

**Office of the Clerk/Treasurer**

W240N3065 Pewaukee Road  
Pewaukee, WI 53072  
(262) 691-0770 Fax 691-1798

**COMMON COUNCIL  
MEETING NOTICE AND AGENDA**

**Monday, June 7, 2021**

**6:30 PM**

Common Council Chambers ~ Pewaukee City Hall  
W240 N3065 Pewaukee Road ~ Pewaukee, Wisconsin

- 
1. Call to Order and Pledge of Allegiance
  2. Public Comment - Please limit your comments to two (2) minutes, if further time for discussion is needed please contact your District Alderperson prior to the meeting.
  3. Consent Agenda
    - 3.1. Approve Accounts Payable Listing Dated June 7th, 2021
    - 3.2. Approve **Resolution 21-06-19** Regarding the Annual Notice to Inspection of Public Records
  4. **PUBLIC HEARING**, Discussion and Possible Action Regarding the Conditional Use Permit for Zeilhofer Properties, LLC for Property Located at N4 W22540 Bluemound Road (PWC 0963-997) for the Purpose of Constructing a New Freestanding Two-Story Storage Building [Fuchs]
  5. Discussion and Possible Action Regarding **Ordinance 21-03** Rezoning the 2.07 Acre Century Fence Property Located in the City of Pewaukee (PWC 0921-997-003) at Approximately 1300 Hickory Street in the Village of Pewaukee From M-6 Mixed Industrial To M-1 General Wholesale [Fuchs]
  6. Discussion and Possible Action Regarding a Certified Survey Map for Richard Knutson for Property Located at N28 W26658 Peterson Drive (PWC 0930-052-009) in Order to Divide the Property Into Three Lots and an Outlot [Fuchs]
  7. Discussion and Possible Action to Reduce the Special Event Fee for the Parade of Homes in the Swan View Farms Subdivision Running August 13, 2021 through September 6, 2021 at the Request of Metropolitan Builders Association [Tarczewski]
  8. Discussion and Possible Action Regarding Applications for Outdoor Activity on Premises Where Alcoholic Beverages are Consumed [Fuchs]
    - 2.1 5 O'clock Club
    - 2.2 Boomer's Sports Pub & Grill
    - 2.3 Curly's Waterfront
    - 2.4 Gina's Sports Dock
    - 2.5 The Station
    - 2.6 Sunset Grill
    - 2.7 Waukesha Gun Club
    - 2.8 Wonderland Tap

9. Discussion and Possible Action Regarding a Correction Instrument Releasing the Wisconsin Department of Transportation Trans 233 Restriction Requiring a 50-foot Highway Setback for Property Located at W274N1490 Riverland Drive (PWC 0940-997-002) [Fuchs]
10. Discussion and Possible Action Regarding **Ordinance 21-05** Related to Amendments to Sections 4.06, 4.09 and 4.15 of Chapter 4 - Fire Department of the City of Pewaukee Municipal Code (*Second Reading*) [Fuchs]
11. Discussion and Possible Action Regarding Rocky Point Avenue Generator Easement to Lake Pewaukee Sanitary District [Wagner]
12. Discussion and Possible Action Regarding the Intermunicipal Agreement for the Lindsay Road/Redford Boulevard (CTH F) Intersection Improvements [Wagner]
13. Discussion and Possible Action to Move Assigned Balance of \$346,511.00 from the Salt Shed to the Department of Public Works Building/Campus [Klein]
14. Discussion and Possible Action Regarding **Resolution 21-06-20** Declaring Official Intent to Reimburse Expenditures for the Department of Public Works Campus and Improvements
15. Discussion and Possible Action Regarding the Award of the Department of Public Works Garage Structural Steel and Precast Concrete Walls to the Lowest Qualified Bidder [Klein]
16. Discussion and Possible Action Regarding **Ordinance 21-04** Related to Weapons Discharge for Urban Deer Management (*First Reading*) [Brown / Riffle]
17. Discussion and Possible Action Regarding Appointments to Various Boards, Commissions and Committees [Mayor Bierce]
18. Discussion and Possible Action to Determine if the Common Council will Hold it's First Meeting In July due to Independence Day [Mayor Bierce]
19. Public Comment - Please limit your comments to two (2) minutes, if further time for discussion is needed please contact your district Alderperson prior to the meeting.
20. Adjournment

Kelly Tarczewski  
Clerk/Treasurer

June 4, 2021

#### **NOTICE**

It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum. At the above stated meeting, no action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the Clerk/Treasurer, Kelly Tarczewski, at (262) 691-0770 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 3.1.**

**DATE:** June 7, 2021

**DEPARTMENT:** Clerk/Treasurer

**PROVIDED BY:**

***SUBJECT:***

Approve Accounts Payable Listing Dated June 7th, 2021

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

A/P 6-7-2021

Check Date	Check	Vendor Name	Description	Amount
				77.03
06/03/2021	132148	METROPOLITAN BUILDERS ASSOCIATION	SW 14915 OVERPAYMENT REFUND	168.46
06/03/2021	132149	MILLER-BRADFORD & RISBERG, INC	HWY BATTERY	266.00
06/03/2021	132150	NASSCO INC	P&R FLOOR CLEANER	104.47
06/03/2021	132151	NATHAN BURKE	P&R 2021 BOOT REIMBURSEMENT	75.00
06/03/2021	132152	OFFICE DEPOT	SW DIVIDERS	13.56
06/03/2021	132153	PITNEY BOWES GLOBAL	SW RELAY 3000 INSERTING SYSTEM	1,681.53
06/03/2021	132154	PORT-A-JOHN	P&R SEASONAL RESTROOM	96.00
			P&R SEASONAL RESTROOM	96.00
			P&R SEASONAL RESTROOM	96.00
			P&R SEASONAL RESTROOM	96.00
				384.00
06/03/2021	132155	PREMIUM WATERS, INC	HWY WATER	8.25
06/03/2021	132156	REINDERS, INC.	HWY SEED/MULCH	83.75
			P&R BELT MOWER	251.66
				335.41
06/03/2021	132157	S&S WORLDWIDE	P&R SPECTRUM CUSHION SOCCER BALL	555.12
06/03/2021	132158	SHAWNS DEER PICK UP	HWY DEER REMOVAL	360.00
06/03/2021	132159	SHERWIN-WILLIAMS	P&R PAINT	93.50
06/03/2021	132160	STUMP GRINDING 4 LESS, LLC	P&R STUMP GRINDING AT LAKEFRONT	125.00
06/03/2021	132161	TRUGREEN PROCESSING	P&R LAWN SERVICE	95.00
			P&R LAWN SERVICE	295.00
			P&R LAWN SERVICE	196.00
			P&R LAWN SERVICE	246.00
			P&R LAWN SERVICE	129.00
			P&R LAWN SERVICE	715.00
			P&R LAWN SERVICE	46.00
			P&R LAWN SERVICE	77.00
			P&R LAWN SERVICE	71.00
			P&R LAWN SERVICE	198.00
				2,068.00
06/03/2021	132162	US TITLE & CLOSING SERVICES LLC	REFUND INTEREST ON SP ASSMT - N31W22134	55.33
06/03/2021	132163	VILLAGE OF SUSSEX	P&R PICTURE FRAMES & PHOTO HOLDERS	40.00
06/03/2021	132164	WATER REMEDIATION TECHNOLOGY	SW BASE TREATMENT CHGS	3,590.23
06/03/2021	132165	WAUKESHA CO TREASURER	P&R APR & MAY TREE CLIMBING PROGRAMS	148.00
06/03/2021	132166	WILL ENTERPRISES	P&R STAFF SHIRTS	1,400.79

100 TOTALS:

Total of 158 Disbursements:

825,929.19

**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 3.2.**

**DATE:** June 7, 2021

**DEPARTMENT:** Clerk/Treasurer

**PROVIDED BY:**

***SUBJECT:***

Approve **Resolution 21-06-19** Regarding the Annual Notice to Inspection of Public Records

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

Resolution 21-06-19

**RESOLUTION 21-06-19  
NOTICE REGARDING INSPECTION OF PUBLIC RECORDS**

Except as otherwise provided, any person has a right to inspect public records and to make or receive a copy of any public records as provided in Chapter 19, Subchapter II, Wisconsin Statutes, and applicable municipal ordinances.

Requests to inspect public records must be made to the City Clerk/Treasurer at the Pewaukee City Hall, W240 N3065 Pewaukee Road, Pewaukee, Wisconsin, 53072.

Public records may be requested, inspected and copies obtained during normal business hours Monday through Friday, 8:00 a.m. to 4:30 p.m. In some cases, records may require retrieval from archives and therefore may not be immediately available for inspection.

The cost of photocopying shall be .10¢ per page, plus sales tax, which has been calculated to be the actual, necessary, and direct cost of reproduction. In some cases, additional charges may apply, such as to recover costs for locating a record, mailing or shipping costs, or photographing and photographic processing costs, and in some cases, prepayment may also be required, as allowed by law.

Pursuant to the requirements of Section 19.34(1), Wisconsin Statutes, the following is a list of the holders of any “local public office” as that term is defined and used therein:

- |   |   |
|---|---|
| • Steve Bierce – Mayor                            | • Kelly Tarczewski – Clerk/Treasurer  |
| • Brandon Bergman – Alderman District #1          | • Magdelene Wagner – Engineer/Public Works Director                                 |
| • Ray Grosch – Alderman District #1               | • Bobby Kewan – Information Technology Director                                     |
| • Colleen Brown – Alderman, District #2           | • Kevin Bierce – Fire Chief   |
| • Ian Clark – Alderman, District #2               | • Nick Phalin – Parks & Recreation Director   |
| • Brian Dziwulski – Alderman, District #3         | • Jane Mueller – Utility Manager  |
| • Jerry Wamser – Alderman, District #3            | • Lieutenant Marc Moonen - Police Services C/O Waukesha County Sheriff's Department |
| • Scott Klein – Administrator                     | • Nick Fuchs – Planner & Community Development Director                             |
| • Rhett Tuff – Assessor                           |   |
| • Kelley Woldanski – Director of People & Culture |   |

Passed and adopted by the City of Pewaukee this 7<sup>th</sup> day of June 2021.

\_\_\_\_\_  
Steve Bierce, Mayor

Attest:

\_\_\_\_\_  
Kelly Tarczewski, Clerk/Treasurer

**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 4.**

**DATE:** June 7, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:** Nick Fuchs

***SUBJECT:***

**PUBLIC HEARING,** Discussion and Possible Action Regarding the Conditional Use Permit for Zeilhofer Properties, LLC for Property Located at N4 W22540 Bluemound Road (PWC 0963-997) for the Purpose of Constructing a New Freestanding Two-Story Storage Building [Fuchs]

***BACKGROUND:***

At the March 18th meeting, the Plan Commission discussed the need to extend public sewer and water to serve this development. The applicant is requesting approval of the building without public sewer and water facilities as the storage building does not require sewer or water.

Staff continues to recommend and encourage the extension of public utilities; however, at their May 20th meeting, the Plan Commission reconsidered the matter and recommended approval of the project with a condition stating that the applicant does not have to extend public utilities if testing of the existing septic system by a licensed plumber/septic installer is completed following construction of the storage building and site improvements to certify that the septic field is operational post-construction and annually thereafter. The Plan Commission also recommended that the property owner must make repairs as needed following the inspections. Alternatively, the property owner would be allowed to install a holding tank following City approval of a holding tank agreement and payment of the required holding tank deposit.

The Plan Commission unanimously recommended approval of the Conditional Use and Site & Building Plans with the condition noted above and all other staff recommended conditions of approval.

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

A motion to approve the Zeilhofer Conditional Use Permit as recommended by the Plan Commission.

**ATTACHMENTS:**

Description

Zeilhofer Staff Report 3.18.21

Zeilhofer Narrative

Zeilhofer Revised Civil Plans

Zeilhofer Revised Exterior Elevations

Zeilhofer Revised Landscape Plans





**Office of the Planner & Community Development Director**  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of March 18, 2021

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**Date:** March 11, 2021

**Project Name:** Zeilhofer storage building Conditional Use and Site & Building Plan Review

**Project Address/Tax Key No.:** N4W22540 Bluemound Road/PWC 0963997

**Applicant:** Mark Wershay, Zimmerman Architectural Studios, Inc.

**Property Owner:** Robb Zeilhofer

**Current Zoning:** B-4 Office District

**2050 Land Use Map Designation:** Manufacturing / Fabrication / Warehousing

**Use of Surrounding Properties:** Industrial to the north and west, single-family residential to the south, and mixed use property zoned single-family residential to the east

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### **Project Description/Analysis**

The applicant submitted a Conditional Use Permit and a Site & Building Plan Review Application for the construction of a storage building upon property located at N4W22540 Bluemound Road.

The subject property currently contains a single-family home that was previously converted to an office. The applicant/property owner is currently utilizing the building as an office for his real estate management and construction business.

#### Conditional Use Permit

The subject property is zoned B-4 Office District. As noted above, the existing structure is being used as office space for Mr. Zeilhofer's business. The proposed storage building, which will house vehicles and equipment related to Mr. Zeilhofer's real estate business, is allowed as a conditional use per Sections 17.0209c. and 17.0209d. of the City's Zoning Code.

Section 17.0209c. states, "...In addition to those uses specified elsewhere herein, the following uses may be deemed to be conditional uses by the Plan Commission: Any principal use in addition to the first such use on a single building parcel or space."

Section 17.0209d. allows "Unclassified or Unspecified Uses may be permitted by the Plan Commission provided that such uses are similar in character to the principal uses permitted in the zoning district and create no circumstances that would detrimentally affect adjacent properties."

It can be noted that this property as well as the properties to the north, east and west are all designated as Manufacturing/Fabrication/Warehousing on the City's Year 2050 Land Use/Transportation Plan map. The proposed use is consistent with that designation.

It can also be noted that a rezoning was considered to accommodate this development; however, the property is 1.2677-acres, which is less than the 2-acre minimum lot size of the M-2 District and the 3-acre minimum of the M-4 District, which are both adjacent zoning districts to the subject property and would permit this use. Furthermore, building and parking setbacks are smaller in the B-4 District, which are more appropriate for a property of this size. As such, staff found that the Conditional Use option was appropriate.

### Site & Building Plans

The proposed storage building is 2-stories and approximately 7,600 square feet. The building consists of cement board siding and a CMU foundation, which will be exposed on the south elevation and partially exposed on the sides of the building.

The north elevation includes three overhead doors and a service door. The south elevation has five overhead doors and a row of windows along the top of the building. The east and west elevations both contain windows and a service door. The building has a standing seam metal roof.

Considering the existing and proposed improvements, the site has almost 50% greenspace, which is in compliance with the City's minimum greenspace ratio of 40%.

In addition to the building, the site includes a gravel area to the north of the building, which will be used to store and park vehicles and trailers. A dumpster will be located within this area as well. It is recommended that the applicant construct an enclosure around the dumpster to screen it and contain any loose trash and debris.

As the development disturbs less than one acre of land, storm water management is not required. It is recommended that final grading and erosion control plans shall be submitted for approval by the Engineering Department prior to any land disturbance activities.

### Parking:

There are six parking spaces along the west property line. Parking spaces are all a minimum of 180 square feet to comply with the City's Zoning Code standard. There is also an ADA accessible parking space located on the north side of the office building.

### Lighting:

The only proposed lighting is on the building and shown on the north and south building elevations. In total there are three wall lights.

### Signage:

The applicant plans to remove the existing freestanding sign and replace it with a new monument sign. The location is illustrated on the site plan. Note that signage shall comply with all standards set forth in Section 17.0700 of the City's Zoning Code and require separate review and approval by the City Planner as well as a Sign Permit from the Building Services Department, prior to installation.

Landscape Plan:

The Demo Plan (Sheet C1.20) shows the existing trees that will be removed. A Landscape Plan has been provided that illustrates the new plantings to be provided. This includes evergreen plantings along the east and west property lines to screen the paved area between the two buildings and the gravel area on the north end of the site.

Utilities:

Sewer and water is not located directly to this site. They would have to be extended from the south side of Bluemound Road at Takoma Drive. The applicant is requesting to construct this building without having to extend public utilities to the site. The applicant has noted that the proposed building does not have any water or sanitary needs.

## **Recommendation**

Staff recommends that the Plan Commission recommend approval of the Conditional Use Permit and approve the Site & Building Plan Review Application, subject to Conditional Use approval and staff's recommendations as noted above in this report.

February 1, 2021

Nick Fuchs  
Planner & Community Development Director  
City of Pewaukee  
W240N3065 Pewaukee Road  
Pewaukee, WI 53072

RE: Zeilhofer Storage Building, N4W22540 Bluemound Road  
Conditional Use and Plan Commission Submittals

Mr. Fuchs,

We are excited to present to you this request for Building Plan/Plan Commission review for a new freestanding two-story storage building located at N4W22540 Bluemound Road, Pewaukee WI 53186. This property is zoned B-4 and the existing office building on site will be maintained. Aside from some new exterior paving leading up to that structure, we are not improving it in any way as part of this project.

Following a preliminary review by Staff, it was determined that the existing lot size was not eligible for a rezoning to either a M-2 or M-4 District. Therefore, we are simultaneously requesting a Conditional Use Permit to allow the proposed contractor storage building on a B-4 property. Our property is flanked by manufacturing business parks on three sides.

The proposed 7,600 square foot building will be used for storage of goods consumed in real estate management and real estate construction related businesses. Hours of operation would be unchanged; 7:00am – 7:00 pm, Monday through Saturday.

Construction would tentatively commence spring of 2021 and be wrapped up by spring of 2022. The estimated value of new construction is \$900,000.

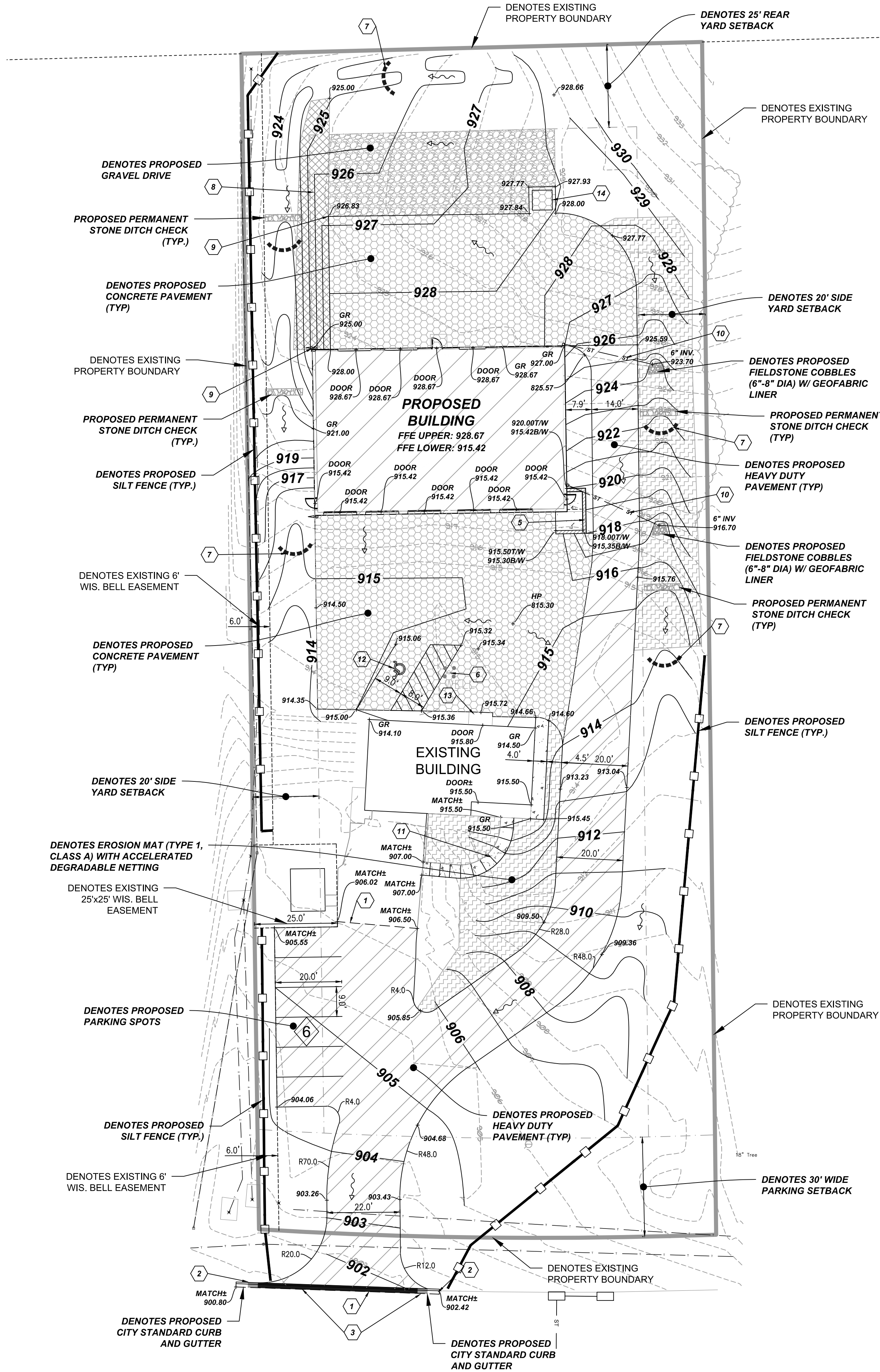
If you have any additional questions about our business plan, please reach out to me directly.

Thank you,

Robb Zeilhofer, Owner  
Zeilhofer Properties, LLC  
(414) 507-1550



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



SITE CALCULATION TABLE

TOTAL SITE AREA	1.136 AC
TOTAL DISTURBED AREA	0.881 AC
PROPOSED GREENSPACE	0.565 AC (49.7% OF SITE)

\*CONTRACTOR SHALL STAY WITHIN THE SILT FENCE BOUNDARY AND FOLLOW THE GRADING, EROSION CONTROL AND DEMO PLAN AS NOT TO DISTURB OVER 1 ACRE.

NOTES

1. SAWCUT EXISTING PAVEMENT (FULL DEPTH) AND CREATE BUTT JOINT WHERE PROPOSED MEETS EXISTING
2. MATCH INTO EXISTING CURB AND GUTTER.
3. DENOTES PROPOSED 3' CURB TAPER.
4. INSTALL NEW DEPRESSED CURB AND GUTTER. MATCH INTO EXISTING CURB AND GUTTER.
5. DENOTES PROPOSED SEGMENTAL CONCRETE RETAINING WALL. OWNER PROVIDED AND INSTALLED.
6. EXISTING WATER WELL TO REMAIN. WELL TO BE MODIFIED AS NEEDED TO MEET CODE. INSTALL 4 BOLLARDS AROUND EXISTING WELL
7. DENOTES PROPOSED DITCH CHECK
8. DENOTES PROPOSED PERMANENT EROSION MATTING
9. DENOTES PROPOSED DOWNSPOUT AT GRADE WITH SPLASHBLOCK
10. DENOTES PROPOSED 6\"/>

EROSION CONTROL LEGEND

SILT FILTER FENCE	
EROSION MAT	
DITCH CHECK	
PERMANENT EROSION MATTING	

HATCH LEGEND

	PROPOSED CONCRETE SIDEWALK
	PROPOSED GRAVEL DRIVE
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT

Consultant:



Project:

Zeilhofer Properties, LLC  
New Storage Building

Location:  
N4W22540 Bluemound Road  
Pewaukee, WI 53186

Key Plan:

PLAN COMMISSION  
FINAL SUBMITTAL

Sheet:

GRADING &  
EROSION  
CONTROL PLAN

Scale:

SCALE: 1" = 20'

Revisions:

No. Date: Description:

Date:

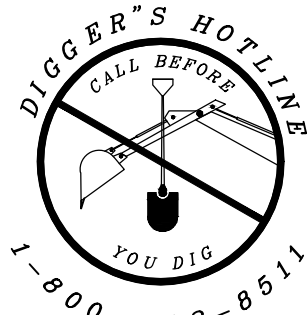
March 8, 2021

Project No.:

200110.00

Sheet No.:

C1.10



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS. AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

DENOTES EXISTING TREE TO BE REMOVED. VERIFY ALL TREE REMOVALS WITH OWNER PRIOR TO REMOVAL.

DENOTES EXISTING TREES TO BE REMOVED FOR PROPOSED IMPROVEMENTS. VERIFY ALL TREE REMOVALS WITH OWNER PRIOR TO REMOVAL.


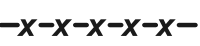



DENOTES EXISTING TREE TO BE REMOVED. VERIFY ALL TREE REMOVALS WITH OWNER PRIOR TO REMOVAL.

DENOTES EXISTING TREE TO BE REMOVED. VERIFY ALL TREE REMOVALS WITH OWNER PRIOR TO REMOVAL.

DENOTES EXISTING CONCRETE STAIRS TO BE REMOVED (TYP.)

DENOTES EXISTING ASPHALT PAVEMENT TO BE REMOVED (TYP.)

EXISTING CURB AND GUTTER TO BE REMOVED  
W BLUEMOUND ROAD



**DEMOLITION LEGEND**

DENOTES ITEM TO BE REMOVED OR DEMOLISHED

DENOTES PAVEMENT REMOVAL AREA

DENOTES CONCRETE SIDEWALK REMOVAL AREA

DENOTES ITEM TO BE ABANDONED OR REMOVED

DENOTES TREE TO BE REMOVED OR RELOCATED (AS NOTED)

Consultant:



Project:

Zeilhofer Properties, LLC  
New Storage Building

Location:  
N4W22540 Bluemound Road  
Pewaukee, WI 53186

Key Plan:



PLAN COMMISSION  
FINAL SUBMITTAL

Sheet:

DEMO PLAN

Scale:

SCALE: 1" = 20'



Revisions:

No.	Date	Description

Date:

March 8, 2021

Project No.:

200110.00

Sheet No.:

C1.20

Consultant:



Project:

Zeilhofer Properties, LLC  
 New Storage Building

Location:  
 N4W22540 Bluemound Road  
 Pewaukee, WI 53186

Key Plan:

PLAN COMMISSION  
 FINAL SUBMITTAL

Sheet:

EXISTING  
 SURVEY

Scale:  
 SCALE: 1" = 50'

Revisions:

No.	Date:	Description:

Date:

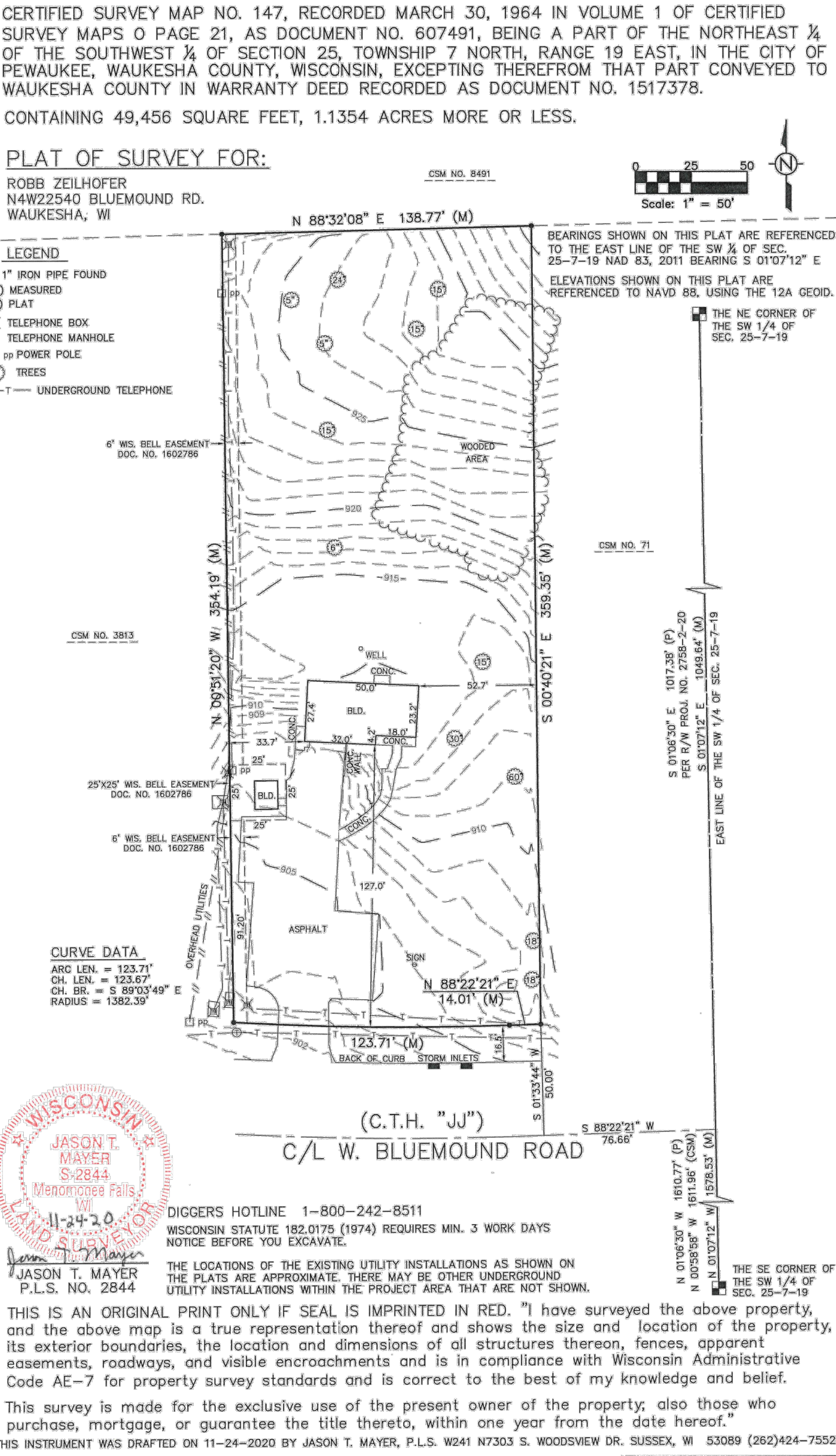
March 8, 2021

Project No.:

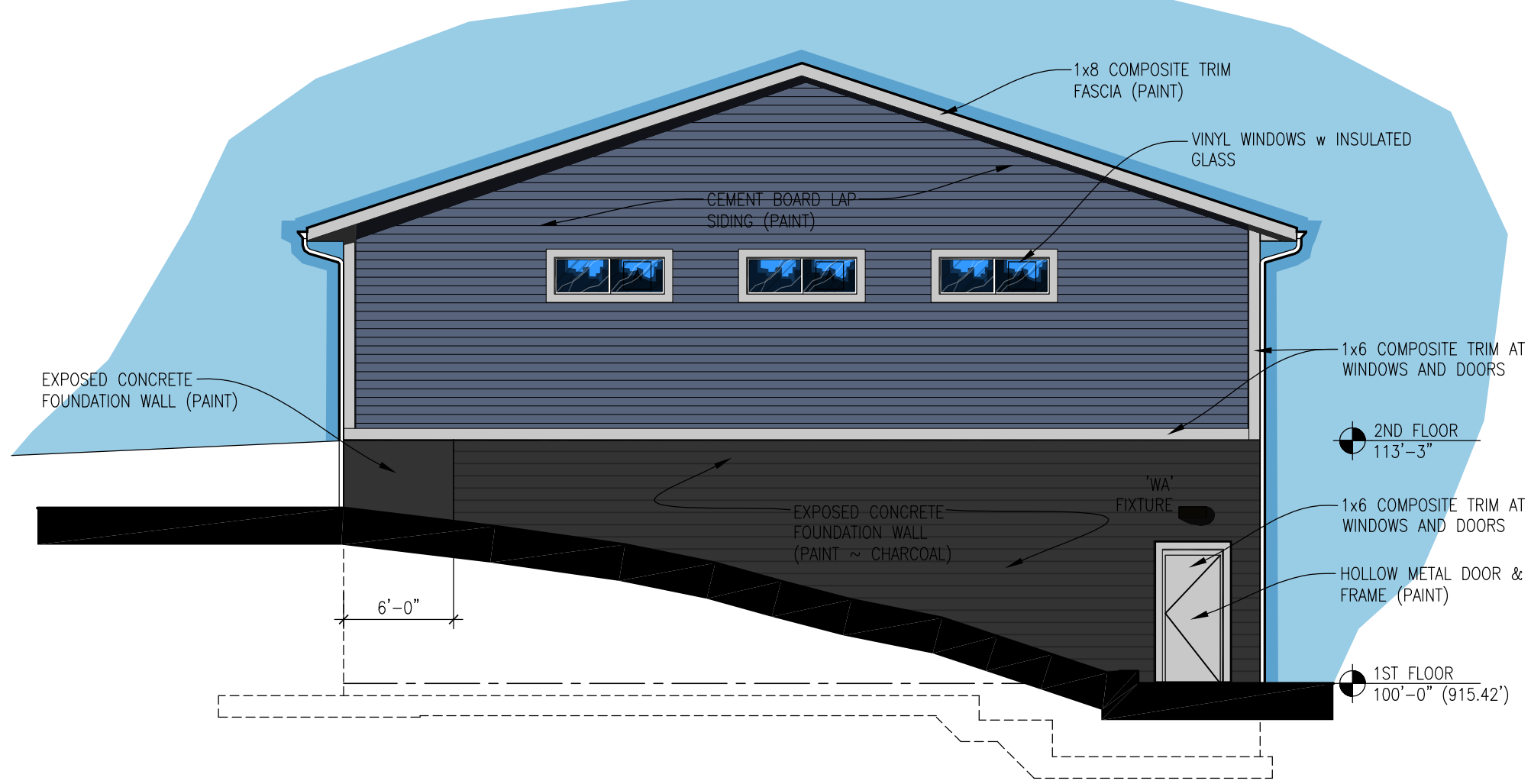
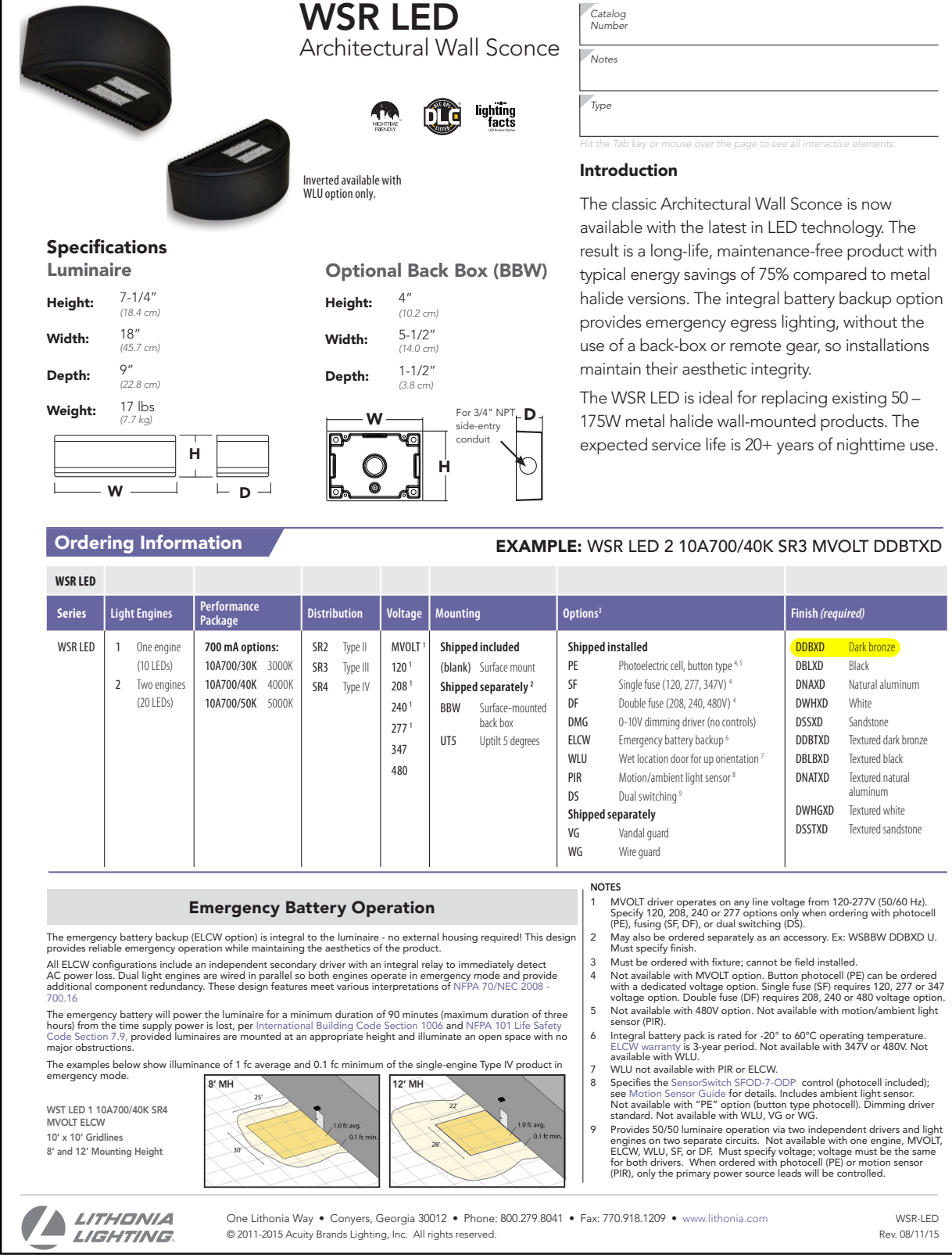
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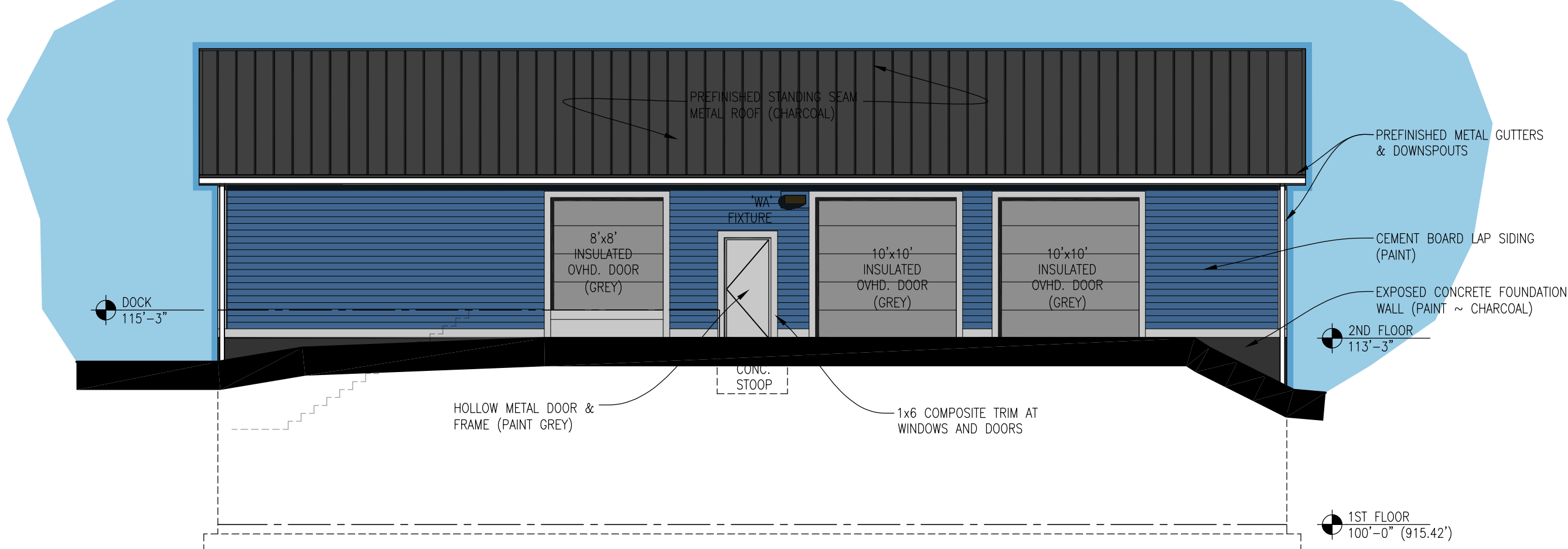
C1.30



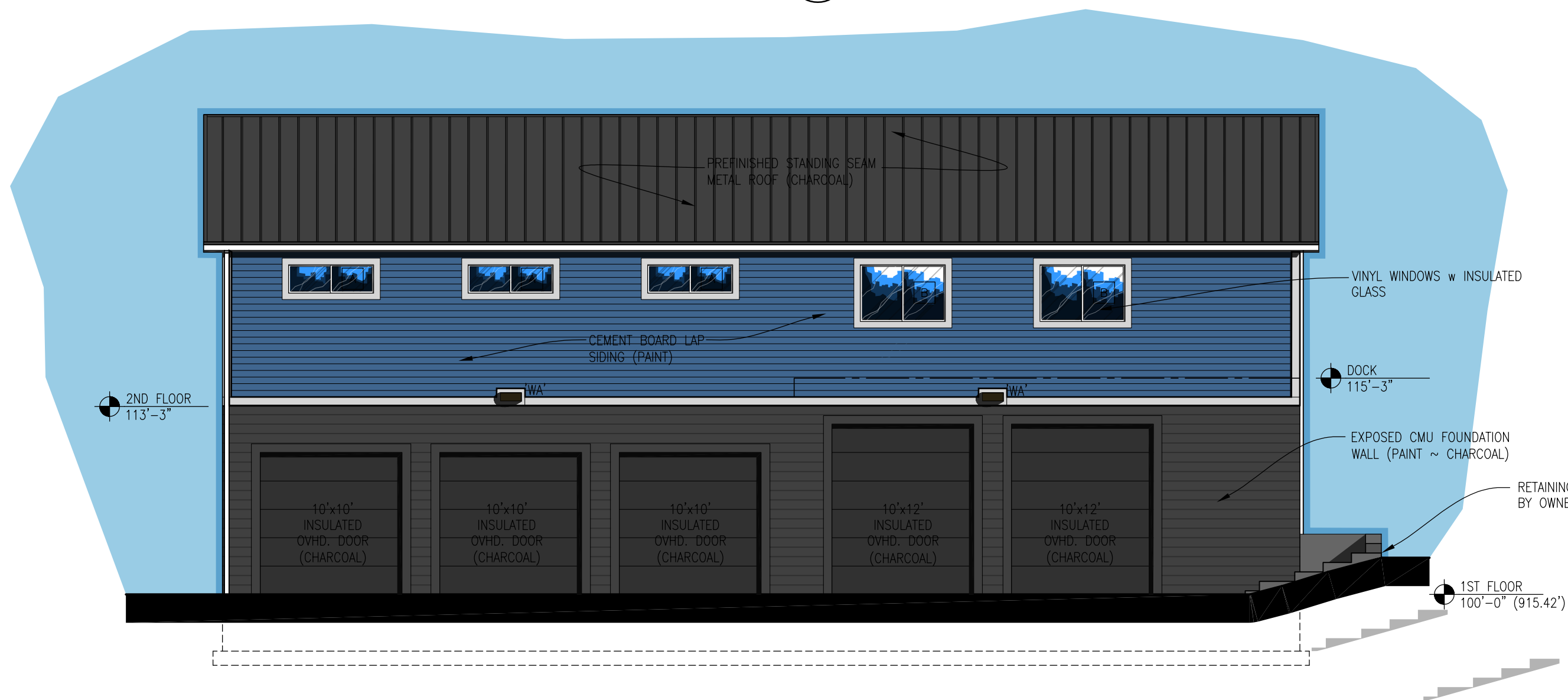




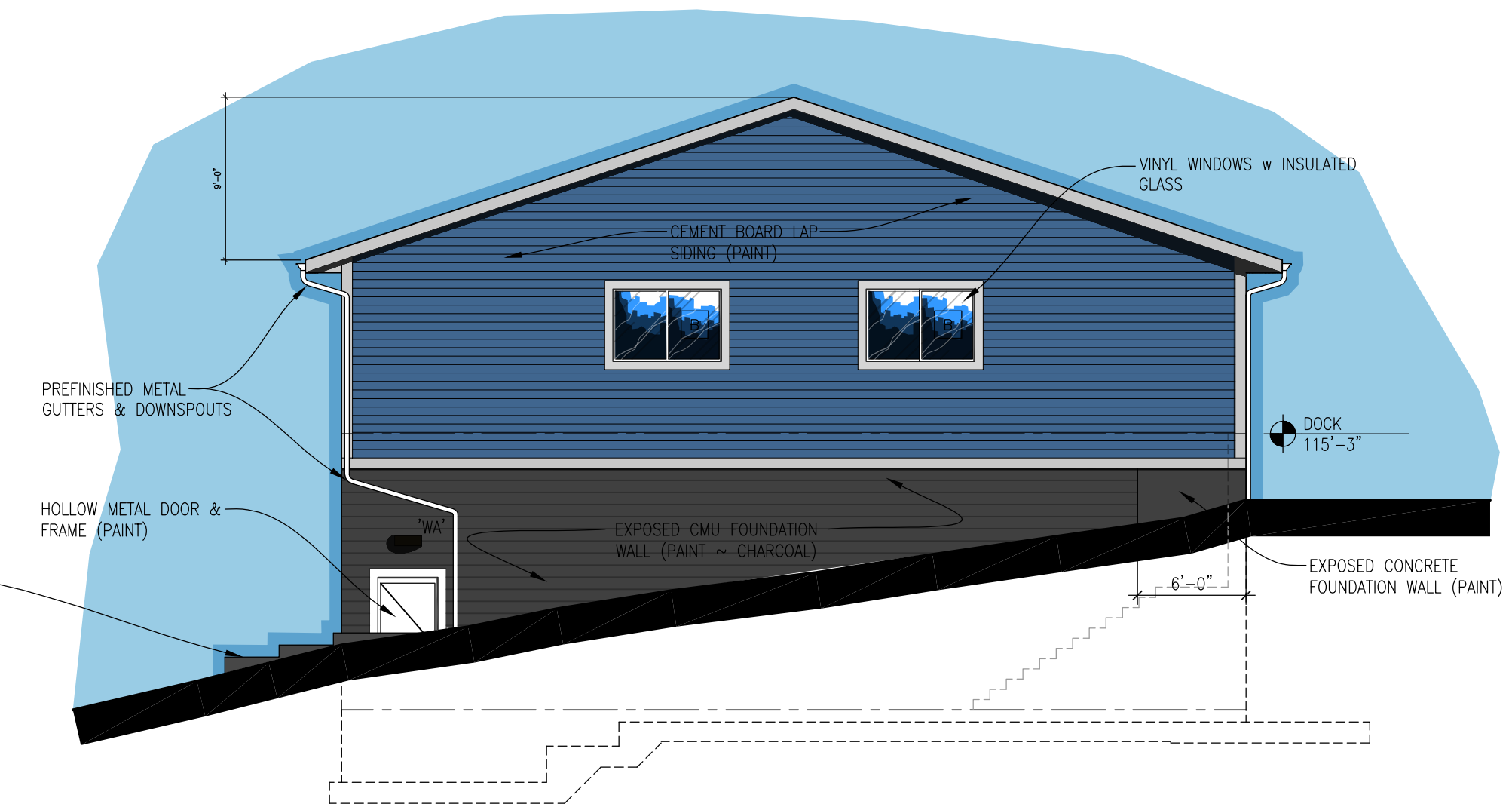
**5 West Elevation**  
1/8" = 1'-0"



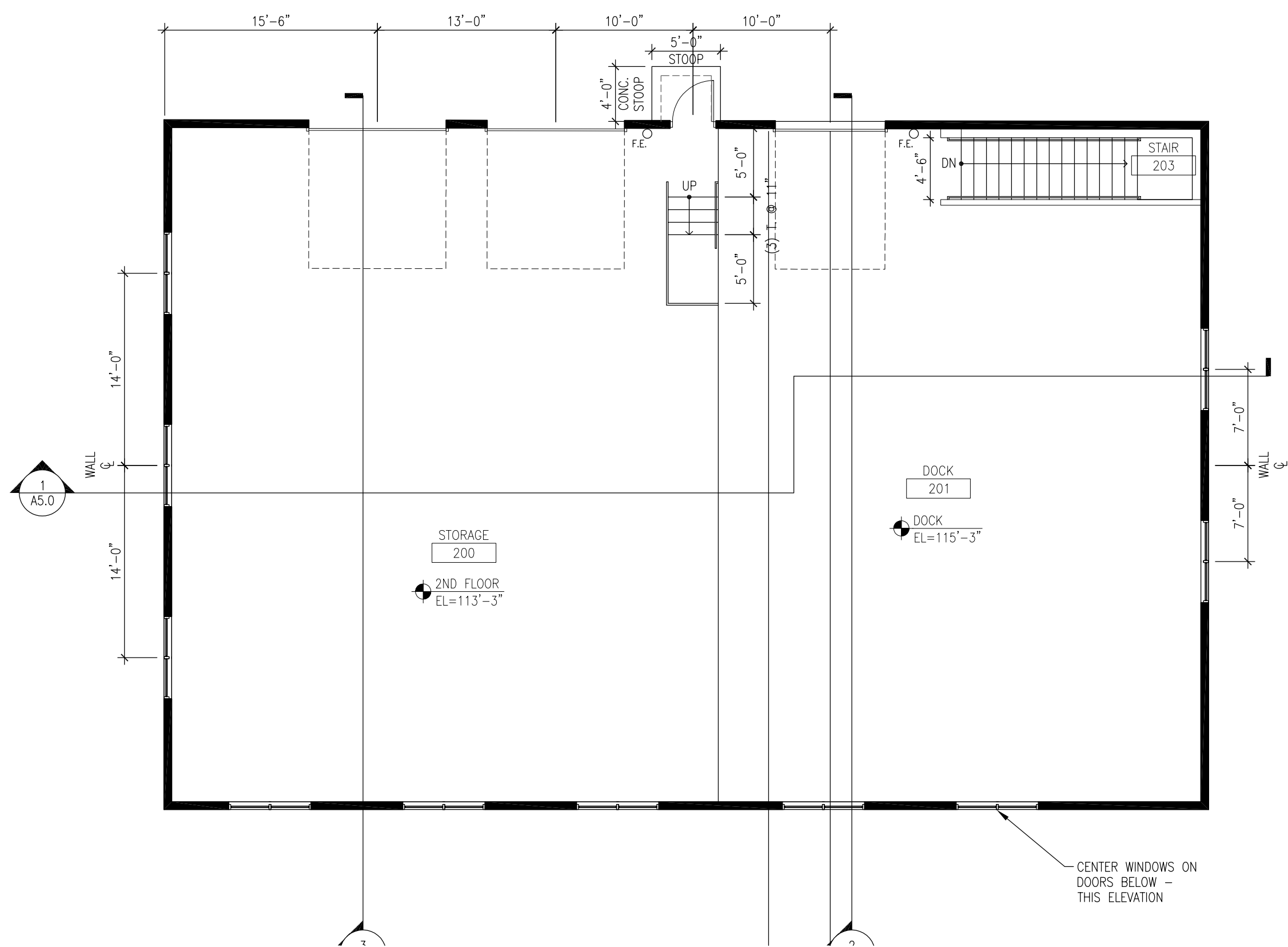
**6 North Elevation**  
1/8" = 1'-0"



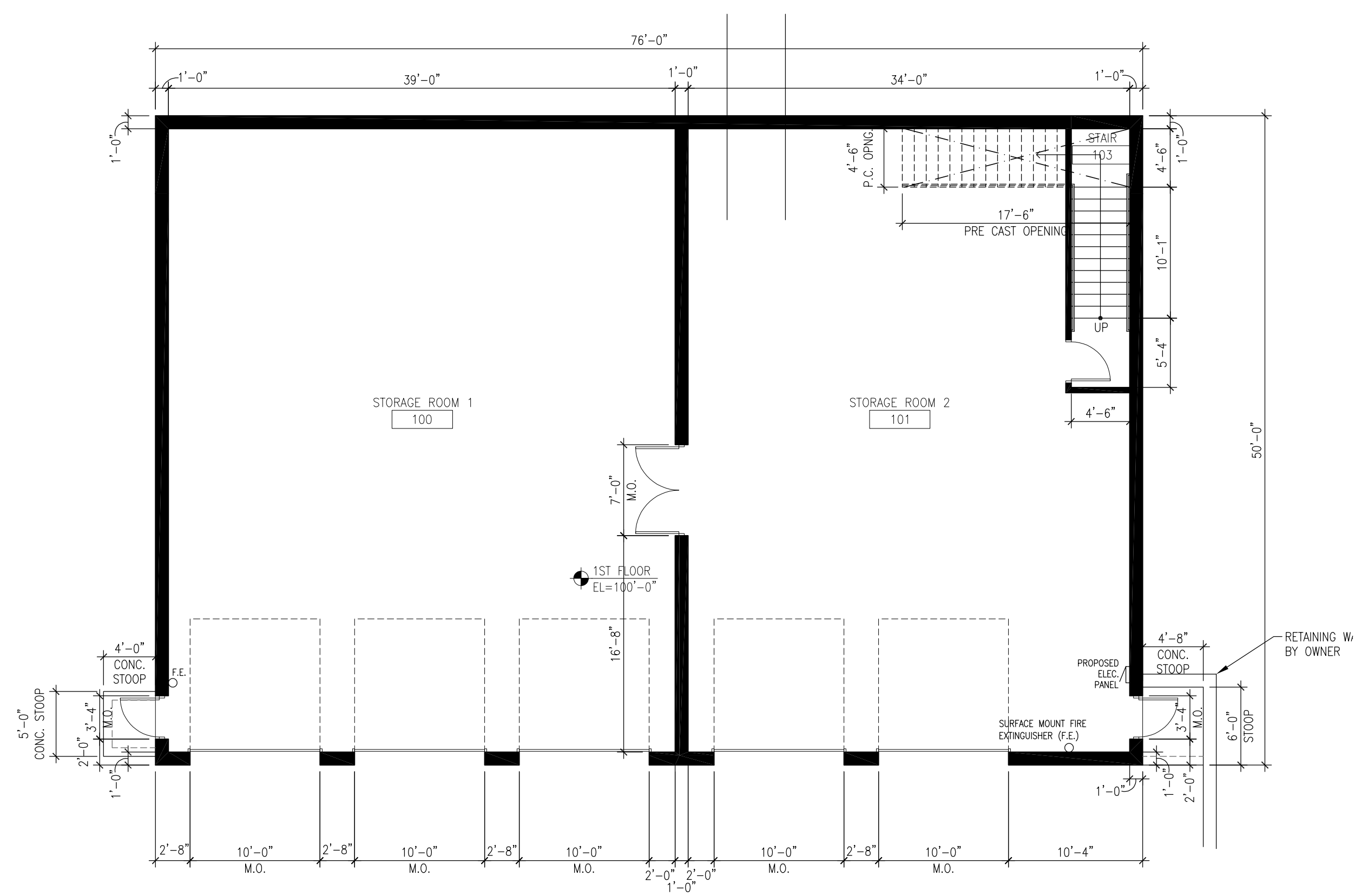
**3 South Elevation**  
1/8" = 1'-0"



**4 East Elevation**  
1/8" = 1'-0"



## 2 Upper Level Floor Plan



**1 Lower Level Floor Plan**  
1/8" = 1'-0"

© Copyright Zimmerman Architectural Studios, Inc.

**zimmerman**  
ARCHITECTURAL STUDIOS, INC.

2122 West Mount Vernon Avenue | Milwaukee, WI 53233 | [zastudios.com](http://zastudios.com)

TELEPHONE [414] 476.9500  
FACSIMILE [414] 476.8582

Consultant

HEC Project Number: 20-0110.00

Project:

Zeilhofer Properties, LLC  
New Storage Building

Location:  
N4W22540 Bluemound Road  
Pewaukee, WI 53186

**Key Plan:**

North

PLAN COMMISSION  
FINAL SUBMITTAL

Sheet:  
**Exterior Elevations**

Scale:  
1/8" = 1'-0"

Revisions:

No.	Date:	Description
-----	-------	-------------

Date:  
March 8, 2021

Project No.:  
200110.00

Sheet No.:

## A4.0

Consultant:



Project:

Zeilhofer Properties, LLC  
New Storage Building

Location:  
N4W22540 Bluemound Road  
Pewaukee, WI 53186

Key Plan:

North



Sheet:

Schematic  
Landscape Plan



Scale:

1/16"=1'-0" @ 36x24"

Revisions:

No. Date Description

No.	Date	Description

Date:

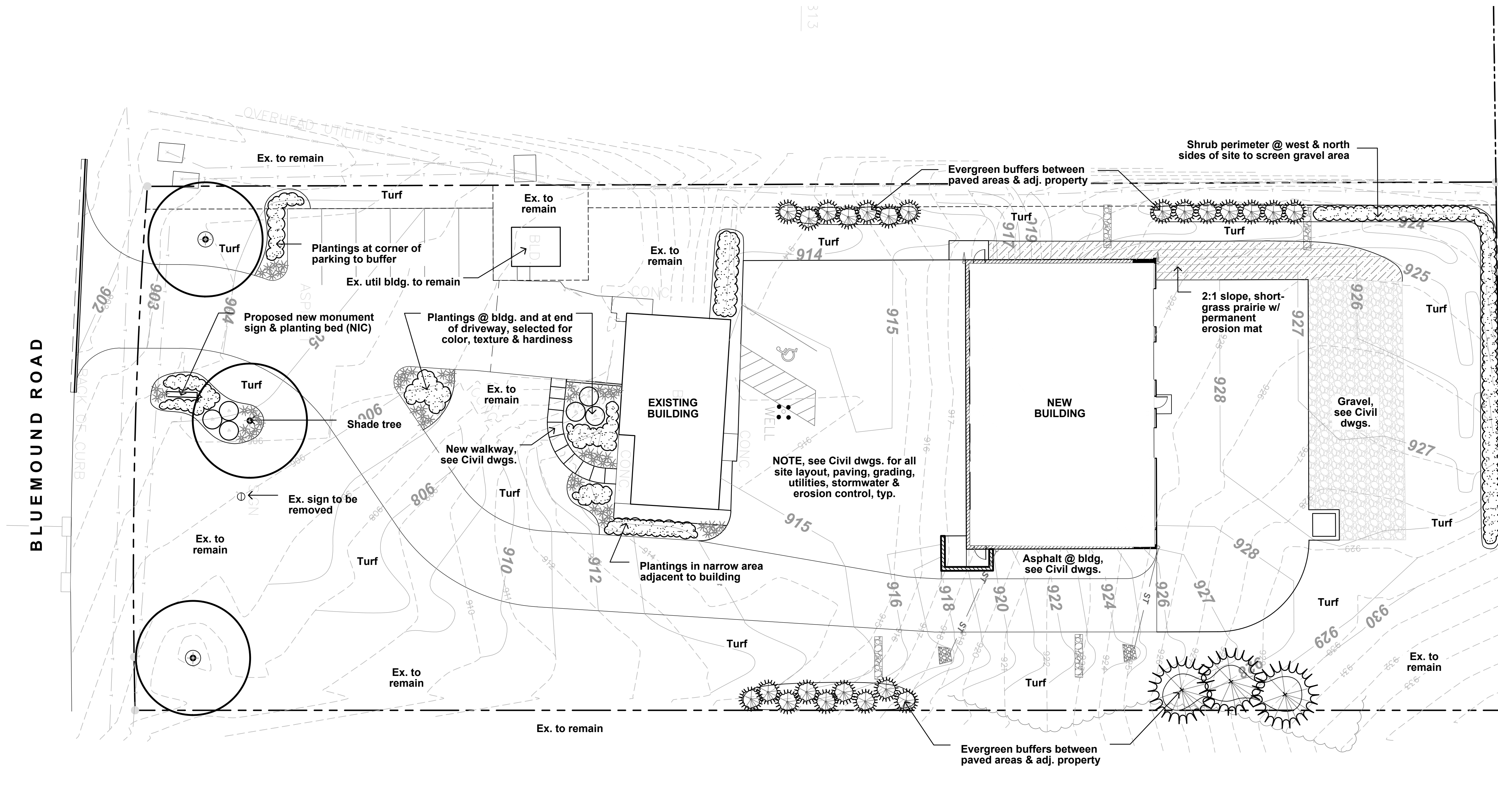
March 8, 2021

Project No.:

200110.00

Sheet No.:

L1.00



General Notes

- 1.00 Harwood Engineering's design scope is through Plan Commission submittal only. Remainder of project work (revisions per City approval requirements, final design, materials selections, species selection, detailing, shop drawing review, et al) shall be by Owner.
- 1.01 All landscape installation & maintenance to conform with all applicable local codes & ordinances, including (but not limited to) select portions of City of Pewaukee Municipal Code.
- 1.02 See Site / Civil dwgs. for work limits, scope of construction, hardscape, dimensions, construction notes, grading, stormwater management, site utilities & erosion control. See Landscape dwgs. for landscape plans, details, schedules, notes. See Arch. drawings for all other content.
- 1.03 Subcontractor (if any) shall provide shop drawings and material submittals of **all** hardscape & landscape construction elements shown in plan set for Owner review prior to construction.
- 1.04 Subcontractor shall provide samples for Owner's approval on all colors, finishes & materials prior to construction, including (but not limited to) topsoil, gravels, mulches, seed mixes et al.
- 1.05 Caution: underground utilities are present on site. Subcontractor shall verify location of all above- and below-grade utilities, **both public & private**, prior to commencement of site construction. If unanticipated above- or below-grade conditions are encountered, notify Owner prior to proceeding. Coordinate with local public utility locating entity as needed.
- 1.06 Subcontractor shall verify layout prior to construction. Contact Owner if discrepancies are found.
- 1.07 Subcontractor shall limit construction traffic to within work limit lines. See Civil drawings for limits of disturbance. All adjacent damage shall be the responsibility of the subcontractor to restore. Turf restoration outside of work limits shall be done with seeded turf.
- 1.08 Existing trees to remain on site shall be protected. Erect snow fencing @ 15' R or tree driplines, whichever is farther. All construction traffic, storage, compaction, parking or other disturbance within protection zones shall be prohibited for the duration of construction, except for work specifically indicated in the site plans.
- 1.09 All written dimensions supersede scaled dimensions. All dimensions are taken from face of curb, wall or existing building foundations.

Landscape Notes

- 2.01 Rough grading & topsoil import/spreading are to be completed by others. Finish grading, seed area and ornamental planting bed preparation shall be the subcontractor's responsibility. Verify all existing site and grading conditions prior to construction.
- 2.02 All landscape areas disturbed within the work limits shall be fine graded and restored with vegetative cover as shown. See plans for cover types & locations, see specifications for materials & installation.
- 2.03 Subcontractor shall verify plant quantities shown on plan. Symbol quantities take precedence over plant keys, except if noted in the schedule. The subcontractor shall forward a material list to the Owner prior to construction identifying species, sizes, quantities & plant sources to be used on the project.
- 2.04 All plant materials shall conform to the schedule and shall meet quality requirements outlined in the ANLA "American Standard for Nursery Stock", ANSI Z60.1-2004. The Owner reserves the right to reject any substandard planting material. Such rejected material shall be removed from the project site immediately.
- 2.05 An Owner's representative shall be allowed to inspect and approve trees at the nursery prior to delivery to the site. The subcontractor shall coordinate with the Owner in a timely fashion to confirm.
- 2.06 All nursery tags/labels shall be left on plant materials until the project punch-list inspection is completed by the Owner. Untagged materials will be assumed to be deficient.
- 2.07 All planting beds shall contain screened blended topsoil mix to a min. depth of 18". All seeded and/or sodded areas shall have min. 6". Subgrade shall be tilled and/or scarified prior to placement of topsoil. Suitable existing soil may be used & mixed if previously approved. Subcontractor shall be responsible for obtaining soil tests for existing or imported topsoil. Soil testing results shall include (but are not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay.) Remove excessive clay, gravel & stones detrimental to healthy plant growth. Remove all debris greater than 1" diameter.
- 2.08 Subcontractor shall be responsible for ensuring that all tree pits & planting areas drain properly. Notify Owner if drainage or moisture problems are encountered while planting.
- 2.09 Subcontractor shall backfill all trees, shrubs & evergreens with a mix of 1/3 plant starter mix & 2/3 remaining soil. Plant Starter Mix shall be provided by Liesener Soils, Cedarburg WI, or approved equal.
- 2.10 All perennial and groundcover areas shall receive a 3" layer of plant starter mix and perennial starter fertilizer, rototilled into the top 6" of blended topsoil in beds.
- 2.11 Unless otherwise shown, all perennials & shrubs shall be planted in triangular arrangements. For plants not shown individually, refer to the spacing shown in the plant schedule.
- 2.12 All plantings shall receive bark mulch in the beds. Bark mulch shall be hardwood bark, shredded, with no pieces larger than 1x4". Recycled mulch and/or dyed mulch will not be accepted. Mulch shall be applied @ 2-3" depth in woody planting areas and 1-2" depth in herbaceous areas. Mulch shall not touch plant trunks or stems.
- 2.13 Bed edging shall be 6" deep shovel-cut edging at all locations, typ.
- 2.14 Subcontractor shall provide positive drainage away from all structures for a minimum of 10'.
- 2.15 Subcontractor shall be responsible for providing base bid comprehensive landscape establishment, maintenance and warranty care for one year after installation. Work shall include all watering, weeding, pruning, fertilizing & pest management. Prior to beginning installation, the contractor shall submit a 12-mo. calendar for review/approval including all anticipated maintenance activities.

Seeding Notes & Mixes

- 3.01 This work shall consist of preparing the seed beds and furnishing, sowing and mulching the required seed on the various seeded areas, as outlined in the site plans and specifications. All turf restoration shall be seeded turf unless otherwise noted.
- 3.02 Rough grading, drainage work, topsoiling and fine grading shall be completed before sowing the seed mixes. The areas to be seeded shall be worked with plow chisels, discs & harrows, soil finishers and/or other appropriate equipment until a reasonably even and loose seedbed is obtained. Seed beds shall be prepared immediately in advance of the seeding. If proposed seed areas are weedy, contractor to apply herbicide or other weed control measures to eliminate weeds. Conform with seed supplier's specifications if required.
- 3.03 Confirm that anticipated project schedule date(s) fall within the respective seed supplier's approved calendar prior to installation. Installations completed outside of acceptable seeding dates shall be the performed at the sole responsibility and expense of the subcontractor. For dormant seeding, a min. of one over-seed application in the following season will be required.
- 3.04 Seeds shall be PLS and will be mixed in accordance w/ mfr's specifications. Provide invoices, bag-tags or mix analysis results for approval prior to installation.
- 3.05 Seed mixtures shall be sown by means of equipment adapted to the purpose. Mechanical distribution of seed (i.e. Truax seed drill, Brillion seeder, cultipacker, slit-seeder, drop spreader or broadcast spreader) are the only accepted methods. No hand-broadcasting of seed.
- 3.06 No seeding shall occur if the wind exceeds 12 MPH.
- 3.07 Coordinate erosion control and/or mulching with Civil dwgs:

- In sloped areas steeper than 4:1, erosion matting shall be installed by others. Landscape installation shall be coordinated with the erosion control contractor. Note areas where permanent erosion matting is specified.  
- In areas with slopes between 4:1 and 8:1, subcontractor shall apply clean hay or straw mulch, free of debris and seeds, on all newly seeded areas. Mulch shall be uniformly spread over the designated area at a rate of 55 bales per acre or as indicated in the respective seed supplier's specifications. Mulch material shall be chopped and blown into the seeded area.  
- Lightweight E.C. matting and/or hydromulch will be accepted as a no-cost alternate if approved by Owner prior to application.

- 3.08 See Civil dwgs for erosion control devices. Coordinate with erosion control contractor where required to ensure that topsoil, seeding and/or mat installations are properly coordinated.
- 3.09 Subcontractor shall be responsible for obtaining soil tests for all seeded areas. Soil testing results shall include (but are not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay.) Contaminated soil shall be removed from the project site if discovered. If necessary, supply soil amendments required for specified seed mixes and/or coordinate alternate mixes if soils cannot be properly conditioned.
- 3.10 Cover crop seeding: All seeded areas shall include temporary annual cover crop seeding. Cover crop shall be Annual Rye or approved alternate species, seed rates appropriate for the season (i.e. spring, summer or fall application.)
- 3.11 Seed mix substitutions shall be considered only if submitted for approval 10 days before the close of bidding. All mixes shall be installed & maintained per supplier's specifications.
- BLUEGRASS MIX:  
"Deluxe 50 Mix" shall be supplied by Reinders, Sussex WI, 262-786-3300. Apply @ 6 lbs per 1000 GSF.
- SLOPE MIX:  
"Erosion Control Mix for Medium Soils" shall be supplied by Prairie Nursery, Westfield WI, 800-476-9453 ph. Apply @ 10 lbs per AC, plus cover crop.
- 3.12 Subcontractor shall be responsible for providing base bid comprehensive seed area establishment, maintenance and warranty care for all seeded areas:

- Bluegrass areas shall be for one season after installation. Work shall include all watering, weeding, fertilizing & mowing. Assume one mowing per week, plus overseeding of any bare spots found after 60 days.

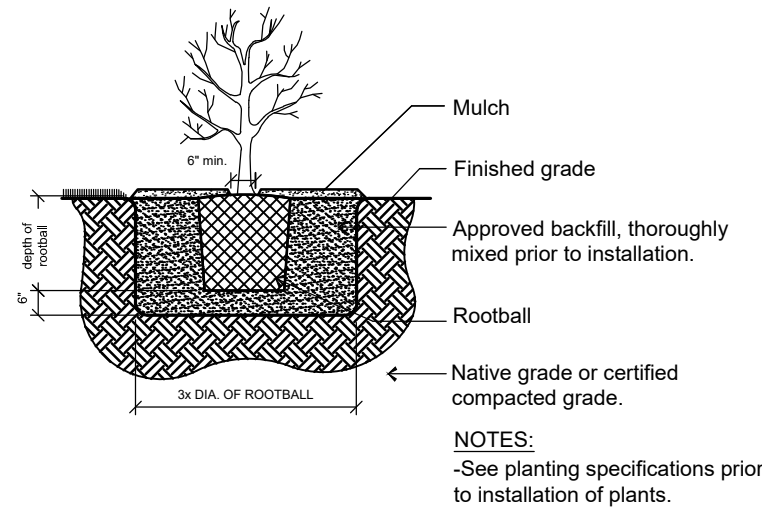
- All other seed areas shall be for three years after installation. Work shall include all watering, weeding (both spot herbicide and/or hand-pulling, depending on necessity), fertilizing, spring / fall clean-up & mowing. Expect 4-5 mowings in the first year, 3-4 mowings in the second year and 2-3 mowings in the third year. All mowings shall be timed to cut germinating weeds but not desirable forbs / grasses. Overseed each spring any bare areas larger than 1 sq. ft.

- Prior to beginning installation, the contractor shall submit a 36-month calendar for review/approval including all anticipated maintenance activities.

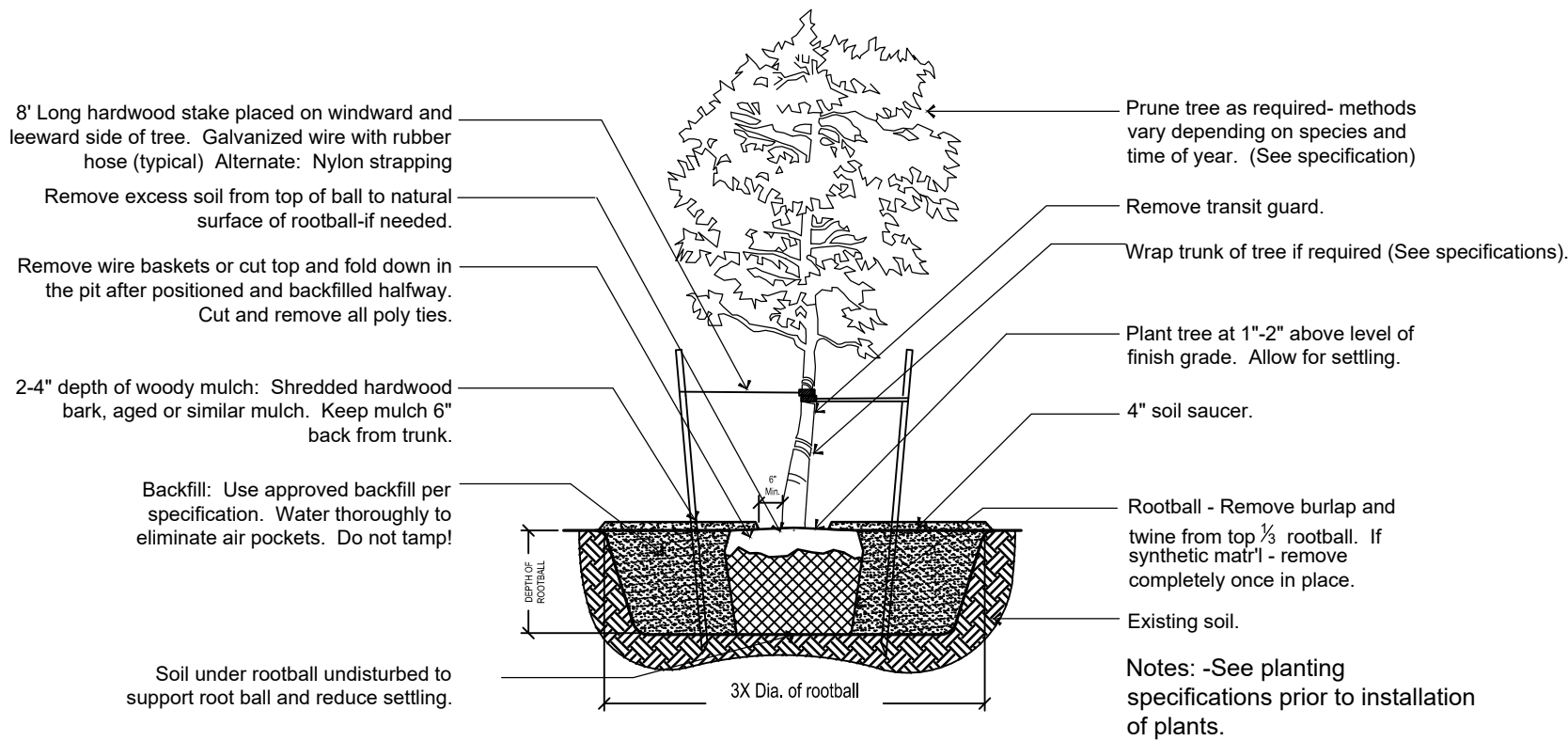
Preliminary Plant Schedule

Note: Species & quantities TBD, final selections By Owner.

Symbol	Qty.	Botanical Name	Common Name	Installed Size	Root	Spacing	Notes
<b>[Qty. 03] Shade Trees</b>							
Ace Sie		Acer freemanii 'Sienna Glenn'	Sienna Glenn Maple	3" Cal.	B/B	As Shown	
<b>[Qty. TBD] Ornamental Trees</b>							
Arne Aut		Amelanchier x. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8' Ht.	B/B	As Shown	25x25' heavy 3-stem
<b>[Qty. 03] Evergreen Trees</b>							
Pic Gla		Picea glauca var densata	Black Hills Spruce	7' Ht.	B/B	As Shown	
<b>[Qty. 23] Large Shrubs</b>							
Thu Tec		Thuja occidentalis 'Technitro'	Technitro Dwf. Arborvitae	5' Ht.	B/B	As Shown	
Vib Red		Viburnum dentatum 'Red Feather'	Red Feather Arrowwood Viburnum	48" Ht.	B/B	As Shown	
<b>[Qty. 925sf] Deciduous Shrubs</b>							
Rib Gre		Ribes alpinum 'Green Mound'	Green Mound Alpine Currant	18-24" Ht.	2 Gal.	48" o.c.	
Spi Fri		Spiraea fritschiana	Fritsch Spirea	15-18" Ht.	2 Gal.	42" o.c.	
Vib Spi		Viburnum carlesii 'Spiced Bouquet'	Spiced Bouquet Comp. Kspice Viburnum	30-36" Ht.	7 Gal.	60" o.c.	
<b>[Qty. 270sf] Evergreen Shrubs</b>							
Jun Kal		Juniperus chinensis 'Kallay'	Kallay Compact Juniper	24" sprd.	7 Gal.	54-60" o.c.	
<b>[Qty. 235sf] Perennials &amp; Grasses</b>							
Cal Ove		Calamagrostis acu. 'Overdam'	Overdam Feather Reed Grass	1 Gal.	Cont.	30-36" o.c.	
Hem Spp		50/50 mix of Hemerocallis 'Happy Returns' & 'Rosy Returns'		4.5"	Cont.	18-24" o.c.	In drifts of 3-5 per spp.
Spo Het		Sporobolus heterolepis	Prairie Dropseed	1 Gal.	Cont.	18-24" o.c.	



2 Shrub Planting Detail  
Not To Scale



1 Tree Planting Detail  
Not To Scale

Consultant:



Project:

Zeilhofer Properties, LLC  
New Storage Building

Location:

N4W22540 Bluemound Road  
Pewaukee, WI 53186

Key Plan:



Sheet:

Landscape Details,  
Schedules & Notes

Scale:

As Shown @ 36x24"

Revisions:

No.	Date	Description

Date:

March 8, 2021

Project No.:

200110.00

Sheet No.:

L5.00



Office of the Planner & Community Development Director  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

---

Date: February 15, 2021 (3/8/21 - A/E Comments in RED)  
To: Mark Wershay, Zimmerman Architectural Studios, Inc.  
From: Nick Fuchs, Planner & Community Development Director  
RE: Zeilhofer storage building Conditional Use and Site & Building Plan Review

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**Comments and Recommendations:**

Below are comments and recommendations for the proposed development at N4W22540 Bluemound Road (Tax Key No. 0963997).

1. What type of materials and/or equipment will be stored within the building? **Materials and tools used in conjunction with our home remodeling and outdoor living installations. Construction materials such as tools, decking, stone, outdoor kitchens, etc.**
2. What is the purpose of the gravel area to the north of the building? Will any materials be stored outside? Are any vehicles or equipment parked overnight on the property? **The gravel area is for parking of vehicles and trailers. The area is located behind the building and screened with landscape. Vehicle storage will consist of trucks and trailers. They do not plan for any long-term storage of materials outside of the storage building.**
3. Are any dumpsters or other types of containers kept onsite? **Yes, they will be placed on a concrete pad within the larger gravel areas to the north. They are screened by the landscaping.**
4. Note the proposed monument sign will require staff review and approval of a Sign Permit. **Understood, this design will be installed at a future date and following building approval.**
5. It is recommended that parking spaces comply with Section 17.0601a., which states that the size of each parking space shall be not less than 180 square feet. **The drawings have been updated to reflect 180 square feet per space.**
6. Please provide at least one ADA compliant parking stall. **Added to drawings.**
7. Please show the B-4 District setbacks on the site plan. **Added to drawings.**
8. What color will the CMU foundation be painted? **Charcoal.**
9. What type of roof material is being used? **Standing seam metal roof as noted on the plans.**
10. Are the trees shown on the demolition plan all trees onsite or just those of a certain size and greater? **Per the Owner, the surveyor shot all trees not located in the current cluster on the north end of the lot. Those trees need to be removed to accommodate the new construction. There were no size minimums.**
11. There does not appear to be grading around the two 18" trees in southeast corner of the site and minimal grading around the 60" tree. Why are these trees being removed? It is recommended that all three trees be preserved. **All three trees are not in good health or aesthetically appealing. A portion of the 60" trees root system will need to be removed when putting in the drive which will place a declining tree in further decline. This large tree has a low crotch making it susceptible to failure. A much more appealing linden tree is planned for the SE corner where the two 18" trees would be removed.**

12. All new paving shall meet the standards of Section 17.0601c. of the City's Zoning Code.  
**Confirmed.**
13. Note that substantial evidence, pursuant to Section 62.23(7)(de) of WI State Statutes, must be presented at the public hearing for Common Council consideration of the Conditional Use Permit. **The Zeilhofer's currently rent a storage facility in Waukesha. This Conditional Use Request will consolidate their business to a single location and remove their rent obligation.**
14. Engineering Department comments are as follows:
  - a. Permission from Waukesha County is required for the access and the changes within the right-of-way of Bluemound Road (CTH JJ). **We will be coordinating with Waukesha County for any required permits.**
  - b. It is recommended that the property connect to municipal sewer and water. **The nearest adjacent municipal sewer and water lines are located a considerable distance from the building and would require crossing a County Roadway. Additional investigation finds that the sanitary across the street on Takoma Drive is 16.5' below grade. The proposed building does not have any water or sanitary needs.**
  - c. The Demo plan does not appear to reflect the amount of tree removal required for the work shown on the Grading and Erosion Control Plan. **The demo area within the "Wooded area" has been expanded to reflect the grading and erosion control plan.**
  - d. Clarification is needed on where the swale along the west side of the property drains. There is a swale until it nears the building. This flow is redirecting drainage which used to sheet flow across the neighbor's property to concentrating it in a swale and it appears to discharge into a swale on the adjacent property and/or is being directed at the little accessory building. Is there a drainage easement that allows this onto the adjacent property? It is not recommended to direct water to discharge towards any buildings. In addition, the swale appears to be directed at a planting bed. **We are currently redirecting the runoff south and to the existing shared swale along the west property line.**
  - e. Please remove the City's curb and gutter detail and driveway connection as this is Waukesha County's jurisdiction. **City curb and gutter, and driveway connection has been removed.**
  - f. The plans currently indicate less than 1 acre of disturbed area. However, if the development changes or additional area is disturbed during construction and it disturbs over 1 acres, the development will be required to meet the City's Chapter 19 ordinances. Any areas not supposed to be disturbed must be shown as protected on the plan and provisions provided to keep construction traffic from disturbing those areas. **Contractor shall stay within silt fence boundary and follow the grading, erosion control and demo plan as not to disturb over 1 acre.**

**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 5.**

**DATE:** June 7, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:** Nick Fuchs

***SUBJECT:***

Discussion and Possible Action Regarding **Ordinance 21-03** Rezoning the 2.07 Acre Century Fence Property Located in the City of Pewaukee (PWC 0921-997-003) at Approximately 1300 Hickory Street in the Village of Pewaukee From M-6 Mixed Industrial To M-1 General Wholesale [Fuchs]

***BACKGROUND:***

At their May 20, 2021 meeting, the Plan Commission unanimously recommended approval of the rezoning request by the Century Fence Company.

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

A motion to approve the rezoning request by the Century Fence Company to rezone property bearing Tax Key No. 0921-997-003 from M-6 Mixed Industrial to M-1 General Wholesale Business/Warehouse District.

**ATTACHMENTS:**

Description

Ordinance 21-03

Century Fence Rezoning Application & Map

STATE OF WISCONSIN

CITY OF PEWAUKEE

WAUKESHA COUNTY

**ORDINANCE 21-03**

**TO AMEND THE ZONING MAP OF  
THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN**

The Common Council of the City of Pewaukee, Waukesha County, Wisconsin do ordain that the Zoning Map of the City of Pewaukee, Wisconsin is hereby amended to change the zoning classification of the property described below as follows:

FROM: **M-6 Mixed Industrial District**

TO: **M-1 General Wholesale Business / Warehouse District**

**SECTION 1 - DESCRIPTION**

**Common Description:**

OUTLOT 1 CERT SURV 11133 VOL 109/180 REC AS DOC# 4060001 PT NE1/4 SEC 15 T7N R19E :: INCLUDES EASEMENT FOR INGRESS/EGRESS IN DOC# 3931576 DOC# 3933157 & DOC# 4063168

**Tax Key Number:** PWC 0921-997-003

**Property Address:** Approximately 1300 Hickory Street

**This Amendment to the Zoning Map** (Change in zoning) is being proposed for the purpose of: utilizing property for outdoor storage.

**SECTION 2 –SEVERABILITY**

The several sections of this Ordinance are declared to be severable. If any section shall be declared by a decision of a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other provisions of the Ordinance.

**SECTION 3 - ACTION**

This Ordinance shall take effect upon passage and posting.

Dated this 7<sup>th</sup> day of June, 2021.

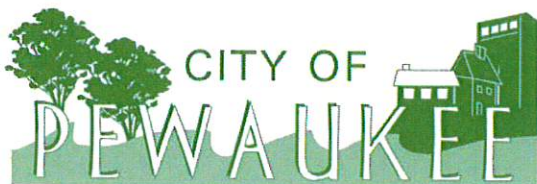
COMMON COUNCIL OF THE CITY OF PEWAUKEE

WAUKESHA COUNTY, WISCONSIN

Attest:

\_\_\_\_\_  
Steve Bierce, Mayor

\_\_\_\_\_  
Kelly Tarczewski, Clerk/Treasurer



Office of the Planner & Community Development Director  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770  
Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

**PETITION FOR A REZONING DISTRICT MAP AMENDMENT**

TO THE HONORABLE MAYOR AND COMMON COUNCIL OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned hereby petitions the Common Council of the City of Pewaukee, Waukesha County, Wisconsin to rezone the following property FROM M-6 Mixed Industrial District zoning district(s) TO M-1 General Wholesale Business/Warehouse zoning district(s):

Legal description of property to be rezoned – Please attach.

Common property description or name: Century Fence Company

Property Address: 1300 Hickory Street, Pewaukee Tax Key Number(s): PWC 0921997003-PWV 0921995

Property owner(s) (Full Legal Name): Anthony W Bryant

Owner's Address: 108 North Barstow Street City/State/Zip: Waukesha, WI 53186

Phone: 262-896-3800 Email: awbryant@msn.com

This amendment to the zoning map is being proposed in order to utilize property for outdoor storage.

**Applicant (Full Legal Name):**

Name: John E. Connell

Company: Century Fence Company

Address: 1300 Hickory Street

City/State/Zip: Pewaukee, WI 53072

Phone: 262-547-3331

Email: sales@centuryfence.com

**Contact Person (Full Legal Name):**

Name: John E. Connell

Company: Century Fence Company

Address: 1300 Hickory Street

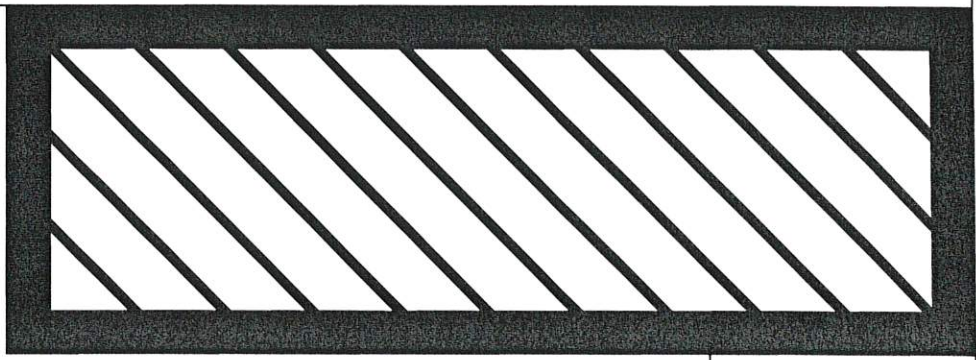
City/State/Zip: Pewaukee, WI 53072

Phone: 262-547-3331

Email: sales@centuryfence.com

**Rezoning submittals must include and be accompanied by the following:**

- ☒ This Application form accurately completed with original signatures.
- ☒ Application Filing Fee, payable to the City of Pewaukee:
  - o \$400.00, plus cost for publication, notice and all attorney fees related to Project
- ☒ Five (5) complete collated sets of Application materials to include:
  - o A written project narrative detailing the request and proposed zoning as well as any future development plans or any proposed site or building improvements.
  - o A Rezoning Exhibit that illustrates the property boundaries, areas to be rezoned and specifically notes the existing and proposed zoning.
  - o Building and Site Plans as may be applicable.
- ☒ All application materials provided in a digital format (Adobe PDF). Materials may be submitted on a USB Flash Drive or emailed to [hurd@pewaukee.wi.us](mailto:hurd@pewaukee.wi.us).
- ☒ Note twelve (12) additional sets of plans will be required for Plan Commission following staff review of the initial submittal. These plans should be revised in response to staff comments as may be necessary.



# REZONE FROM M-6 TO M-1



1" = 100'

M-6

Rs-2

Rs-3

Rs-3

Rs-2

C.T.H. "M" WATERTOWN ROAD

SINGLE  
TREE DR.

Rs-6

Rs-6

Rs-6

Rs-6

Rs-6

**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 6.**

**DATE:** June 7, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:** Nick Fuchs

***SUBJECT:***

Discussion and Possible Action Regarding a Certified Survey Map for Richard Knutson for Property Located at N28 W26658 Peterson Drive (PWC 0930-052-009) in Order to Divide the Property Into Three Lots and an Outlot [Fuchs]

***BACKGROUND:***

At their May 20, 2021 meeting, the Plan Commission unanimously recommended approval of the Certified Survey Map for property bearing Tax Key No. 0930-052-009, subject to:

1. Applicant shall extend public water and laterals to each lot, and complete road repairs as required by the Engineering Department.
2. A restriction be added on Sheet 1 stating that no more than 0.33 acres of land shall be allowed to be disturbed for Lot 1, Lot 2, and Lot 3. Furthermore, upon development of Outlot 1 in the future, all three lots shall be included within the land disturbance and storm water management calculations.

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

A motion to approve the Certified Survey Map as recommended by the Plan Commission.

**ATTACHMENTS:**

Description

Knutson CSM Staff Report 5.20.21

Knutson CSM



**Office of the Planner & Community Development Director**  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of May 20, 2021

---

**Date:** May 12, 2021

**Project Name:** Knutson Certified Survey Map

**Project Address/Tax Key No.:** Not Assigned/PWC0930052009

**Applicant:** Richard Knutson

**Property Owner:** J & R Knutson Revocable Trust

**Current Zoning:** Rs-4 Single-Family Residential District

**Proposed Zoning:** Same

**2050 Land Use Map Designation:** Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac. / D.U.)

**Use of Surrounding Properties:** Single-family residential to the north and south, agricultural land to the east and the 5 O'Clock Club to the west

---

### **Project Description**

The applicant filed a Certified Survey Map Application to subdivide an existing vacant property into three single-family residential lots and one outlot. The property is located at the northwest corner of Peterson Drive and Lauderdale Drive, directly to the north of the entrance to the 5 O'Clock Club.

The property is zoned Rs-4 Single-Family Residential District and designated as Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac. / D.U.) on the City's Year 2050 Land Use/Transportation Plan. The proposed land division conforms to and is consistent with the current zoning and future land use designation.

Lot 1 of the proposed certified survey map has an area of 40,938 square feet. Lot 2 has an area of 39,650 square feet and Lot 3 is 36,893 square feet. Outlot 1 has an area of 3.51 acres and will remain vacant land with no current plans for development, according to the applicant. Note that to develop Outlot 1, approval of a certified survey map and removal of the outlot designation by the City is required as well as approval of any proposed development plans

All lots conform to the Rs-4 minimum lot area of 20,000 square feet and minimum lot width at the building setback line of at least 110 feet. The minimum required building setbacks are shown on the CSM and also conform to the Rs-4 District standards.

*Note that as part of this development, staff recommends that the applicant extend public water and laterals to each lot, and complete road repairs as required by the Engineering Department.*

### **Recommendation**

As part of the review of the CSM, staff made the following comment:

“Please be aware that if more than one acre of land disturbance will occur, a grading, erosion control and storm water management plan in compliance with Chapter 19 of the City’s Municipal Code is required. Please provide a plan that shows the anticipated amount of disturbance to develop these lots.”

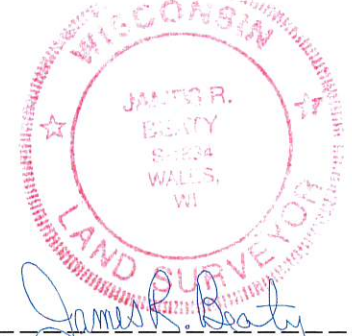
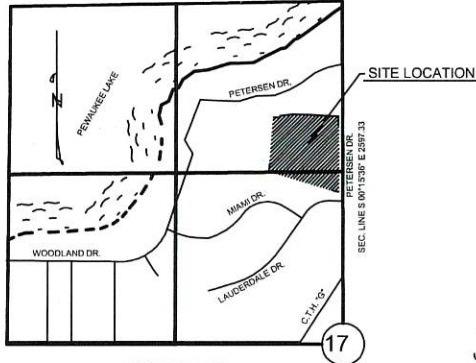
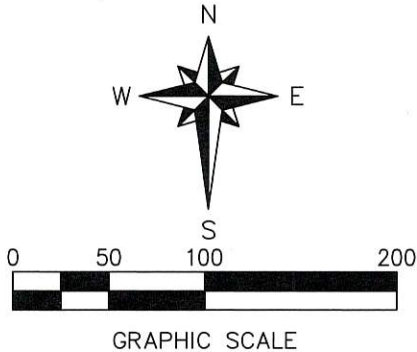
A plan showing the anticipated amount of land disturbance was not submitted; therefore, staff is recommending that the CSM be tabled until such a plan is provided and staff can verify that these three lots can be developed without storm water management being provided.

It should be noted that if less than an acre of land is disturbed and these lots can be developed without having to meet storm water management requirements, these three lots must be included in land disturbance and storm water management calculations if Outlot 1 is developed in the future.

If the Plan Commission and Common Council wish to approve the CSM at this time, staff recommends that a restriction be added on Sheet 1 stating that no more than 0.33 acres of land shall be allowed to be disturbed for Lot 1, Lot 2, and Lot 3. Furthermore, upon development of Outlot 1 in the future, all three lots shall be included within the land disturbance and storm water management calculations.

# CERTIFIED SURVEY MAP NO —

BEING A PART OF LOT 2, CERTIFIED SURVEY MAP NO. 4388, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF WAUKESHA COUNTY IN CERTIFIED SURVEY MAPS AS DOCUMENT NO. 1226745, IN VOLUME 35 ON PAGES 51-53, BEING ALSO A PART OF THE NORTHEAST 1/4 (GOVERNMENT LOT 1) AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN



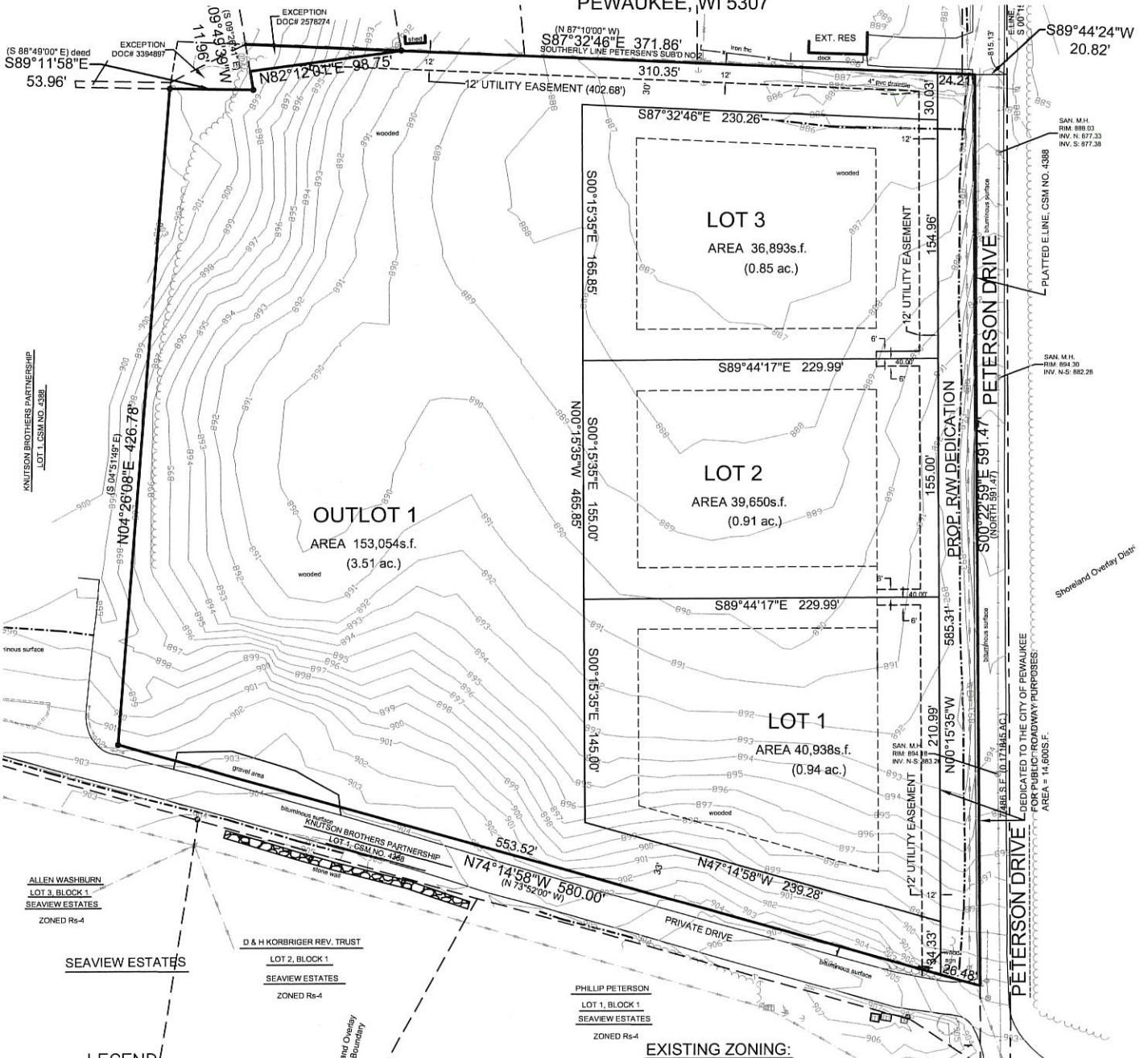
James R. Beaty, RLS 1834  
DATED: FEBRUARY 12, 2021  
REVISED: APRIL 26, 2021

## BEARING REFERENCE

ALL BEARINGS SHOWN HEREON ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE GRID NORTH WITHIN WHICH THE E.LINE OF THE NW 1/4 OF SECTION 17-7-19 IS ASSUMED TO BEAR SOUTH 00°15'36" EAST. (PER SEWRPC CSSD)

## OWNER/DEVELOPER:

J&R KNUTSON REV. TRUST  
N28W26658 PETERSON DR.  
PEWAUKEE, WI 5307



## LEGEND

- — INDICATES IRON PIPE 1" x 18", 1.13 LBS./LIN.FT. SET (1.315o.d.) (unless noted otherwise)
- — 1" IRON PIPE FOUND (UNLESS NOTED)
- — CONC. MONU. W/ALUMINUM CAP FOUND
- (R) — RECORDED AS

## EXISTING ZONING:

Rs-4

## SETBACKS:

Front: 40 feet

Rear: 35 feet

Side: 20 feet

## SO- Shoreland Overlay District:

Said parcel lies partially within the SO-Shoreland

Overlay District (Within 1000' of O.H.W.)

(Other restrictions may apply, see zoning code)

THIS INSTRUMENT WAS DRAFTED BY JAMES R. BEATY

SHEET 1 OF 4

CERTIFIED SURVEY MAP NO — \_\_\_\_\_

BEING A PART OF LOT 2, CERTIFIED SURVEY MAP NO. 4388, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF WAUKESHA COUNTY IN CERTIFIED SURVEY MAPS AS DOCUMENT NO. 1226745, IN VOLUME 35 ON PAGES 51-53, BEING ALSO A PART OF THE NORTHEAST 1/4 (GOVERNMENT LOT 1) AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I JAMES R. BEATY, PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT BY THE DIRECTION OF THE OWNER(S), I HAVE SURVEYED, DIVIDED, AND MAPPED THE LAND SHOWN AND DESCRIBED HEREINAFTER; BEING A PART OF LOT 2, CERTIFIED SURVEY MAP NO. 4388, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF WAUKESHA COUNTY IN CERTIFIED SURVEY MAPS AS DOCUMENT NO. 1226745, IN VOLUME 35 ON PAGES 51-53, BEING A PART OF THE NORTHEAST 1/4 (GOVERNMENT LOT 1) AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN. SAID LANDS ARE BOUNDED AND DESCRIBED AS FOLLOWS:

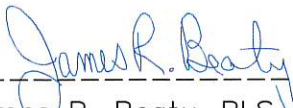
COMMENCING AT THE MEANDERCORNER FOR THE NE CORNER OF THE NORTHWEST 1/4 OF SAID SECTION 17; THENCE S 00°15'36" E, A DISTANCE OF 815.13 FEET ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 17 TO A POINT; THENCE S 89°44'24" W, A DISTANCE OF 20.82 FEET TO THE NORTHEAST CORNER OF CSM NO. 4388 AND THE POINT OF BEGINNING OF THE LANDS HEREINAFTER DESCRIBED; THENCE S 00°22'59" E, A DISTANCE OF 591.47 FEET TO THE SOUTHEAST CORNER OF CSM 4388; THENCE N 74°14'58"W, A DISTANCE OF 580.00 FEET ALONG THE SOUTH LINE OF CSM NO. 4388 TO A FOUND 1" IRON PIPE AT THE SOUTHWEST CORNER OF LOT 2 OF CSM 4388; THENCE N 04°26'08" E, A DISTANCE OF 426.78 FEET TO A FOUND 1" IRON PIPE; THENCE S 89°11'58" E, A DISTANCE OF 53.96 FEET TO A FOUND 1" IRON PIPE; THENCE N 09°49'39" W, A DISTANCE OF 11.96 FEET TO A FOUND 1" IRON PIPE; THENCE N 82°12'01" E, A DISTANCE OF 98.75 FEET TO A POINT ON THE NORTH LINE OF LOT 2 OF CSM 4388; THENCE S 87°32'46" E, A DISTANCE OF 371.86 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 281,136 S.F. (6.4540 ACRES), MORE OR LESS OF LAND. DEDICATING THEREFROM LANDS AS SHOWN HEREON FOR PUBLIC ROAD PURPOSES TO THE CITY OF PEWAUKEE. SAID DEDICATED LANDS CONTAINING 14,600 S.F. (0.3352 ACRES), MORE OR LESS OF LAND. NET AREA OF DEVELOPMENT EXCLUSIVE OF DEDICATION 266,536 S.F. (6.1188 ACRES), MORE OR LESS OF LAND.

TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS TO PEWAUKEE LAKE OVER PARK RESERVE LOT IN PETERSEN'S SUBDIVISION NO. 2, BEING A PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST.

I FURTHER CERTIFY THAT I HAVE MADE THIS SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF J&R KNUTSON REV. TRUST, AS OWNER OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE LAND DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES AND THE CITY OF PEWAUKEE ORDINANCES IN SURVEYING, DIVIDING, MAPPING AND DEDICATING OF SAME.

  
James R. Beaty, RLS 1834

PREPARED BY / SURVEYOR:  
HORIZON LAND DEVELOPMENT SERVICES, LLC  
W313 S2562 PENNY LANE  
WALES, WISCONSIN 53183  
1-262-349-1575  
jamieb@horizonlanddevelopmentservices.com



NOTES

1. ALL DIMENSIONS MEASURED AND SHOWN TO THE NEAREST HUNDREDTH OF A FOOT; ALL ANGLES MEASURED TO THE NEAREST FIVE SECONDS AND COMPUTED TO THE NEAREST SECOND.

DATED: FEBRUARY 12, 2021  
REVISED: APRIL 26, 2021

2. OWNER/DEVELOPER TO RETAIN SOLE OWNERSHIP OF OUTLOT 1.  
OUTLOT 2 MAY NOT BE BUILT ON WITHOUT THE PERMISSION OF THE COMMON COUNCIL, PER SECTION 18.1 OF THE CITY OF PEWAUKEE MUNICIPAL CODE.

3. LOTS SHALL BE SERVED BY AN EXTENSION OF THE EXISTING SANITARY SEWER (LAKE PEWAUKEE SANITARY DISTRICT) SEE AVAILABILITY LETTER

4. ANY AGRICULTURAL DRAINTILE WHICH IS DISTURBED CUT OR BROKEN AS PART OF THE DEVELOPMENT OF THIS PLAT OR EXCAVATION FOR HOME CONSTRUCTION MUST BE REPAIRED AND/OR RELOCATED TO ALLOW FOR THE DRAINTILE TO CONTINUE TO DRAIN AS ORIGINALLY DESIGNED. THE COST OF REPAIR AND/OR REPLACEMENT OF THE DRAINTILE MUST BE BORN BY THE PARTY DAMAGING SAID TILE.

5. THE EAST 45 FEET OF THIS DEVELOPMENT ARE TO BE DEDICATED TO THE CITY OF PEWAUKEE FOR PUBLIC ROADWAY PURPOSES.

6. THE UTILITY EASEMENTS SHOWN HEREON ARE FOR PRIVATE UTILITIES.  
A SEPARATE CONVEYANCE OF EASEMENT CONDITION AND RIGHTS IS TO BE RECORDED.  
LAYOUT OF UTILITY EASEMENTS SHOWN HEREON SUBJECT TO REVIEW AND APPROVAL BY UTILITY COMPANIES.

BEING A PART OF LOT 2, CERTIFIED SURVEY MAP NO. 4388, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF WAUKESHA COUNTY IN CERTIFIED SURVEY MAPS AS DOCUMENT NO. 1226745, IN VOLUME 35 ON PAGES 51-53, BEING ALSO A PART OF THE NORTHEAST 1/4 (GOVERNMENT LOT 1) AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

J&R Knutson Rev. Trust, a Trust duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said Trust caused the land described on this MAP to be surveyed, divided, mapped, and dedicated as represented on this MAP. J&R Knutson Rev. Trust, does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

## Page 6 of 7

CERTIFIED SURVEY MAP NO - \_\_\_\_\_

BEING A PART OF LOT 2, CERTIFIED SURVEY MAP NO. 4388, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF WAUKESHA COUNTY IN CERTIFIED SURVEY MAPS AS DOCUMENT NO. 1226745, IN VOLUME 35 ON PAGES 51-53, BEING ALSO A PART OF THE NORTHEAST 1/4 (GOVERNMENT LOT 1) AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

PLAN COMMISSION APPROVAL

This Certified Survey Map is hereby approved by the Plan Commission of the City of Pewaukee on this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Steve Bierce, Chairperson

\_\_\_\_\_  
Date

\_\_\_\_\_  
Brandon Bergman, Secretary

\_\_\_\_\_  
Date

COMMON COUNCIL APPROVAL

This Certified Survey Map is approved and dedication of right of way as shown hereon is accepted by the Common Council of The City of Pewaukee on this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Steve Bierce, Mayor

\_\_\_\_\_  
Date

\_\_\_\_\_  
Kelly Tarczewski, Clerk/Treasurer

\_\_\_\_\_  
Date



\_\_\_\_\_  
*James R. Beaty*  
James R. Beaty, RLS 1834

**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 7.**

**DATE:** June 7, 2021

**DEPARTMENT:** Clerk/Treasurer

**PROVIDED BY:**

***SUBJECT:***

Discussion and Possible Action to Reduce the Special Event Fee for the Parade of Homes in the Swan View Farms Subdivision Running August 13, 2021 through September 6, 2021 at the Request of Metropolitan Builders Association [Tarczewski]

***BACKGROUND:***

Within the City's Fee Schedule there is a notation related to the Class I Events. It states if an event is held over a period in excess of five days, the Common Council may limit the total assessment of the daily fee to five days upon showing that the impact on the City services justifies the reduction.

The previous Parade of Homes events were reduced to the five day charge.

***FINANCIAL IMPACT:***

The MBA calculated their event would cost \$7,500 based on the number of days they would be operational. If the Common Council wishes to reduce the fee it would cost the MBA a total of \$500.

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

MBA Request

MBA Event Application

Actual Hours of Operation

## Tarczewski, Kelly

---

**From:** Toby Van Sistine <toby@mbaonline.org>  
**Sent:** Tuesday, May 25, 2021 3:41 PM  
**To:** Tarczewski, Kelly  
**Cc:** Pam Lohnes; Kathy Raab  
**Subject:** MBA Parade of Homes at Swan View Farms - Event fee reduction request

Good afternoon Kelly –

I am emailing you today regarding the fee structure for events in the City of Pewaukee. The Metropolitan Builders Association is submitting an application for the 2021 Parade of Homes to take place in the Swan View Farms subdivision from August 13<sup>th</sup> through September 6<sup>th</sup> (Labor Day). In total, the event runs for 25 days and per the city's fee schedule we would incur a cost of \$7,500 (\$300/day). We feel this overall cost is excessive and would like to request that fee be lowered.

The first reason is that other municipalities that have approved the Parade of Homes events have not charged anything close to that amount. Here is a list of some of the most recent Parade locations, including our second site this year in Lisbon, and their event permit fees.

- Lisbon (2021, 2020, 2019) – \$125
- Menomonee Falls (2020, 2019, 2017) – \$0
- Franklin (2020) – \$625 (\$25/day)
- Delafield (2019) – \$50
- Sussex (2018) - \$25
- Hartland (2017) – \$50

The second reason is that the Parade of Homes is a great way to showcase living in the City of Pewaukee. This event will bring people to the Parade not only as attendees, but as potential residents of the City. There are few events where people aren't just coming for the entertainment or the food but are also there to look at the possibility of living or raising a family in that community. This event does just that.

We would greatly appreciate the City's consideration of reducing the overall event fee to not only help our event, but for our event to help the City of Pewaukee.

Please let me know if you have any questions and when this topic will be on an agenda for the Common Council. I would be grateful for the opportunity to discuss this further.

Toby

**Toby J. Van Sistine**  
Director of Operations  
Advocacy - Member Services - Events  
Metropolitan Builders Association  
**2120 Pewaukee Rd, Suite 103**  
Waukesha, WI 53188  
(262) 436-1122 Main Office  
(262) 522-3620 Direct Line  
[www.mbaonline.org](http://www.mbaonline.org)



METROPOLITAN  
BUILDERS  
ASSOCIATION

## WE'VE MOVED!!

*Please note our new address:*

2120 Pewaukee Rd. Suite 103  
Waukesha, WI 53188



## AUGUST 14 - SEPTEMBER 6

[MBAparadeofhomes.com](http://MBAparadeofhomes.com)



W240 N3065 Pewaukee Road  
Pewaukee, WI 53072  
262-691-0770, FAX: 262-691-1798  
[www.cityofpewaukee.us](http://www.cityofpewaukee.us)

## SPECIAL EVENT PERMIT APPLICATION

May 2012

Permit approved		Date	
Permit fees paid	\$7500.00	Date	5/27/2021
Deposit paid		Date	
Deposit returned?		Date	
<b>FEES ARE NON-REFUNDABLE</b>			

**APPLICATION AND PERMIT FEE IS DUE 90 DAYS PRIOR TO YOUR EVENT.**

### ORGANIZATION INFORMATION

Name of Organization Metropolitan Builders Association			
Street Address 2120 Pewaukee Rd. Suite 103	City Waukesha	State WI	Zip 53188
Phone Number 262-436-1122	Are you a 501(c)3 Organization? Circle one		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Event Contact Person (First & Last Name) Kathy Ruab			
Address 2120 Pewaukee Rd. Suite 103	City Waukesha	State WI	Zip 53188
Email kathy@mba-builds.org	Phone Number 262-436-1120	Day of Event Phone Number 608-576-5914	

### EVENT INFORMATION

Name of Event PARADE of Homes	Date(s) of Event AUGUST 13 - September 6, 2021
Event Start Time 4:00 p.m.	Event End Time 5:00 p.m.
Location of the Event* SWAN VIEW Farms subdivision	
Will your event take place in a residential neighborhood? <i>If yes, you will be required to notify all adjacent property owners when the event will occur. Circle One</i>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
<p><b>You MUST attach a detailed map/sketch of your event indicating the specific location, layout of your event, the direction of the route, including all turns and the number of traffic lanes to be used.</b></p> <p><b>*If you are using a City Park, you must reserve the park through the Park/Recreation Department prior to getting your special event permit approved by the Common Council. Call 262-691-7275.</b></p>	
Generally describe your event and its purpose  ANNUAL tour of new construction homes featuring builder members and featured subdivisions	
Based on the class definitions found in the manual, what class is your event? <i>Circle One.</i>	Class I <input checked="" type="checkbox"/> Class II <input type="checkbox"/>
Estimated Number of Participants 10	Spectators 10,000 - 12,000
Vendors <input checked="" type="checkbox"/>	

## OTHER INFORMATION

Is there an outdoor bar that will serve alcohol? <i>If yes, liquor and bartender licenses are necessary under separate application. Circle One.</i>		Yes	<input checked="" type="radio"/> No
Please list the number of City of Pewaukee licensed bartenders that will be on site:			
Will you be selling/serving food? <i>If yes, you will need to contact the Waukesha County Health Department for proper permits. Circle One.</i>		Yes	<input checked="" type="radio"/> No
Will you be selling merchandise? <i>If yes, you will need to obtain a Peddler's Permit under separate application. Circle One.</i>		Yes	<input checked="" type="radio"/> No
Will your event need electricity? <i>If yes, the Fire Department and Building Inspection Department will need to inspect prior to being energized. Circle One.</i>		Yes	<input checked="" type="radio"/> No
Will you be setting up any lighting? <i>If yes, the Fire Department and Building Inspection Department will need to inspect prior to being energized. Circle One.</i>		Yes	<input checked="" type="radio"/> No
Will your event require any fencing? <i>If yes, please provide plans for the fencing location and the gates. Circle One.</i>		Yes	<input checked="" type="radio"/> No
Does the event involve fireworks? <i>If yes, you will need to obtain a fireworks permit under separate application. Circle One.</i>		Yes	<input checked="" type="radio"/> No
Does the event involve amplified music? <i>Circle One.</i>		Yes	<input checked="" type="radio"/> No
If yes, will the amplified music be a (Circle one):		Band	DJ
Hours of amplified music:		Other	
Please list the number of security staff you will be providing for the event:		See attached	
Will you need barricades provided by the City for your event, if so, how many?		See attached	
Will you be erecting any tents, canopies or other temporary structure(s)? <i>If yes, You will need to provide a plan for their proposed locations and the Fire Department and Building Inspection Department will need to inspect these structures prior to the start of your event. Circle One.</i>		Yes	<input checked="" type="radio"/> No
Will you be providing portable restrooms and wash stations? <i>Circle One.</i>		<input checked="" type="radio"/> Yes	No
If yes, how many will you provide and where will they be located? Also how will solid waste be disposed of?			
3 including one handicap stall			
Will you provide parking for participants? <i>Circle One.</i>		<input checked="" type="radio"/> Yes	No
If yes, where will parking be available?			
See attached parking plan			
Will you provide a dumpster/clean-up services? <i>Circle One.</i>		<input checked="" type="radio"/> Yes	No
If yes, please describe your clean-up and refuse collection plan.			
See attached plan			

**OTHER INFORMATION CONTINUED**

What other assistance do you foresee needing from the City (personnel, materials, and/or equipment)?

Signage at intersections - See attached plan

Have you reviewed and do you have a copy of the **City of Pewaukee Special Events Manual** as well as the **City Special Events Ordinance**? *Circle One.*

Yes

No

**INSURANCE REQUIREMENTS**

The Special Event Sponsor will obtain liability insurance for an event that includes alcohol, has more than 150 people per day or involves a road closure. Proof of this insurance with coverage no less than \$1,000,000 which names and endorses the City, its officers, agents, employees and contractors as an additional insured party is due no later than 20 days before the event.

Are you able to provide these insurance documents, if required? *Circle One.*

Yes

No

**DEPOSIT REQUIREMENTS**

The applicant may be required to submit to the City a cleaning/damage deposit of \$200 per day for each scheduled day of the event (or portion thereof), two weeks prior to the starting date of the event. The deposit shall be refunded to applicant, if, upon inspection, all is in order, or a prorated portion thereof as may be necessary to reimburse the City for loss or cleaning costs. The City reserves the right to retain the entire deposit if cleanup is not completed satisfactorily in the time frame as specified in the permit. Unless otherwise stated in the permit, the applicant shall be fully responsible for all necessary cleanup associated with the permitted event to be completed within twelve (12) hours after the conclusion of the event. (This deposit is separate from any deposit required by the Park/Recreation Department for park use).

**TERMINATION OF AN EVENT**

The City reserves the right to shut down a special event that is in progress if it is deemed to be a public safety hazard by Police Services and/or Fire Department and/or there is a violation of City Ordinances, State Statutes or the terms of the Applicant's permit. The City Administrator and/or his/her designee may revoke an approved Special Events Permit if the applicant fails to comply in good faith with the provisions of the permit prior to the event date.

By signing this form, the applicant certifies authorization to act on behalf of their organization and hereby agrees to hold the City, its officers, employees, agents and contractors, harmless against all claims, liability, loss, damage or expense (including but not limited to actual attorney's fees) incurred by the City for any damage or injury to person or property caused by or resulting directly or indirectly from the activities for which the permit is granted. Any change to coverage requires City approval.

*Krxlaab*

Signature of Applicant

5/26/21

Date

**For staff use only**

Fees collected with application submission:

\$ 7,500

Class I Event

Class II Event

PERMIT FEES CHARGED

Common Council approval, if necessary, on:

Police Services approval\*:

Application forwarded to:

☒ Administrator

☒ Building Inspector

☒ Fire Chief

☒ Park & Rec Director

☒ Police Services

☒ Public Works Director

Fire Department approval\*:

Add'l fees charged by Departments

Administration

Building Inspection

Fire

Public Works

Police Services

Security Deposit

\*Comments/concerns should be attached separately

Rev 2/14/13

# 2021 Metropolitan Builders Association (MBA) Parade of Homes | Swan View Farms | Pewaukee

## OPERATION PLAN & EVENT AGENDA

### SOCIAL DISTANCING / COVID 19

The MBA will be following the CDC, federal, state, and local guidelines in effect at time of event.

### EVENT DETAILS

#### *Dates and Times of Event*

-Preview Night for Metropolitan Builders Association (MBA) Members and special guests only:  
Friday, August 13, 2021 (4:00 pm – 7:00 pm)

-Open to Public: August 14, 2021 – September 6, 2021 (Weekdays 4:00 pm – 8:00 pm /  
Weekends and Labor Day 11:00 am – 5:00 pm)

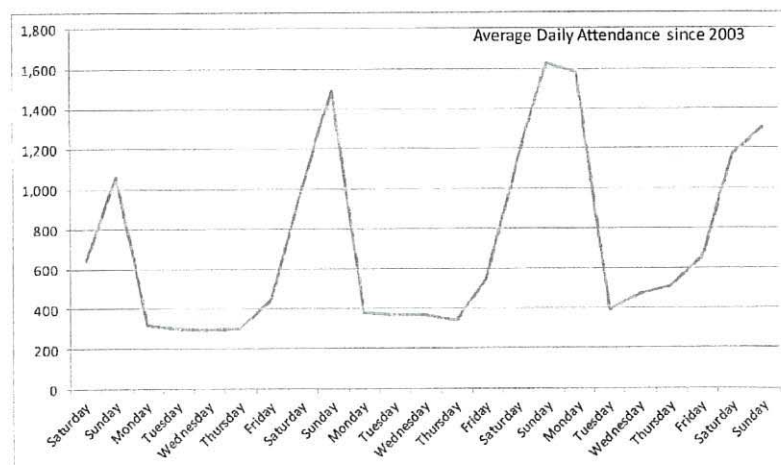
### PARTICIPANTS

**Developer:** Westridge Builders, Inc. | Carl Tomich – 262-547-0326

#### **Builders:**

Bielinski Homes | Paul Bielinski – 262- 547-6331 (Lot 37)  
Demlang Builders | Rod Demlang – 262-246-0330 (Lot 38)  
Espire Homes | Daryl Prusow - 414-573-1428 (LOT 39)  
Steeple Pointe | Joseph Greenspan – 262-751-6728 (Lot 41)  
Westridge Builders | Carol Tomich – 262-547-0326 (LOT 50)  
Victory Homes of Wisconsin | Phil Morgan – 262-252-7100 (LOT 51)  
Aspen Homes, Inc. | Shelly Basso - 262-366-5548 (LOT 52)  
Espire Homes | Daryl Prusow - 414-573-1428 (LOT 53)  
Anderson Homes, LLC | Kevin Emmer – 262-305-6474 (LOT 54)

### HISTORICAL ATTENDANCE FLOW



### SITE ADMINISTRATION

***Staffing***

- MBA will maintain appropriate staff consisting of MBA employees (3) and volunteers (5-10) to direct parking, take tickets, pick up trash, and oversee management of the site.
- The municipality will receive contact information for the MBA Event Manager and Parade Site Manager who will be on-site during all open hours of the Parade prior to the event start date.

***Tickets and Marketing***

- Tickets offered will allow for one visit per site.
- Marketing efforts will include advertisements in the Milwaukee Journal Sentinel, Publications, Milwaukee Magazines, Radio, TV, and Social Media

***Telephone Facilities***

- MBA Event Manager, Parade Site Manager (or designated replacement) and most of the site employees will have mobile phones.
- Phones will be available for emergencies.

***Security***

- Since the majority of hours for this event are during daylight/dusk, there has never been a need for any additional security personnel to be present.
- Site staff and personnel will be clearly identified by uniform apparel.
- All model homes will be locked by sales personnel each day and exhibitor tents are closed and secured by site staff before departure.
- Some communities have had a police officer walk through the Parade near closing time and a patrol car drive through the site at night.

***Parking***

- All weekday parking for the event will be within the subdivision with main parking on open lots in the subdivision (see map attached to application).
- During or after rain, some parking may be required to be on the streets within the subdivision. This will be on an as-needed basis and the MBA Event Manager will work with the municipal police dept. should there be any questions relating to safety or parking in restricted areas.

***Road Maintenance***

- Before the Parade starts a final asphalt lift will be completed and the streets in the subdivision are swept.
- Aprons will be in place for entrance and exit from parking areas.
- Pathways are fenced and/or barricaded to separate car and pedestrian traffic.

### ***Trash and Sanitary Facilities***

- There will be three (3) portable toilets including one handicap accessible and a wash station placed on site. The selected service provider will service these on a regular schedule during weekdays and weekends. Use will be marked with signage to be “at your own risk”.
- Trash cans will be provided and maintained by the MBA and are on-site throughout the Parade. A fifteen (15) yard roll-off container will be provided and placed on one of the empty lots near the Parade footprint. Site staff is required to do a site inspection at the close of each day.

### ***Food and Beverage***

- There will be no food or beverage provided at the sites.

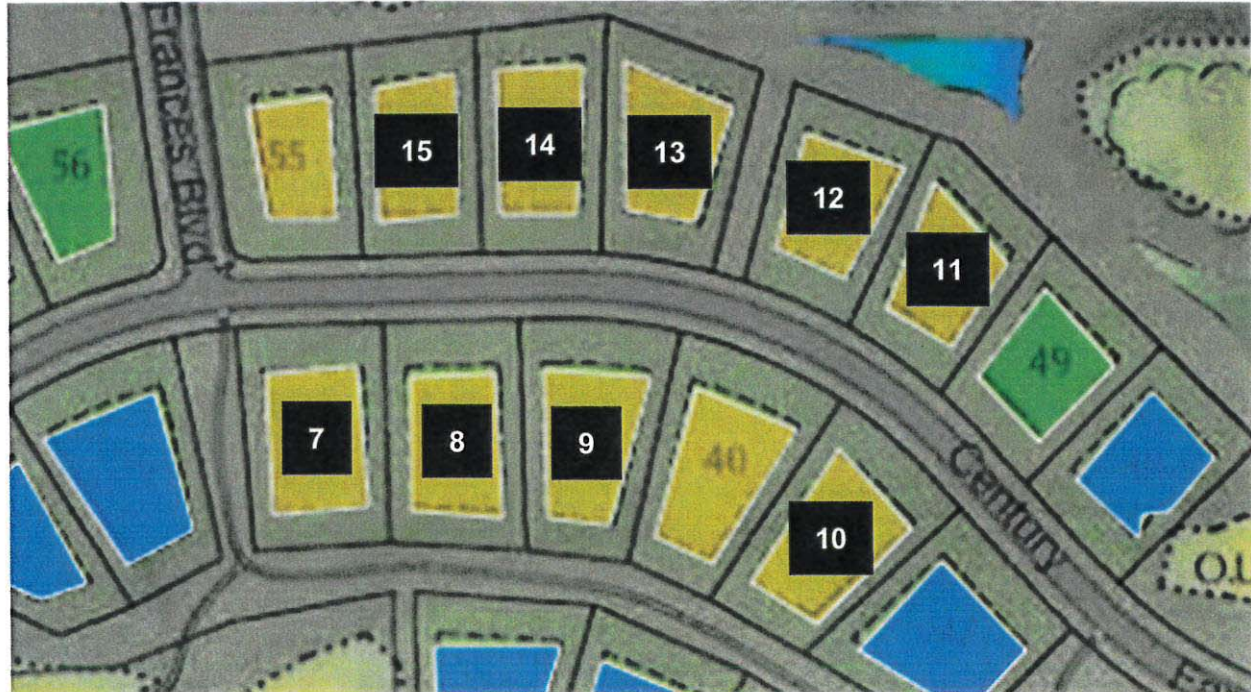
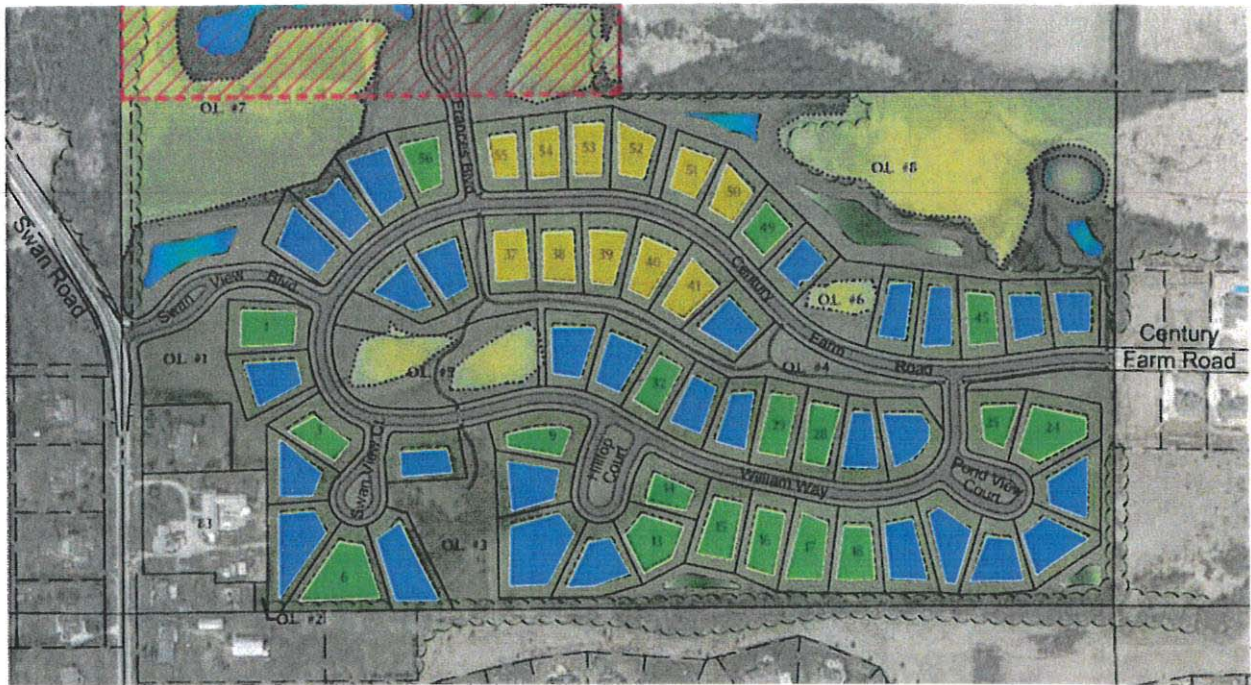
## **MUNICIPAL CONSIDERATIONS**

### ***Traffic and Directionals***

- Barricades: The Metropolitan Builders Association will provide our own barricades for the event.

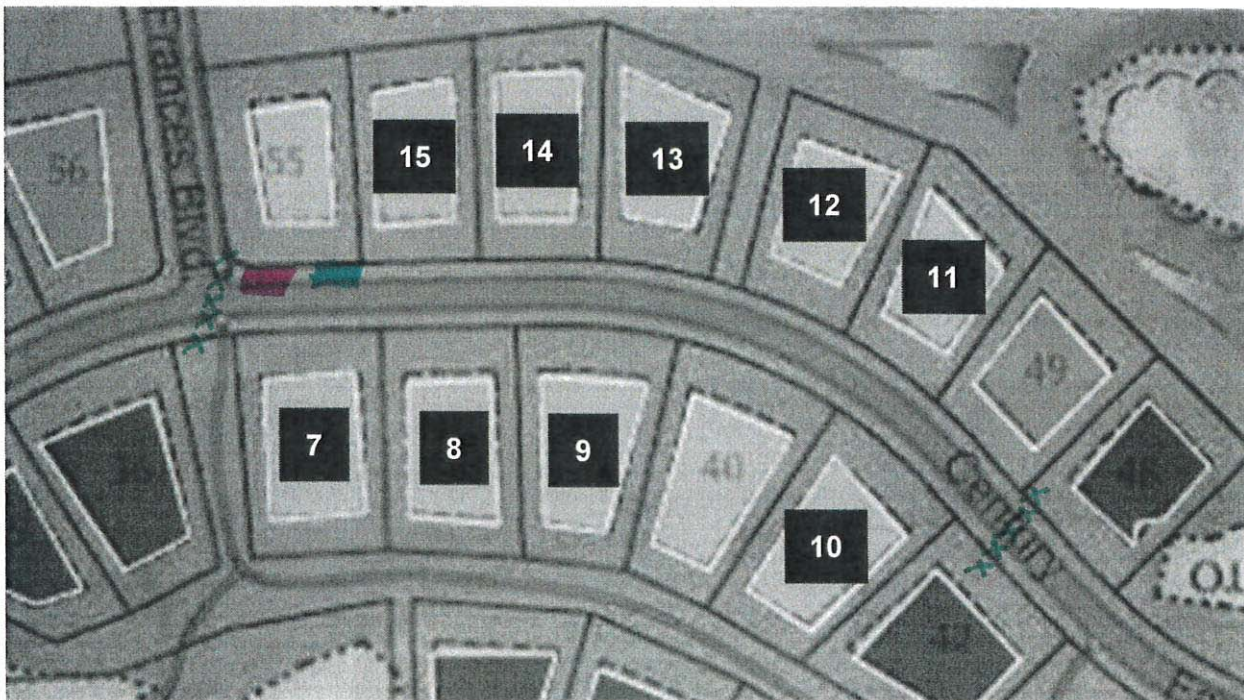
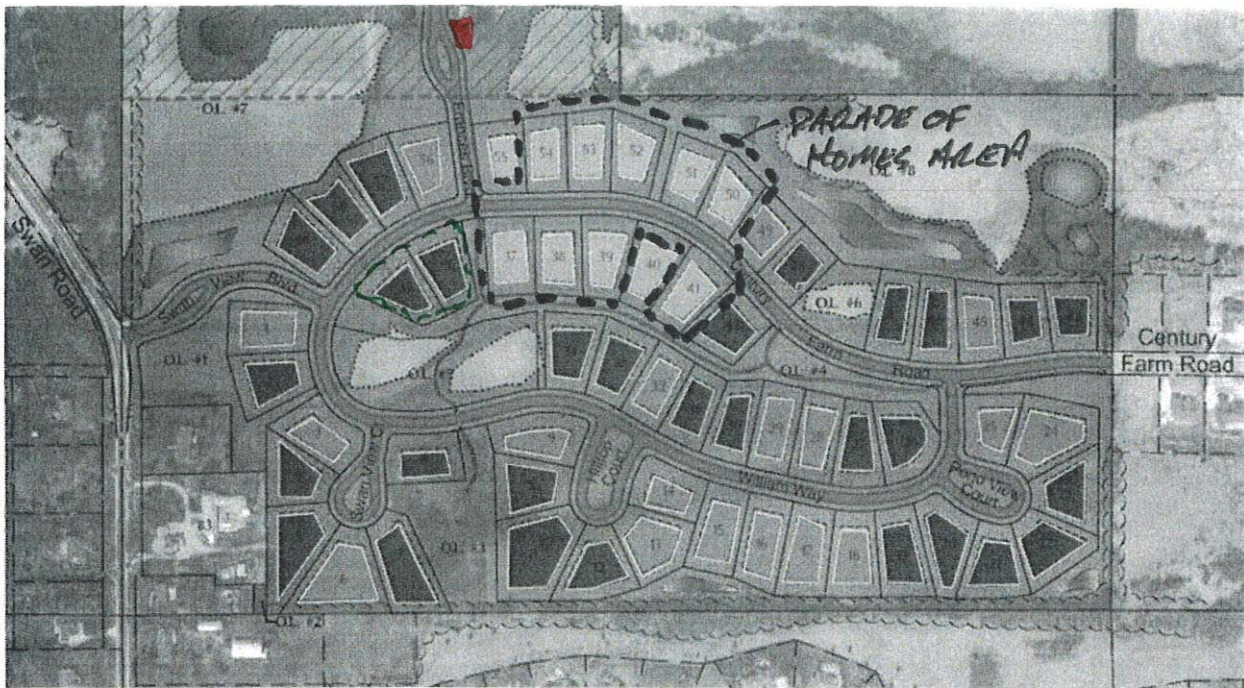
### ***Signage***

- Temporary No Parking Signs may be necessary within the subdivision and/or on roadways leading into the site. These areas will be indicated on the attached map if applicable with red X's.
- Request to allow the MBA to install directional signage to the Parade entrance and exit and also to indicate areas where Parade entrance is not allowed during the 3.5 weeks of the event.
- Request to allow large (4'x8') directional signage along major highway access points near subdivision. Permission from property owners and municipality will be secured where required.
- Request to allow Parade event signage within the footprint of the Parade area that may include hours of operation, Rules of the Parade, and sponsor signage (not an exhaustive list).
- Request to allow small (2'x3') temporary directional signage to be placed along the major routes to the Parade site.



**Swan View Farms, City of Pewaukee - Westridge Builders, Inc.**

7. Bielinski Homes – Lot 37
8. Demlang Builders – Lot 38
9. Espire Homes, Inc. (1) – Lot 39
10. Steeple Pointe – Lot 41
11. Westridge Builders, Inc. – Lot 50
12. Victory Homes of Wisconsin, Inc. – Lot 51
13. Aspen Homes, Inc. – Lot 52
14. Espire Homes, Inc. (2) – Lot 53
15. Anderson Homes, LLC – Lot 54



**Swan View Farms, City of Pewaukee - Westridge Builders, Inc.**

- 7. Bielinski Homes – Lot 37
- 8. Demlang Builders – Lot 38
- 9. Espire Homes, Inc. (1) – Lot 39
- 10. Steeple Pointe – Lot 41
- 11. Westridge Builders, Inc. – Lot 50
- 12. Victory Homes of Wisconsin, Inc. – Lot 51
- 13. Aspen Homes, Inc. – Lot 52
- 14. Espire Homes, Inc. (2) – Lot 53
- 15. Anderson Homes, LLC – Lot 54

 - TICKET TRAILER

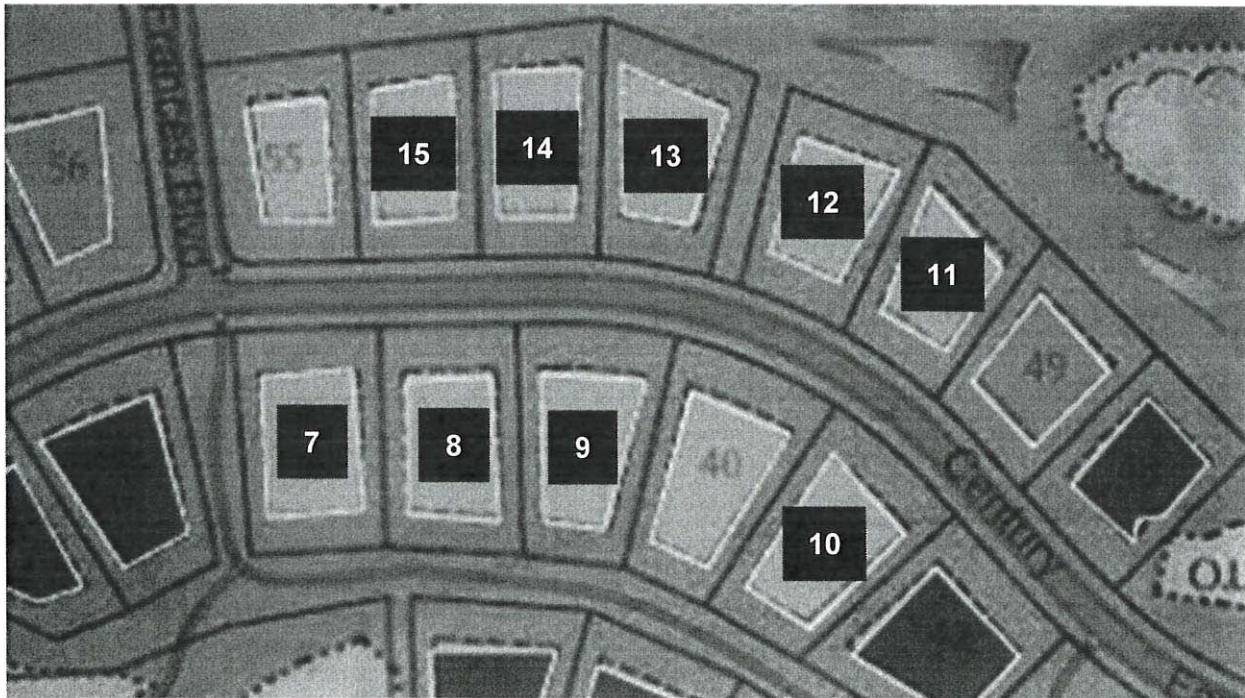
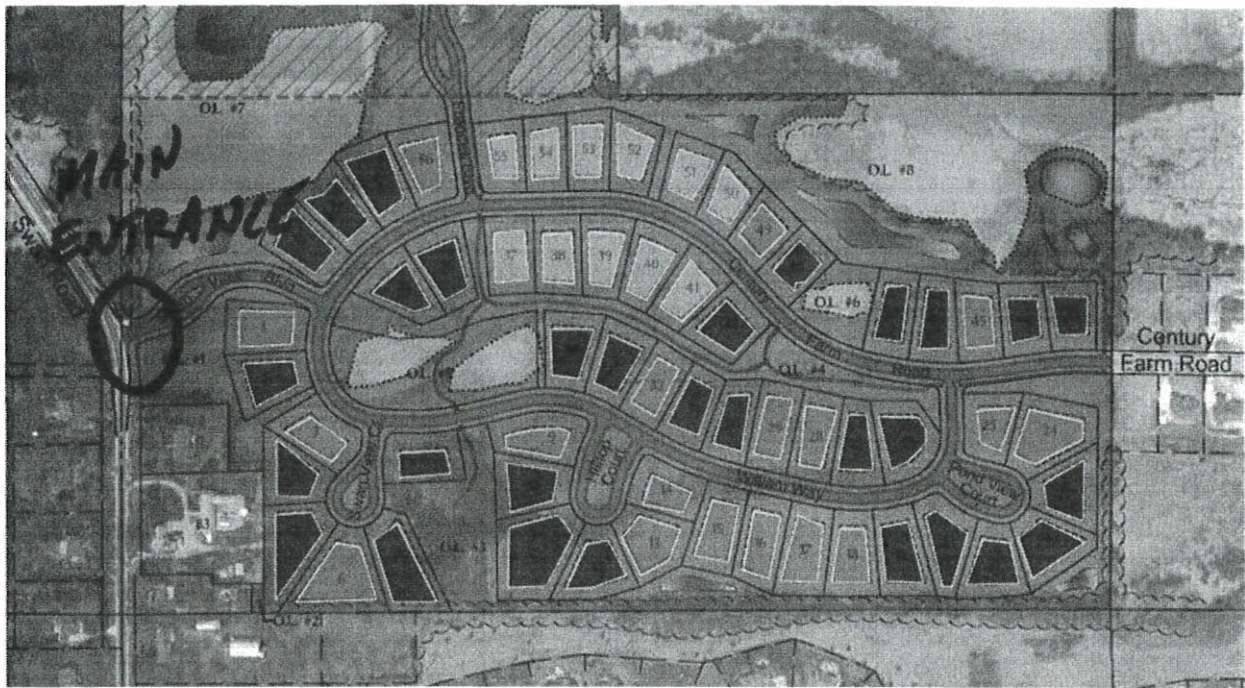
 - PORTABLE TOILETS

 - DUMPSTER

 - PARKING (TEMPORARY)

 - PARADE AREA

 - BARRICADE



**Swan View Farms, City of Pewaukee - Westridge Builders, Inc.**

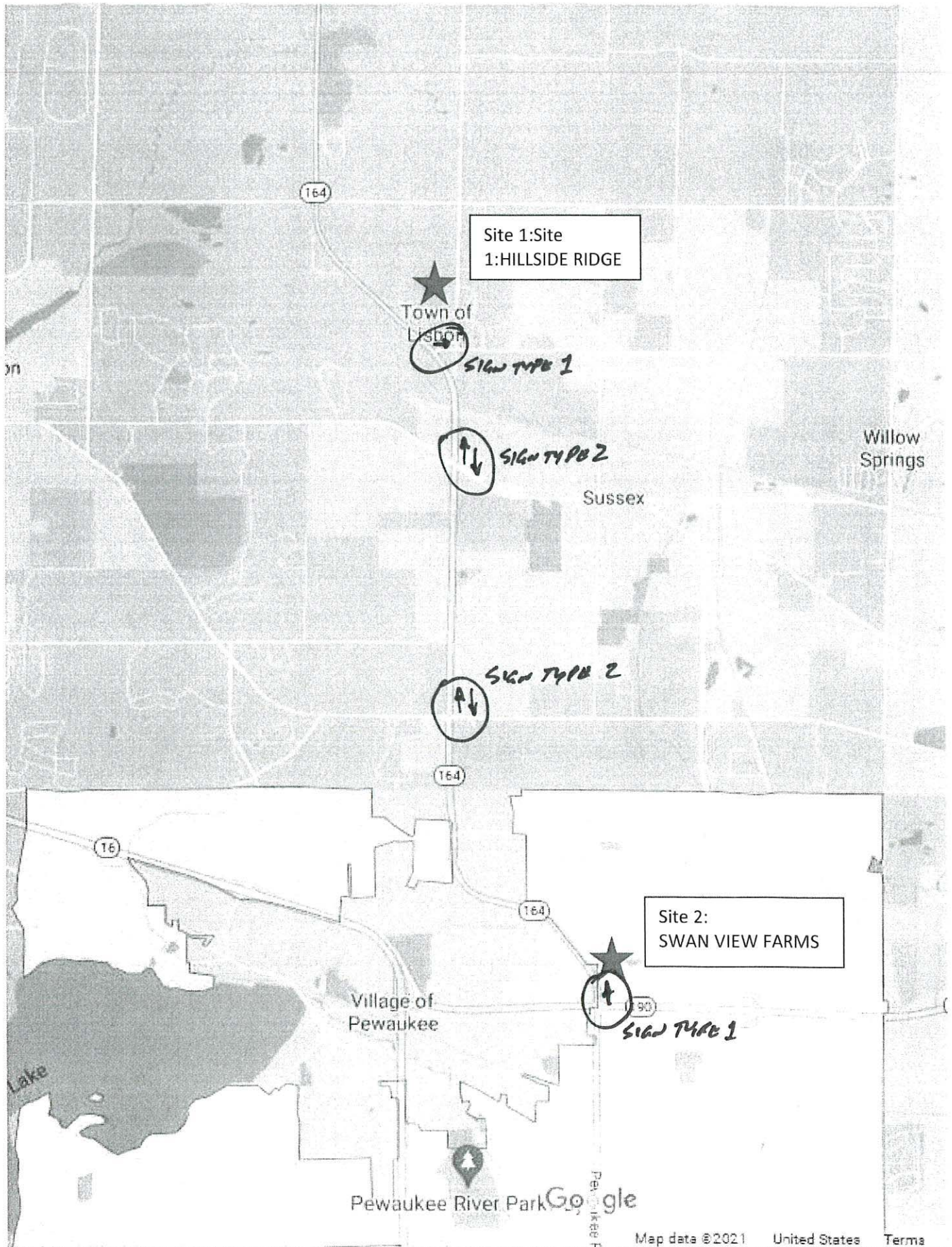
- 7. Bielinski Homes – Lot 37
- 8. Demlang Builders – Lot 38
- 9. Espire Homes, Inc. (1) – Lot 39
- 10. Steeple Pointe – Lot 41
- 11. Westridge Builders, Inc. – Lot 50
- 12. Victory Homes of Wisconsin, Inc. – Lot 51
- 13. Aspen Homes, Inc. – Lot 52
- 14. Espire Homes, Inc. (2) – Lot 53
- 15. Anderson Homes, LLC – Lot 54

*1-2 FEATHER FLAGS  
AND "WELCOME TO  
PARADE OF HOMES"  
SIGNAGE AT ENTRANCE  
TO SUBDIVISION*

SWAN VIEW FARMS – CITY OF PEWAUKEE - WESTRIDGE



2021 Metropolitan Builders Association PARADE OF HOMES

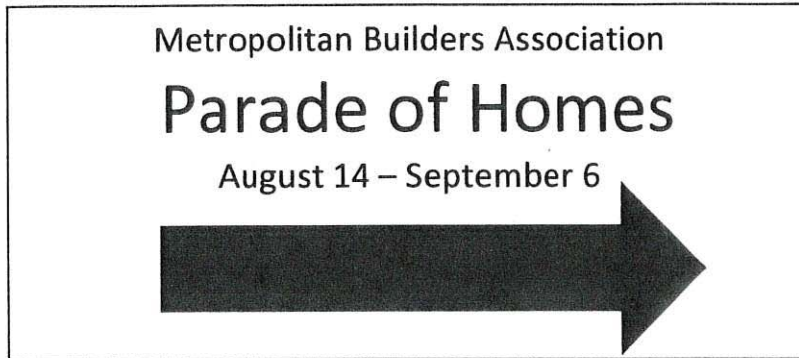


## **2021 Parade of Homes – Directional Sign Types**

(Images depict sign intent – final graphics still to be designed)

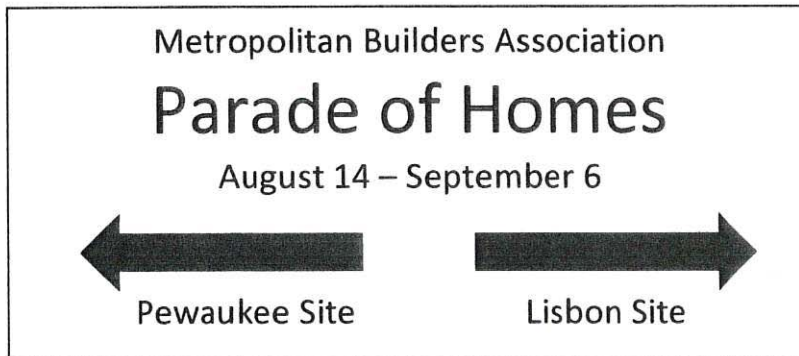
### **Sign Type 1**

8'x4' – Two Sided (mirror image)



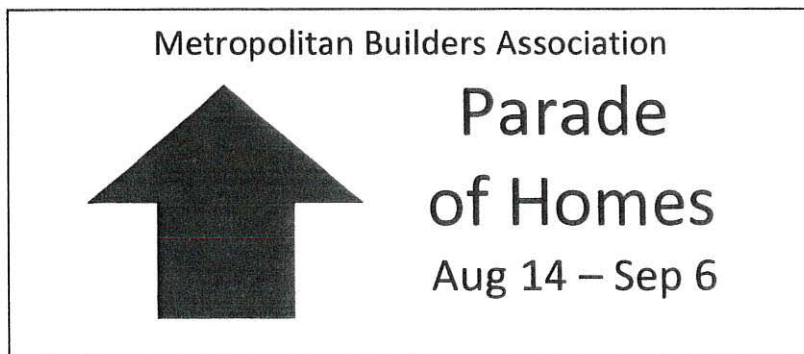
### **Sign Type 2**

8'x4' – Two Sided (mirror image)



### **Sign Type 3**

8'x4' – One Sided



## Tarczewski, Kelly

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**From:** Grandinetti, Tia  
**Sent:** Friday, May 28, 2021 10:59 AM  
**To:** Bierce, Kevin; Fuchs, Nick; Klein, Scott; Lt Marc Moonen; Phalin, Nick; Tarczewski, Kelly; Wagner, Magdelene  
**Cc:** Hoppe, Mark; Rohde, Pete  
**Subject:** Special Event Permit-Metropolitan Builders Association  
**Attachments:** Special Event MBA.pdf

Attached is the special event permit for the Metropolitan Builders Association Parade of Homes that will take place August 13, 2021- September 6, 2021 in the Swan View Farms Subdivision. The hours will be 11:00 a.m. - 5:00 p.m. on Saturdays, Sundays, and Labor Day, 4:00 p.m. – 8:00 p.m. on weekdays. They will not be erecting any tents and will not need any inspections. This special event permit will be going on the Agenda for the June 7, 2021 Common Council meeting for a reduction in fees. Please review the application and let me know if you have any questions or concerns.

Chief Bierce and Lt. Moonen please sign off on the permit the next time you're in the office.

*Tia Grandinetti*

Administrative Assistant  
City of Pewaukee  
W240N3065 Pewaukee Rd.  
Pewaukee, WI 53072  
(262) 691-0770  
[grandinetti@pewaukee.wi.us](mailto:grandinetti@pewaukee.wi.us)  
[www.cityofpewaukee.us](http://www.cityofpewaukee.us)

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**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 8.**

**DATE:** June 7, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:**

***SUBJECT:***

Discussion and Possible Action Regarding Applications for Outdoor Activity on Premises Where Alcoholic Beverages are Consumed [Fuchs]

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

5 O'clock Club Application

5 O'clock Club Request

Boomers Application

Boomers Request

Curly's Waterfront Application

Curly's Waterfront Request

Gina's Sports Dock Application

Gina's Sports Dock Request

The Station Application

The Station Request

Sunset Grill Application

Sunset Grill Request

Waukesha Gun Club Application

Waukesha Gun Club Request

Wonderland Tap Application

Wonderland Tap Request

# 2021 APPLICATION FOR OUTDOOR ACTIVITY ON PREMISES WHERE ALCOHOLIC BEVERAGES ARE CONSUMED

**FILING DEADLINE IS MAY 8<sup>th</sup>, 2020** 2021

ANNUAL FEE: \$30

The 50'Clock Club of Pewaukee LTD  
Name of Business PWL 0930052010

Residential  
not conforming  
Property Zoned

128 W 26658 Peterson Dr.  
Address of Business

Pewaukee 53072  
City Zip

Richard Knutson  
Contact Person / Agent for the Business

(262) 691-9760  
Phone Number

Knutson Bros Partnership  
Owner of the Property

( ) NA  
Owner's Phone Number

SERVING

## LIST NORMAL BUSINESS HOURS OF OPERATION

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<u>Closed</u>	<u>Closed</u>	<u>11:30 AM</u> <u>10:00 PM</u>	<u>11:30 AM</u> <u>10:00 PM</u>	<u>11:30 AM</u> <u>10:00 PM</u>	<u>11:30 AM</u> <u>10:00 PM</u>	<u>11:30 AM</u> <u>10:00 PM</u>

List Proposed Start to Finish Times on Each of the Days

(Please mark "N/A" if not applicable)

## SPORTS RELATED OUTDOOR ACTIVITIES

### VOLLEYBALL

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### HORSESHOES

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### BAGS

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### CLAY TARGET SHOOTING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### OTHER

(please list in space below)

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

# ENTERTAINMENT RELATED OUTDOOR ACTIVITIES

*outdoor*

## DINING / DRINKING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<del>Closed</del>	<del>Closed</del>	11:30 AM 10:00 PM	11:30 AM 10:00 PM	11:30 AM 10:00 PM	11:30 AM 10:00 PM	11:30 AM 10:00 PM

## TYPE OF AREA

<input checked="" type="checkbox"/> DECK	<input checked="" type="checkbox"/> PATIO	<input checked="" type="checkbox"/> GARDEN	<input checked="" type="checkbox"/> DESIGNATED SMOKING AREA	<input type="checkbox"/> OTHER
Square Footage of Area 33x16 32x12	Square Footage of Area 32x30	Square Footage of Area ?	Square Footage of Area LOWER OUTDOOR Patio	Square Footage of Area
Seating Capacity 42 people	Seating Capacity 24 people	Seating Capacity NA walk Thru	Seating Capacity same as "Patio"	Seating Capacity

## TYPE OF MUSIC

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<del>Closed</del>	<del>Closed</del>	same as Dining/Drinking Hours above				
<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified

**Sound:** Please list how many speakers you will have and on your site plan indicate where they will be located and where the sound is directed.

*SEE attached*

**Lighting:** Please list what types of lights you have, how many, what the wattage is and indicate where they will be located on your site plan.

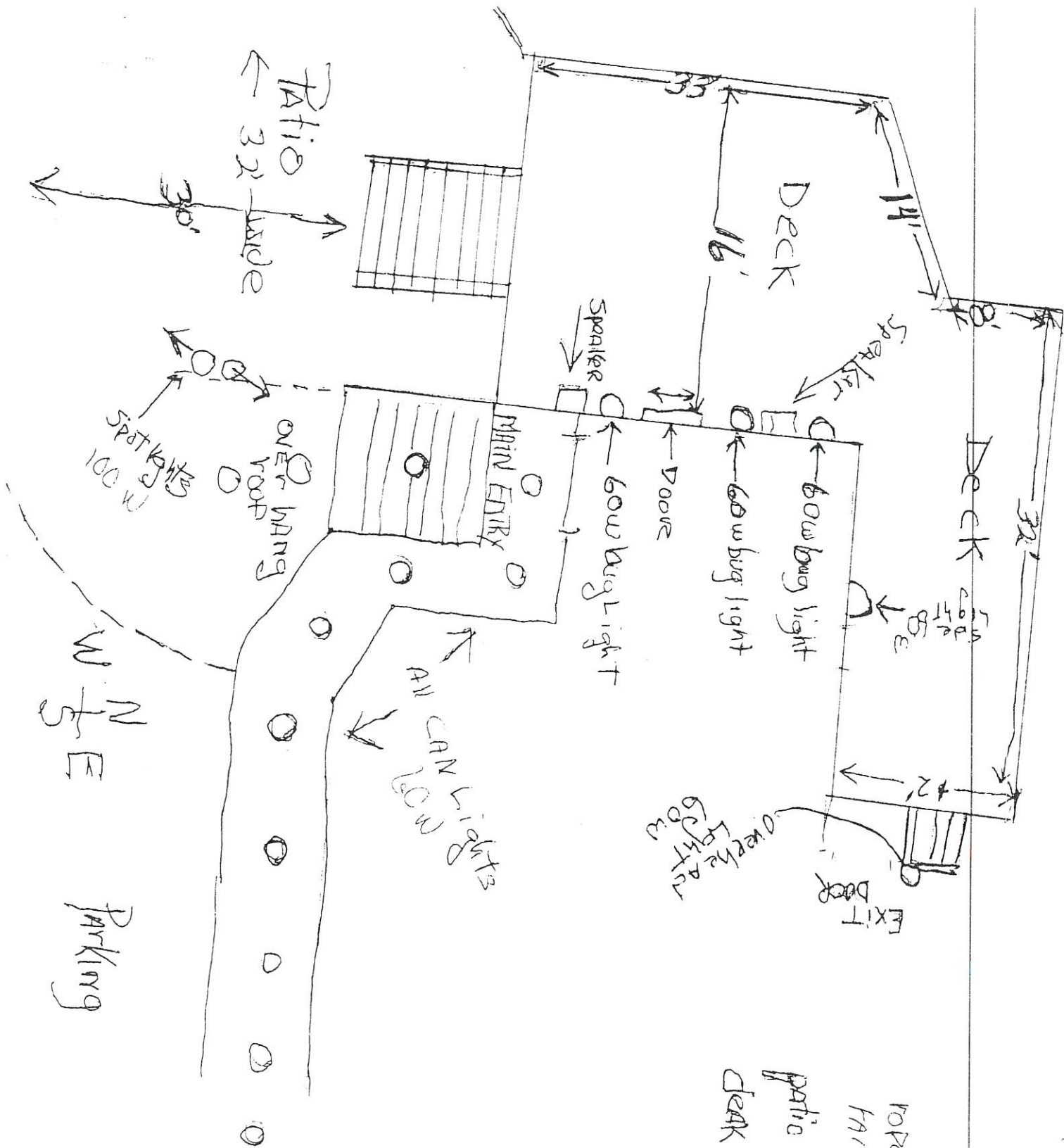
*SEE attached*

**The following items MUST accompany this application:**

- ☒ **SITE PLAN** to scale, showing buildings on the premises, outdoor facilities and distance to buildings on adjoining properties.
- ☒ **SCALED DRAWING OR MAP** showing the location of all speakers or other means of providing music, television and/or sporting activities.
- ☐ **BUILDING PLAN OF OPERATION**

If you have any questions about this process, please contact the Community Development Director Nick Fuchs, during his regular office hours of Monday through Friday 8:00 a.m. to 4:30 p.m. at (262) 691-0770.





rope lights along all  
railings on deck  
Patio seating for 24 people  
deck 11 11 42 p



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**OUTDOOR ENTERTAINMENT PERMIT**  
**VALID FROM JULY 1, 2021 THROUGH JUNE 30, 2022**

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**THE 5 O'CLOCK CLUB**  
**N28 W26658 PETERSON DRIVE**  
**PEWAUKEE, WI 53072**

In accordance with City of Pewaukee Ordinance Section 11.02 an outdoor entertainment permit has been issued for the following activities:

<b>DINING / DRINKING</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A	N/A	11:30 a.m. – 10:00 p.m.	11:30 a.m. – 10:00 p.m.	11:30 a.m. – 10:00 p.m.	11:30 a.m. – 10:00 p.m.	11:30 a.m. – 10:00 p.m.

<b>MUSIC</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A	N/A	11:30 a.m. – 10:00 p.m.	11:30 a.m. – 10:00 p.m.	11:30 a.m. – 10:00 p.m.	11:30 a.m. – 10:00 p.m.	11:30 a.m. – 10:00 p.m.

Given under my hand and the corporate seal of the City of Pewaukee, County of Waukesha, State of Wisconsin, this \_\_\_\_ day of June, 2021.

\_\_\_\_\_  
Kelly Tarczewski – Clerk/Treasurer

**\*NO CHANGES\***

# 2021 APPLICATION FOR OUTDOOR ACTIVITY ON PREMISES WHERE ALCOHOLIC BEVERAGES ARE CONSUMED

**FILING DEADLINE IS MAY 8<sup>th</sup>, 2020**

**ANNUAL FEE: \$30**

Boomers Sports Pub + Grill  
Name of Business

B-6  
Property Zoned

N29 W24483 Hwy M  
Address of Business

Pewaukee WI  
City

53072  
Zip

Tyler Paspera  
Contact Person / Agent for the Business

(262) 391-6000  
Phone Number

Tyler Paspera  
Owner of the Property

(262) 391-6000  
Owner's Phone Number

**RECEIVED**  
MAY 04 2021

CITY OF PEWAUKEE  
CLERK'S OFFICE

## LIST NORMAL BUSINESS HOURS OF OPERATION

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am-2pm	11am-2Am	11am-2Am	11am-2am	11am-2Am	11am-2:30am	11am-2:30am

**List Proposed Start to Finish Times on Each of the Days**

(Please mark "N/A" if not applicable)

## SPORTS RELATED OUTDOOR ACTIVITIES

### VOLLEYBALL

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am-9pm	11am-10pm	11am-10pm	11am-10pm	11am-10pm	11am-10pm	11am-9pm

### HORSESHOES

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### BAGS

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### CLAY TARGET SHOOTING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### OTHER

(please list in space below)

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

## ENTERTAINMENT RELATED OUTDOOR ACTIVITIES

DINING / DRINKING						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am - 9pm	11am - 10pm	11am - 10pm	11am - 10pm	11am - 10pm	11am - 10pm	11am - 10pm

TYPE OF AREA				
<input checked="" type="checkbox"/> DECK	<input type="checkbox"/> PATIO	<input type="checkbox"/> GARDEN	<input type="checkbox"/> DESIGNATED SMOKING AREA	<input type="checkbox"/> OTHER
Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area
Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity

TYPE OF MUSIC						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am - 8pm	11am - 10pm	11am - 10pm	11am - 10pm	11am - 10pm	11am - 11pm	11am - 11pm
<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified

**Sound:** Please list how many speakers you will have and on your site plan indicate where they will be located and where the sound is directed.

Just one SBL speaker

**Lighting:** Please list what types of lights you have, how many, what the wattage is and indicate where they will be located on your site plan.

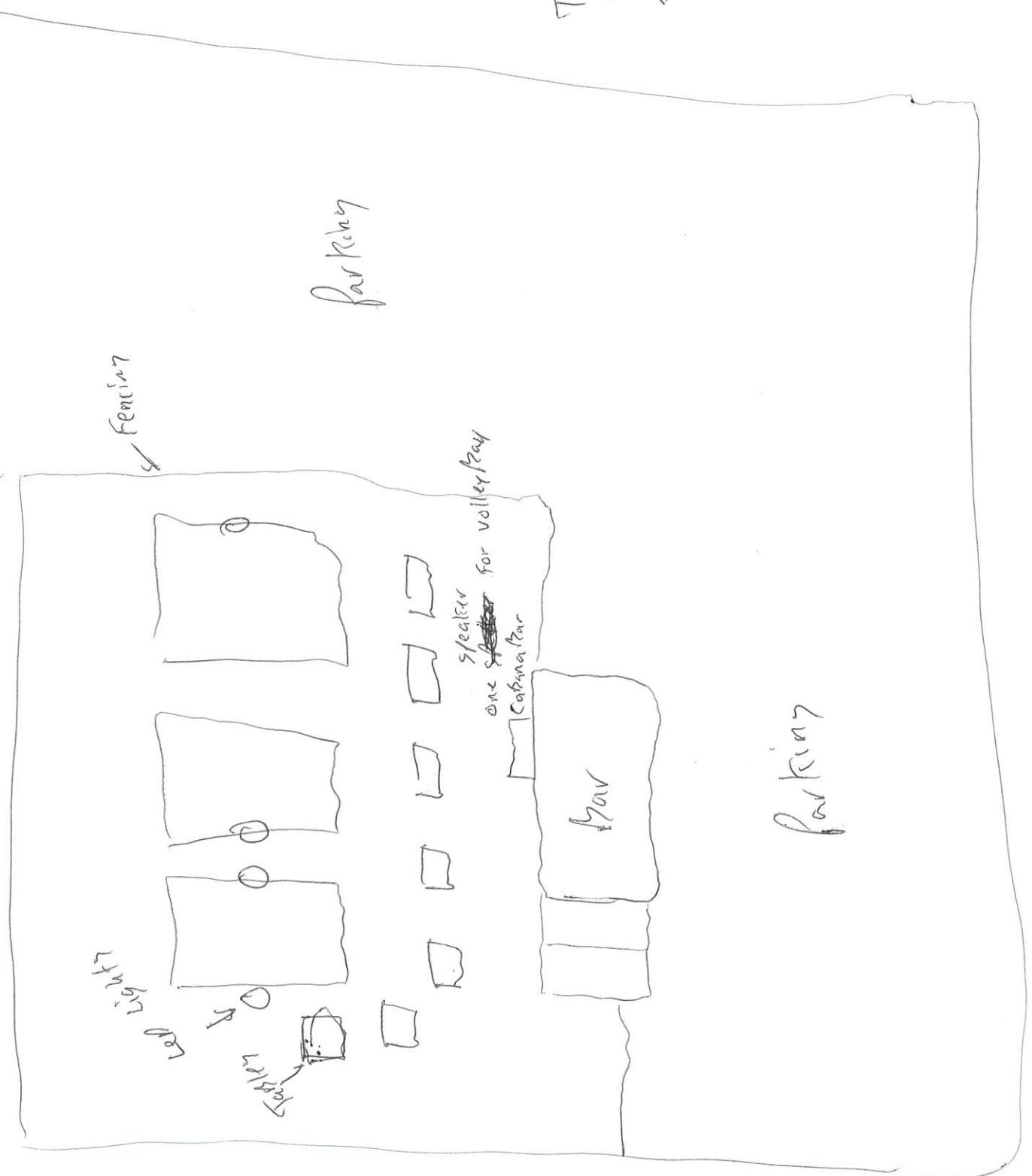
4 LED Volleyball lights

The following items **MUST** accompany this application:

- ☐ **SITE PLAN** to scale, showing buildings on the premises, outdoor facilities and distance to buildings on adjoining properties.
- ☐ **SCALED DRAWING OR MAP** showing the location of all speakers or other means of providing music, television and/or sporting activities.
- ☐ **BUILDING PLAN OF OPERATION** on File

If you have any questions about this process, please contact the Community Development Director Nick Fuchs, during his regular office hours of Monday through Friday 8:00 a.m. to 4:30 p.m. at (262) 691-0770.

Badminton  
 Sports  
 Pub +  
 Grill  
 129 W 24th St  
 Hwy 101  
 Newarker WI  
 53072  
 Tyler Pasdera  
 262-391-6000  
 TPasdera@gmail.com





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## OUTDOOR ENTERTAINMENT PERMIT

### VALID FROM JULY 1, 2021 THROUGH JUNE 30, 2022

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#### BOOMERS SPORTS BAR & GRILL N29 W24483 WATERTOWN ROAD PEWAUKEE, WI 53072

In accordance with City of Pewaukee Ordinance Section 11.02 an outdoor entertainment permit has been issued for the following activities:

VOLLEYBALL						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – 9 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10:00 p.m.	11 a.m. – 9 p.m.

DINING / DRINKING						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – 8 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.

MUSIC						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – 8 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 11 p.m.	11 a.m. – 11 p.m.

Given under my hand and the corporate seal of the City of Pewaukee, County of Waukesha, State of Wisconsin, this \_\_\_\_ day of June, 2021.

\_\_\_\_\_  
Kelly Tarczewski – Clerk/Treasurer

#### **\*NOTICE OF CHANGES FOR BOOMERS\***

Removal of Bags.

#### **VOLLEYBALL**

Friday hours were reduced to end at 10 p.m. instead of 10:30 p.m. Saturday hours were reduced to end at 9 p.m. instead of 10:30 p.m.

#### **DINING/DRINKING**

Sunday hours were increased to end at 9 p.m. instead of 8 p.m. Friday and Saturday hours were reduced to end at 10 p.m. instead of 11 p.m.

# 2021 APPLICATION FOR OUTDOOR ACTIVITY ON PREMISES WHERE ALCOHOLIC BEVERAGES ARE CONSUMED

**FILING DEADLINE IS MAY 8<sup>th</sup>, 2020**

**ANNUAL FEE: \$30**

Curlys Waterfront  
Name of Business PWC 0936022001

W272 N2696 Lakeview Blvd  
Address of Business

Ryan Gardner  
Contact Person / Agent for the Business

Kevin Kleczka  
Owner of the Property

Property Zoned \_\_\_\_\_  
Pewaukee 53072  
City Zip

(262) 691-4243  
Phone Number

(650) 799-8311  
Owner's Phone Number

**RECEIVED**  
**APR 23 2021**  
CITY OF PEWAUKEE  
CLERK'S OFFICE

## LIST NORMAL BUSINESS HOURS OF OPERATION

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am-2am	11am-2am	11am-2am	11am-2am	11am-2am	11am-2:30am	11am-2:30am

**List Proposed Start to Finish Times on Each of the Days**

*(Please mark "N/A" if not applicable)*

## SPORTS RELATED OUTDOOR ACTIVITIES

### VOLLEYBALL

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### HORSESHOES

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### BAGS

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### CLAY TARGET SHOOTING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### OTHER

*(please list in space below)*

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

## ENTERTAINMENT RELATED OUTDOOR ACTIVITIES

DINING / DRINKING						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am-10pm	11am-10pm	11am-10pm	11am-10pm	11am-10pm	11am-10pm	11am-10pm

TYPE OF AREA				
<input checked="" type="checkbox"/> DECK	<input type="checkbox"/> PATIO	<input type="checkbox"/> GARDEN	<input type="checkbox"/> DESIGNATED SMOKING AREA	<input type="checkbox"/> OTHER
Square Footage of Area 250 ft <sup>2</sup>	Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area
Seating Capacity 15	Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity

TYPE OF MUSIC						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified

**Sound:** Please list how many speakers you will have and on your site plan indicate where they will be located and where the sound is directed.

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**Lighting:** Please list what types of lights you have, how many, what the wattage is and indicate where they will be located on your site plan.

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**The following items MUST accompany this application:**

- ☐ **SITE PLAN** to scale, showing buildings on the premises, outdoor facilities and distance to buildings on adjoining properties.
- ☐ **SCALED DRAWING OR MAP** showing the location of all speakers or other means of providing music, television and/or sporting activities.
- ☐ **BUILDING PLAN OF OPERATION**

If you have any questions about this process, please contact the Community Development Director Nick Fuchs, during his regular office hours of Monday through Friday 8:00 a.m. to 4:30 p.m. at (262) 691-0770.



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**OUTDOOR ENTERTAINMENT PERMIT**  
**VALID FROM JULY 1, 2021 THROUGH JUNE 30, 2022**

---

**CURLY'S WATERFRONT**  
**W272 N2696 LAKEVIEW BLVD**  
**PEWAUKEE, WI 53072**

In accordance with City of Pewaukee Ordinance Section 11.02 an outdoor entertainment permit has been issued for the following activities:

<b>DINING / DRINKING</b>						
<b>Sunday</b>	<b>Monday</b>	<b>Tuesday</b>	<b>Wednesday</b>	<b>Thursday</b>	<b>Friday</b>	<b>Saturday</b>
11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.	11 a.m. – 10 p.m.

Given under my hand and the corporate seal of the City of Pewaukee, County of Waukesha, State of Wisconsin, this \_\_\_\_ day of June, 2021.

\_\_\_\_\_  
Kelly Tarczewski – Clerk/Treasurer

**\*NO CHANGES\***

# 2021 APPLICATION FOR OUTDOOR ACTIVITY ON PREMISES WHERE ALCOHOLIC BEVERAGES ARE CONSUMED

**RECEIVED**  
APR 29 2021

**FILING DEADLINE IS MAY 8<sup>th</sup>, 2020**

CITY OF PEWAUKEE  
ANNUAL FEE: \$30

Gina's Sports Deck  
Name of Business PWC

10278 N2345 Prospect Ave  
Address of Business

Gina M. Schuster  
Contact Person / Agent for the Business

Coleman Norris  
Owner of the Property

Business / Commercial  
Property Zoned

Pewaukee 53072  
City Zip

(262) 695-9600 work  
Phone Number 262-490-6072 cell

(+41) 79-619-4003  
Owner's Phone Number

## LIST NORMAL BUSINESS HOURS OF OPERATION

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 AM - 2 AM	11 AM - 2 AM	11 AM - 2 AM	11 AM - 2 AM	11 AM - 2 AM	11 AM - 2:30 AM	11 AM - 2:30 AM

**List Proposed Start to Finish Times on Each of the Days**

(Please mark "N/A" if not applicable)

## SPORTS RELATED OUTDOOR ACTIVITIES

### VOLLEYBALL

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

### HORSESHOES

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

### BAGS

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

### CLAY TARGET SHOOTING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

### OTHER

(please list in space below)

BINGO

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
X	5:30-7pm (very quiet)	X	X	X	X	X

## ENTERTAINMENT RELATED OUTDOOR ACTIVITIES

### DINING / DRINKING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 AM - 2 AM	11 AM - 2 AM	11 AM - 2 AM	11 AM - 2 AM	11 AM - 2 AM	11 AM - 2:30 AM	11 AM - 2:30 AM

### TYPE OF AREA

<input type="checkbox"/> DECK	<input type="checkbox"/> PATIO	<input type="checkbox"/> GARDEN	<input type="checkbox"/> DESIGNATED SMOKING AREA	Beach Bar <input checked="" type="checkbox"/> OTHER
Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area
Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity 120

### TYPE OF MUSIC

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
Live 2-6 (11-9)	2-6 Live Holidays (11-9)	(11-9)	(11-9)	(11-9)	Live 3-7 (11-9)	Live 2-6 (11-9)
<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input type="checkbox"/> Unamplified

**Sound:** Please list how many speakers you will have and on your site plan indicate where they will be located and where the sound is directed.

2 speakers on opposite ends of building facing lake. Pointed down to beach area to keep noise from going across lake. Music (recorded) goes off at sundown. Bands have amplified speakers to reduce noise.

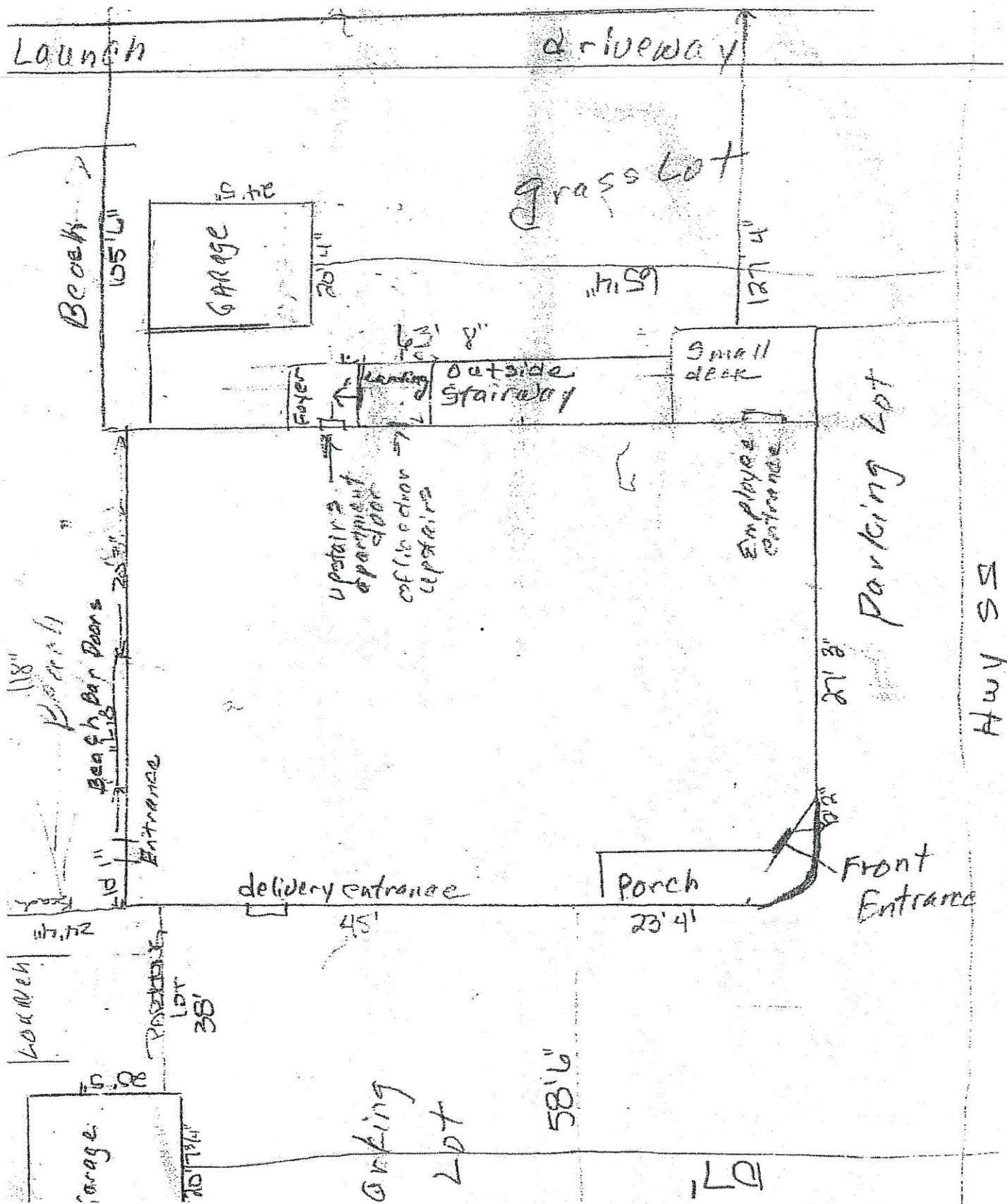
**Lighting:** Please list what types of lights you have, how many, what the wattage is and indicate where they will be located on your site plan.

4 Flood lights 2 each on South + North Points of building. 100 Wt. facing lake. Canted down on beach area.

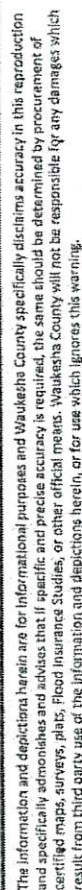
The following items **MUST** accompany this application:

- ☐ **SITE PLAN** to scale, showing buildings on the premises, outdoor facilities and distance to buildings on adjoining properties.
- ☐ **SCALED DRAWING OR MAP** showing the location of all speakers or other means of providing music, television and/or sporting activities.
- ☐ **BUILDING PLAN OF OPERATION**

If you have any questions about this process, please contact the Community Development Director Nick Fuchs, during his regular office hours of Monday through Friday 8:00 a.m. to 4:30 p.m. at (262) 691-0770.



442-220-1100  
1-800-220-1100  
442-220-1100  
1-800-220-1100



## Business Plan of Operation

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Gina's Sports Dock  
W278 N2345 Prospect Ave  
Pewaukee, WI 53072  
262-695-9600

Bob and Gina Schwister, Owners

Gina Schwister, Business Operator  
W317 N8431 Hwy 83  
Hartland, WI 53029  
Phone Number 262-695-9600 Bar 262-490-6072 cell

Description of Business Operation: Bar and grill with Beach Bar

Type of Business: Service

Hours of Operation: 11:00 am opening 7 days a week  
Closing 2:00 am Sunday through Thursday  
Closing 2:30 am Friday and Saturday

Seasonal Operation of Beach Bar

11:00 am opening 7 days a week  
Closing 10pm Sunday through Thursday \*  
Closing 11pm Friday and Saturday \*

- With any recorded music through speakers going off in time of city ordinances

Expected customers a day: 250 / 50 vehicles, at any given time (this will include boat traffic parked at our piers) this is an average of weekday traffic as well as weekend traffic.

Parking spaces: over 80

No overnight parking or outside storage

Public sewer and private well

Solid waste removal: GFL

No Flammable Substances

Building/Grounds Maintenance: Staff/TS Cleanup, LLC

Method of Security: Hired Staff

During hours of operation Gina's Sports Dock will serve food and drink to customers, offering recorded music and occasional live music at the main bar inside the building.

During hours of operation for the seasonal Beach Bar, Gina's Sports Dock will serve food and drinks to customers with recorded music through 2 speakers with an occasional band or acoustic musician or duo.

We offer plenty of parking for our customers as well as our entire staff without having to go off premise for parking.

Throughout the busy summer season as well as many weekends throughout the year we offer parking lot attendants for our customers to assure there are no parking issues and to make sure we utilize our property to the best we can.

All liquor and beer are stored at the main bar and beach bar for serving, with stock rooms in basement for back stock of both liquor and beer.

Property Owner:  
H. Coleman Norris  
Postfach 10  
Chalet am Renn  
Wargistalstrasse 68  
3818 Grindelwald Switzerland

Lease Holder:  
Gina and Robert Schwister  
GNB Enterprises, Inc.  
DBA Gina's Sports Dock  
W317 N8431 Hwy 83  
Hartland, WI 53029




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## OUTDOOR ENTERTAINMENT PERMIT

### VALID FROM JULY 1, 2021 THROUGH JUNE 30, 2022

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### GINA'S SPORTS DOCK W278 N2345 PROSPECT AVENUE PEWAUKEE, WI 53072

In accordance with City of Pewaukee Ordinance Section 11.02 an outdoor entertainment permit has been issued for the following activities:

<b>DINING / DRINKING / BEACH BAR</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – 2 a.m.	11 a.m. – 2 a.m.	11 a.m. – 2 a.m.	11 a.m. – 2 a.m.	11 a.m. – 2 a.m.	11 a.m. – 2:30 a.m.	11 a.m. – 2:30 a.m.

<b>MUSIC</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
Live Music 2 p.m. – 6 p.m. Recorded Amplified Music 11 a.m. – 9 p.m.	Live Music Only on Holidays 2 p.m. – 6 p.m. Recorded Amplified Music 11 a.m. – 9 p.m.	Recorded Amplified Music 11 a.m. – 9 p.m.	Recorded Amplified Music 11 a.m. – 9 p.m.	Recorded Amplified Music 11 a.m. – 9 p.m.	<b>Live Music</b> <b>3 p.m. –</b> <b>7 p.m.</b> Recorded Amplified Music 11 a.m. – 9 p.m.	Live Music 2 p.m. – 6 p.m. Recorded Amplified Music 11 a.m. – 9 p.m.

<b>BINGO</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
	<b>5:30 p.m. –</b> <b>7 p.m.</b>					

Given under my hand and the corporate seal of the City of Pewaukee, County of Waukesha, State of Wisconsin, this \_\_\_\_ day of June, 2021.

\_\_\_\_\_  
Kelly Tarczewski – Clerk/Treasurer



**\*NOTICE OF CHANGE FOR GINA'S SPORTS DOCK\***

Addition of Bingo.

**MUSIC:**

Addition of Live Music on Fridays from 3 p.m. to 7 p.m.

DRAFT

**2021 APPLICATION FOR OUTDOOR ACTIVITY  
ON PREMISES WHERE ALCOHOLIC BEVERAGES ARE CONSUMED**

**RECEIVED**  
APR 28 2021  
CLERK'S OFFICE

**FILING DEADLINE IS MONDAY, MAY 3<sup>rd</sup>, 2021**

**ANNUAL FEE: \$30**  
PEWAUKEE  
CLERK'S OFFICE

The Station Pub & Grill  
Name of Business PWC 0914981 801

W226 N3013 Duplainville Road  
Address of Business

Danielle Zinda  
Contact Person / Agent for the Business

Gregory Zinda  
Owner of the Property

Commercial  
Property Zoned

Pewaukee 53072  
City Zip

(262) 695-5300  
Phone Number

(262) 542-9710  
Owner's Phone Number

**LIST NORMAL BUSINESS HOURS OF OPERATION**

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am - 8pm	11am - 12am	11am - 12am	11am - 12am	11am - 12am	11am - 2:30am	11am - 2:30am

**List Proposed Start to Finish Times on Each of the Days**

(Please mark "N/A" if not applicable)

**SPORTS RELATED OUTDOOR ACTIVITIES**

**VOLLEYBALL**

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

**HORSESHOES**

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am - 8pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm

league on Tuesday evenings during summer, but open to patrons @ any time.

**BAGS**

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

**CLAY TARGET SHOOTING**

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

**OTHER**

(please list in space below)

Soccer Golf

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am - 8pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm

## ENTERTAINMENT RELATED OUTDOOR ACTIVITIES

DINING / DRINKING						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11am - 7pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm	11am - 9pm

TYPE OF AREA				
<input type="checkbox"/> DECK	<input checked="" type="checkbox"/> PATIO	<input type="checkbox"/> GARDEN	<input type="checkbox"/> DESIGNATED SMOKING AREA	<input type="checkbox"/> OTHER
Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area
	Approx 500ft <sup>2</sup>			
Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity
	24			

TYPE OF MUSIC						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
NONE						
<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified

**Sound:** Please list how many speakers you will have and on your site plan indicate where they will be located and where the sound is directed.

N/A

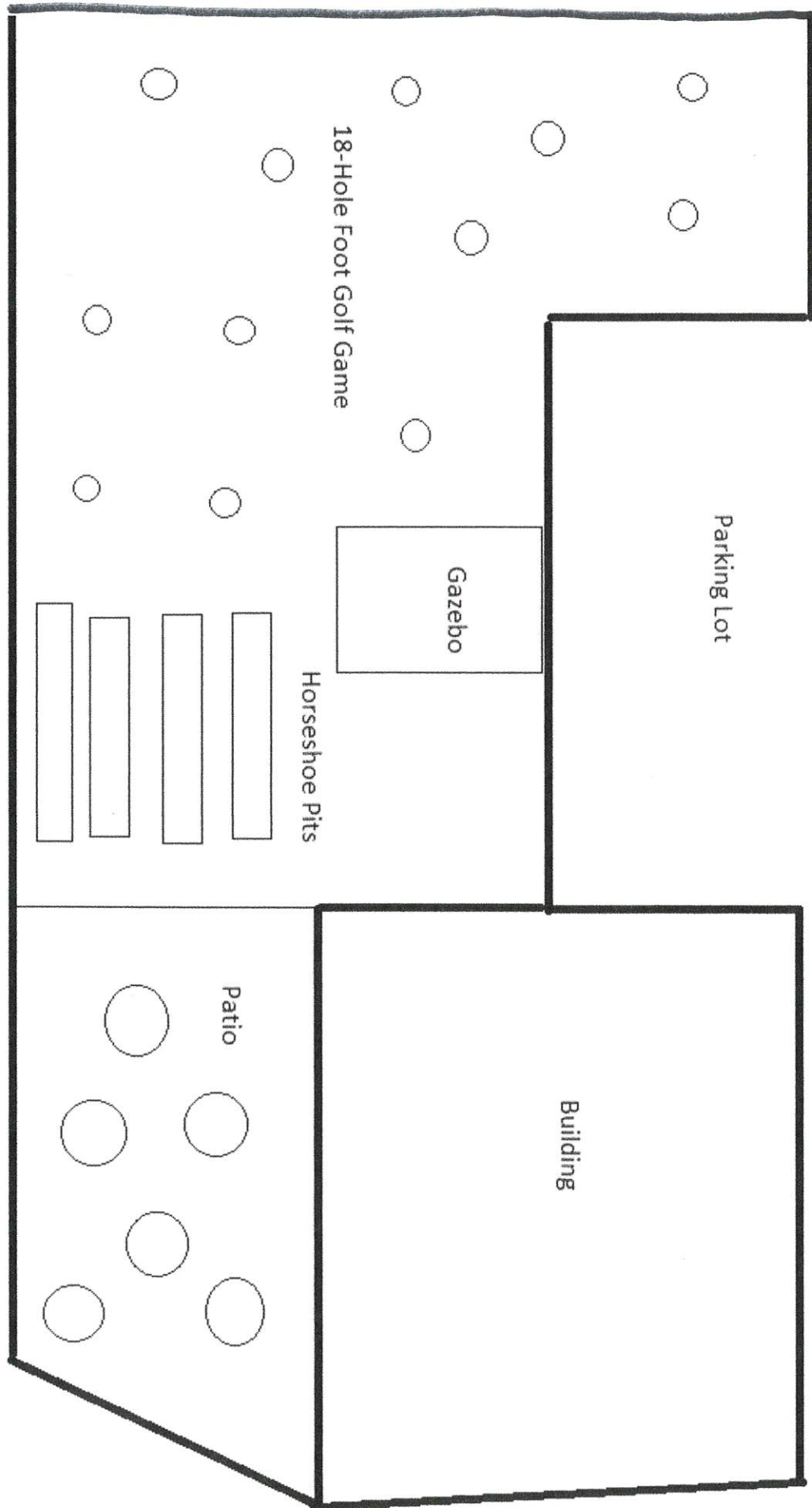
**Lighting:** Please list what types of lights you have, how many, what the wattage is and indicate where they will be located on your site plan.

N/A - Parking lot lights only

**The following items MUST accompany this application:**

- ☐ **SITE PLAN** to scale, showing buildings on the premises, outdoor facilities and distance to buildings on adjoining properties.
- ☐ **SCALED DRAWING OR MAP** showing the location of all speakers or other means of providing music, television and/or sporting activities.
- ☐ **BUILDING PLAN OF OPERATION**

If you have any questions about this process, please contact the Community Development Director Nick Fuchs, during his regular office hours of Monday through Friday 8:00 a.m. to 4:30 p.m. at (262) 691-0770.





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**OUTDOOR ENTERTAINMENT PERMIT**  
**VALID FROM JULY 1, 2021 THROUGH JUNE 30, 2022**

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**THE STATION PUB & GRILL**  
**W226 N3013 DUPLAINVILLE ROAD**  
**WAUKESHA, WI 53186**

In accordance with City of Pewaukee Ordinance Section 11.02 an outdoor entertainment permit has been issued for the following activities:

<b>SOCCER GOLF</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – 8 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.

<b>HORSESHOES</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – 8 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.

<b>DINING / DRINKING</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – <b>7 p.m.</b>	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.

Given under my hand and the corporate seal of the City of Pewaukee, County of Waukesha, State of Wisconsin, this \_\_\_\_\_ day of June, 2021.

\_\_\_\_\_  
Kelly Tarczewski – Clerk/Treasurer

**\*NOTICE OF CHANGES FOR THE STATION\***

**DINING/DRINKING**

Sunday hours were reduced to end at 7 p.m. instead of 8 p.m.

# 2021 APPLICATION FOR OUTDOOR ACTIVITY ON PREMISES WHERE ALCOHOLIC BEVERAGES ARE CONSUMED

**FILING DEADLINE IS MAY 8<sup>th</sup>, 2020**

**ANNUAL FEE: \$30**

Sunset Grill & Pizzeria  
Name of Business PWC 0935977  
W278 N2315 Prospect Ave  
Address of Business PWC 0935977  
Bennie Kook  
Contact Person / Agent for the Business  
Anne Ber LLC (Bennie Kook)  
Owner of the Property

B3  
Property Zoned  
Pewaukee  
City  
262  
Zip  
(414) 696-4578  
Phone Number  
(414) 350-1133  
Owner's Phone Number

**CITY OF PEWAUKEE  
CLERK'S OFFICE**

## LIST NORMAL BUSINESS HOURS OF OPERATION

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<u>11:00 AM</u> <u>2:00 AM</u>	<u>11:00 AM</u> <u>7:00 AM</u>	<u>11:00 AM</u> <u>2:00 AM</u>	<u>11:00 AM</u> <u>2:00 AM</u>	<u>11:00 AM</u> <u>2:00 AM</u>	<u>11:00 AM</u> <u>7:30 AM</u>	<u>11:00 AM</u> <u>2:30 AM</u>

List Proposed Start to Finish Times on Each of the Days

(Please mark "N/A" if not applicable)

## SPORTS RELATED OUTDOOR ACTIVITIES

### VOLLEYBALL

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>

### HORSESHOES

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>

### BAGS

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<u>11:00 AM</u> <u>Sunset</u>	<u>11:00 AM</u> <u>Sunset</u>	<u>11:00 AM</u> <u>Sunset</u>	<u>11:00 AM</u> <u>Sunset</u>	<u>11:00 AM</u> <u>Sunset</u>	<u>11:00 AM</u> <u>Sunset</u>	<u>11:00 AM</u> <u>Sunset</u>

### CLAY TARGET SHOOTING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>

### OTHER

(please list in space below)

BOLLE BALL

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<u>11:00</u> <u>Sunset</u>	<u>11:00</u> <u>Sunset</u>	<u>11:00</u> <u>Sunset</u>	<u>11:00</u> <u>Sunset</u>	<u>11:00</u> <u>Sunset</u>	<u>11:00</u> <u>Sunset</u>	<u>11:00</u> <u>Sunset</u>

## ENTERTAINMENT RELATED OUTDOOR ACTIVITIES

### DINING / DRINKING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
9:00 AM 2:00 AM	11:00 AM 2:00 AM	11:00 AM 2:00 AM	11:00 AM 2:00 AM	11:00 AM 2:00 AM	11:00 AM 2:30 AM	11:00 AM 2:30 AM

### TYPE OF AREA

<input checked="" type="checkbox"/> DECK	<input checked="" type="checkbox"/> PATIO	<input checked="" type="checkbox"/> GARDEN	<input checked="" type="checkbox"/> DESIGNATED SMOKING AREA	<input checked="" type="checkbox"/> OTHER
Square Footage of Area 613	Square Footage of Area 2880	Square Footage of Area 1982	Square Footage of Area 252	Square Footage of Area N/A
Seating Capacity 55	Seating Capacity 170	Seating Capacity 72	Seating Capacity -0-	Seating Capacity -0-

### TYPE OF MUSIC

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11:00 AM 9:00 PM	11:00 AM 9:00 PM	11:00 AM 9:00 PM	11:00 AM 9:00 PM	11:00 AM 9:00 PM	11:00 AM 11:00 PM	11:00 AM 11:00 PM
<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input checked="" type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input checked="" type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input checked="" type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input checked="" type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input checked="" type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input checked="" type="checkbox"/> Unamplified	<input checked="" type="checkbox"/> Recorded <input checked="" type="checkbox"/> Live <input checked="" type="checkbox"/> Amplified <input checked="" type="checkbox"/> Unamplified

**Sound:** Please list how many speakers you will have and on your site plan indicate where they will be located and where the sound is directed.

8 Speakers directed into the building surrounding the outdoor seating/dining patio and deck area.

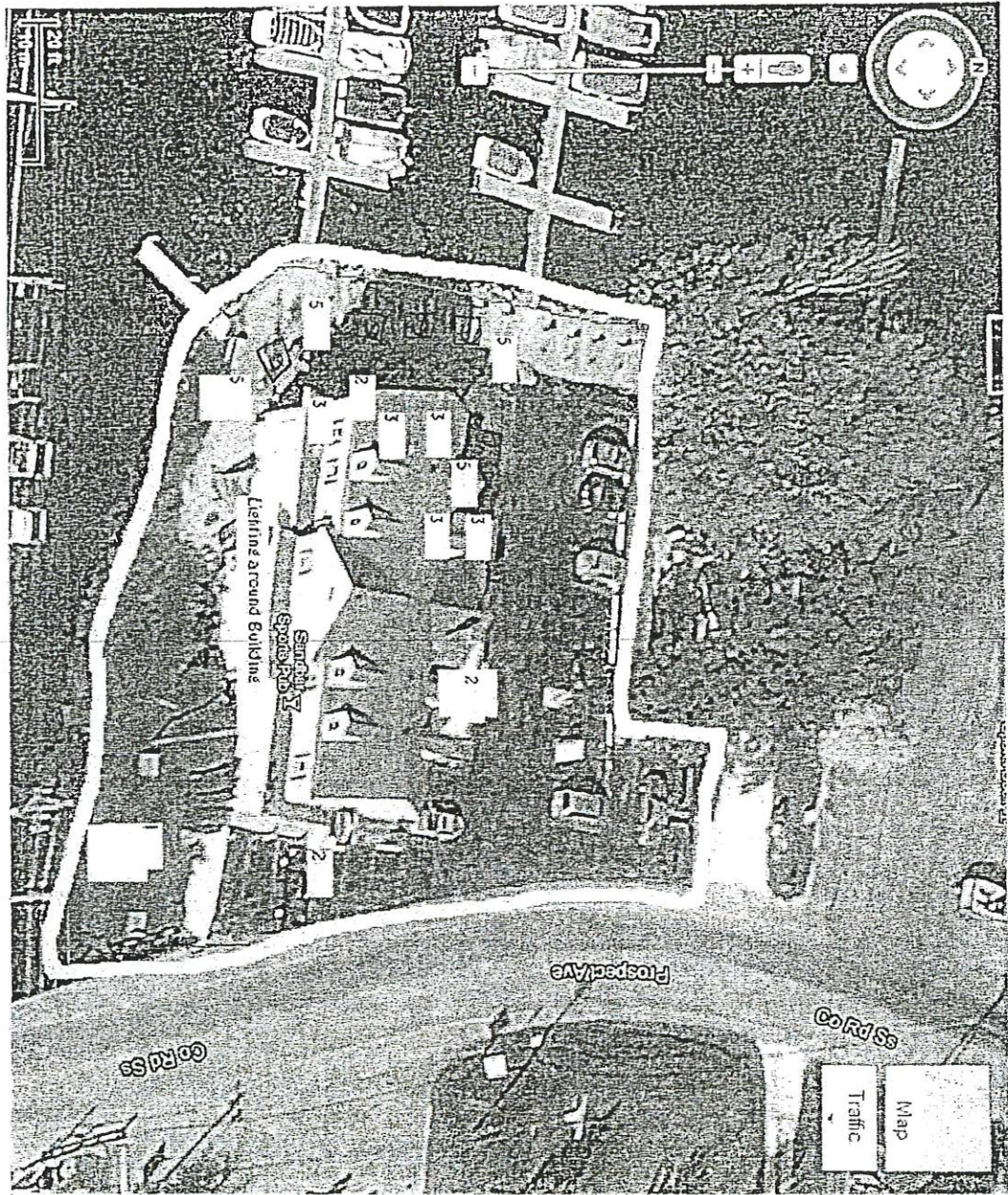
**Lighting:** Please list what types of lights you have, how many, what the wattage is and indicate where they will be located on your site plan.

2 3000 lumen LED floodlights shining on parking lot  
40 11" watt LED recessed accent lights around the building  
1 string of LED light decorating lights over the patio/deck area  
5 3000 lumen LED floodlights shining on porch

The following items **MUST** accompany this application:

- ☒ **SITE PLAN** to scale, showing buildings on the premises, outdoor facilities and distance to buildings on adjoining properties.
- ☒ **SCALED DRAWING OR MAP** showing the location of all speakers or other means of providing music, television and/or sporting activities.
- ☒ **BUILDING PLAN OF OPERATION**

If you have any questions about this process, please contact the Community Development Director Nick Fuchs, during his regular office hours of Monday through Friday 8:00 a.m. to 4:30 p.m. at (262) 691-0770.



- 1 = Horse shoe pits
- 2 = Smoking Areas
- 3 = Speakers (5 Speakers on Patio)  
Live entertainment on Patio
- 4 = Bar
- 5 = Dining (All Patio)  
Lighting wraps around building with 40-50  
water can lights and 6 spotlights on lot.

#### 6. Additional Speakers



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## OUTDOOR ENTERTAINMENT PERMIT VALID FROM JULY 1, 2021 THROUGH JUNE 30, 2022

---

### SUNSET GRILL W278 N2315 PROSPECT AVENUE PEWAUKEE, WI 53072

In accordance with City of Pewaukee Ordinance Section 11.02 an outdoor entertainment permit has been issued for the following activities:

BAGS						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset

BOCCE BALL						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset	11 a.m. – Sunset

DINING / DRINKING						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – 2 a.m.	11 a.m. – 2 a.m.	11 a.m. – 2 a.m.	11 a.m. – 2 a.m.	11 a.m. – 2 a.m.	11 a.m. – 2:30 a.m.	11 a.m. – 2:30 a.m.

MUSIC						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 9 p.m.	11 a.m. – 11 p.m.	11 a.m. – 11 p.m.

Given under my hand and the corporate seal of the City of Pewaukee, County of Waukesha, State of Wisconsin, this \_\_\_\_ day of June, 2021.

\_\_\_\_\_  
Kelly Tarczewski – Clerk/Treasurer

**\*NO CHANGES\***

# 2021 APPLICATION FOR OUTDOOR ACTIVITY ON PREMISES WHERE ALCOHOLIC BEVERAGES ARE CONSUMED

**FILING DEADLINE IS MONDAY, MAY 3<sup>rd</sