials such as tools, decking, stone, outdoor kitchens, etc.**
2. What is the purpose of the gravel area to the north of the building? Will any materials be stored outside? Are any vehicles or equipment parked overnight on the property? **The gravel area is for parking of vehicles and trailers. The area is located behind the building and screened with landscape. Vehicle storage will consist of trucks and trailers. They do not plan for any long-term storage of materials outside of the storage building.**
3. Are any dumpsters or other types of containers kept onsite? **Yes, they will be placed on a concrete pad within the larger gravel areas to the north. They are screened by the landscaping.**
4. Note the proposed monument sign will require staff review and approval of a Sign Permit. **Understood, this design will be installed at a future date and following building approval.**
5. It is recommended that parking spaces comply with Section 17.0601a., which states that the size of each parking space shall be not less than 180 square feet. **The drawings have been updated to reflect 180 square feet per space.**
6. Please provide at least one ADA compliant parking stall. **Added to drawings.**
7. Please show the B-4 District setbacks on the site plan. **Added to drawings.**
8. What color will the CMU foundation be painted? **Charcoal.**
9. What type of roof material is being used? **Standing seam metal roof as noted on the plans.**
10. Are the trees shown on the demolition plan all trees onsite or just those of a certain size and greater? **Per the Owner, the surveyor shot all trees not located in the current cluster on the north end of the lot. Those trees need to be removed to accommodate the new construction. There were no size minimums.**
11. There does not appear to be grading around the two 18" trees in southeast corner of the site and minimal grading around the 60" tree. Why are these trees being removed? It is recommended that all three trees be preserved. **All three trees are not in good health or aesthetically appealing. A portion of the 60" trees root system will need to be removed when putting in the drive which will place a declining tree in further decline. This large tree has a low crotch making it susceptible to failure. A much more appealing linden tree is planned for the SE corner where the two 18" trees would be removed.**

12. All new paving shall meet the standards of Section 17.0601c. of the City's Zoning Code.  
**Confirmed.**
13. Note that substantial evidence, pursuant to Section 62.23(7)(de) of WI State Statutes, must be presented at the public hearing for Common Council consideration of the Conditional Use Permit. **The Zeilhofer's currently rent a storage facility in Waukesha. This Conditional Use Request will consolidate their business to a single location and remove their rent obligation.**
14. Engineering Department comments are as follows:
- a. Permission from Waukesha County is required for the access and the changes within the right-of-way of Bluemound Road (CTH JJ). **We will be coordinating with Waukesha County for any required permits.**
  - b. It is recommended that the property connect to municipal sewer and water. **The nearest adjacent municipal sewer and water lines are located a considerable distance from the building and would require crossing a County Roadway. Additional investigation finds that the sanitary across the street on Takoma Drive is 16.5' below grade. The proposed building does not have any water or sanitary needs.**
  - c. The Demo plan does not appear to reflect the amount of tree removal required for the work shown on the Grading and Erosion Control Plan. **The demo area within the "Wooded area" has been expanded to reflect the grading and erosion control plan.**
  - d. Clarification is needed on where the swale along the west side of the property drains. There is a swale until it nears the building. This flow is redirecting drainage which used to sheet flow across the neighbor's property to concentrating it in a swale and it appears to discharge into a swale on the adjacent property and/or is being directed at the little accessory building. Is there a drainage easement that allows this onto the adjacent property? It is not recommended to direct water to discharge towards any buildings. In addition, the swale appears to be directed at a planting bed. **We are currently redirecting the runoff south and to the existing shared swale along the west property line.**
  - e. Please remove the City's curb and gutter detail and driveway connection as this is Waukesha County's jurisdiction. **City curb and gutter, and driveway connection has been removed.**
  - f. The plans currently indicate less than 1 acre of disturbed area. However, if the development changes or additional area is disturbed during construction and it disturbs over 1 acres, the development will be required to meet the City's Chapter 19 ordinances. Any areas not supposed to be disturbed must be shown as protected on the plan and provisions provided to keep construction traffic from disturbing those areas. **Contractor shall stay within silt fence boundary and follow the grading, erosion control and demo plan as not to disturb over 1 acre.**

**CITY OF PEWAUKEE  
PLAN COMMISSION AGENDA ITEM 7.**

**DATE:** May 20, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:**

***SUBJECT:***

Discussion and Action Regarding a Petition for a Rezoning Public Hearing for Century Fence to Rezone a 2.07 Acre Portion of Land in the City of Pewaukee Located at Approximately 1300 Hickory Street in the Village of Pewaukee From M-6 Mixed Industrial To M-1 General Wholesale (PWC 0921997003)

***BACKGROUND:***

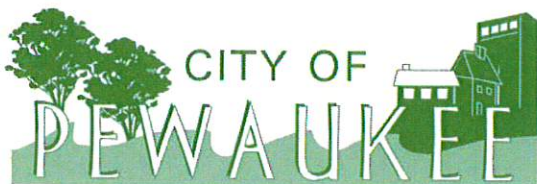
***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

Century Fence Rezoning Application & Map



Office of the Planner & Community Development Director  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770  
Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

**PETITION FOR A REZONING DISTRICT MAP AMENDMENT**

TO THE HONORABLE MAYOR AND COMMON COUNCIL OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned hereby petitions the Common Council of the City of Pewaukee, Waukesha County, Wisconsin to rezone the following property FROM M-6 Mixed Industrial District zoning district(s) TO M-1 General Wholesale Business/Warehouse zoning district(s):

Legal description of property to be rezoned – Please attach.

Common property description or name: Century Fence Company

Property Address: 1300 Hickory Street, Pewaukee Tax Key Number(s): PWC 0921997003-PWV 0921995

Property owner(s) (Full Legal Name): Anthony W Bryant

Owner's Address: 108 North Barstow Street City/State/Zip: Waukesha, WI 53186

Phone: 262-896-3800 Email: awbryant@msn.com

This amendment to the zoning map is being proposed in order to utilize property for outdoor storage.

**Applicant (Full Legal Name):**

Name: John E. Connell

Company: Century Fence Company

Address: 1300 Hickory Street

City/State/Zip: Pewaukee, WI 53072

Phone: 262-547-3331

Email: sales@centuryfence.com

**Contact Person (Full Legal Name):**

Name: John E. Connell

Company: Century Fence Company

Address: 1300 Hickory Street

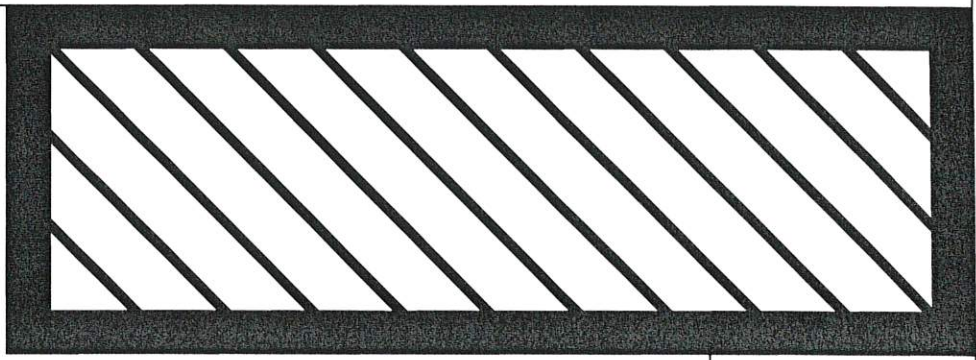
City/State/Zip: Pewaukee, WI 53072

Phone: 262-547-3331

Email: sales@centuryfence.com

**Rezoning submittals must include and be accompanied by the following:**

- ☒ This Application form accurately completed with original signatures.
- ☒ Application Filing Fee, payable to the City of Pewaukee:
  - o \$400.00, plus cost for publication, notice and all attorney fees related to Project
- ☒ Five (5) complete collated sets of Application materials to include:
  - o A written project narrative detailing the request and proposed zoning as well as any future development plans or any proposed site or building improvements.
  - o A Rezoning Exhibit that illustrates the property boundaries, areas to be rezoned and specifically notes the existing and proposed zoning.
  - o Building and Site Plans as may be applicable.
- ☒ All application materials provided in a digital format (Adobe PDF). Materials may be submitted on a USB Flash Drive or emailed to [hurd@pewaukee.wi.us](mailto:hurd@pewaukee.wi.us).
- ☒ Note twelve (12) additional sets of plans will be required for Plan Commission following staff review of the initial submittal. These plans should be revised in response to staff comments as may be necessary.



# REZONE FROM M-6 TO M-1



1" = 100'

M-6

Rs-2

Rs-3

Rs-3

Rs-2

C.T.H. "M" WATERTOWN ROAD

SINGLE  
TREE DR.

Rs-6

Rs-6

Rs-6

Rs-6

Rs-6

**CITY OF PEWAUKEE  
PLAN COMMISSION AGENDA ITEM 8.**

**DATE:** May 20, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:**

***SUBJECT:***

Discussion and Action Regarding the Site and Building Plans for Century Fence Company Located at Approximately 1300 Hickory Street for the Purpose of Creating an Outdoor Storage Area (PWC 0921997003)

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

Century Fence Staff Report 5.20.21

Century Fence Site & Building Plans

Century Fence Narrative



**Office of the Planner & Community Development Director**  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of May 20, 2021

---

**Date:** May 12, 2021

**Project Name:** Century Fence Rezoning and Site & Building Plan Review

**Project Address/Tax Key No.:** approximately 1300 Hickory Street / Tax Key Nos. PWC 0921997003 and PWV 0921995

**Applicant:** Anthony W. Bryant, Century Fence Company

**Property Owner:** Anthony W. Bryant

**Current Zoning:** M-6 Mixed Industrial District

**Proposed Zoning:** M-1 General Wholesale Business/Warehouse District

**2050 Land Use Map Designation:** Manufacturing/Fabrication/Warehousing

**Use of Surrounding Properties:** CP Rail System to the north, industrial and single-family residential to the south, and industrial to the east and west

---

### Project Description/Analysis

The applicant filed a rezoning request and a Site & Building Plan Review Application to rezone the property bearing Tax Key No. 0921997003 and create an outdoor storage area for the Century Fence Company.

#### Rezoning:

The applicant recently received approval to combine this property with the property to the north located in the Village of Pewaukee. As discussed at that time, the applicant is now requesting to rezone the property from M-6 Mixed Industrial District to M-1 General Wholesale Business/Warehouse District.

The M-1 District allows storage "...within an open area attractively and effectively visually screened from public streets, roads, or highways and adjacent uses and where the individual goods or materials are not reduced in size or basically changed in character" as a Permitted Use.

As such, staff finds that the M-1 District is most appropriate for the proposed use and matches the zoning of the adjacent We Energies property to the east, which also has significant outdoor storage.

As the property is planned as Manufacturing/Fabrication/Warehousing on the City's Year 2050 Land Use/Transportation Plan map, the M-1 District zoning is consistent with the Comprehensive Master Plan and no amendment is required.

Site Plan:

The proposed site plan includes a compacted gravel area that will be utilized for outdoor storage. The portion of the property located within the City is about 90,045 square feet. The site contains approximately 9,048 square feet of wetland area of which 1,810 square feet may be included within the greenspace calculations. As such, 33,123 square feet of greenspace is required.

The proposed site plan includes 49,335 square feet of impervious surface and 33,742 square feet of greenspace, excluding 80% of the wetland area. Therefore, the site plan is in compliance with the City's 40% minimum greenspace ratio.

The applicant is also proposing to plant 13 Scotch Pines along the south property line. Staff recommends that the Landscape Plan be revised to include a minimum of three different species of evergreen trees, subject to review and approval by the City Planner. The applicant contends that there is sufficient screening along the east and west property lines.

The storage area as shown complies with the minimum wetland setback of 25-feet. The wetland location shown on the site plan is based upon WDNR mapping. As the storage area is proposed up to the wetland setback, the applicant has contracted with Wetland and Waterway Consulting to complete an onsite wetland delineation. It is recommended that land disturbance not occur until a wetland delineation is completed onsite. Note that if the wetland boundary changes from what is currently mapped, the boundary of the storage area may need to be revised.

It can be noted that the storage area complies with M-1 District standards, including setbacks and the applicant has confirmed that there is no lighting proposed.

An erosion control plan has also been provided and will require review by the Engineering Department. Staff recommends that final grading, erosion control and storm water management plans shall be submitted for approval by the Engineering Department prior to any land disturbance.

### **Recommendation**

A motion recommending approval to rezone the property bearing Tax Key No. 0921997003 from M-6 Mixed Industrial District to M-1 General Wholesale Business/Warehouse District and approval of the proposed site plan, subject to:

1. Common Council approval of the rezoning request,
2. Staff recommended conditions of approval, and
3. Recording of the previously approved certified survey map.

May 7, 2021




City of Pewaukee

Revised Submittal

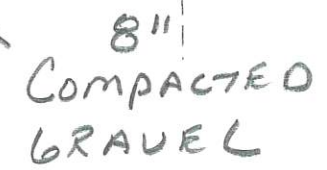
- SHT. C1.0 - Shows greenspace calculation including wetland "allowance"
- Shows 25' side/rear setbacks
- C2.0 - Erosion Control Plan – including matting of setback areas
- C3.0 - Shows proposed plantings

Photographs of east and west lot line views included for information only showing existing screening.



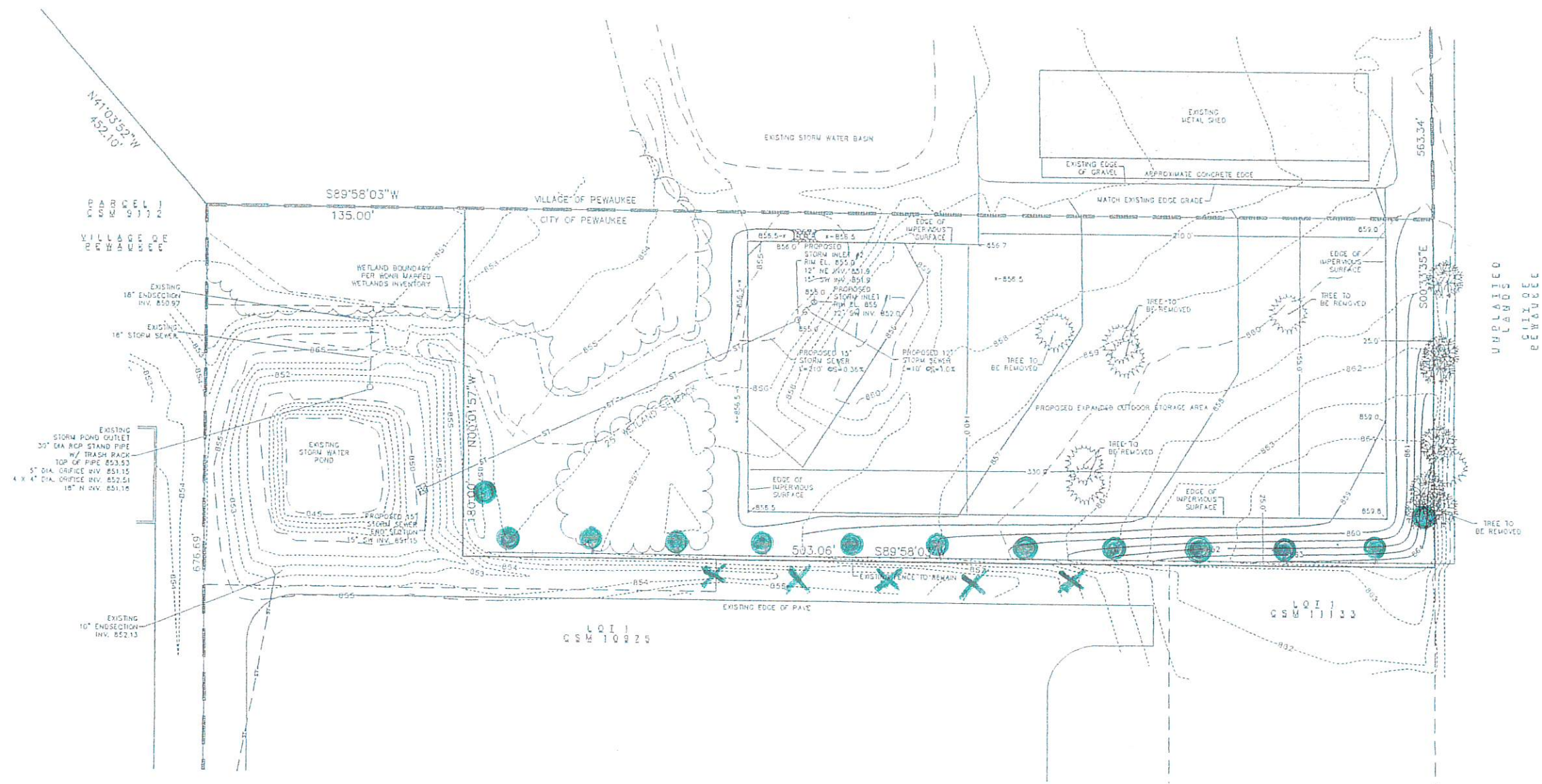
John Connell

1300 HICKORY ST.  
P.O. BOX 727  
PEWAUKEE, WISCONSIN 53072-0727  
TEL (262) 547-3331  
(800) 558-0507  
FAX (262) 691-3463  
(262) 691-3487  
[www.centuryfence.com](http://www.centuryfence.com)



5 DISTURBED AREA: 71,029 S.F. (1.631 ACRES)





CENTURY FENCE  
PEWAUKEE, WISCONSIN

# CITY OF PEWAUKEE SITE AREA

IMPERVIOUS SURFACE = 49,335 S.F. (1.133 ACRES) (54.6%)  
 TOTAL OPEN / GREEN SPACE = 41,070 S.F. (0.932 ACRES) (45.4%)  
 (INCLUDING WETLAND AREA)  
 USABLE OPEN / GREEN SPACE = 32,023 S.F. (0.735 ACRES) (35%)  
 (EXCLUDING WETLAND AREA)  
 WETLAND AREA = 9,048 S.F. (0.208 ACRES)  
 TOTAL AREA = 90,405 S.F. (2.075 ACRES)  
 CITY'S 40% OPEN SPACE REQUIREMENT: 36,162 S.F. (0.830 ACRES)  
 NON-WETLAND OPEN SPACE AREA = 32,023 S.F. (68.6% OF REQUIREMENT)  
 WETLAND AREA USED TO MEET THE REQUIREMENT = 4,139 S.F. (11.4%)

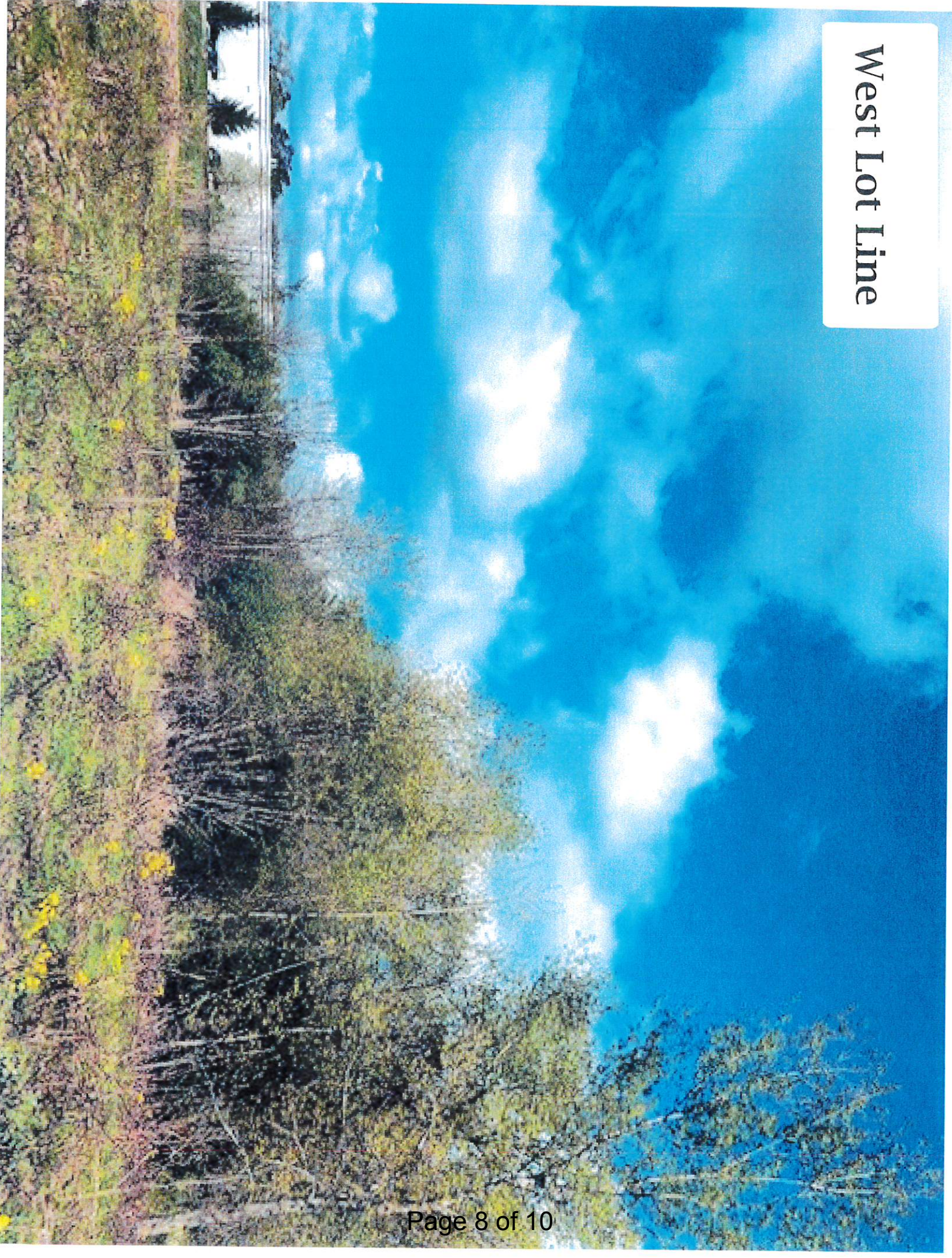
## LANDSCAPE PLANTINGS

KEY - ● SCOTCH PINES 3-4' TALL  
 X EXISTING SCOTCH PINES IN PLACE



NOTES:  
 1. PROPOSED SITE AREAS ARE IN CONFORMANCE WITH THE APPROVED STORM WATER MANAGEMENT PLAN FOR THE SANBORN PROPERTY TO THE SOUTH. THE NORTH PORTION OF THE APPROVED STORM WATER MANAGEMENT PLAN WAS DESIGNED TO TAKE 1.50 ACRES OF ADDITIONAL FUTURE IMPERVIOUS SURFACE INTO CONSIDERATION. THE NEW DEVELOPMENT IS PROPOSING 1.189 ACRES OF IMPERVIOUS SURFACE BE ROUTED TO THE EXISTING POND, THEREFORE THE PROPOSED DEVELOPMENT IS IN CONFORMANCE WITH THE APPROVED STORM WATER MANAGEMENT PLAN FOR THE SANBORN DEVELOPMENT.  
 2. ALL STORM SEWER MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND STORM SEWER CONSTRUCTION (MUNICIPALITY OF PEWAUKEE STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE, AND ANY OTHER APPLICABLE REQUIREMENTS.  
 3. ALL TRENCHES IN IMPERVIOUS AREAS SHALL HAVE GRAVEL BACKFILL IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS SECTION 5.4.3.4 AND PER FILE NO. 4 COMPACTED SECTION (CLASS "B" BEDDING).

# West Lot Line



# East Lot Line

## Century Fence Company Business Plan of Operation

### BACKGROUND

Century Fence Company has owned 2.07 acres of property in the City of Pewaukee contiguous to our facility in the Village, for the last eight years.

We petitioned the City for detachment in 2016. This request was denied.

The two parcels have now been combined on one CSM and approved by the City of Pewaukee Plan Commission and Common Council.

### PLAN OF OPERATION

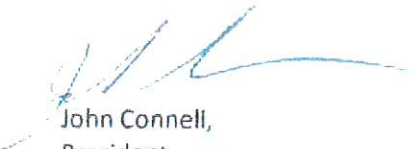
This expansion is solely to increase our square footage of outdoor storage to be utilized by our Fence division. It will not result in any increase in traffic into our property. We do not plan on any structure being built or utilities servicing this property.

Our civil engineer, CJ Engineering, has recommended minimal grading, capturing storm run off in a catch basin and carrying it to the detention pond with an underground pipe.

The finished surface, less setbacks, will be 8" of compacted gravel. We do not foresee this development having any impact on the infrastructure in the Village of Pewaukee.

Sincerely,

Century Fence Company



John Connell,  
President

**CITY OF PEWAUKEE  
PLAN COMMISSION AGENDA ITEM 9.**

**DATE:** May 20, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:**

***SUBJECT:***

Discussion and Action Regarding a Certified Survey Map for Richard Knutson for Property Located at N28 W26658 Peterson Drive in Order to Divide the Property Into Three Lots and an Outlot (PWC 0930052009)

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

Knutson CSM Staff Report 5.20.21

Knutson CSM



**Office of the Planner & Community Development Director**  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of May 20, 2021

---

**Date:** May 12, 2021

**Project Name:** Knutson Certified Survey Map

**Project Address/Tax Key No.:** Not Assigned/PWC0930052009

**Applicant:** Richard Knutson

**Property Owner:** J & R Knutson Revocable Trust

**Current Zoning:** Rs-4 Single-Family Residential District

**Proposed Zoning:** Same

**2050 Land Use Map Designation:** Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac. / D.U.)

**Use of Surrounding Properties:** Single-family residential to the north and south, agricultural land to the east and the 5 O'Clock Club to the west

---

### **Project Description**

The applicant filed a Certified Survey Map Application to subdivide an existing vacant property into three single-family residential lots and one outlot. The property is located at the northwest corner of Peterson Drive and Lauderdale Drive, directly to the north of the entrance to the 5 O'Clock Club.

The property is zoned Rs-4 Single-Family Residential District and designated as Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac. / D.U.) on the City's Year 2050 Land Use/Transportation Plan. The proposed land division conforms to and is consistent with the current zoning and future land use designation.

Lot 1 of the proposed certified survey map has an area of 40,938 square feet. Lot 2 has an area of 39,650 square feet and Lot 3 is 36,893 square feet. Outlot 1 has an area of 3.51 acres and will remain vacant land with no current plans for development, according to the applicant. Note that to develop Outlot 1, approval of a certified survey map and removal of the outlot designation by the City is required as well as approval of any proposed development plans

All lots conform to the Rs-4 minimum lot area of 20,000 square feet and minimum lot width at the building setback line of at least 110 feet. The minimum required building setbacks are shown on the CSM and also conform to the Rs-4 District standards.

Note that as part of this development, staff recommends that the applicant extend public water and laterals to each lot, and complete road repairs as required by the Engineering Department.

### **Recommendation**

As part of the review of the CSM, staff made the following comment:

“Please be aware that if more than one acre of land disturbance will occur, a grading, erosion control and storm water management plan in compliance with Chapter 19 of the City’s Municipal Code is required. Please provide a plan that shows the anticipated amount of disturbance to develop these lots.”

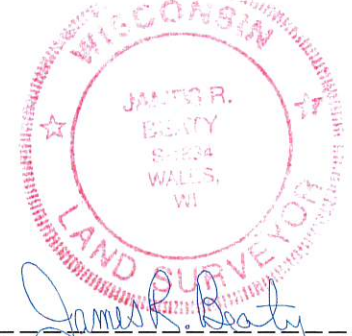
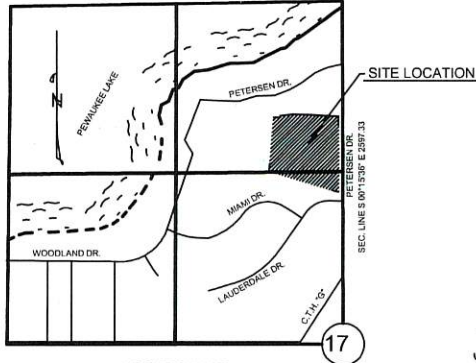
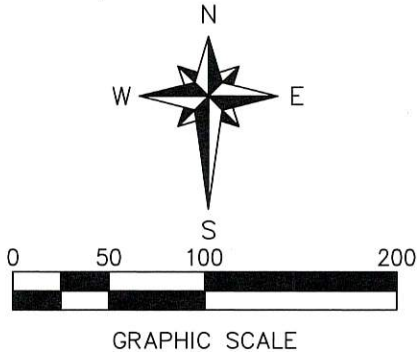
A plan showing the anticipated amount of land disturbance was not submitted; therefore, staff is recommending that the CSM be tabled until such a plan is provided and staff can verify that these three lots can be developed without storm water management being provided.

It should be noted that if less than an acre of land is disturbed and these lots can be developed without having to meet storm water management requirements, these three lots must be included in land disturbance and storm water management calculations if Outlot 1 is developed in the future.

If the Plan Commission and Common Council wish to approve the CSM at this time, staff recommends that a restriction be added on Sheet 1 stating that no more than 0.33 acres of land shall be allowed to be disturbed for Lot 1, Lot 2, and Lot 3. Furthermore, upon development of Outlot 1 in the future, all three lots shall be included within the land disturbance and storm water management calculations.

# CERTIFIED SURVEY MAP NO —

BEING A PART OF LOT 2, CERTIFIED SURVEY MAP NO. 4388, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF WAUKESHA COUNTY IN CERTIFIED SURVEY MAPS AS DOCUMENT NO. 1226745, IN VOLUME 35 ON PAGES 51-53, BEING ALSO A PART OF THE NORTHEAST 1/4 (GOVERNMENT LOT 1) AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN



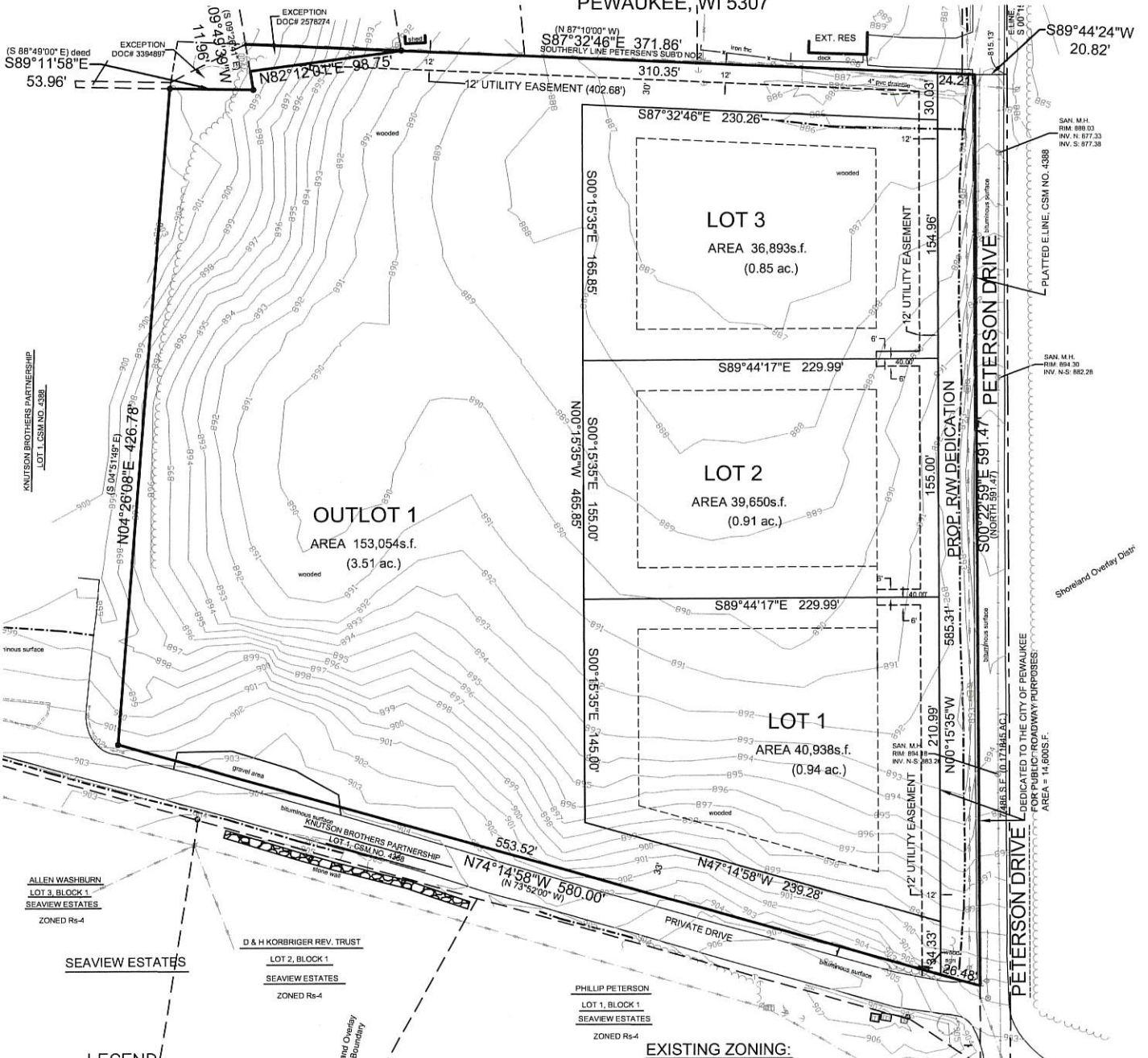
James R. Beaty, RLS 1834  
DATED: FEBRUARY 12, 2021  
REVISED: APRIL 26, 2021

## BEARING REFERENCE

ALL BEARINGS SHOWN HEREON ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE GRID NORTH WITHIN WHICH THE E.LINE OF THE NW 1/4 OF SECTION 17-7-19 IS ASSUMED TO BEAR SOUTH 00°15'36" EAST. (PER SEWRPC CSSD)

## OWNER/DEVELOPER:

J&R KNUTSON REV. TRUST  
N28W26658 PETERSON DR.  
PEWAUKEE, WI 5307



## LEGEND

- — INDICATES IRON PIPE 1" x 18", 1.13 LBS./LIN.FT. SET (1.315o.d.) (unless noted otherwise)
- — 1" IRON PIPE FOUND (UNLESS NOTED)
- — CONC. MONU. W/ALUMINUM CAP FOUND
- (R) — RECORDED AS

## EXISTING ZONING:

Rs-4

## SETBACKS:

Front: 40 feet

Rear: 35 feet

Side: 20 feet

## SO- Shoreland Overlay District:

Said parcel lies partially within the SO-Shoreland

Overlay District (Within 1000' of O.H.W.)

(Other restrictions may apply, see zoning code)

THIS INSTRUMENT WAS DRAFTED BY JAMES R. BEATY

SHEET 1 OF 4

CERTIFIED SURVEY MAP NO — \_\_\_\_\_

BEING A PART OF LOT 2, CERTIFIED SURVEY MAP NO. 4388, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF WAUKESHA COUNTY IN CERTIFIED SURVEY MAPS AS DOCUMENT NO. 1226745, IN VOLUME 35 ON PAGES 51-53, BEING ALSO A PART OF THE NORTHEAST 1/4 (GOVERNMENT LOT 1) AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

SURVEYOR’S CERTIFICATE:

I JAMES R. BEATY, PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT BY THE DIRECTION OF THE OWNER(S), I HAVE SURVEYED, DIVIDED, AND MAPPED THE LAND SHOWN AND DESCRIBED HEREINAFTER; BEING A PART OF LOT 2, CERTIFIED SURVEY MAP NO. 4388, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF WAUKESHA COUNTY IN CERTIFIED SURVEY MAPS AS DOCUMENT NO. 1226745, IN VOLUME 35 ON PAGES 51-53, BEING A PART OF THE NORTHEAST 1/4 (GOVERNMENT LOT 1) AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN. SAID LANDS ARE BOUNDED AND DESCRIBED AS FOLLOWS:

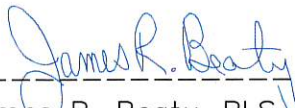
COMMENCING AT THE MEANDERCORNER FOR THE NE CORNER OF THE NORTHWEST 1/4 OF SAID SECTION 17; THENCE S 00°15'36" E, A DISTANCE OF 815.13 FEET ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 17 TO A POINT; THENCE S 89°44'24" W, A DISTANCE OF 20.82 FEET TO THE NORTHEAST CORNER OF CSM NO. 4388 AND THE POINT OF BEGINNING OF THE LANDS HEREINAFTER DESCRIBED; THENCE S 00°22'59" E, A DISTANCE OF 591.47 FEET TO THE SOUTHEAST CORNER OF CSM 4388; THENCE N 74°14'58"W, A DISTANCE OF 580.00 FEET ALONG THE SOUTH LINE OF CSM NO. 4388 TO A FOUND 1" IRON PIPE AT THE SOUTHWEST CORNER OF LOT 2 OF CSM 4388; THENCE N 04°26'08" E, A DISTANCE OF 426.78 FEET TO A FOUND 1" IRON PIPE; THENCE S 89°11'58" E, A DISTANCE OF 53.96 FEET TO A FOUND 1" IRON PIPE; THENCE N 09°49'39" W, A DISTANCE OF 11.96 FEET TO A FOUND 1" IRON PIPE; THENCE N 82°12'01" E, A DISTANCE OF 98.75 FEET TO A POINT ON THE NORTH LINE OF LOT 2 OF CSM 4388; THENCE S 87°32'46" E, A DISTANCE OF 371.86 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 281,136 S.F. (6.4540 ACRES), MORE OR LESS OF LAND. DEDICATING THEREFROM LANDS AS SHOWN HEREON FOR PUBLIC ROAD PURPOSES TO THE CITY OF PEWAUKEE. SAID DEDICATED LANDS CONTAINING 14,600 S.F. (0.3352 ACRES), MORE OR LESS OF LAND. NET AREA OF DEVELOPMENT EXCLUSIVE OF DEDICATION 266,536 S.F. (6.1188 ACRES), MORE OR LESS OF LAND.

TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS TO PEWAUKEE LAKE OVER PARK RESERVE LOT IN PETERSEN'S SUBDIVISION NO. 2, BEING A PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST.

I FURTHER CERTIFY THAT I HAVE MADE THIS SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF J&R KNUTSON REV. TRUST, AS OWNER OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE LAND DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES AND THE CITY OF PEWAUKEE ORDINANCES IN SURVEYING, DIVIDING, MAPPING AND DEDICATING OF SAME.

  
James R. Beaty, RLS 1834  
PREPARED BY / SURVEYOR:  
HORIZON LAND DEVELOPMENT SERVICES, LLC  
W313 S2562 PENNY LANE  
WALES, WISCONSIN 53183  
1-262-349-1575  
jamieb@horizonlanddevelopmentservices.com



- NOTES
1. ALL DIMENSIONS MEASURED AND SHOWN TO THE NEAREST HUNDREDTH OF A FOOT; ALL ANGLES MEASURED TO THE NEAREST FIVE SECONDS AND COMPUTED TO THE NEAREST SECOND.

2. OWNER/DEVELOPER TO RETAIN SOLE OWNERSHIP OF OUTLOT 1. OUTLOT 2 MAY NOT BE BUILT ON WITHOUT THE PERMISSION OF THE COMMON COUNCIL, PER SECTION 18.1 OF THE CITY OF PEWAUKEE MUNICIPAL CODE.

3. LOTS SHALL BE SERVED BY AN EXTENSION OF THE EXISTING SANITARY SEWER (LAKE PEWAUKEE SANITARY DISTRICT) SEE AVAILABILITY LETTER

4. ANY AGRICULTURAL DRAINTILE WHICH IS DISTURBED CUT OR BROKEN AS PART OF THE DEVELOPMENT OF THIS PLAT OR EXCAVATION FOR HOME CONSTRUCTION MUST BE REPAIRED AND/OR RELOCATED TO ALLOW FOR THE DRAINTILE TO CONTINUE TO DRAIN AS ORIGINALLY DESIGNED. THE COST OF REPAIR AND/OR REPLACEMENT OF THE DRAINTILE MUST BE BORN BY THE PARTY DAMAGING SAID TILE.

5. THE EAST 45 FEET OF THIS DEVELOPMENT ARE TO BE DEDICATED TO THE CITY OF PEWAUKEE FOR PUBLIC ROADWAY PURPOSES.

6. THE UTILITY EASEMENTS SHOWN HEREON ARE FOR PRIVATE UTILITIES. A SEPARATE CONVEYANCE OF EASEMENT CONDITION AND RIGHTS IS TO BE RECORDED. LAYOUT OF UTILITY EASEMENTS SHOWN HEREON SUBJECT TO REVIEW AND APPROVAL BY UTILITY COMPANIES.
- DATED: FEBRUARY 12, 2021  
REVISED: APRIL 26, 2021

BEING A PART OF LOT 2, CERTIFIED SURVEY MAP NO. 4388, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF WAUKESHA COUNTY IN CERTIFIED SURVEY MAPS AS DOCUMENT NO. 1226745, IN VOLUME 35 ON PAGES 51-53, BEING ALSO A PART OF THE NORTHEAST 1/4 (GOVERNMENT LOT 1) AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

J&R Knutson Rev. Trust, a Trust duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said Trust caused the land described on this MAP to be surveyed, divided, mapped, and dedicated as represented on this MAP. J&R Knutson Rev. Trust, does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

## Page 6 of 7

CERTIFIED SURVEY MAP NO - \_\_\_\_\_

BEING A PART OF LOT 2, CERTIFIED SURVEY MAP NO. 4388, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF WAUKESHA COUNTY IN CERTIFIED SURVEY MAPS AS DOCUMENT NO. 1226745, IN VOLUME 35 ON PAGES 51-53, BEING ALSO A PART OF THE NORTHEAST 1/4 (GOVERNMENT LOT 1) AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

PLAN COMMISSION APPROVAL

This Certified Survey Map is hereby approved by the Plan Commission of the City of Pewaukee on this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Steve Bierce, Chairperson

\_\_\_\_\_  
Date

\_\_\_\_\_  
Brandon Bergman, Secretary

\_\_\_\_\_  
Date

COMMON COUNCIL APPROVAL

This Certified Survey Map is approved and dedication of right of way as shown hereon is accepted by the Common Council of The City of Pewaukee on this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Steve Bierce, Mayor

\_\_\_\_\_  
Date

\_\_\_\_\_  
Kelly Tarczewski, Clerk/Treasurer

\_\_\_\_\_  
Date



\_\_\_\_\_  
*James R. Beaty*  
James R. Beaty, RLS 1834

**CITY OF PEWAUKEE  
PLAN COMMISSION AGENDA ITEM 10.**

**DATE:** May 20, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:**

***SUBJECT:***

Discussion and Action Regarding the Site and Building Plans for Lakewood Baptist Church Located at W274 N1490 Riverland Drive (PWC 0940997002)

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

Lakewood Baptist Church Staff Report 5.20.21

Lakewood Baptist Church Project Narrative

Lakewood Baptist Church Architectural Plans

Lakewood Baptist Church Civil Plans

Lakewood Baptist Church Staff Comment Responses

Lakewood Baptist Church WI DOT Highway Setback Release

Lakewood Baptist Church Plan of Operation



**Office of the Planning & Community Development Director**  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of May 20, 2021

---

**Date:** May 12, 2021

**Project Name:** Lakewood Baptist Church Site & Building Plan Review

**Project Address/Tax Key No.:** W274N1490 Riverland Drive/PWC 0940997002

**Applicant:** Brian Trainer, Lakewood Baptist Church

**Property Owner:** Lakewood Baptist Church, Inc.

**Current Zoning:** I-1 Urban Institutional District

**2050 Land Use Map Designation:** Governmental/Institutional

**Use of Surrounding Properties:** Single-family residential to the north and west, Golf Road and I-94 to the south and vacant property zoned A-1, LC, and F-1 Districts to the east

---

### **Project Description**

The applicant, Lakewood Baptist Church, Inc., filed a Site & Building Plan Review Application for building additions, a parking lot expansion and other related site modifications for property located at W274N1490 Riverland Drive.

The proposed site and building plans consist of two building additions. The addition to the west side of the building is 11,842 square feet and consists primarily of auditorium space. The addition to the east side of the building is 6,495 square feet and includes classroom space and offices. The classrooms are utilized for adult, teen and youth ministry programs.

The site plan modifications include grading and storm water management improvements, the addition of 172 parking spaces and new landscaping and lighting. There is also a split face block retaining wall on the west side of the building, which will be painted to match the color of the building.

The proposed site plan adds approximately 1.55 acres of impervious surface resulting in about 3.57 acres of the site being impervious and 6.56 acres remaining as greenspace, which is about 65% of the site. When considering the future parking shown on the site plan, the site still maintains about 50% greenspace, which exceeds the City's minimum greenspace requirement of 40%.

A future garage is also noted on the plans. That garage is located within existing parking spaces and will require separate review and approval in the future.

Landscape Plan:

The Landscape Plan includes 10 deciduous trees, 44 evergreen trees and 102 shrubs. Trees are proposed along the north and south property lines to break up the view of the new parking lot. Foundation plantings are also included around both additions.

**Lighting Plan:**

The Lighting Plan includes both building and parking lot lighting. The 6 parking lot lights are full cutoff and will not exceed 20-feet in height as required by the City's Zoning Code. The west building addition will have two building lights and the east building addition contains three building lights. All building lighting will be mounted at 7-feet.

**Architecture:**

The building additions consist of primarily white LP Smartside siding to match the existing building. The building is also accented with a stone veneer.

Related to building height and setbacks, Section 17.0901e. allows churches and other institutional uses to increase the maximum height allowed from the I-1 District 35-foot maximum to a height of 60 feet provided all required yards are increased not less than one (1) foot for each foot the structure exceeds the maximum height requirement of the zoning district.

In this case the building is 46'-4". As such, the applicant increased all setbacks by 12-feet. It can be further noted that the steeple may be exempted from the height regulations per Section 17.0901b. The steeple is proposed at 62-feet. For comparison, the existing steeple is 47'-2".

Mechanicals are located on the ground and are screened by either landscaping or a 9-foot high clapboard siding screening wall.

**Recommendation**

A motion to approve site and building plans submitted by Lakewood Baptist Church, Inc. subject to Engineering Department approval of final grading, erosion control, and storm water management plans, prior to any land disturbing activities.

April 5<sup>th</sup>, 2021

## **Site and Building Plan Review Narrative**

Project: Lakewood Baptist Church  
W274 N1490 Riverland Drive  
Pewaukee, WI 53072

Lakewood Baptist Church is requesting Site and Building Plan review and approval for a proposed addition and site modifications to their worship facility located at W274 N1490 Riverland Drive. The property is currently zoned I-1, Urban Institutional District; churches, synagogues, and similar religious structures/uses are a permitted use in this district.

Lakewood Baptist Church was first started in 2009. The initial meeting location was Cushing Elementary School in Delafield, WI; construction of the current worship facility began in the fall of 2015 and the first service was held there in May 2016; this facility was designed/constructed in anticipation of future expansion to accommodate growth of the congregation. The proposed project includes expanded parking and building additions that will provide a new worship space and additional classrooms that will be used to further the ministry of the Church (adult, teen, and youth ministry programs). In conjunction with this expansion, the existing worship area will be remodeled as an entry way and gathering space for fellowship before and after Church services. Master planning of a future parking expansion was completed as part of this project to accommodate future growth. Existing stormwater facilities will be modified and a new storm facility will be constructed to meet the stormwater requirements for the proposed building and parking expansion as well as the future parking expansion.

The Church currently hosts worship services Saturday evening (6:00 PM) and Sunday morning (8:00 AM and 10:30 AM); bible study classes are held on Sunday and Wednesday evening at 5:00 PM and 7:00 PM respectively. The Saturday evening services will end in June of this year.

The estimated value of the proposed development is \$4.5 million. Construction is anticipated to begin near the end of June with completion expected by the end of February 2022.

Exterior materials are represented in the attached color elevations and will consist of a combination of the following materials to match the existing facility: decorative ledgerstone to match the existing, durable LP Smart siding to match the existing, asphalt shingles to match the existing, prefinished metal soffit and fascia to match the existing, and aluminum window frames and tinted glazing to match the existing.

PROPOSED ADDITION FOR:  
**LAKEWOOD BAPTIST CHURCH**  
W274 N1490 RIVERLAND DRIVE • PEWAUKEE, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

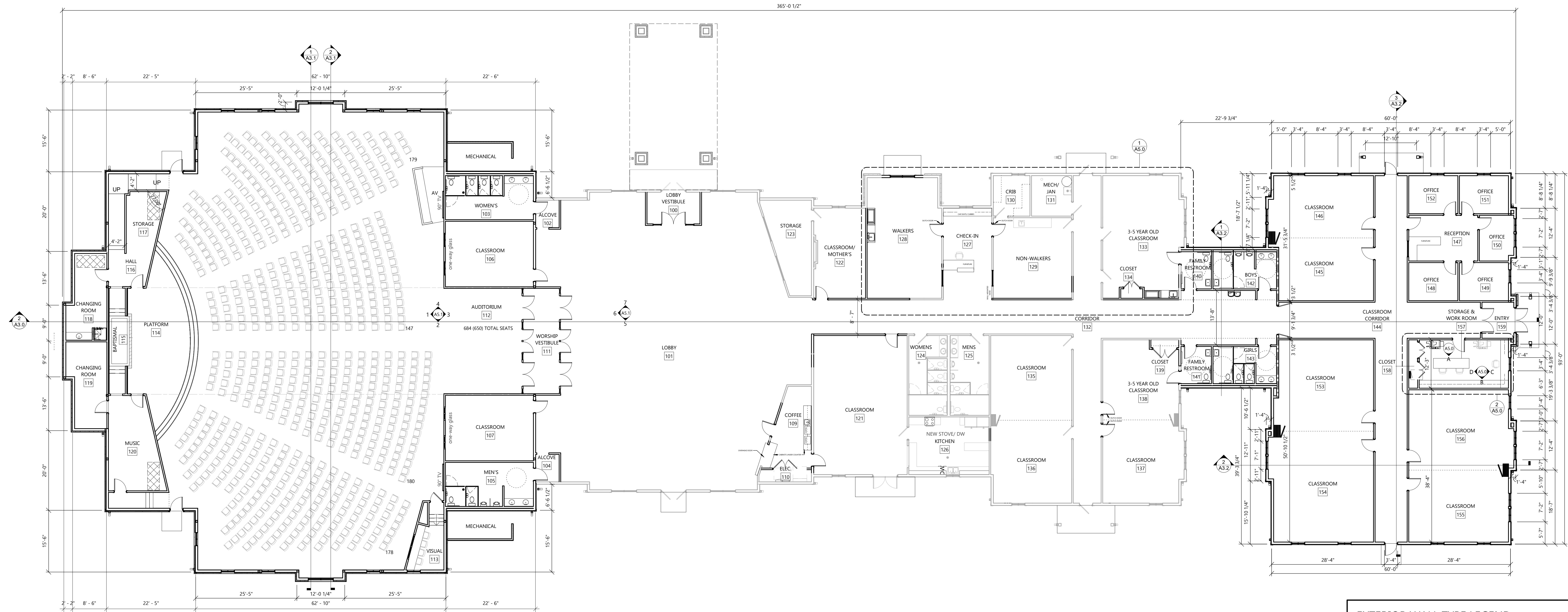
JAN. 27, 2021  
MAR. 8, 2021  
MAR. 19, 2021  
MAR. 30, 2021  
APR. 6, 2021  
APR. 7, 2021  
APR. 12, 2021  
APR. 15, 2021  
APR. 19, 2021  
MAY 3, 2021

JOB NUMBER

2059660

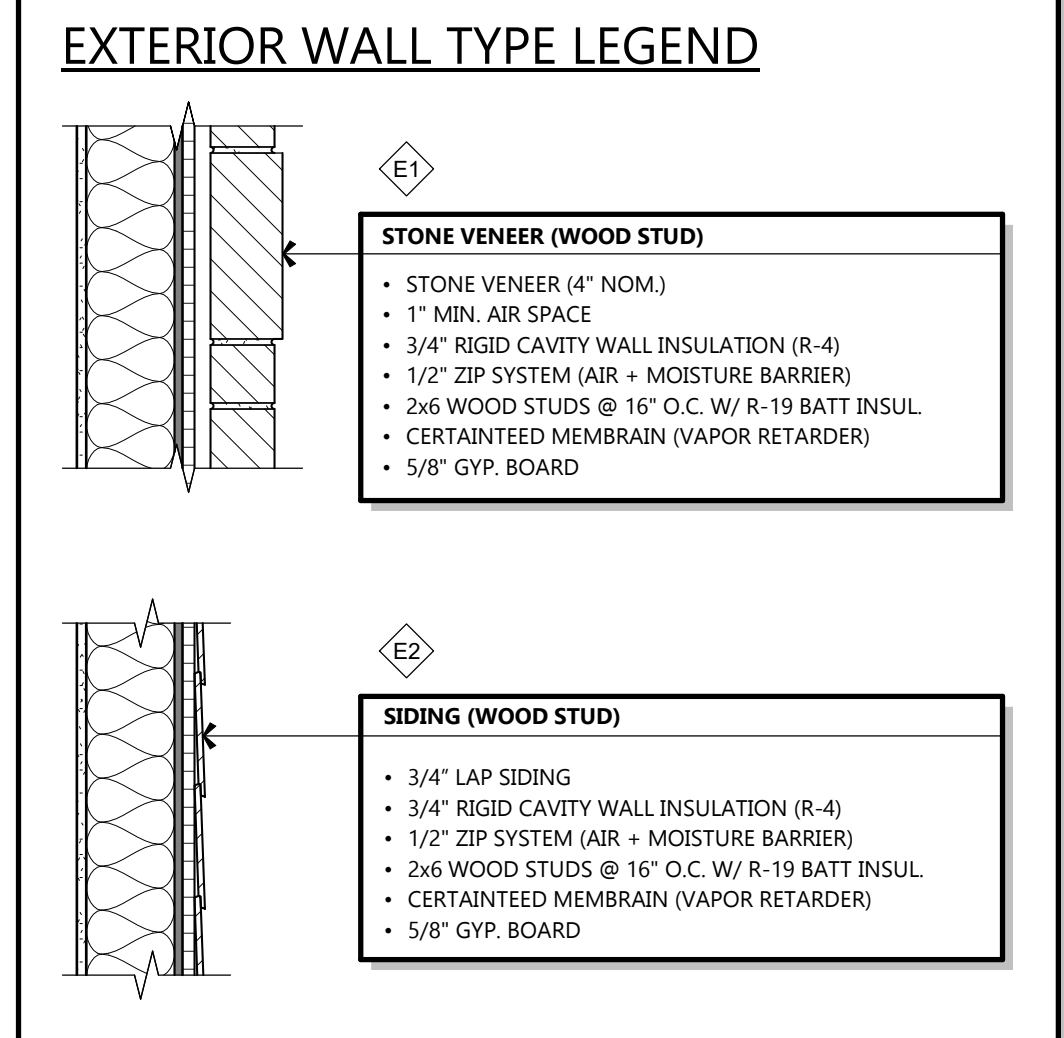
SHEET NUMBER

**A1.1**



FIRST FLOOR

SCALE: 3/32" = 1'-0"



ARCHITECTURAL FIRST FLOOR PLAN

PROJECT INFORMATION

PROPOSED ADDITION FOR:  
**LAKEWOOD BAPTIST CHURCH**  
W274 N1490 RIVERLAND DRIVE • PEWAUKEE, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 23, 2020  
JAN. 7, 2021  
JAN. 14, 2021  
JAN. 27, 2021  
MAR. 30, 2021  
APR. 6, 2021  
APR. 15, 2021  
APR. 19, 2021  
MAY 3, 2021

NOT FOR CONSTRUCTION

JOB NUMBER

2059660

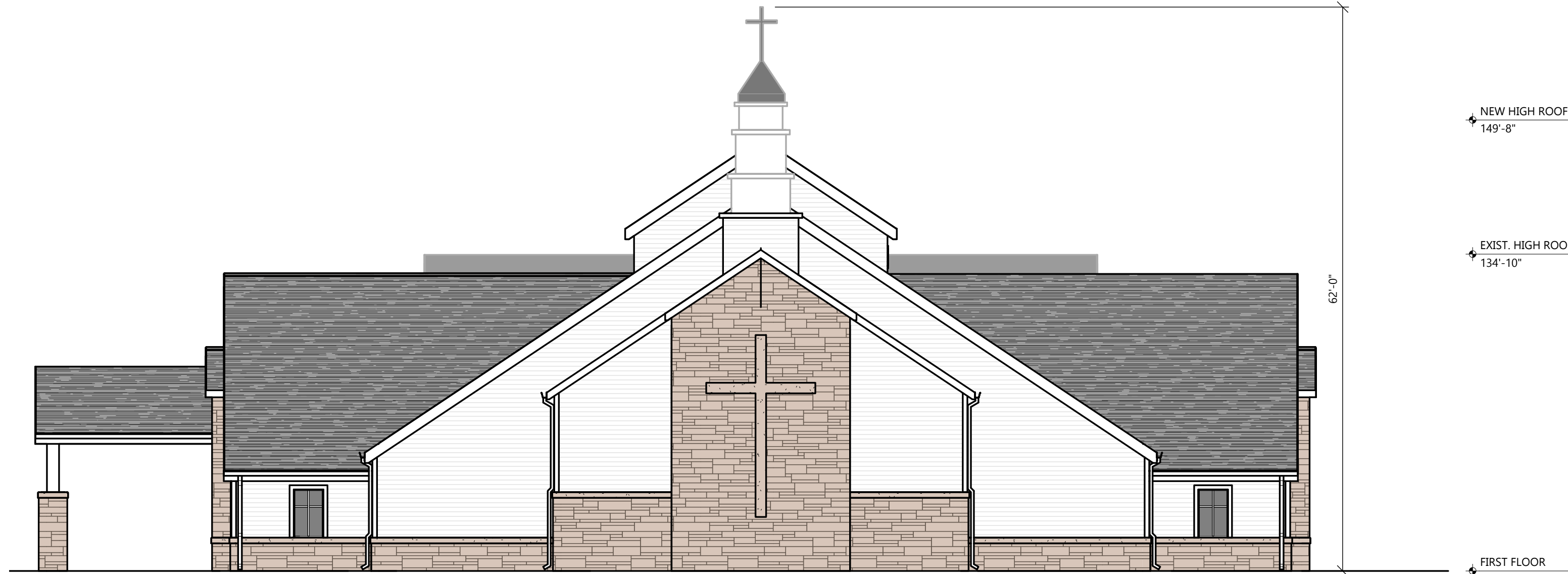
SHEET NUMBER

A2.0

MATERIAL LEGEND

- ASPHALT SHINGLES**  
CERTAINTED LANDMARK DESIGNER SHINGLES  
COLOR: DRIFTWOOD
- PRE-FINISHED ALUMINUM TRIM (SOFFIT & FASCIA)**  
COLOR: UC-500 - BONE WHITE TO MATCH EXISTING
- ENGINEERED WOOD TRIM (CORNERS, DOORS, & WINDOWS)**  
LP SMARTSIDE - TO MATCH EXISTING  
COLOR: HERITAGE WHITE
- ENGINEERED WOOD LAP SIDING**  
LP SMARTSIDE - 6" BOARDS TO MATCH EXISTING  
COLOR: HERITAGE WHITE
- DECORATIVE LEDGESTONE VENEER**  
STONE DUTCH QUALITY PRESTIGE TO MATCH EXISTING  
COLOR: MATCH EXISTING (MORTAR TO MATCH EXISTING)
- CAST STONE SILL**  
STONECAST  
COLOR: MATCH EXISTING (PROVIDE SAMPLES FOR APPROVAL)
- ALUMINUM STOREFRONT & GLAZING**  
FRAME COLOR: WHITE - SEE A6 SHEETS  
GLAZING COLOR: GRAY TINTED - TO MATCH EXISTING

**NOTES:**  
- ALL EXTERIOR SIGNAGE IS BY OWNER.  
- PROVIDE MOCK UP OF STONE FOR OWNER TO CONFIRM.  
- SEE ELEVATIONS FOR CONTROL JOINTS (CJ). COLOR TO MATCH STONE.  
- PROVIDE A CONTROL JOINT AT ALL STONE INSIDE CORNERS.



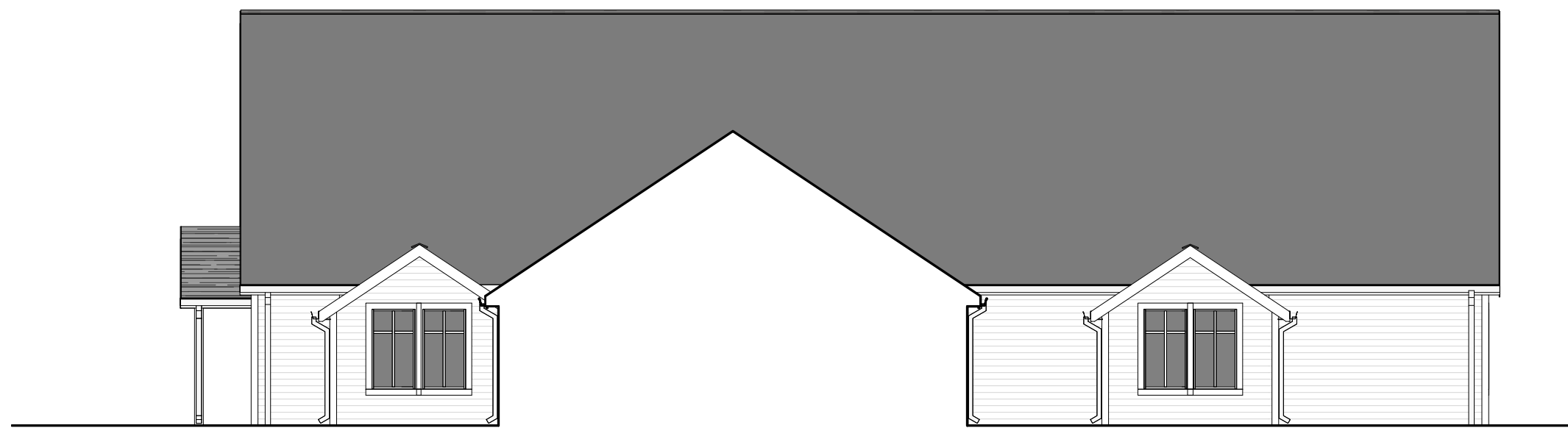
WEST ELEVATION

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



WEST CLASSROOM ELEVATION

SCALE: 3/32" = 1'-0"



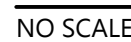
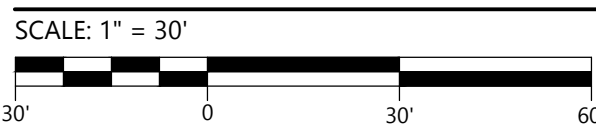
EAST ELEVATION

SCALE: 3/32" = 1'-0"



NORTH ELEVATION

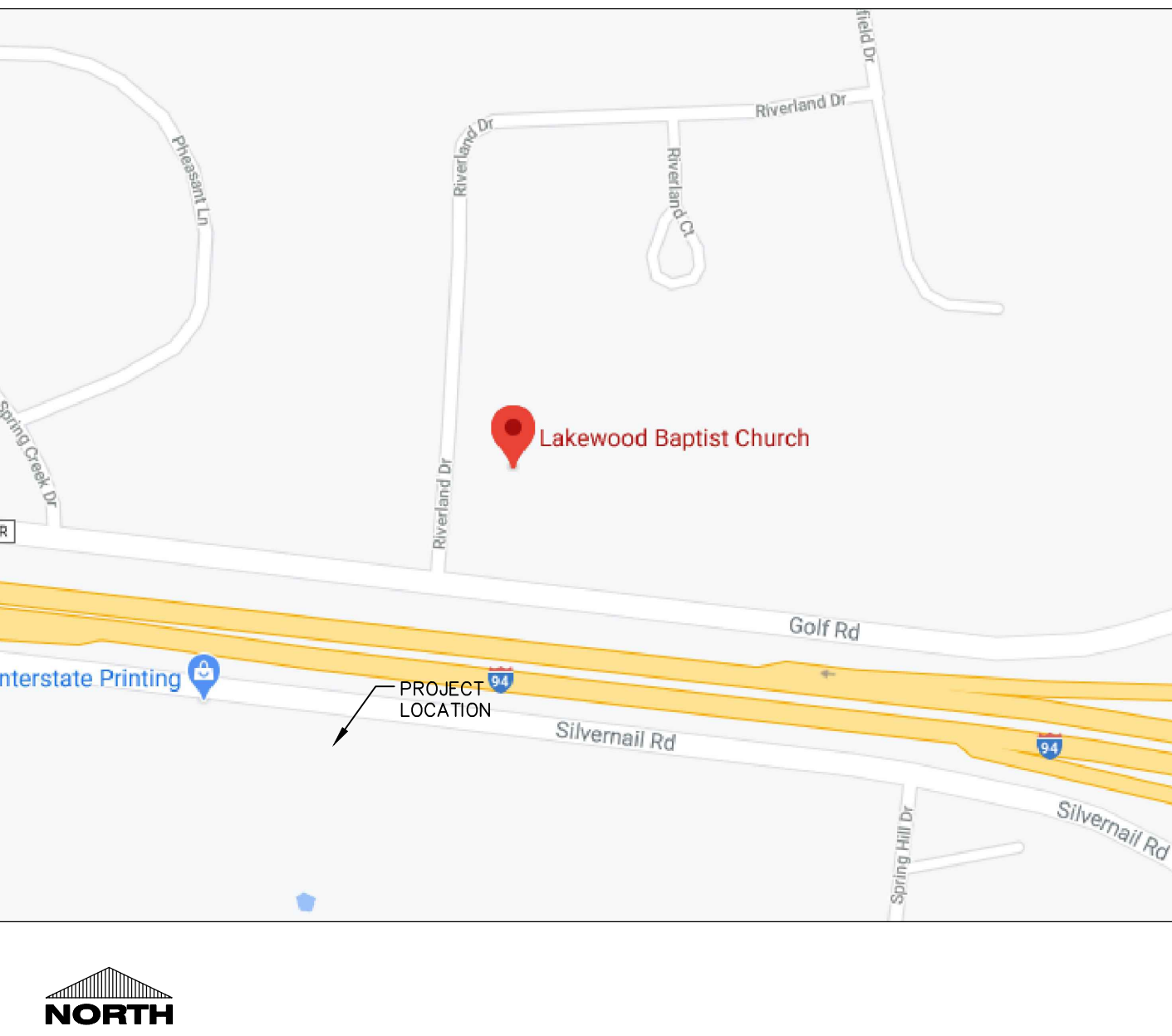
SCALE: 3/32" = 1'-0"



# PROPOSED ADDITION FOR: LAKEWOOD BAPTIST CHURCH

## PEWAUKEE, WISCONSIN LEGEND

1000.00	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	EXISTING CONIFEROUS TREE
1000.00 EG	EXISTING GRADE SPOT ELEVATIONS	EXISTING SHRUB
1000.00 BG	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL)	EXISTING STUMP
1000.00 FG	BG-FINISHED SURFACE GRADE AT BACK OF WALL FG-FINISHED SURFACE GRADE AT FRONT OF WALL	SOIL BORING
1000.00 TC	PROPOSED SPOT ELEVATIONS (TOP OF CURB, BOTTOM OF CURB)	EXISTING WELL
1000.00 BC		PROPOSED WELL
1000.00 TW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK)	EXISTING LIGHT POLE
1000.00 BW	EXISTING WATER VALVE IN BOX	EXISTING SIGN
1000.00	PROPOSED WATER VALVE IN BOX	CENTER LINE
1000.00	EXISTING WATER VALVE IN MANHOLE	EXISTING HANDICAP PARKING STALL
1000.00	EXISTING WATER SERVICE VALVE	EXISTING GAS VALVE
1000.00	EXISTING TELEPHONE MANHOLE	PROPOSED HANDICAP PARKING STALL
1000.00	EXISTING STORM CATCH BASIN	EXISTING WOODED AREA
1000.00	PROPOSED STORM CATCH BASIN - ST CB	EXISTING HEDGE
1000.00	PROPOSED STORM FIELD INLET - ST FI	EXISTING CHAINLINK FENCE
1000.00	EXISTING SQUARE CATCH BASIN	EXISTING WOOD FENCE
1000.00	EXISTING STORM CURB INLET	EXISTING BARBED WIRE FENCE
1000.00	PROPOSED STORM CURB INLET - ST CI	PROPOSED PROPERTY LINE
1000.00	EXISTING UTILITY POLE	EXISTING GUARD RAIL
1000.00	EXISTING UTILITY POLE WITH GUY WIRE	EXISTING STORM SEWER AND MANHOLE
1000.00	EXISTING STREET LIGHT	PROPOSED STORM SEWER AND MANHOLE - ST MH
1000.00	EXISTING TELEPHONE PEDESTAL	EXISTING SANITARY SEWER AND MANHOLE
1000.00	EXISTING ELECTRIC PEDESTAL	PROPOSED SANITARY SEWER AND MANHOLE - SAN MH
1000.00	EXISTING ELECTRIC BOX	EXISTING WATER LINE AND HYDRANT
1000.00	EXISTING CABLE TV PEDESTAL	PROPOSED WATER LINE AND HYDRANT
1000.00	PROPOSED DRAINAGE FLOW	EXISTING OVERHEAD UTILITY LINE
1000.00	1-1/4" REBAR SET WEIGHING 4.30 LB/FT.	EXISTING UNDERGROUND FIBER OPTIC LINE
1000.00	3/4" REBAR SET WEIGHING 1.50 LB/FT.	EXISTING UNDERGROUND ELECTRIC CABLE
1000.00	1-1/4" REBAR FOUND	EXISTING UNDERGROUND TELEPHONE CABLE
1000.00	3/4" REBAR FOUND	EXISTING UNDERGROUND GAS LINE
1000.00	2" IRON PIPE FOUND	PROPOSED CURB AND GUTTER
1000.00	1" IRON PIPE FOUND	EXISTING CURB AND GUTTER
1000.00	EXISTING FLOOD LIGHT	GRADING/SEEDING LIMITS
1000.00	SECTION CORNER	RIGHT-OF-WAY LINE
1000.00	PROPOSED APRON END SECTION	INTERIOR PROPERTY LINE
1000.00	EXISTING MARSH AREA	RAILROAD TRACKS
1000.00	EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER	EXISTING GROUND CONTOUR
1000.00	EROSION MATTING	EXISTING GROUND CONTOUR
1000.00	PROPOSED INLET PROTECTION	EXISTING POLISH SEWER AND MANHOLE
1000.00		PROPOSED POLISH SEWER AND MANHOLE
1000.00		EXISTING PROCESS SEWER AND MANHOLE
1000.00		PROPOSED PROCESS SEWER AND MANHOLE
1000.00		EXISTING CLEAR WATER LINE
1000.00		PROPOSED CLEAR WATER LINE



PROJECT LOCATION MAP

## CIVIL SHEET INDEX

SHEET	SHEET TITLE
C0.1	CIVIL COVER AND SPECIFICATION SHEET
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1	SITE PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.3	UTILITY PLAN
C2.0	LANDSCAPE AND RESTORATION PLAN
C2.1	DETAILS

### CONSTRUCTION STAKING SERVICES

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREN AT 920-926-9800 OR RYAN.WILGREN@EXCEL-ENGINEERING.COM PRIOR TO INQUIRY. A FEE FOR STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

### GENERAL PROJECT NOTE

- CONTRACTOR TO CONTACT EXCEL ENGINEERING TO COMPLETE AS-BUILT SURVEY OF STORMWATER POND FOLLOWING COMPLETION OF THE POND.

### STORMWATER POND ASBUILT NOTE

CONTRACTOR TO CONTACT EXCEL ENGINEERING TO COMPLETE AN AS-BUILT SURVEY FOLLOWING COMPLETION OF THE CONSTRUCTION OF THE STORMWATER POND. THE SURVEY SHALL BE COMPLETED PRIOR TO THE POND FILLING WITH WATER. CONTRACTOR SHALL GIVE EXCEL ENGINEERING A MINIMUM OF 3 DAY NOTICE. PLEASE NOTE THAT THE HORIZONTAL TOLERANCE FOR POND CONSTRUCTION IS 0.50' AND THE VERTICAL TOLERANCE FOR POND, OUTLET, AND SPILLWAY CONSTRUCTION IS 0.10'. ANY ADDITIONAL WORK REQUIRED TO SURVEY A POND FULL OF WATER OR FOR SURVEYING FOLLOWING REWORK SHALL BE AT THE CONTRACTOR'S EXPENSE.

## PLAN SPECIFICATIONS (BASED ON CSI FORMAT)

### DIVISION 31 EARTH WORK

#### 31 10 00 SITE CLEARING (DEMOLITION)

- CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.
- CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.
- ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

#### 31 20 00 EARTH MOVING

- CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS.
- ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDDEM AXLE DUMP TRUCK, TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.
- PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE, OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY.
- PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
- COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698, STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.
  - UNDER FOUNDATIONS - SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98 PERCENT.
  - UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB - PLACE A DRAINAGE COURSE TO 12% FINES, PER THICKNESS INDICATED ON THE FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
  - UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE - PLACE A DRAINAGE COURSE TO 12% FINES, PER THICKNESS INDICATED ON THE FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
  - UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
  - UNDER WALKWAYS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
  - UNDER LAWN OR UNPAVED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 85 PERCENT.
- CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS. THE GEOTECHNICAL REPORT WAS PERFORMED BY (NAME OF GEOTECHNICAL FIRM).
- ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING.
- WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED, RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE PLANS.

- UNDER FOUNDATIONS - SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98 PERCENT.
  - UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB - PLACE A DRAINAGE COURSE TO 12% FINES, PER THICKNESS INDICATED ON THE FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
  - UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE - PLACE A DRAINAGE COURSE TO 12% FINES, PER THICKNESS INDICATED ON THE FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
  - UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
  - UNDER WALKWAYS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
  - UNDER LAWN OR UNPAVED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 85 PERCENT.
- CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS. THE GEOTECHNICAL REPORT WAS PERFORMED BY (NAME OF GEOTECHNICAL FIRM).
  - ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING.
  - WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED, RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
  - THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE PLANS.

#### 31 30 00 EROSION CONTROL/STORMWATER MANAGEMENT

- THE DESIGN ENGINEER SHALL PREPARE A SITE SPECIFIC EROSION CONTROL, AND A STORMWATER MANAGEMENT PLAN PURSUANT TO NR 216.46 AND NR 216.47. THE DESIGN ENGINEER SHALL ALSO FILE A CONSTRUCTION NOTICE OF INTENT WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES PURSUANT TO NR 216.43 OR TO AN AUTHORIZED LOCAL PROGRAM PURSUANT TO NR 216.415 TO OBTAIN COVERAGE UNDER THE GENERAL WIPES STORM WATER PERMIT.
- THE CONTRACTOR SHALL KEEP THE NOTICE OF INTENT PERMIT, APPROVED EROSION CONTROL AND STORMWATER MANAGEMENT PLANS, AND PLAN AMENDMENTS ON THE CONSTRUCTION SITE AT ALL TIMES PURSUANT TO NR 216.455 UNTIL PERMIT COVERAGE IS TERMINATED.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE MONITORING, MAINTENANCE, AND REPORTING REQUIREMENTS OF NR 216.48. INSPECTIONS OF IMPLEMENTED EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST AT A MINIMUM BE INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR MORE. A PRECIPITATION EVENT MAY BE CONSIDERED TO BE THE TOTAL AMOUNT OF PRECIPITATION RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. THE CONTRACTOR SHALL REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR AFTER A DEPARTMENT NOTIFICATION WHERE REPAIR OR REPLACEMENT IS REQUESTED.
- THE CONTRACTOR SHALL MAINTAIN, AT THE CONSTRUCTION SITE OR AVAILABLE VIA AN INTERNET WEBSITE, WEEKLY WRITTEN REPORTS OF ALL INSPECTIONS CONDUCTED. WRITTEN UNDER SITE INSPECTION REPORT FORM 3400-187 SHALL BE USED. WEEKLY INSPECTION REPORTS SHALL INCLUDE ALL OF THE FOLLOWING:
  - THE DATE, TIME, AND LOCATION OF THE CONSTRUCTION SITE INSPECTION.
  - THE NAME OF THE INDIVIDUAL WHO PERFORMED THE INSPECTION.
  - AN ASSESSMENT OF THE CONDITION OF THE EROSION AND SEDIMENT CONTROLS.
  - A DESCRIPTION OF ANY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED.
  - A DESCRIPTION OF THE PRESENT PHASE OF LAND DISTURBING CONSTRUCTION ACTIVITY AT THE CONSTRUCTION SITE.
- EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151, THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS. TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDANT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIREMENTS:
  - SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION).
  - DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1062 (CURRENT EDITION).
  - STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATION. THE AGGREGATE TRACKING PAD SHALL BE 3/8" TO 3/4" HIGH CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12" MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER THAN TRACKING PADS, TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT CONTROL DEVICES, TIRE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057 (CURRENT EDITION).

- STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1060 (CURRENT EDITION).
- USE DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1068 (CURRENT EDITION).
- THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.
- CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
- TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO TEMPORARILY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- IF SITE Dewatering IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT LADEN WATER GENERATED DURING THE Dewatering PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1061.
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER WI DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). FLUSHING SHALL NOT BE ALLOWED.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREAS SERVED HAVE ESTABLISHED VEGETATIVE COVER.
- ONCE THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED AND TEMPORARY EROSION CONTROL BEST MANAGEMENT PRACTICES HAVE BEEN REMOVED, THE CONTRACTOR SHALL FILE A CONSTRUCTION NOTICE OF TERMINATION WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES IN ACCORDANCE WITH NR 216.55.
- AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER COPIES OF THE EROSION CONTROL AND STORM WATER MANAGEMENT PLANS, AMENDMENTS TO PLANS, SUPPORTING PLAN DATA, AND CONSTRUCTION SITE EROSION CONTROL INSPECTION REPORTS. THE OWNER SHALL RETAIN THESE FOR A PERIOD OF 3 YEARS FROM THE DATE OF TERMINATION OF THE PROJECT.
- ALL POST CONSTRUCTION STORMWATER MANAGEMENT BEST MANAGEMENT PRACTICES SHALL BE CONSTRUCTED BEFORE THE SITE HAS UNDERGONE FINAL STABILIZATION.

### DIVISION 32 EXTERIOR IMPROVEMENTS

#### 32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT

- CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 460 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. CONTRACTOR SHALL OBTAIN AND REVIEW SOILS REPORT FOR RECOMMENDATIONS FOR GEO-GRID / GEOTEXTILE BELOW CRUSHED AGGREGATE (IF APPLICABLE). CONTRACTOR TO PROVIDE AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT TYPES AND DEPTHS AS INDICATED BELOW.

STANDARD ASPHALT PAVING SECTION 1-1/2" SURFACE COURSE (S LT 58-285) (WISDOT 455.25 TACK COAT (STRAGED PAVING) 2" BINDER COURSE (4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE 10" OF 1-1/4" CRUSHED AGGREGATE
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- CONTRACTOR TO COMPACT THE AGGREGATE BASE, ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL ASPHS PAVEMENT AREAS WITHIN 0.10' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1% SLOPE SHALL BE MAINTAINED IN ALL ASPHALT PAVEMENT AREA.
- HOT MIX ASPHALT CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION DOCUMENT.
- CONTRACTOR TO PROVIDE 4" WIDE WHITE PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. WHITE PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MARKINGS.

#### 32 20 00 CONCRETE AND AGGREGATE BASE

- CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS.
- ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
- DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 330R-08 & ACI 318-08.
- EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THIS SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS:
  - SIDEWALK CONCRETE: 4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONTRACTION JOINTS SHALL CONSIST OF 1/8" WIDE BY 1" DEEP TOOLED JOINT WHERE INDICATED ON THE PLANS.
  - DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94
  - STRENGTH TO BE MINIMUM OF 4500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.
  - MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45.
  - SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK
  - SLUMP SHALL BE 2.5" OR LESS FOR SLIP-FORMED CURB AND GUTTER
  - SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON SLIP-FORMED CURB AND GUTTER
  - ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED.
  - MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.
  - VERIFY EQUIPMENT CONCRETE PAD SIZES WITH RESPECTIVE CONTRACTORS. PADS SHALL HAVE FIBERMESH 300 FIBERS AT A RATE OF 1.5 LBS/CU. YD. OR 8 X 6 W 1.4 X W 1.4 WELDED WIRE MESH WITH MINIMUM 1 INCH COVER. EQUIPMENT PADS SHALL BE 3.5 INCHES THICK WITH 1 INCH CHAMFER UNLESS SPECIFIED OTHERWISE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH RESPECTIVE CONTRACTOR.
  - ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWLINE GRADES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.
  - CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (6' MIN). IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB, JOINTING IN THE PAVEMENT AND CURB SHALL ALIGN. ALL EXTERIOR CONCRETE SHALL HAVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C309 SHOULD BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS.
  - ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 36 DIAMETERS FOR UP TO #6 BARS, 60 DIAMETERS FOR #7 TO #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 185. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE.

- CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONSTRUCTION PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301, CAST AND LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD., BUT LESS THAN 25 CU. YD., PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF. PERFORM COMPRESSIVE STRENGTH TESTS ACCORDING TO ASTM C 39. TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.
- PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND TROWELLING.
- LIMIT MAXIMUM WATER-CEMENTIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DECING SALTS TO 0.45.
- TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER. READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.

#### 32 30 00 LANDSCAPING AND SITE STABILIZATION

- TOPSOIL: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPER FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZING AND FINAL GRADING OF TOPSOIL. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATTRAZINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROJECT. TOPSOIL SHALL HAVE A PH RANGE 5.5 TO 5.8, CONTAIN A MINIMUM OF 1 PERCENT ORGANIC MATERIAL CONTENT, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED.
- TOPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORM FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.
- SEEDING LAWNS:
  - PERMANENT LAWN AREAS SHALL BE SEEDDED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (0.2-2.6 LBS./1,000 S.F.), 20% PERENNIAL RYEGRASS (0.6-0.6 LBS./1,000 S.F.), 15% FINE FESCUE (0.6-0.6 LBS./1,000 S.F.), STRAW AND MULCH SHALL BE LAID AT 100LBS/1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS/1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. ALL SITE DISTURBED AREAS NOT DESIGNATED FOR OTHER LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEEDDED AS PERMANENT LAWN. NO BARE TOPSOIL SHALL BE LEFT ON SITE. FOLLOW PROCEDURES FOUND IN WDR TECHNICAL STANDARDS 1058 & 1059.
  - ALL PERMANENT AND TEMPORARY STORM WATER CONVEYANCE SWALE BOTTOMS AND SIDE SLOPES AS WELL AS STORMWATER MANAGEMENT BASIN BOTTOMS AND SIDE SLOPES SHALL BE SEEDDED WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0.6 LBS./1,000 S.F.), 40% CREEPING RED FESCUE (0.5 LBS./1,000 S.F.), AND 15% PERENNIAL RYEGRASS (0.2 LBS./1,000 S.F.). FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDR TECHNICAL STANDARDS 1058 & 1059.
  - ALL TEMPORARY SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE: 100% RYEGRASS AT 1.9 LBS./1,000 S.F. STRAW AND MULCH SHALL BE LAID AT 100 LBS./1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDR TECHNICAL STANDARDS 1058 & 1059.
- SEEDED LAWN MAINTENANCE: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS SHOULD BE ESTABLISHED FREE OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 5"x5". CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.
- EROSION MATTING:
  - CONTRACTOR TO PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN S150) OR EQUIVALENT ON ALL SLOPES THAT ARE 4:1 AND GREATER OUTSIDE OF STORMWATER CONVEYANCE SWALES AND STORMWATER MANAGEMENT BASINS.
  - CONTRACTOR TO PROVIDE EROSION EROSION MATTING (NORTH AMERICAN GREEN C125) OR EQUIVALENT IN ALL SWALE BOTTOMS AND SIDE SLOPES AS WELL AS STORMWATER MANAGEMENT BASIN BOTTOMS AND SIDE SLOPES AS REQUIRED.
- STORMWATER MANAGEMENT POND SAFETY SHELF SEEDING: SAFETY SHELF SHALL BE SEEDDED WITH A WET PRAIRIE EMERGENT PLANT TYPE MIX.
- RIP RAP: ALL RIP RAP ASSOCIATED WITH STORMWATER MANAGEMENT AND STORMWATER CONVEYANCE, AS DELINEATED ON THE PLANS, SHALL BE CONSTRUCTED WITH THE TOP OF RIP RAP MATCHING THE PROPOSED ADJACENT GRADE ELEVATIONS. PLACEMENT OF RIP RAP ABOVE THE PROPOSED ADJACENT GRADE ELEVATIONS IS NOT ACCEPTABLE. ALL RIP RAP SHALL BE PLACED ON TYPE HR FILTER FABRIC PER SECTION 645 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURAL CONSTRUCTION.
- TREES AND SHRUBS: FURNISH NURSERY-GROWN TREES AND SHRUBS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, AND HEALTHY LOOKING STOCK. STOCK SHOULD ALSO BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCLAS, INJURIES, ABRASIONS, AND DISFIGUREMENT. SEE THE LANDSCAPE PLAN FOR SPECIFIC SPECIE TYPE, SIZE, AND LOCATION.
- TREE AND SHRUB INSTALLATION: EXCAVATE CIRCULAR RITS WITH SIDES SLOPED INWARD, TRIM BARE LEAVING CENTER AREA RAISED SLIGHTLY TO SUPPORT ROOT BALL. EXCAVATE PIT APPROXIMATELY THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER. SET TREES AND SHRUBS PLUMB AND IN CENTER OF PIT WITH TOP OF BALL 1" ABOVE ADJACENT FINISHED GRADES. PLANT PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS AND TAMP TO SETTLE MIX. WATER ALL PLANTS THOROUGHLY. PROVIDE TEMPORARY STAKING FOR TREES AS REQUIRED.
- TREE AND SHRUB MAINTENANCE/WARRANTY: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. MAINTENANCE TO INCLUDE REGULAR WATERING AS REQUIRED FOR SUCCESSFUL PLANT ESTABLISHMENT. CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON ALL TREES, SHRUBS, AND PERENNIALS.
- ORGANIC MULCH: PROVIDE 3" MINIMUM THICK BLANKET OF SHREDDED HARDWOOD MULCH AT ALL PLANTING AREAS INDIC



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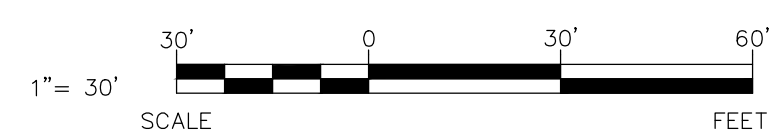
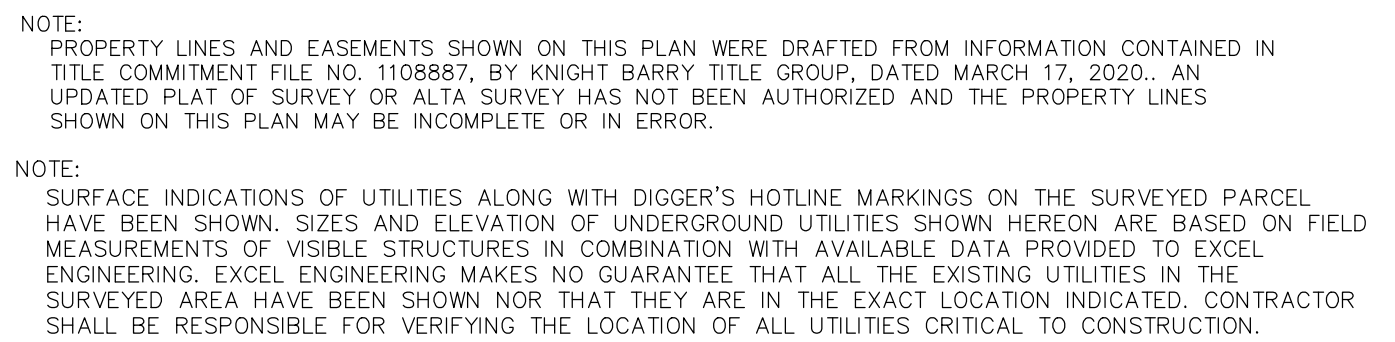
PROPOSED ADDITION FOR:  
**LAKEWOOD BAPTIST CHURCH**  
W274 N1490 RIVERLAND DRIVE • PEWAUKEE, WI

PROPOSED ADDITION FOR:

W 2/4 N I 490 RIVERLAND DRIVE • PEWAUKEE, WI

## C1.0

EXCEL ENGINEERING, INC.



CIVIL EXISTING SITE AND DEMOLITION PLAN

SPECIFICATION NOTE:  
SEE SHEET C0.1 FOR PLAN  
SPECIFICATIONS AND REQUIREMENTS

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PROJECT INFORMATION

PROPOSED ADDITION FOR:  
**LAKEWOOD BAPTIST CHURCH**  
W274 N1490 RIVERLAND DRIVE • PEWAUKEE, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

APR. 1, 2021  
APR. 5, 2021  
APR. 23, 2021  
MAY 7, 2021

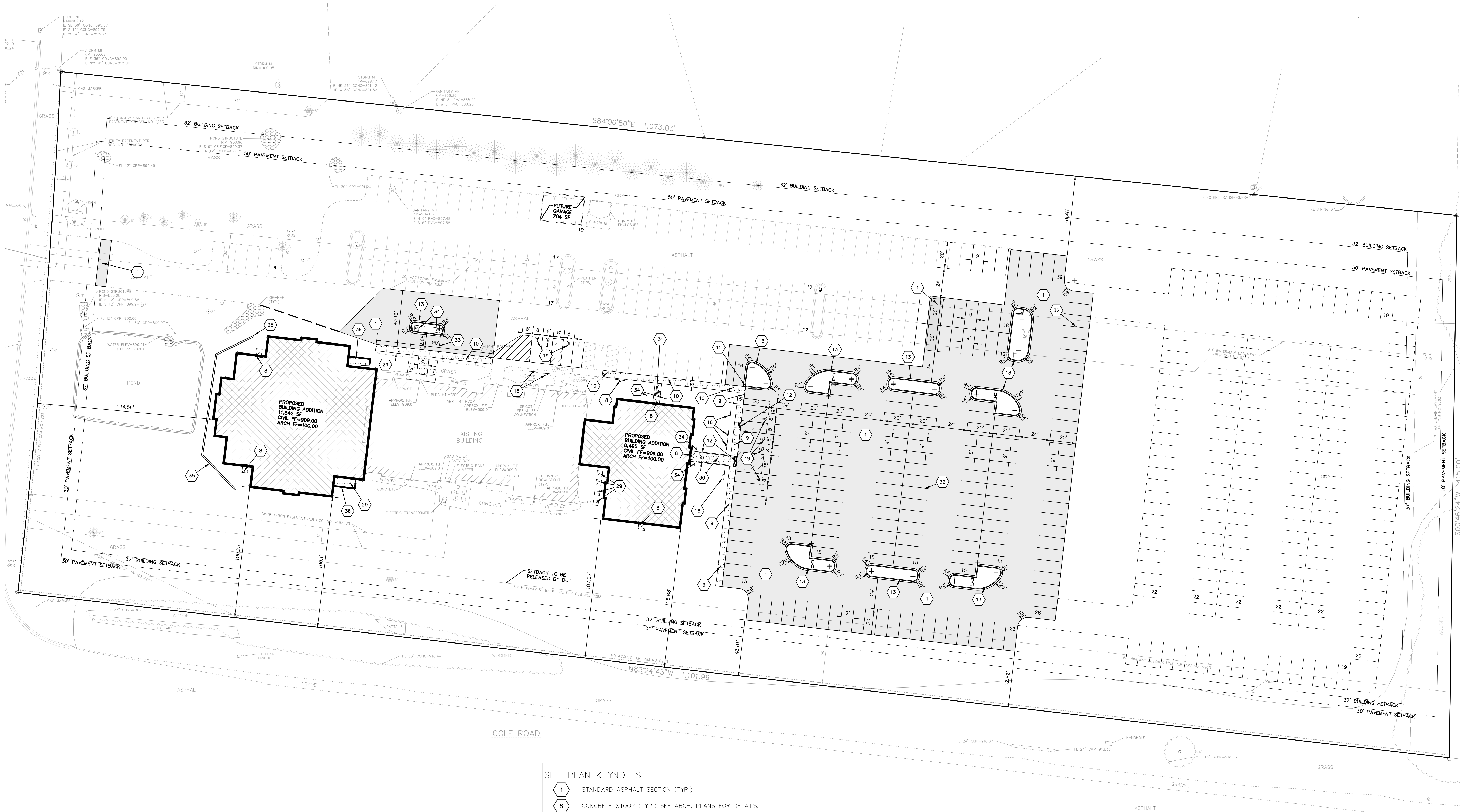
JOB NUMBER

2059660

SHEET NUMBER

**C1.1**

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SITE INFORMATION:

LEGAL DESCRIPTION: LOT 1 CERT SURV 9263 VOL 84/42 REC AS DOC# 2722679 PT SE1/4 SEC 19 17N R19E :: DOC# 3922819

PROPERTY AREA: AREA = 441,445 S.F. (10.13 ACRES).

EXISTING ZONING: I-1 URBAN INSTITUTIONAL DISTRICT

PROPOSED ZONING: I-1 URBAN INSTITUTIONAL DISTRICT

PROPOSED USE: CHURCH

AREA OF SITE DISTURBANCE: 240,000 S.F. (5.51 ACRES)

SETBACKS: BUILDING: FRONT = 25'+12'=37'  
SIDE = 20'+12'=32'  
REAR = 25'+12'=37'  
STREET = 25'+12'=37'

PAVEMENT: FRONT = 30'  
SIDE = 50'  
REAR = 10'  
STREET = 30'

PROPOSED BUILDING HEIGHT: AUDITORIUM: 46'-4" CLASSROOM: 31'-6" STEEPLE: 62'-0" MAX. HEIGHT ALLOWED: 35'

THEREFORE 12' INCREASE TO BUILDING SETBACKS PER SECTION 17.0901 E

PARKING REQUIRED: 1 SPACE PER 2 SEATS (332 SPACES REQ.)

PARKING PROVIDED: 332 SPACES (9 H.C. ACCESSIBLE)

HANDICAP STALLS REQUIRED: 8, HANDICAP STALLS PROVIDED: 10

LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 40%

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.13	441,145	
BUILDING FLOOR AREA	0.29	12,528	2.8%
PAVEMENT (ASP. & CONC.)	1.74	75,629	17.1%
TOTAL IMPERVIOUS	2.02	88,157	20.0%
LANDSCAPE/ OPEN SPACE	8.10	352,988	80.0%

PROPOSED SITE DATA (INCLUDES FUTURE PARKING)

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.13	441,145	
BUILDING FLOOR AREA	0.71	30,865	7.0%
PAVEMENT (ASP. & CONC.)	4.32	188,225	42.7%
TOTAL IMPERVIOUS	5.03	219,090	49.7%
LANDSCAPE/ OPEN SPACE	5.10	222,055	50.3%

SITE PLAN KEYNOTES

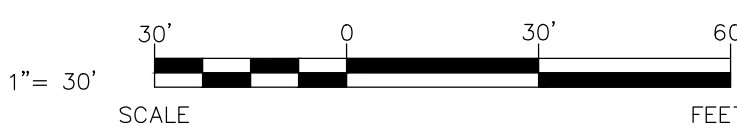
- STANDARD ASPHALT SECTION (TYP.)
- CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS.
- RAISED WALK (TYP.)
- FLUSH WALK (TYP.)
- CURB RAMP (TYP.)
- 18" CURB & GUTTER (TYP.)
- CURB TAPER (TYP.)
- HANDICAP SIGN (TYP.)
- HANDICAP STALL & STRIPING PER STATE CODES.
- CONCRETE EQUIPMENT PAD BY EQUIPMENT SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
- ADA RAMP WITH HANDRAIL (SEE DETAIL ON C2.1)
- 4 CONCRETE EXTERIOR STEPS WITH HANDRAIL (SEE DETAIL ON C2.1)
- PARKING STALL & STRIPING (TYP.)
- CANOPY (TYP.) (SEE ARCH PLANS)
- COLUMN (TYP.) (SEE ARCH PLANS)
- MODULAR BLOCK RETAINING WALL. FINAL DESIGN AND CONSTRUCTION DETAILS BY WALL MANUFACTURER. (SEE DETAIL ON C2.1)
- 9" HIGH WHITE CLAPBOARD SIDING SCREENING WALL (SEE ARCH PLANS)

PAVEMENT HATCH KEY:

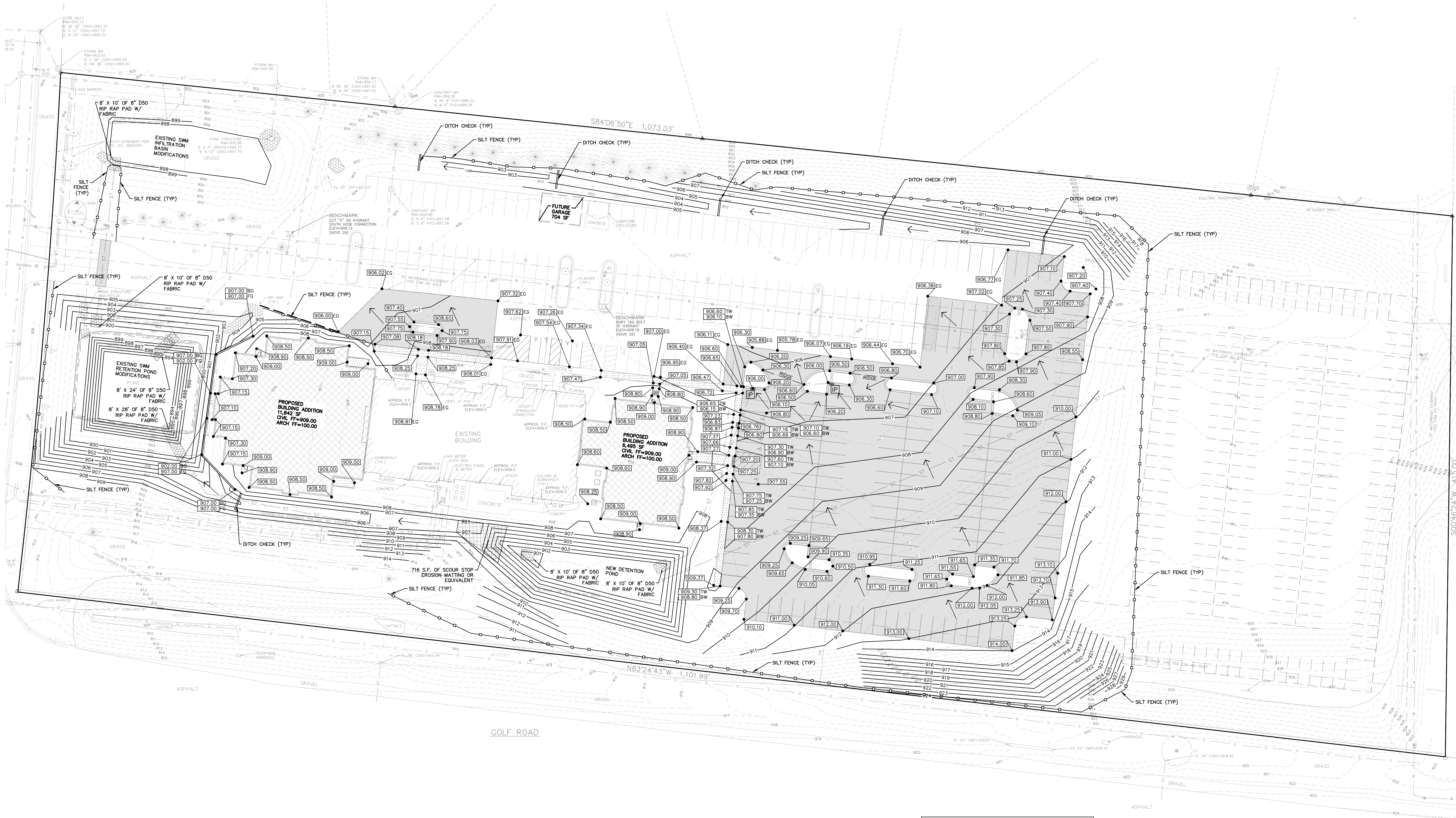
- STANDARD ASPHALT
- SIDEWALK CONCRETE

PAVEMENT NOTE:

ALL PAVING MUST COMPLY WITH SECTION 17.0601C OF THE CITY OF PEWAUKEE ZONING CODE.



CIVIL SITE PLAN



**NOTES:**

- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION).
- ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

**INLET PROTECTION NOTE:**



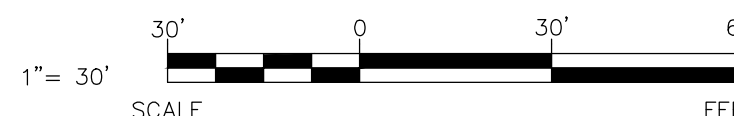
CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

**STABILIZED CONSTRUCTION ENTRANCE NOTE:**

CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

**CONCRETE WASHOUT NOTE:**

CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.



SPECIFICATION NOTE:  
SEE SHEET C0.1 FOR PLAN  
SPECIFICATIONS AND REQUIREMENTS

DOWNSPOUT NOTE:

DS = DENOTES DOWNSPOUT TO  
GRADE LOCATIONS. PROVIDE SPLASH BLOCKS AT  
ALL DS TO GRADE LOCATIONS. SEE ARCH PLANS  
FOR FINAL LOCATIONS.

WATER AND SANITARY SEWER  
SERVICE TO THE BUILDING  
ADDITIONS TO BE SERVED THROUGH  
THE EXISTING BUILDING.

**EXCEL**  
ARCHITECTS • ENGINEERS • SURVEYORS  
Always a Better Plan  
100 Camelot Drive  
Fond Du Lac, WI 54935  
Phone: (920) 926-9800  
www.EXCELENGINEER.com

PROJECT INFORMATION

PROPOSED ADDITION FOR:  
**LAKEWOOD BAPTIST CHURCH**  
W274 N1490 RIVERLAND DRIVE • PEWAUKEE, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

APR. 5, 2021  
APR. 23, 2021  
MAY 7, 2021

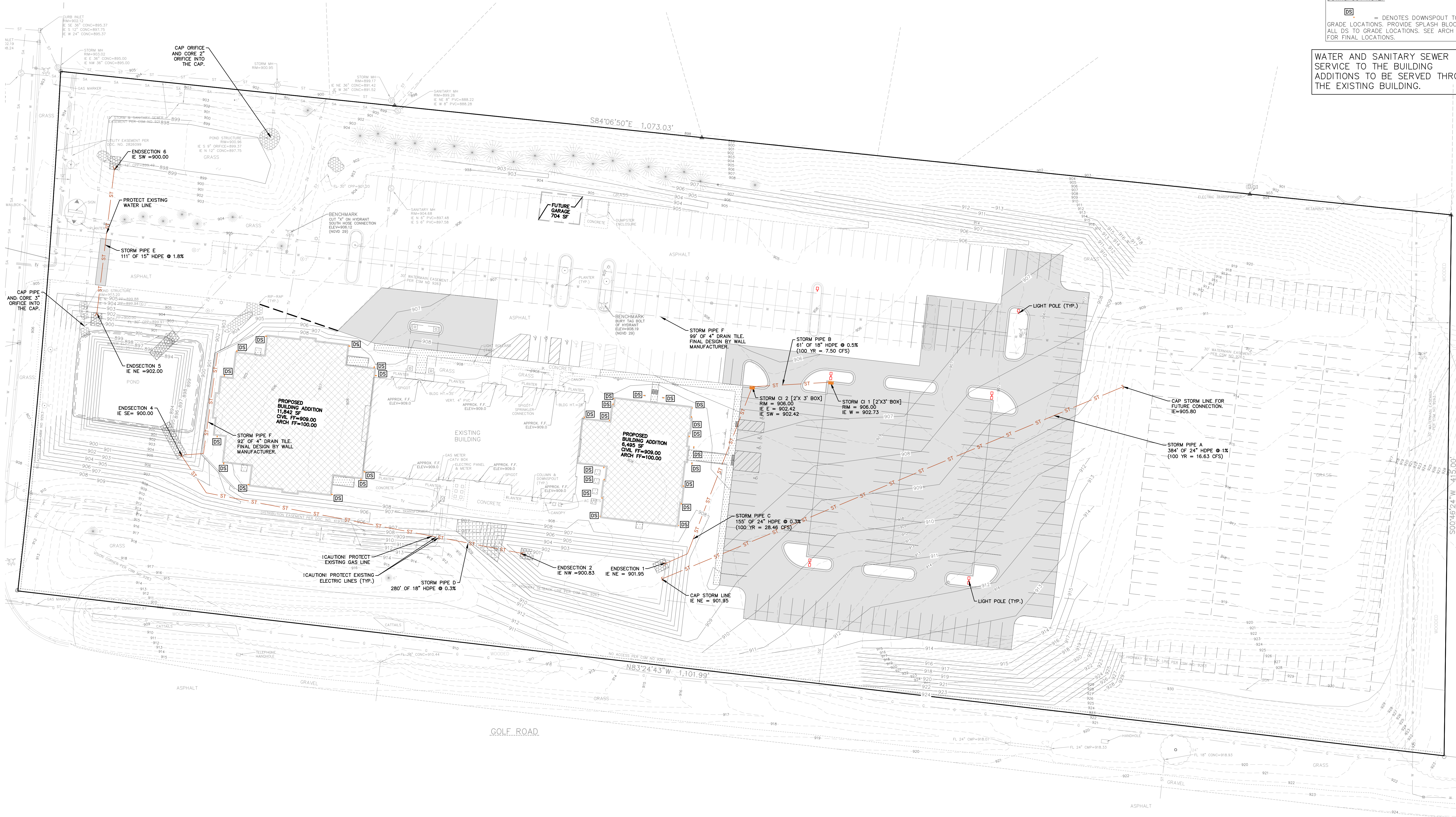
JOB NUMBER

2059660

SHEET NUMBER

**C1.3**

2021 © EXCEL ENGINEERING, INC.



1" = 30'  
SCALE  
FEET

CIVIL UTILITY PLAN

SPECIFICATION NOTE:  
SEE SHEET C0.1 FOR PLAN  
SPECIFICATIONS AND REQUIREMENTS

EROSION MATTING LOCATION

**EXCEL**  
ARCHITECTS • ENGINEERS • SURVEYORS  
Always a Better Plan  
100 Camelot Drive  
Fond Du Lac, WI 54935  
Phone: (920) 926-9800  
www.EXCELENGINEER.com

PROJECT INFORMATION

PROPOSED ADDITION FOR:  
**LAKEWOOD BAPTIST CHURCH**  
W274 N1490 RIVERLAND DRIVE • PEWAUKEE, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

APR. 5, 2021  
APR. 23, 2021  
MAY 7, 2021

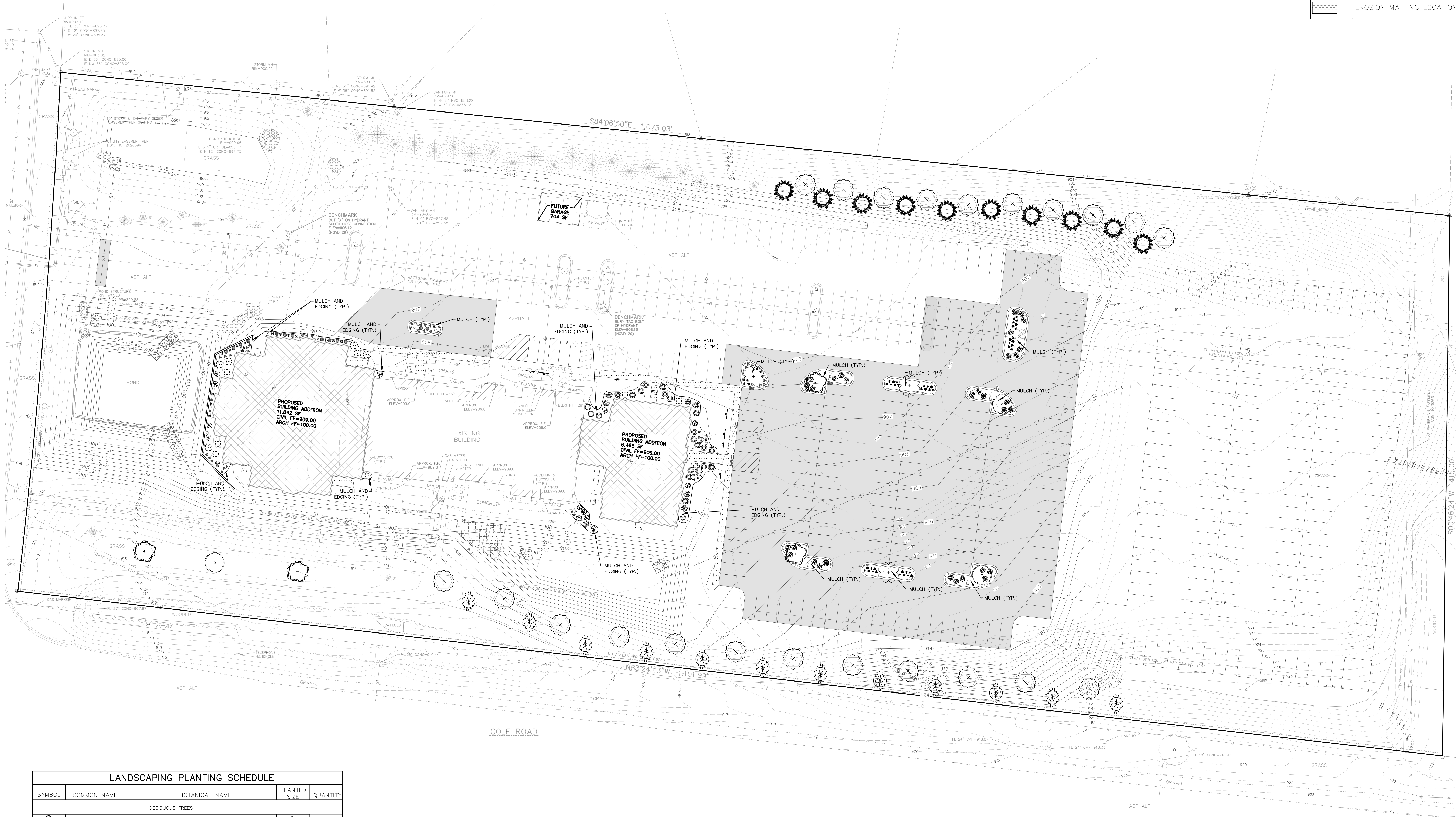
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2059660

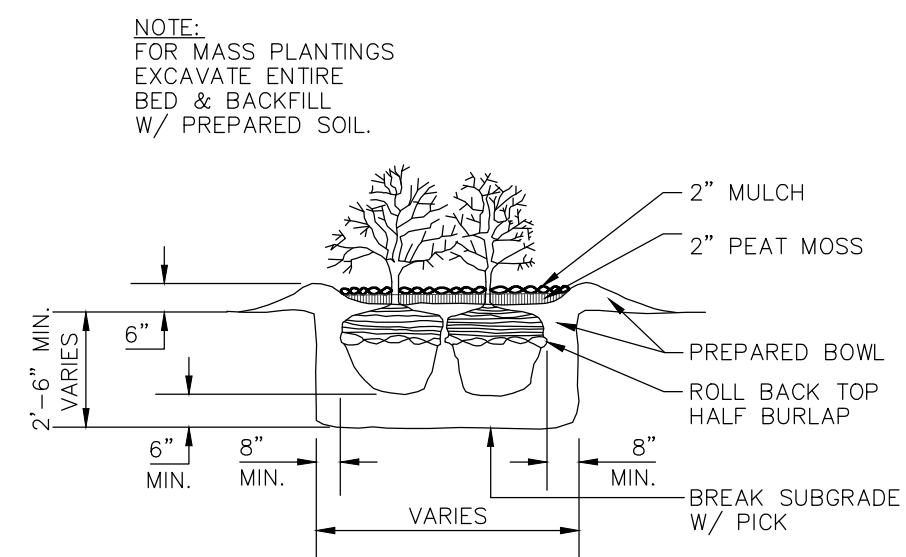
SHEET NUMBER

**C1.4**

2021 © EXCEL ENGINEERING, INC.

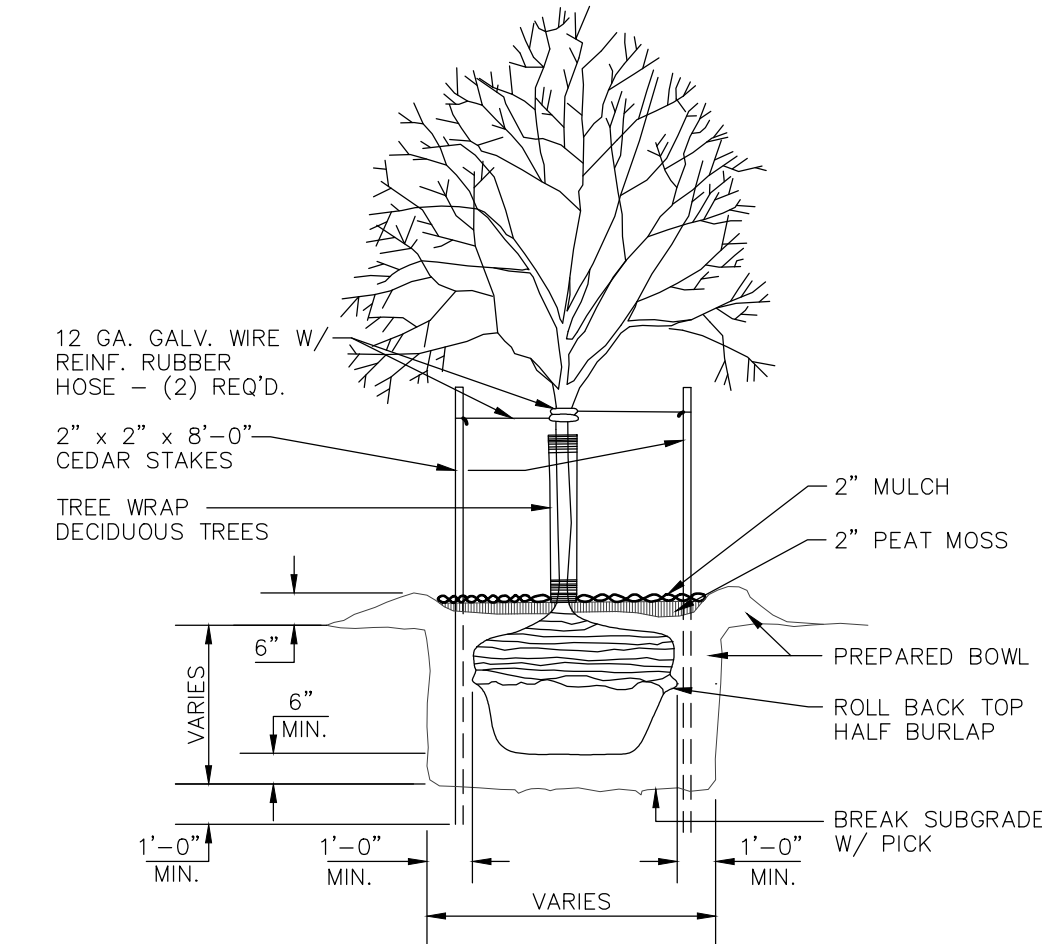


LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
	Autumn Blaze Maple	Acer x freemanii 'Jeffersred'	2"	4
	Skyline Honeylocust	Gleditsia triacanthos 'Skyline'	2"	3
	Flowering Crabapple (Spring Snow)	Malus x hybrid (Spring Snow)	2"	3
EVERGREEN TREES				
	Black Hills Spruce	Picea glauca	6"	22
	Dawn Redwood	Metasequoia glyptostroboides	4"	10
	Austrian Pine	Pinus nigra	4"	12
DECIDUOUS SHRUBS				
	Shrub Roses	Explorer series 'Alex Mackenzie'	1 gal pot	31
	Arrowwood Viburnum	Viburnum dentatum	30"-36"	11
	Goldmound Spirea	Spiraea x bumalda 'Goldmound'	15"-18"	13
	Burning Bush	Euonymus alatus 'Compactus'	30"-36"	12
EVERGREEN SHRUBS				
	Emerald Green Arborvitae	Thuja occidentalis 'Emerald Green'	2"	7
	Arcadia Juniper	Juniperus sabina 'arcadia'	24"	3
	Wintergreen Boxwood	Buxus sinica var. insularis 'Wintergreen'	18"	16
	Taunton Yew	Tauntonii	24"	9
PERENNIALS				
	Karl Foerster Reed Grass	Clamagrostis x acutiflora 'Karl Foerster'	1 gal pot	42
	Daylilies 'Stella de Oro'	Hemerocallis 'Stella de Oro'	1 gal pot	35
	Blue Autumn Aster	Aster 'blue autumn'	1 gal pot	40



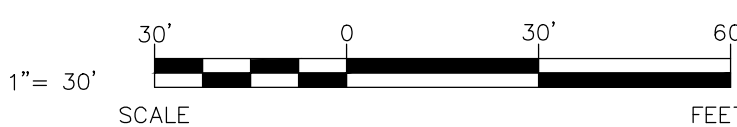
SHRUB PLANTING DETAIL

NO SCALE

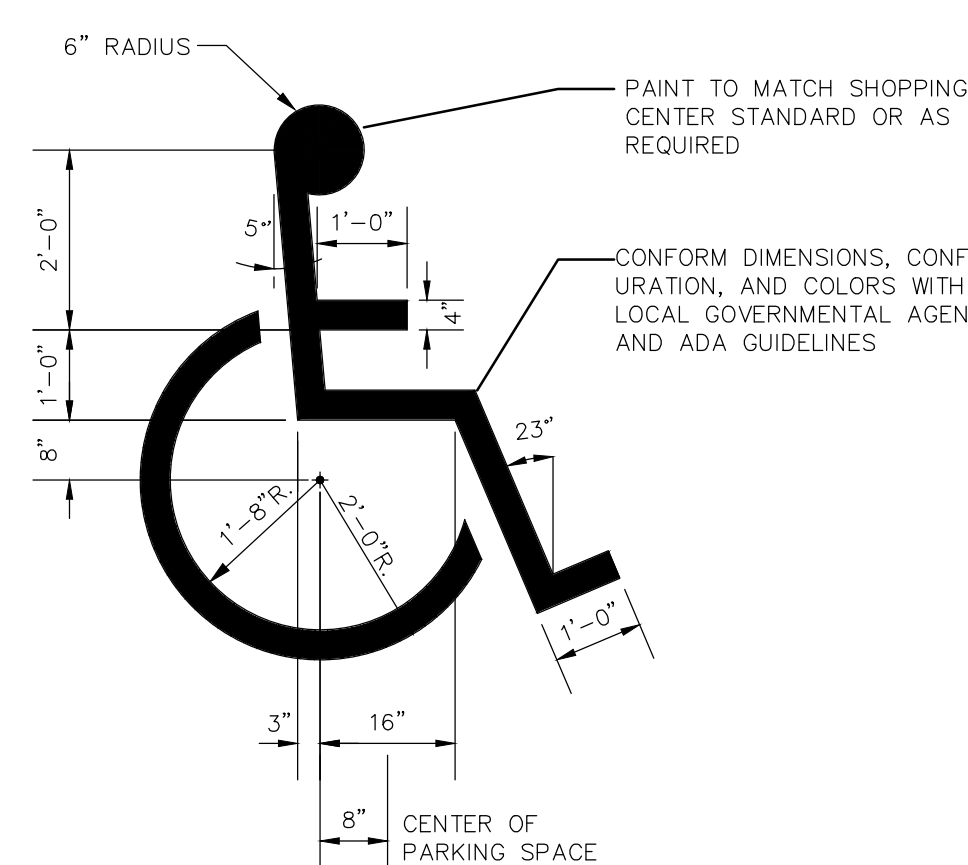
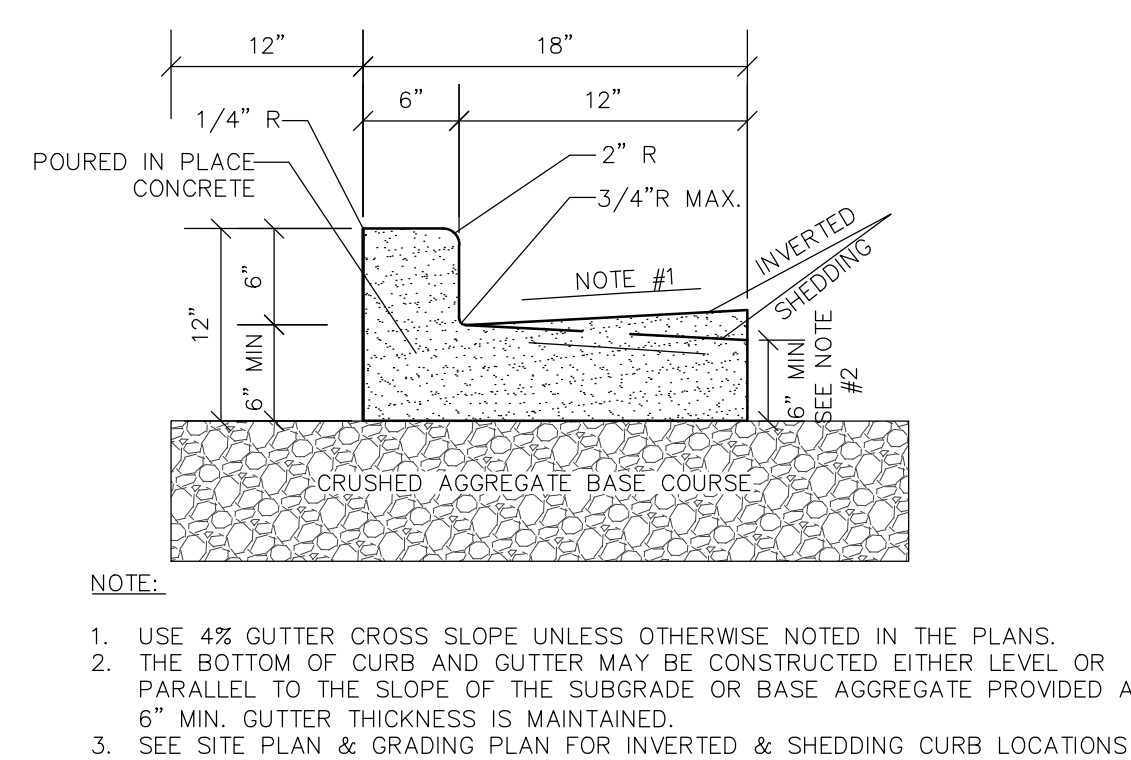
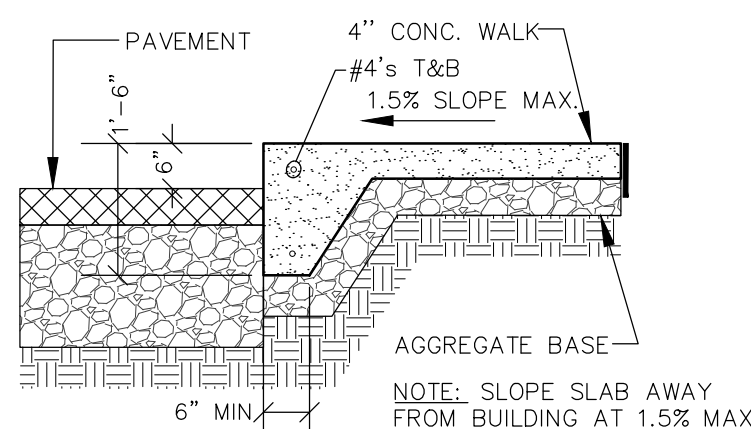
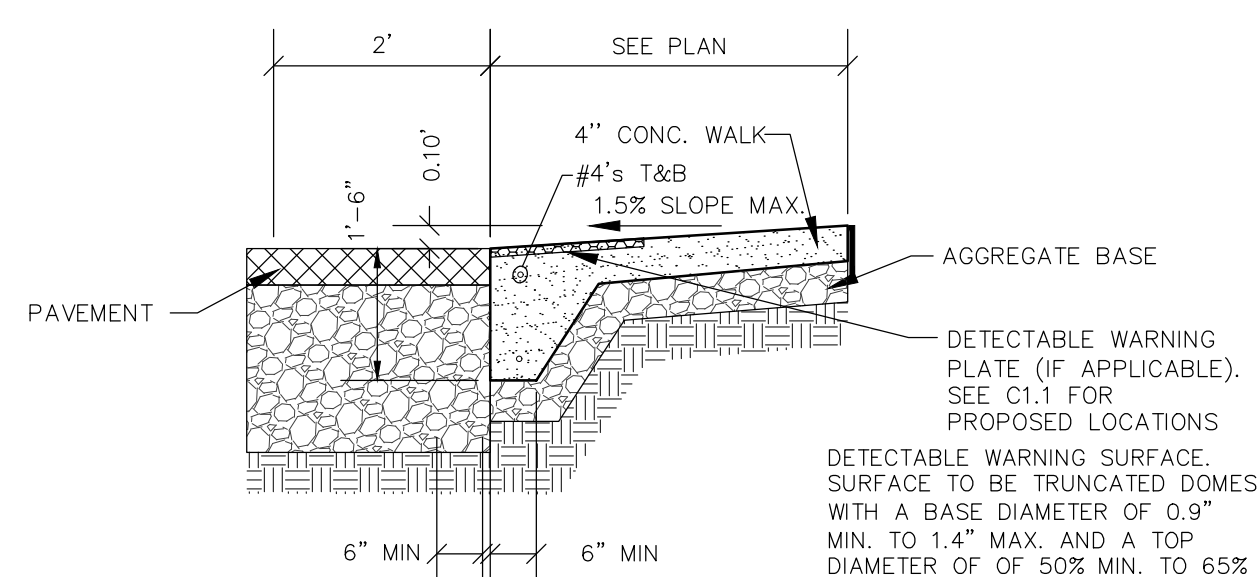
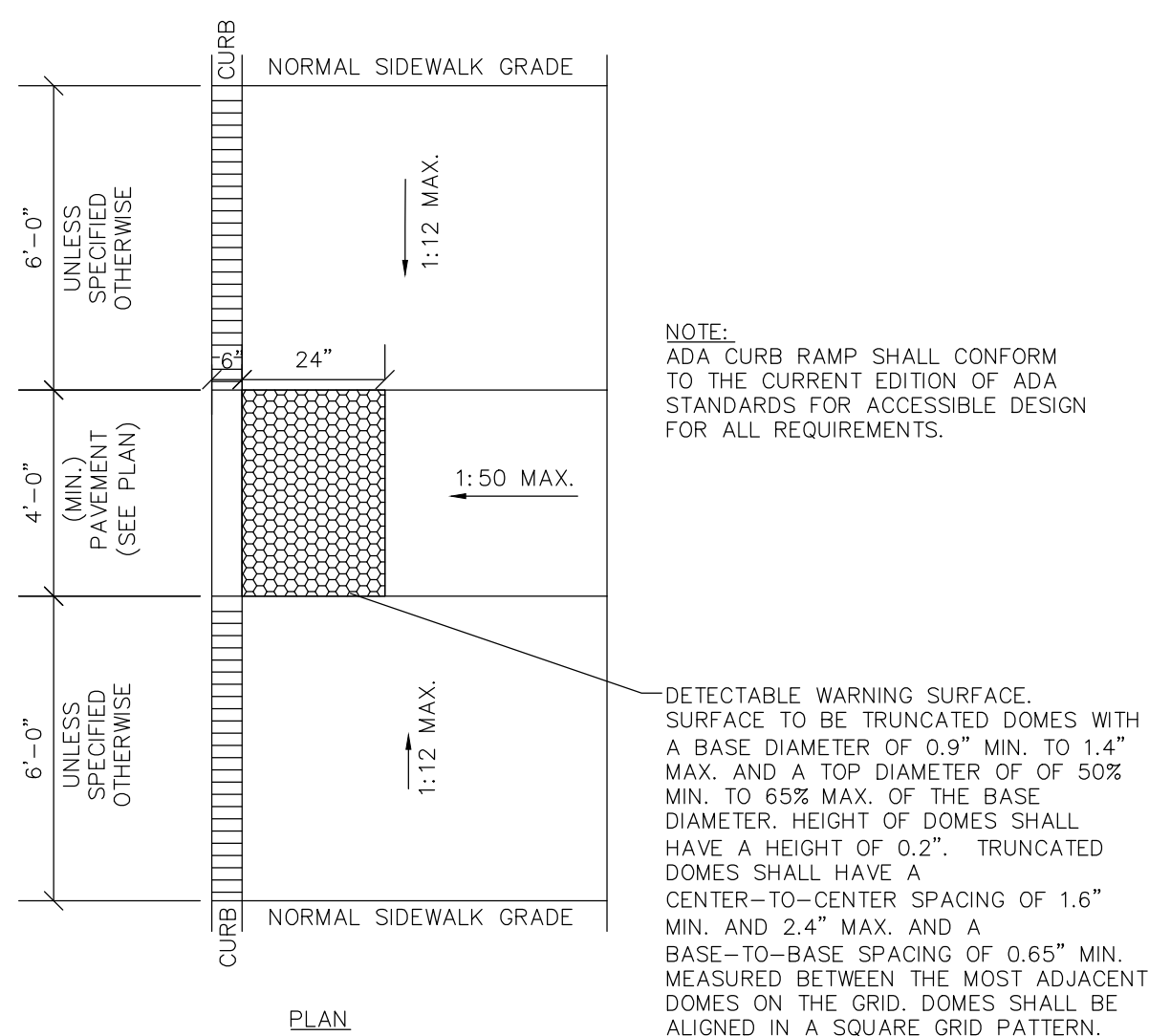


TREE PLANTING DETAIL

NO SCALE



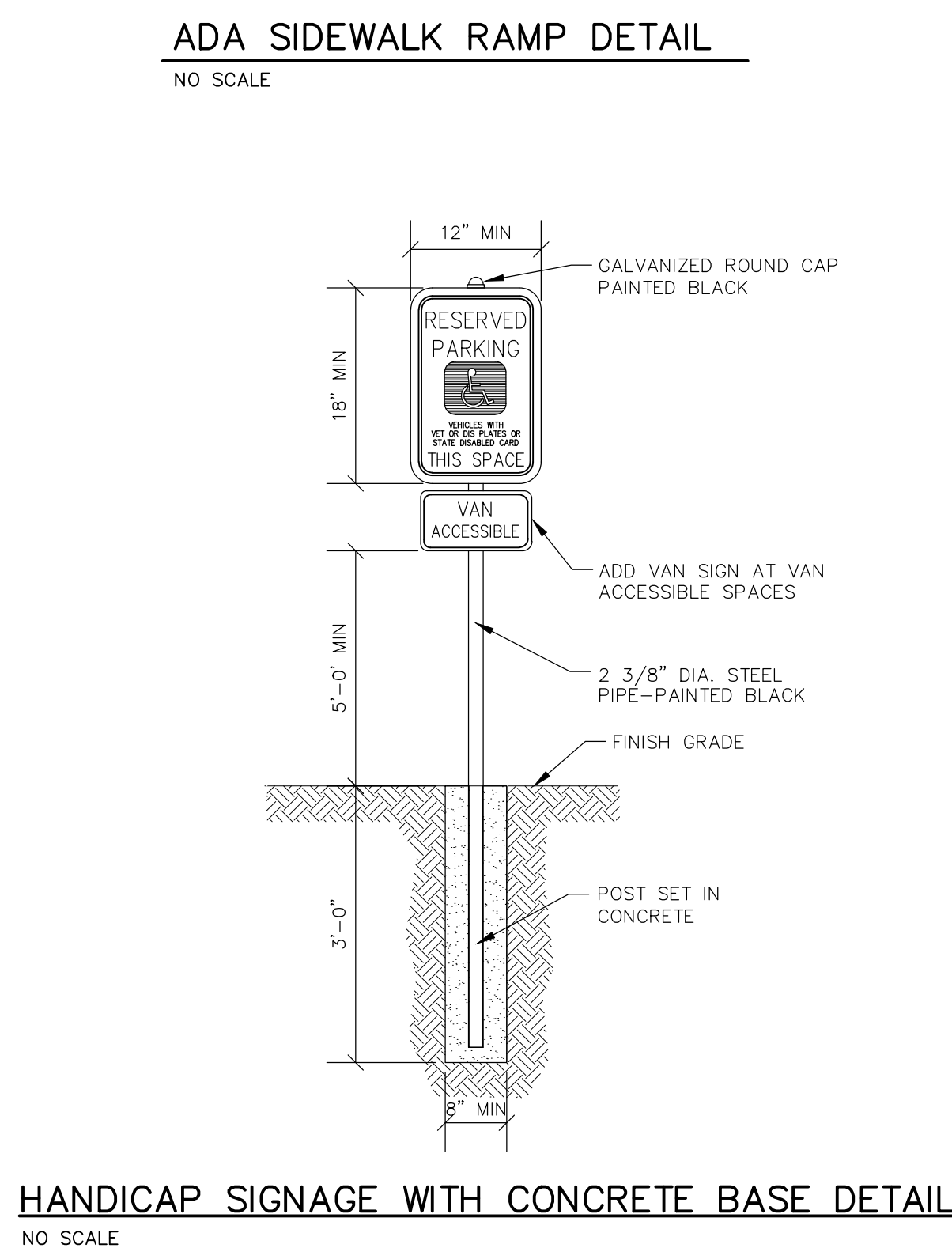
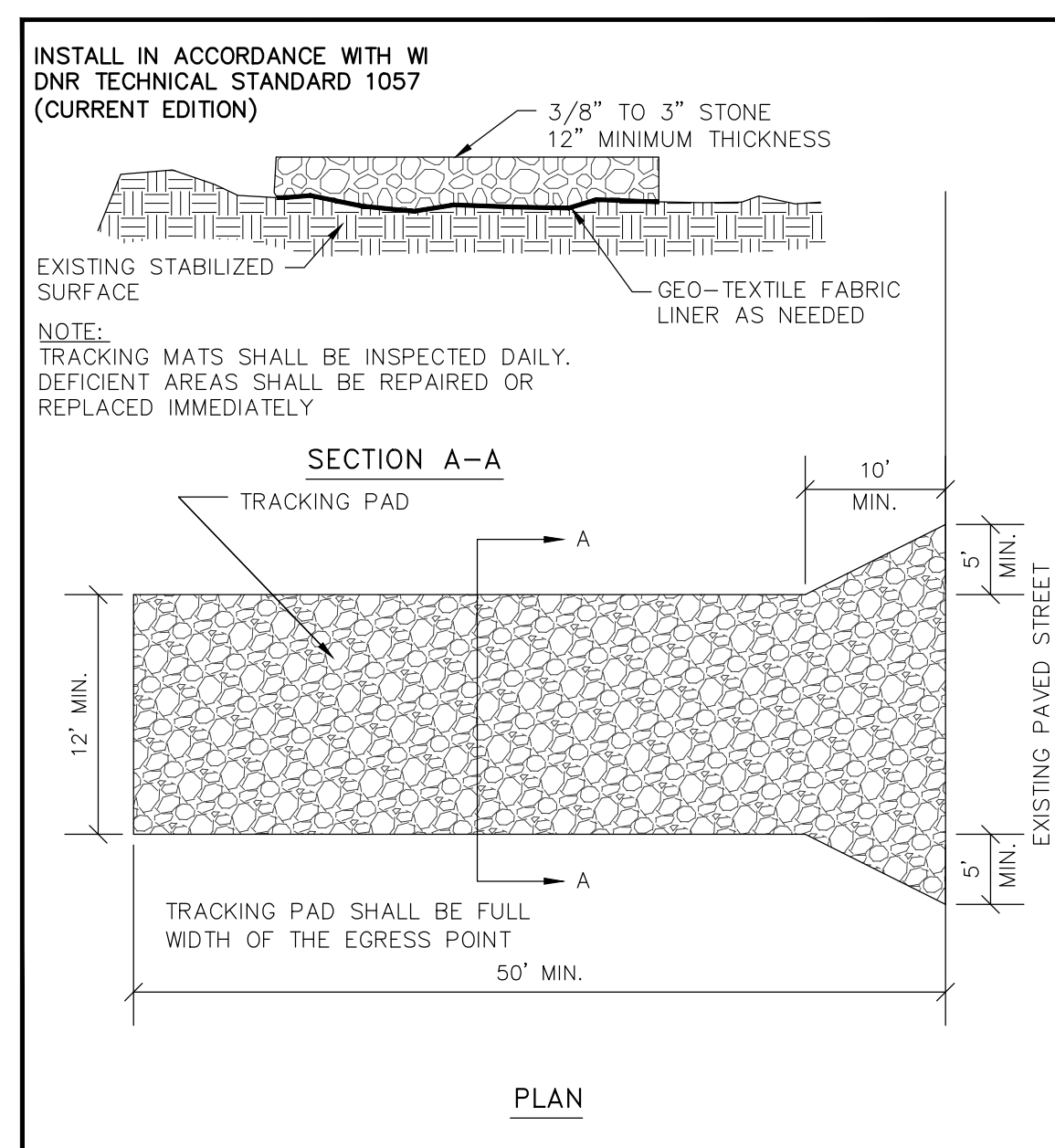
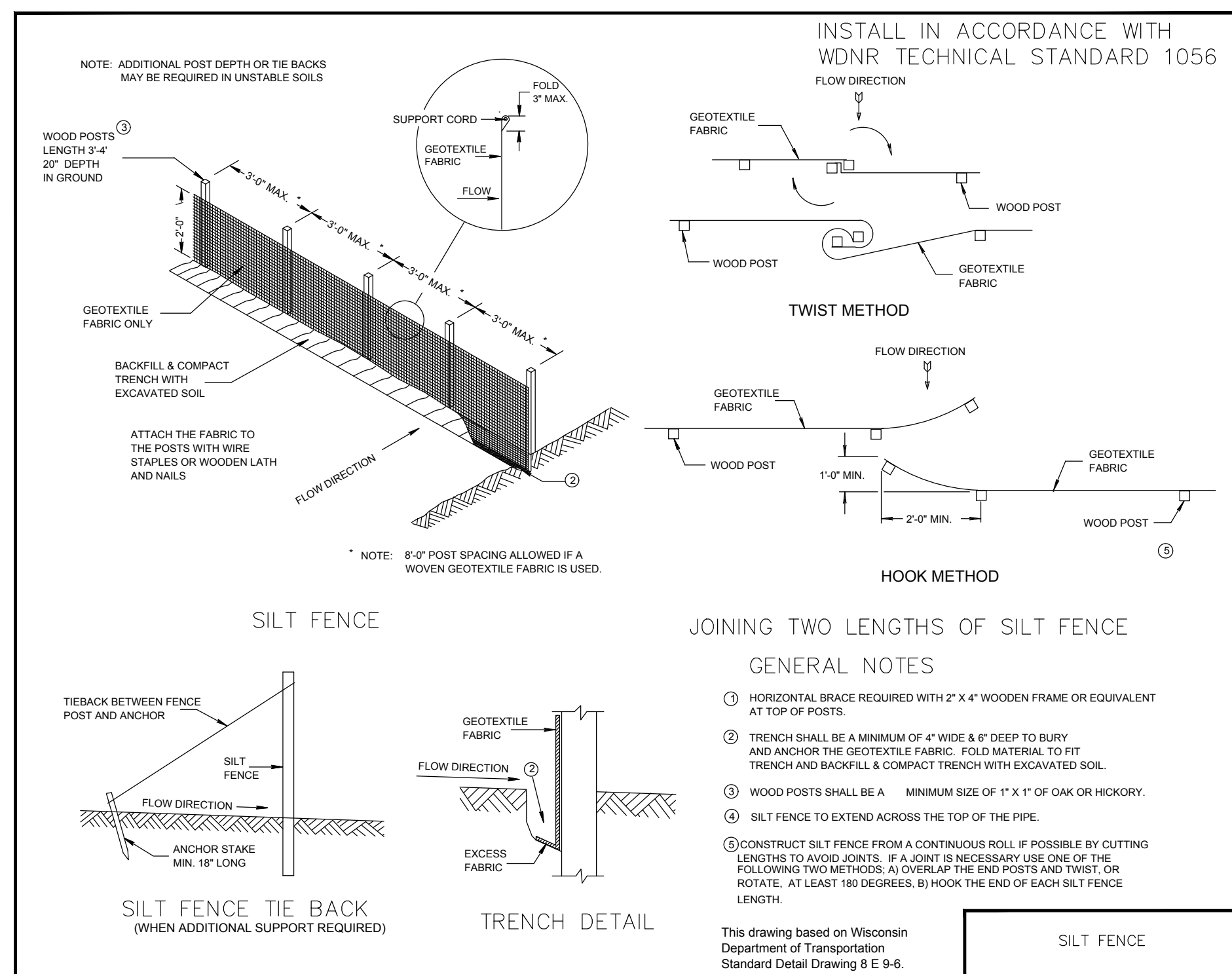
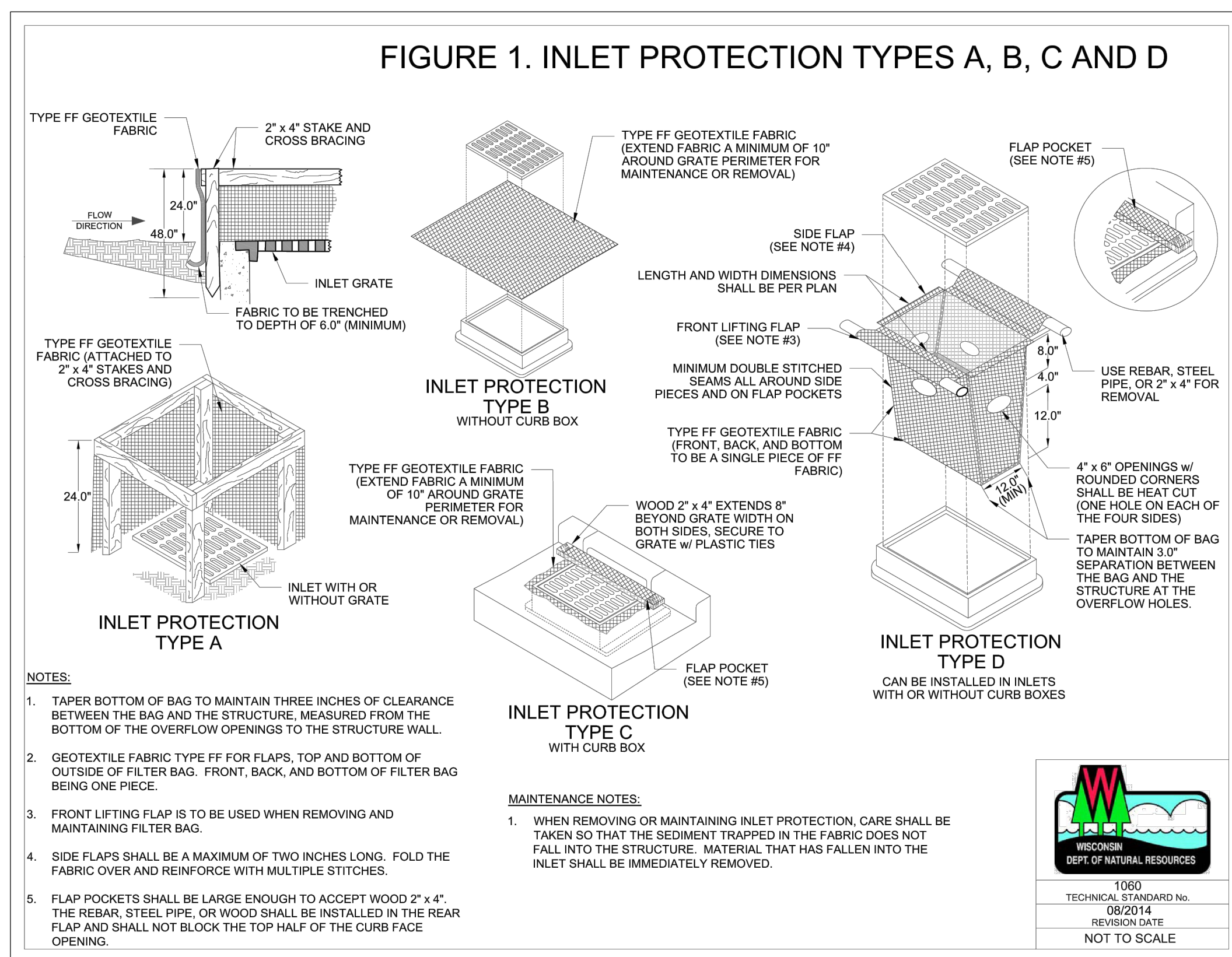
CIVIL LANDSCAPE AND RESTORATION PLAN



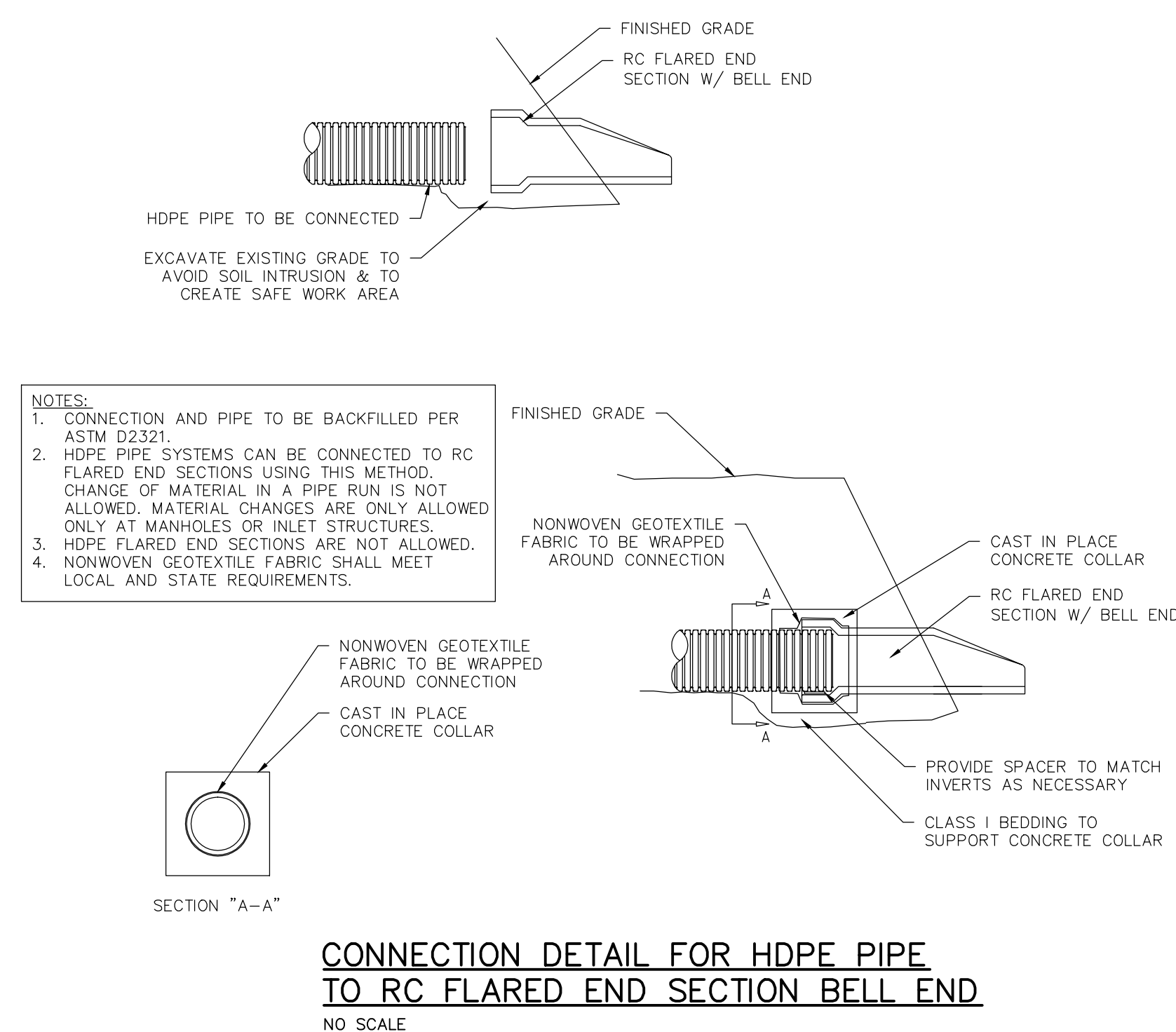
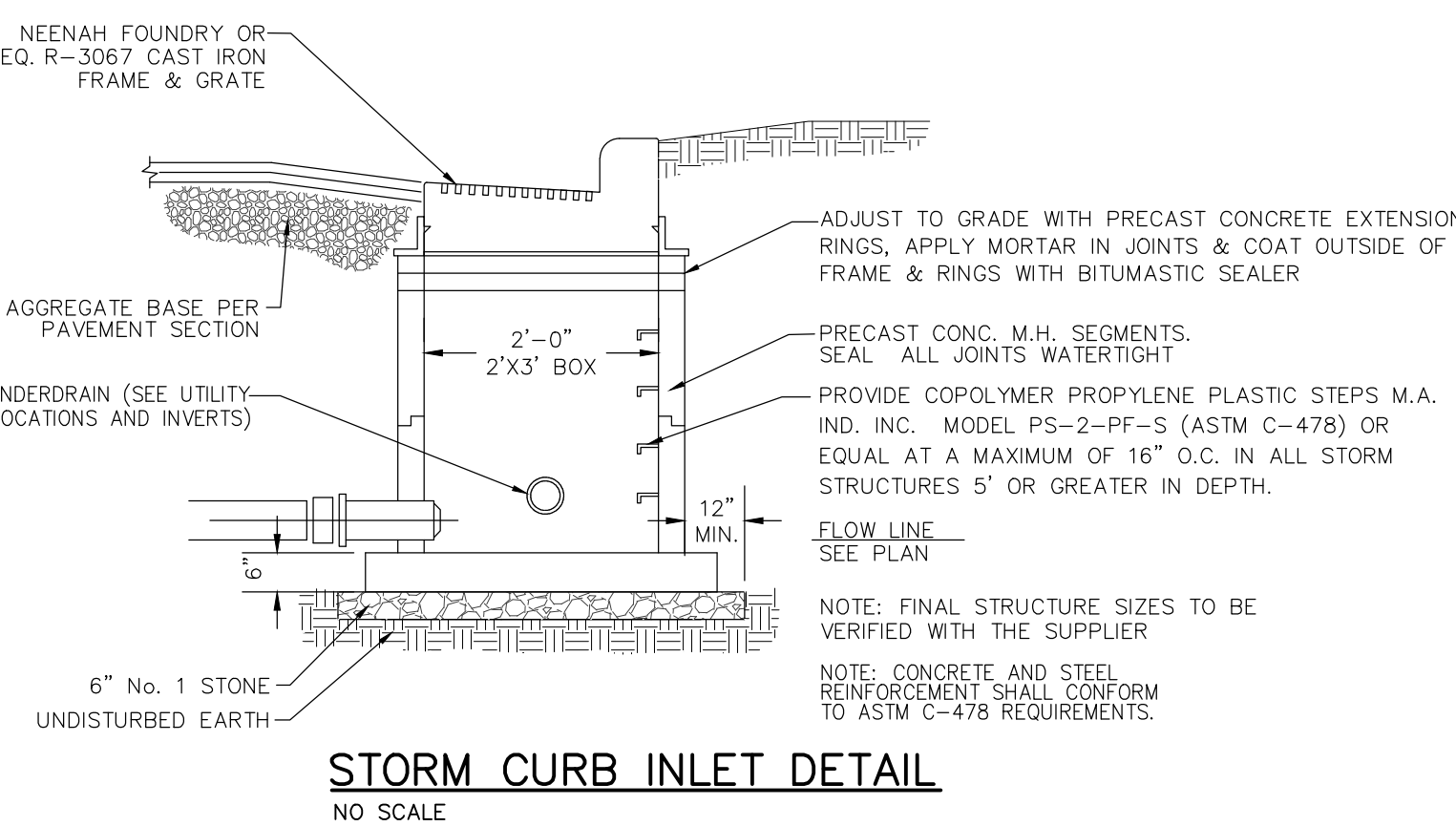
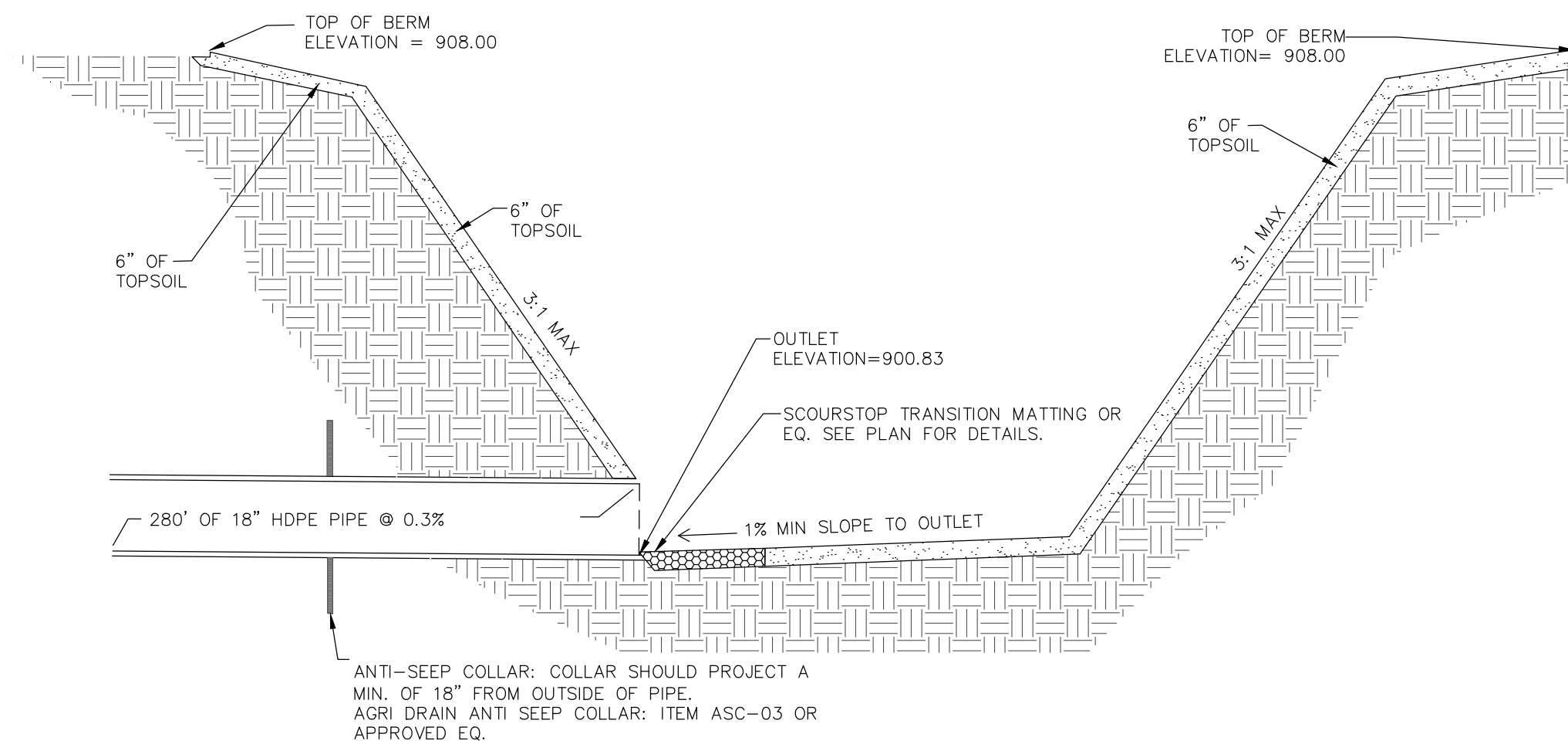
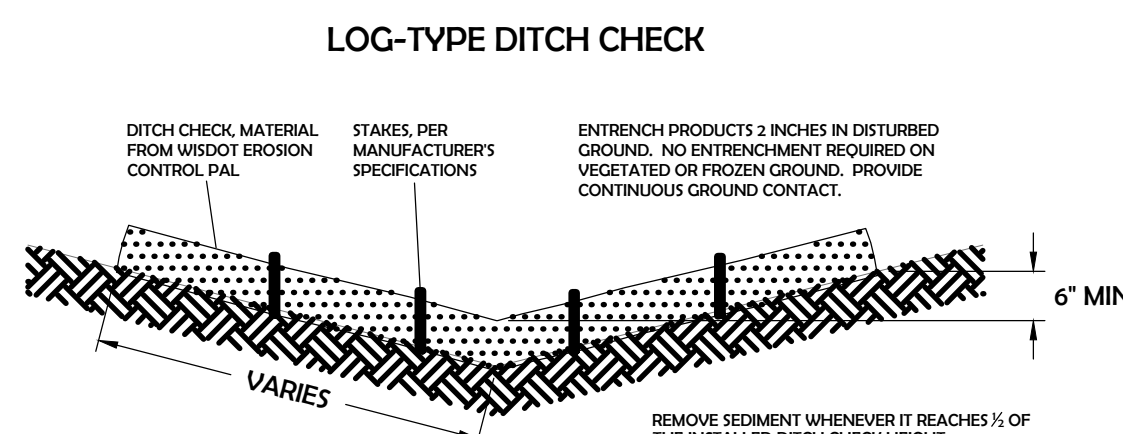
SPECIFICATION NOTE:  
SEE SHEET C0.1 FOR PLAN  
SPECIFICATIONS AND REQUIREMENTS



## PROJECT INFORMATION



### DITCH CHECK DETAIL



PROPOSED ADDITION FOR:  
**LAKESWOOD BAPTIST CHURCH**  
W274 N1490 RIVERLAND DRIVE • PEWAUKEE, WI

PROFESSIONAL SEA

PRELIMINARY DATES

APR. 5, 2021  
APR. 23, 2021  
MAY 7, 2021

**IOR NUMBER**

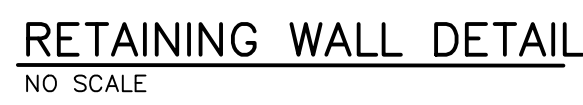
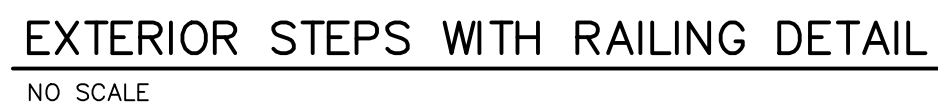
2059660

SHEET NUMBER

## C2.0

CIVIL DETAILS

2021 © EXCEL ENGINEERING, INC.



**\*\*CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.\*\***

**NOT FOR CONSTRUCTION**

2059660

## C2.1

May 7, 2021

City of Pewaukee  
Attn: Nick Fuchs  
W240 N3065 Pewaukee Road  
Pewaukee, WI 53072

Re: Lakewood Baptist Church Site & Building Plan Review

Dear Mr. Fuchs

This letter is in response to emailed comments received on April 29th, 2021 regarding the proposed building additions and site modifications for Lakewood Baptist Church located at W274N1490 Riverland Drive.

1. On the site plan please add a reference to Section 17.0901e. for the building height and setback modification. This could be added to the end of the note stating, "Therefore 12' increase to building setbacks per Section 17.0901e."

Excel Response: Setback note modified to state "Therefore 12' increase to building setbacks per Section 17.0901e."

2. Additionally, it is recommended to just show the final required setbacks, opposed to having two Building Setback lines drawn.

Excel Response: Removed original building setback lines so that only the final required setback is shown.

3. Note that all paving must comply with Section 17.0601c. of the City's Zoning Code.

Excel Response: Pavement note added on 1.1, "All paving must comply with section 17.0601c of the City of Pewaukee Zoning Code."

4. How tall is the existing steeple?

Excel Response: The existing steeple is 47'-2".

5. What is the current seating capacity?

Excel Response: The current seating capacity in the auditorium is 373.

6. Is the amount of parking being provided solely based upon the City's guidelines within Section 17.0601d.(3) or is it the amount desired and needed for the proposed building additions and use?

Excel Response: The amount of parking being proposed is the amount desired for the proposed building addition and use.

If less parking is needed, staff is open to discussing that further and not requiring paving parking spaces that will not be utilized, particularly where future parking is shown and available if needed.

Excel Response: Need for future parking area to be determined in future.

7. As future parking is on the site plan, please include in the site data calculations. Is there still 40% greenspace with future parking as shown?  
**Excel Response:** Proposed site data updated to include future pavement area. More than 40% greenspace is provided when including future parking.
8. Please note that approval will be subject to Engineering Department review of grading, erosion control and storm water management plans.  
**Excel Response:** Engineering Department comments will be addressed when available.
9. Please consider the following suggestions related to the architecture of the building:
- a. On the east end of the south elevation, consider adding windows, mimicking the west side of that same elevation, or adding the same entry feature that is on the existing building directly to the west.  
**Excel Response:** Windows have been added to the east end of the south elevation to mirror those windows on the north elevation. The Church would elect to not add the entry canopy/entry feature to the south door as this door is not to be used as the primary entrance. In addition, this area of the building is not visible from I-94; it is also not visible from Oak Springs South due to the berm on the north side of the property.
  - b. On the east elevation, consider adding stone veneer on all three bump-out areas.  
**Excel Response:** There is stone currently surrounding the east entry door to emphasize this area as the entry. To keep emphasis in this area, the Church would elect to not add stone to the bump-out areas along the east elevation.
10. Where are additional ground or rooftop mechanicals located and how will they be screened? Will mechanicals be similar to existing?  
**Excel Response:** The east addition will have (4) ground mounted condensing units that will be located on the southwest side of the addition. These units will be screened with landscaping—this is similar to what they currently have. The west addition will have (2) locations where ground mounted units will be located. These locations are Keynote 36 on C1.1. There is a screening wall planned for these areas which is white clapboard siding to match the building at a height of 9’.
11. Additional landscaping is recommended. Please consider the following:
- a. Add plantings to screen the parking on north side. Were plantings added in 2019? If so, are those remaining or being replanted?  
**Excel Response:** Trees added to the berm on the north side on the parking area. Unsure of exact timing of when the trees on the northeast side of the berm were added. These trees will be replaced per the updated landscape plan.
  - b. Add plantings to the south of the existing building and proposed pond and parking area.  
**Excel Response:** Plantings added south of the existing building, proposed pond, and parking area. There is a wooded area along the south property line which will remain in place.

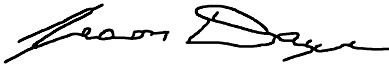
12. Please submit an updated Business Plan of Operation Application and Notice of Intent to Discharge Wastewater form.

Excel Response: Business Plan of Operation Application and Notice of Intent to Discharge Wastewater form will be submitted. Excel is waiting on additional information and will submit when information becomes available.

The drawings have been revised per your comments above. Please accept for review and approval for the issuance of applicable permits. Please let me know if you have any comments, questions, or need additional information.

Sincerely,

Excel Engineering, Inc.

A handwritten signature in black ink, appearing to read "Jason Daye", written in a cursive style.

Jason Daye, P.E., Principal

## **Procedure to Release Setback**

Attached is the form to release the highway setback line on your certified survey map. The following steps are needed before the Correction Instrument can be recorded:

1. Have the Professional Land Surveyor (PLS) will need to sign the Correction Instrument and have the signature notarized.
2. The Local municipality will need to sign the Correction Instrument and have the signature notarized.
3. The Correction Instrument, the Letter of Release, and the copy of the CSM showing changes will have to be recorded at the Registers of Deeds Office.
4. The recorded copy will be sent to WisDOT and a copy will be emailed to you.

Please feel free to contact me if you have any questions.

Thank you,



Patricia Reikowski  
Wisconsin Department of Transportation  
SE Region  
Land Division Coordinator  
[patricia.reikowski@dot.wi.gov](mailto:patricia.reikowski@dot.wi.gov)  
262-548-6704

**Correction Instrument  
Rescission of Trans 233 Restrictions**

Wisconsin Department of Transportation  
DT 1458

Pursuant to s.236.295(1)(a), Wis. Stats., I, Patricia Reikowski, authorized Wisconsin Department of Transportation representative, certify that in the plat of:

**Legal Description:**

Being a part of the NW ¼ of the SE ¼ of Section 19, T 7 N, R 19 E, in the City of Pewaukee, Waukesha County, Wisconsin. As recorded on CSM No. 9263, recorded at the Waukesha County Register of Deeds Office on November 16, 2001.  
See exhibit B.

This correction instrument is for the purpose of modifying the above document as follows:

To rescind the Wisconsin Department of Transportation highway setback and language.

This space is reserved for recording data

Wisconsin Department of Transportation  
SE Region  
141 NW Barstow St  
PO Box 798  
Waukesha, WI 53187-0798  
Attn: Patricia Reikowski

Parcel Identification Number/Tax Key Number  
PWC0940997002

**State Approval Notary Certificate**

State of Wisconsin )

Waukesha )

County )

Subscribed and sworn to before me this date: 4/13/21

Susan M King  
(Signature, Notary Public, State of Wisconsin)

Susan M. King  
(Print or Type Name, Notary Public, State of Wisconsin)

September 22, 2021  
(Date Commission Expires)

**Surveyor Notary Certificate**

State of Wisconsin )

Fond du Lac )

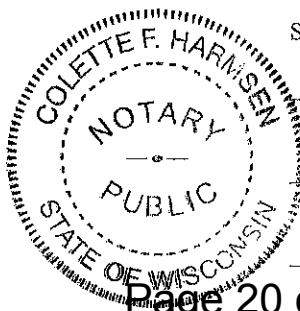
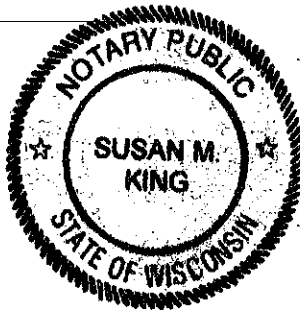
County )

Subscribed and sworn to before me this date: 4-28-21

Colette F. Harmse  
(Signature, Notary Public, State of Wisconsin)

Colette F. Harmse  
(Print or Type Name, Notary Public, State of Wisconsin)

2-5-23  
(Date Commission Expires)



**Approval Certification**

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Name of Local Government)

Approved for recording by the government identified above

\_\_\_\_\_  
(Authorized Local Government Signature)

\_\_\_\_\_  
(Print or Type Name)

**Local Government Notary Certificate**

State of Wisconsin )  
 ) ss.  
\_\_\_\_\_ County )

Subscribed and sworn to before me this date: \_\_\_\_\_

\_\_\_\_\_  
(Signature, Notary Public, State of Wisconsin)

\_\_\_\_\_  
(Print or Type Name, Notary Public, State of Wisconsin)

\_\_\_\_\_  
(Date Commission Expires)

WisDOT DTSD  
Southeast Regional Office  
141 NW Barstow St., Suite 218  
P.O. Box 798  
Waukesha, WI 53187-0798

Governor Tony Evers  
Secretary Craig Thompson  
[wisconsindot.gov](http://wisconsindot.gov)  
Telephone: (262) 548-5903  
FAX: (262) 548-5662  
Email: [waukesha.dtd@dot.wi.gov](mailto:waukesha.dtd@dot.wi.gov)



## EXHIBIT A

Being a part of the NW  $\frac{1}{4}$  of the SE  $\frac{1}{4}$  of Section 19, T 7 N, R 19 E, in the City of Pewaukee,  
Waukesha County, Wisconsin

The Department of Transportation has reviewed your request to release the setback restriction and language on the above referenced property.

The Department hereby releases the above-mentioned restrictions.

It is required that this release be incorporated into a correction document under ss. 236.295 wis.stats., as an Exhibit.

  
Tony Barth, SE Region Planning Chief

Exhibit B

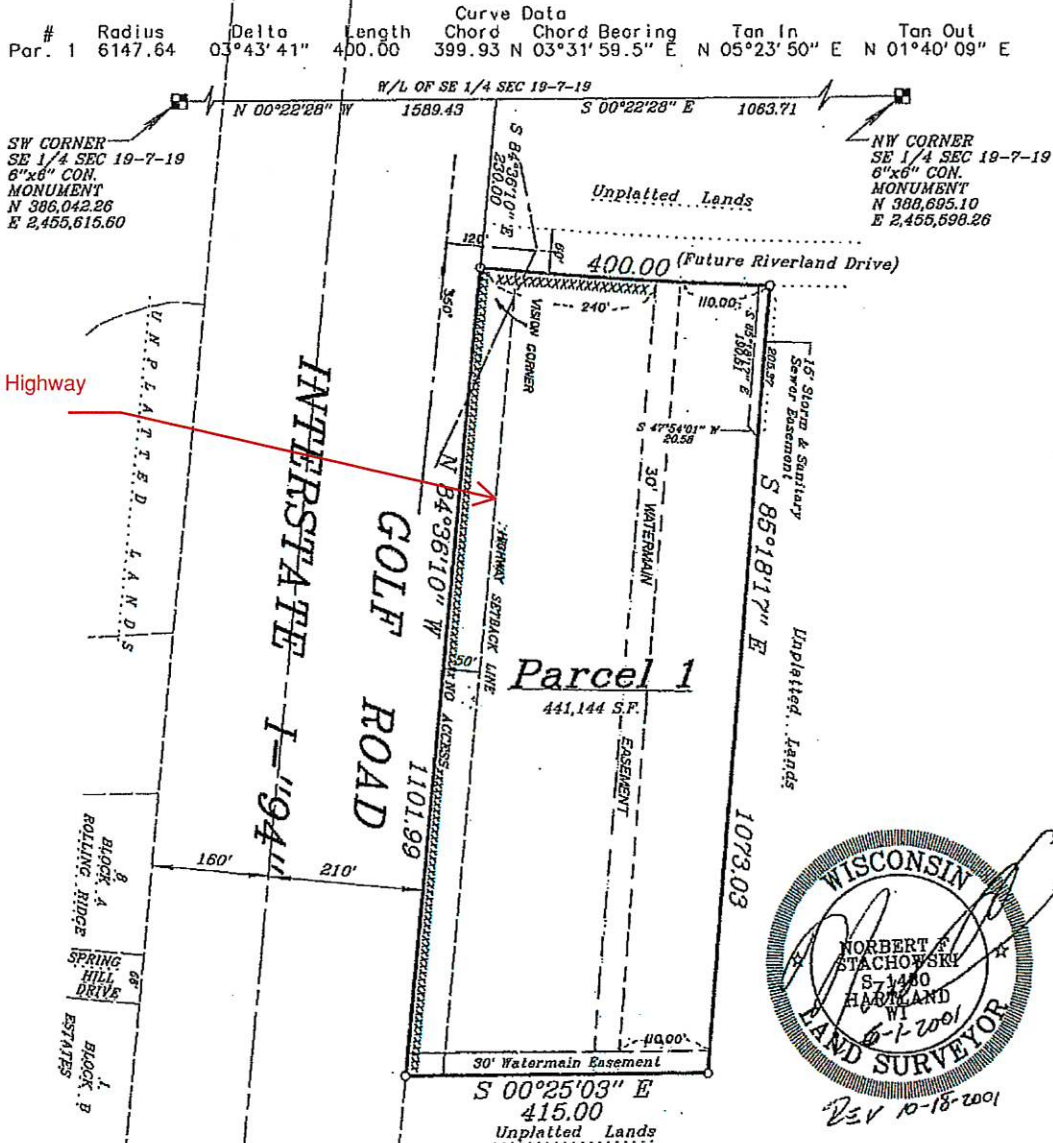


2722679

PC # 010517-1

CERTIFIED SURVEY MAP NO. 9243

Being a part of the NW 1/4 of the SE 1/4 of Section 19, T 7 N, R 19 E, in the City of Pewaukee, Waukesha County, Wisconsin.



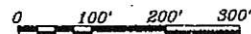
NOTE:  
○—DENOTES 1"x24" IRON PIPE 1.13 LBS. PER LINEAL FOOT SET AT ALL LOT CORNERS UNLESS NOTED OTHERWISE.

BEARINGS REFER TO THE WISCONSIN STATE PLANE CO-ORDINATE SYSTEM SOUTH ZONE.

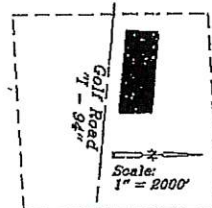
ACCESS RESTRICTION  
AS OWNER I HEREBY RESTRICT NO OWNER, POSSESSOR, USER, NOR LICENSEE, NOR OTHER PERSON SHALL HAVE ANY RIGHT OF DIRECT VEHICULAR INGRESS OR EGRESS WITH U.S. 1-94 OR GOLF ROAD, AS SHOWN ON THIS C.S.M.: IT BEING EXPRESSLY INTENDED THAT THIS RESTRICTION SHALL CONSTITUTE A RESTRICTION FOR THE BENEFIT OF THE PUBLIC ACCORDING TO SECTION 236.293, WISCONSIN STATUTES AND SHALL BE ENFORCEABLE BY THE DEPARTMENT OF TRANSPORTATION.

TRANS 233 # 67-094-0594-01

GRAPHIC SCALE



Scale: 1" = 200'



Vicinity Sketch  
SE 1/4 Sec 19-7-19

47



Stock No. 26273

CERTIFIED SURVEY MAP NO. 9263

Being a part of the NW 1/4 of the SE 1/4 of Section 19, T 7 N, R 19 E, in the City of Pewaukee, Waukesha County, Wisconsin.

## SURVEYOR'S CERTIFICATE:

I, Norbert F. Stachowski, a Registered Land Surveyor, do hereby certify:

That I have surveyed, divided and mapped a part of the NW 1/4 of the SE 1/4 of Section 19, T 7 N, R 19 E, in the City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows; commencing at the SW corner of said SE 1/4 Section 19, thence N 00° 22' 28" W along the west line of said Section 19 1589.43 feet to a point on the North Line of Golf Road, thence S 84° 36' 10" E along the North Line of Golf Road 230.00 to the place of beginning, thence 400.00 feet along an arc of a circle whose center is to West whose radius is 6147.64 feet and whose chord bears N 03° 31' 59.5" E 399.93 feet, thence S 85° 18' 17" E 1073.03 feet, thence S 00° 25' 03" E 415.00 feet to a point on the North Line of Golf Road, thence N 84° 36' 10" W along the North Line of Golf Road 1101.99 feet to the place of beginning. Said lands containing 441,144 square feet more or less.

That I have made this survey, land division and map by the direction of Bryce P. Styza, Owner of said land.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Subdivision Ordinance of the City of Pewaukee.

10-18-2008  
Date

Norbert F. Stachowski, RLS-1480





Stock No. 26273

CERTIFIED SURVEY MAP NO. 9263

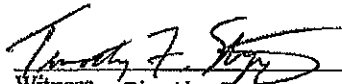
Being a part of the NW 1/4 of the SE 1/4 of Section 19, T 7 N, R 19 E, in the City of Pewaukee,  
Waukesha County, Wisconsin.

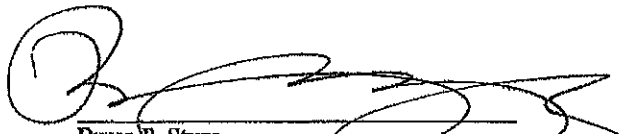
OWNER'S CERTIFICATE

As Owner, I hereby certify that I have caused the land described above to be surveyed, divided,  
mapped as represented on this map in accordance with the requirements of Ordinances of the  
City of Pewaukee and any applicable sections of Chapter 236 of the Wisconsin Statutes.

WITNESS the hand and seal of said Owner this 18th day of October, 2001.


IN THE PRESENCE OF:

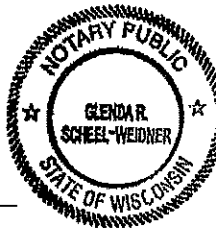
  
Witness - Timothy F. Styza

  
Bryce P. Styza

STATE OF WISCONSIN    )  
                                  SS  
WAUKESHA COUNTY    )

PERSONALLY came before me this 18th day of October, 2001, the above  
named Bryce P. Styza, to me known to be the person who executed the foregoing instrument and  
acknowledged the same.

  
Notary Public - State of Wisconsin  
Glenda R. Scheel-Weidner  
My commission expires May 12, 2002



47



Stock No. 26273

CERTIFIED SURVEY MAP NO. 9263

Being a part of the NW 1/4 of the SE 1/4 of Section 19, T 7 N, R 19 E, in the City of Pewaukee,  
Waukesha County, Wisconsin.

CONSENT OF CORPORATE MORTGAGEE

M & I MARSHALL & ILSLEY BANK, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, Mortgagee of the above described land, does hereby consent to the surveying, dividing and mapping of the lands described in the foregoing instrument of Norbert F. Stachowski, a Registered Land Surveyor, and does hereby consent to the above certification of Bryce P. Styza, Owner.

IN WITNESS WHEREOF, the said M & I MARSHALL & ILSLEY BANK, has caused these presents to be signed by Dwight W. Kellogg, Vice President in Waukesha, Wisconsin, and its corporate seal to be hereunto affixed this 18th day of October, 2001.

IN THE PRESENCE OF:

M &amp; I MARSHALL &amp; ILSLEY BANK

Jean L. Clark  
Witness - Jean L. Clark

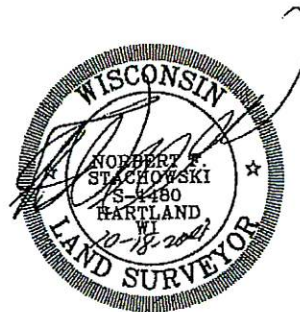
DW Kellogg  
Dwight W. Kellogg, Vice President

SETBACK REQUIREMENTS AND RESTRICTIONS


(5) No improvements or structures are allowed between the right-of-way line and the highway setback line. Improvements and structures include, but are not limited to, signs, parking areas, driveways, wells, septic systems, drainage facilities, buildings and retaining walls. It is expressly intended that this restriction is for the benefit of the public as provided in section 236.293, Wisconsin Statutes, and shall be enforceable by the Wisconsin Department of Transportation or its assigns. Contact the Wisconsin Department of Transportation for more information. The phone number may be obtained by contacting the County Highway Department.

NOISE, VISION CORNERS AND DRAINAGE

"The lots of this land division may experience noise at levels exceeding the level in s. Trans 405.04, Table 1. These levels are based on federal standards. Owners of these lots are responsible for abating noise sufficient to protect these lots."



Stock No. 26273

CERTIFIED SURVEY MAP NO. 9263Being a part of the NW 1/4 of the SE 1/4 of Section 19, T 7 N, R 19 E, in the City of Pewaukee,  
Waukesha County, Wisconsin.PLAN COMMISSION APPROVALAPPROVED by the Plan Commission of the City of Pewaukee on this 17 day of  
May, 2001.  
Jeffery G. Nowak, Mayor  
J. Fredric Ruf, SecretaryCOMMON COUNCIL APPROVALAPPROVED by the Common Council of the City of Pewaukee on this 18 day of  
June, 2001.  
Jeffery G. Nowak, Mayor  
Sandra Salbashian, City ClerkVol. 84 page 42-46  
2722673REGISTER'S OFFICE  
WAUKESHA COUNTY, WI  
RECORDED ON

11-16-2001 3:05 PM

MICHAEL J. HASBLINGER  
REGISTER OF DEEDSREC. FEE: 12.00  
REC. FEE-CD: 5.00  
REC. FEE-ST: 2.00  
TRAN. FEE:  
TRAN. FEE-STATE:  
PAGES: 5PREPARED BY: NORBERT F. STACHOWSKI  
METROPOLITAN ENGINEERING  
20875 CROSSROADS CIRCLE, SUITE 130  
WAUKESHA, WI 53186

W240 N3065 Pewaukee Road Pewaukee, WI 53072 Phone -- 262-691-9107 Fax- 262-691-6039 Email: buildingservices@pewaukee.wi.us		<b>BUSINESS PLAN OF OPERATION APPLICATION CITY OF PEWAUKEE</b> Please provide all applicable information			Permit No.	
<b>LEGAL NAME OF PROPOSED BUSINESS:</b> Lakewood Baptist Church Inc			<b>Lot #</b> Parcel 1 of CSM 9263		<b>Tax Key/Parcel No.</b> 0940.997.002	
<b>SITE ADDRESS</b> W274 N1490 Riverland Dr			<b>City</b> Pewaukee		<b>State</b> WI	
<b>Zip</b> 53072						
Business / Operator's Name (Please Print) Lakewood Baptist Church Inc		Mailing Address W274 N1490 Riverland Dr		City Pewaukee	State WI	Zip 53072
Phone# (262) 232-7873		Email Address pmeissner85@gmail.com		FEIN # 80-0297718		
Property Owner Name: (Please Print) Lakewood Baptist Church Inc		Mailing Address W274 N1490 Riverland Dr		City Pewaukee	State WI	Zip 53072
Phone# (262) 232-7873		Email Address pmeissner85@gmail.com		FEIN# 80-0297718		
<b>TYPE OF BUSINESS: Please check the appropriate box for type:</b> <div style="display: flex; justify-content: space-between;"> <div> <input type="checkbox"/> Retail  <input type="checkbox"/> Office         </div> <div> <input type="checkbox"/> Warehouse/Storage  <input type="checkbox"/> Industrial         </div> <div> <input type="checkbox"/> Wholesale  <input checked="" type="checkbox"/> Institutional         </div> <div> <input type="checkbox"/> Other? _____         </div> </div>						
<b>NEW USE? Yes or <u>No</u></b>			<b>EXPANSION OF EXISTING USE? <u>Yes</u> or No</b>			
<b>DESCRIPTION OF BUSINESS OPERATION (attach separate narrative as necessary):</b> Worship Facility  Gatherings are Wed 7 PM, Sun 8 AM + 10:30 AM Office Hours: Tue -Fri 9 AM - 1 PM						
Zoning District: <u>I-1</u>		Hours of operations: From <u>See above</u> to -		Days of operations: <u>See above</u>		
Maximum # of employees: <u>5</u>		How many full-time? <u>4</u>		How many part-time? <u>1</u>		
Expected customers per day: Sun Service: 250, Wed Bible Study: 150		Number of trucks per day: <u>0</u>		Number of autos per day: Weekday Office: 4 Sun: 150, Wed: 75		
<b>PARKING</b> • Available Parking/Parking Lot Spaces # <u>332</u> • Loading Spaces # <u>1</u> • Is there Overnight Parking? Yes or <u>No</u> o Where? _____			<b>STORAGE</b> • Any outside storage? Yes or <u>No</u> • Please list type of Storage? _____			
<b>SEWAGE DISPOSAL BY:</b> Public Sewer <u>X</u> Septic Tank _____ Holding Tank _____ Storm Water Retention/Detention? <u>Yes</u> or No		<b>WATER SUPPLY BY:</b> Public Water Main <u>X</u> Private Well _____ Other _____		<b>SOLID WASTE (trash) DISPOSAL BY:</b> Contract: John's Disposal Self: _____ Any flammable substances? Yes or <u>No</u> If Yes, where Stored? _____		
<b>Any Special Equipment/Facilities/Requirements? Yes or <u>No</u> What?</b> _____						
The applicant and property owner(s) hereby certify that: 1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; 2) the applicant and property owner(s) has/have read and understand all information in this application; and 3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval.						
By execution of this application, the property owner(s) authorize the City of Pewaukee and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §945.73.						
<b>APPLICANT'S SIGNATURE</b> <u>P. H. Meisen</u>			<b>DATE SIGNED</b> <u>5/7/2021</u>			
Applicant is responsible to obtain any licenses, permits, certificates or other documents from other agencies of City Departments. For example: Cigarette and Alcoholic Beverage Licenses must be obtained from the City Clerk and Building Permits from the Building Inspector. Also, Occupancy of the premises requires approval of this application.						
<b>APPROVAL CONDITIONS</b> This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. <input type="checkbox"/> See below or attached for conditions of approval.						
<b>OFFICE USE ONLY</b>						
<b>Business Plan of Operation Application Fee: \$100.00</b>						
Submitted for Review on: _____			Date: _____			
Approval by Zoning Administrator: _____			Date: _____			
Approval by City Planner: _____			Date: _____			
SPECIAL REQUIREMENTS/COMMENTS: _____						

**CITY OF PEWAUKEE  
PLAN COMMISSION AGENDA ITEM 11.**

**DATE:** May 20, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:** Nick Fuchs

***SUBJECT:***

Discussion and Possible Action Regarding the Lake Pewaukee Sanitary District Site Plan and Generator Building for LPSD Lift Station No. 10 Located Within Rocky Point Avenue Right-Of-Way

***BACKGROUND:***

The Lake Pewaukee Sanitary District is proposing to locate a generator within Rocky Point Avenue right-of-way for Lift Station No. 10. The site plans show two locations. It is staff's understanding that the adjacent property owners prefer the alternate location, which is what is being proposed.

The generator will be enclosed within a 10'-10" x 16' building with a height of 8-feet. The building includes louvers on the north and west elevations and a service door on the south elevation. The building will be setback 8-feet from the north property line.

It is also anticipated that a parking slab will be placed adjacent to the building.

According to the applicant, there will be some tree removal required, but trees will not be removed unless it is absolutely necessary. No new landscaping is proposed.

Staff is continuing to work with the applicant on needed easements and agreements to accommodate the generator building within City right-of-way. Those documents are anticipated to be forwarded to the Common Council at their June 7th meeting.

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

LPSD Easement Sketch

LPSD Generator Building Plans

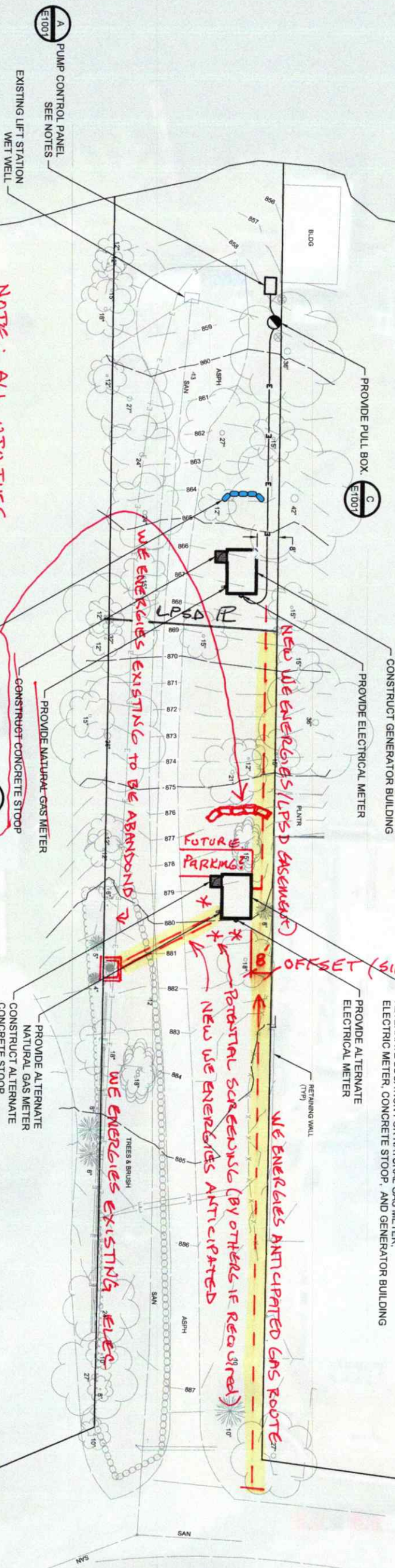
NOTES:

1. ROUTE ELECTRIC SERVICE TO MINIMIZE DAMAGE TO TREES. CLEAR AND GRUB AS NECESSARY.
2. REMOVE EXISTING PUMP CONTROL PANEL AFTER STARTUP OF NEW EQUIPMENT.
3. TOPSOIL, SEED, FERTILIZE, AND MULCH ALL DISTURBED AREAS. PROVIDE EROSION MAT.
4. INSTALL OWNER - SUPPLIED GENERATOR.
5. IF ALTERNATE LOCATION SELECTED, GRADES TO BE DETERMINED BY ENGINEER.
6. RELOCATE EXISTING RADIO ANTENNA.
7. RELOCATED EXISTING TRANSFORMER (5KVA) (240 X 480 PRIMARY, 120 X 240 SECONDARY)
8. REUSE EXISTING OUTLETS.

ROCKY POINT ENGINEERING  
W2792685 ROCKY POINT RD  
TAX REV: PWC 03/05/2001



PEWAUKEE LAKE



NOTE: ALL UTILITIES  
WILL BE BORED  
(NO OPEN CUT TRENCHING)

JAMES TAYLOR AND SUSAN TAYLOR  
W2792685 ROCKY POINT RD  
TAX REV: PWC 03/05/2001

LIFT STATIONS NO. 1 AND NO. 10 GENERATOR BUILDINGS

SITE PLAN  
FOR LIFT STATION NO. 10  
LAKE PEWAUKEE SANITARY DISTRICT  
WAUKESHA COUNTY, WISCONSIN

**Ruekert • Mielke**  
Waukesha • Kenosha • Madison  
Global Water Center • Fox Valley  
[www.ruekertmielke.com](http://www.ruekertmielke.com)

TOWN: 7N	RANGE: 18E	SECTION(s): 12 SE & 13 NE
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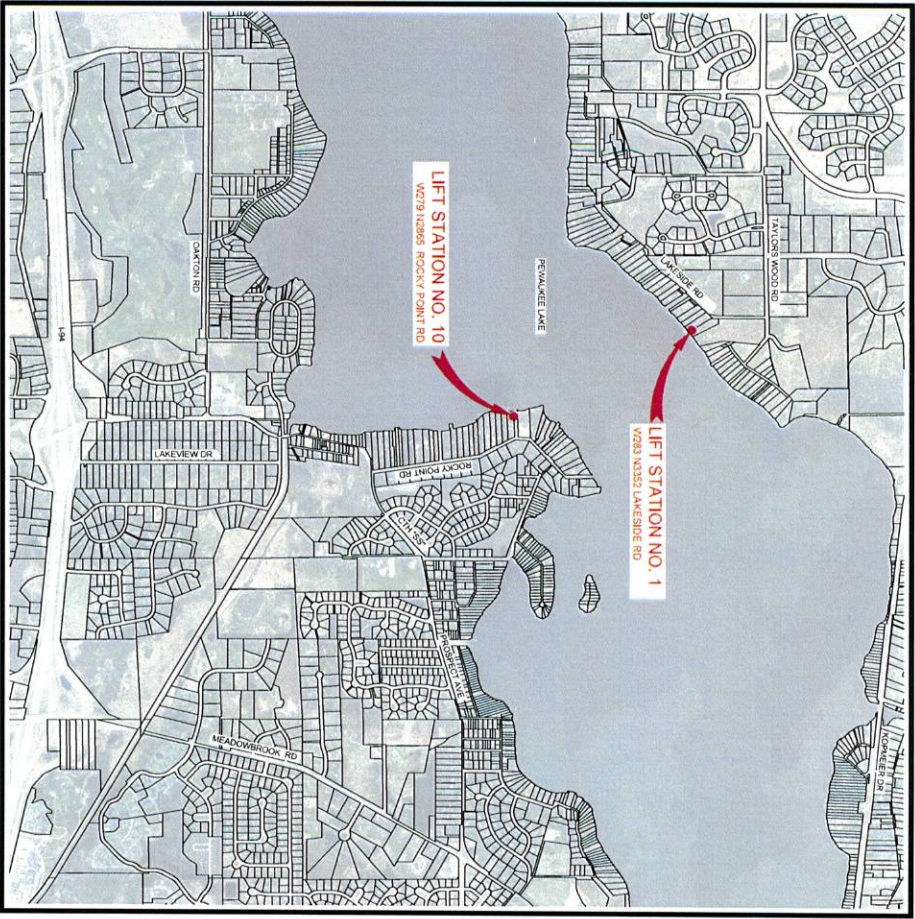
8193-10011.200
FILE NO.
DATE: FEBRUARY, 2021
CHECKED BY: GDD
DRAFTED BY: GDD
DESIGNED BY: DVA
© COPYRIGHT 2021 RUEKERT & MIELKE, INC.
SHEET NO. C1001

# LIFT STATIONS NO. 1 AND NO. 10

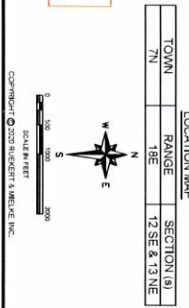
## GENERATOR BUILDINGS

### LAKE PEWAUKEE SANITARY DISTRICT

### WAUKESHA COUNTY, WISCONSIN



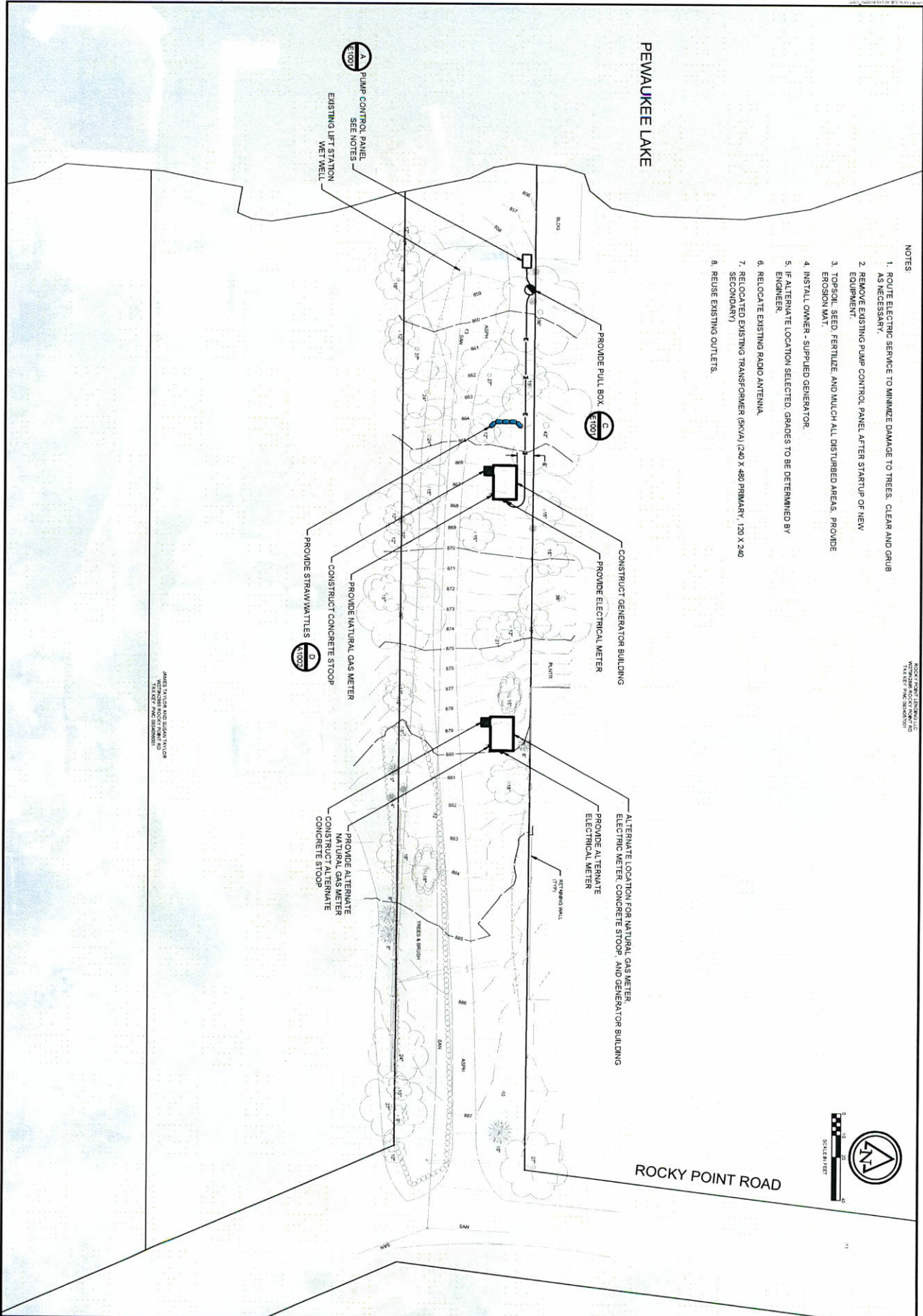
ORIGINAL PLAN SET  
IS IN COLOR

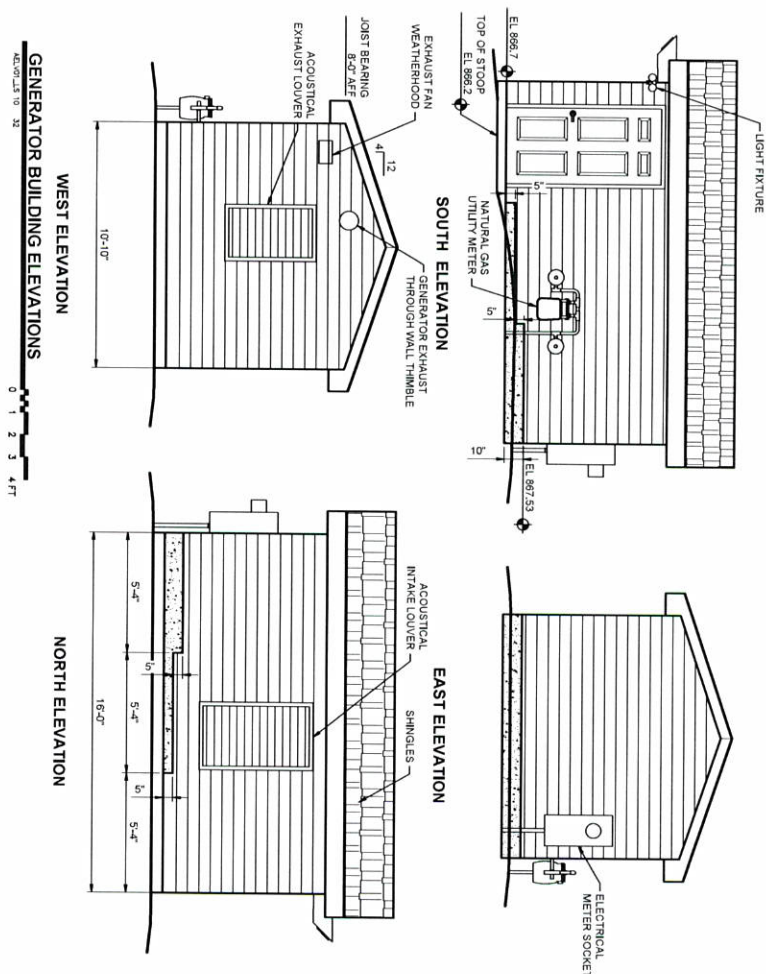


#### SHEET INDEX

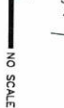
SHEET NO.	DESCRIPTION
GENERAL DRAWINGS	
001	TITLE SHEET
<b>LIFT STATION NO. 1</b>	
C101	SITE PLAN
A101	GENERATOR BUILDING ELEVATIONS AND DETAILS
A102	STRUCTURAL SECTIONS AND DETAILS
E101	GENERATOR FLOOR PLAN, SCHEDULES, AND DETAILS
E102	ONE-LINE DIAGRAMS AND SCHEDULES
<b>LIFT STATION NO. 10</b>	
C101	SITE PLAN
A101	GENERATOR BUILDING ELEVATIONS AND DETAILS
A102	STRUCTURAL SECTIONS AND DETAILS
E101	GENERATOR FLOOR PLAN, SCHEDULES, AND DETAILS
E102	ONE-LINE DIAGRAMS AND SCHEDULES

CHECKED BY: \_\_\_\_\_  
**Ruekert • Mielke**  
 Waukesha • Kenosha • Madison  
 Global Water Center • Fox Valley  
[www.ruekertmielke.com](http://www.ruekertmielke.com)  
 PROJECT NUMBER: 8193-10011-2000





REVISIONS	7		
	6		
	5		
	4		
	3		
	2		
	1		
TOWN: 7N		RANGE: 18E	SECTION(s): 12 SE & 13 NE



[www.ruekertmielke.com](http://www.ruekertmielke.com)



LIFT STATIONS NO. 1 AND NO. 10 GENERATOR BUILDINGS  
 GENERATOR FLOOR PLAN, SCHEDULES, AND DETAILS  
 FOR LIFT STATION NO. 10  
 LAKE PEWAUKEE SANITARY DISTRICT  
 WAUKESHA COUNTY, WISCONSIN

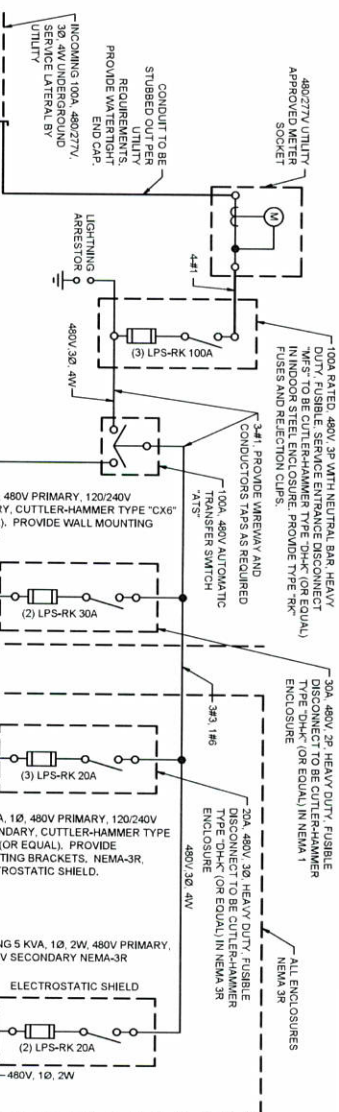
DESIGNED BY: CDM  
 CHECKED BY: CDM  
 DATE: FEBRUARY 2007  
 8193-1001.1.2007

SHEET NO.  
 E1001

1001

7	
6	
5	
4	
3	
2	
1	

TOTAL: 185      SECTION: 12.05 & 12.06



## 1615OVENS\_LS-10

LOCATION: GENERATOR BUILDING	DESCRIPTION: 100A MAIN LUGS ONLY, 120/240V, 1Ø, 3W CUTTER-HAMMER TYPE "PB" (OR EQUAL)
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\_\_\_\_\_

1. PROVIDE SILICONE SEAL AROUND CABLES ENTERING BOX FROM THE MET WELL.

MARK	TAG	DESCRIPTION	HP	KW	VOLT Ø	CAT FROM	LOCATION	NOTES
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1. EXISTING PUMP TO BE REUSED, REMIRE TO NEW PCP

LOCATION: OUTSIDE	DESCRIPTION: 120/240V, 1Ø, 3W, CUTLER-HAMMER TYPE NEMA 3R (OR EQUAL)
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## NOTES:

## NOTES:

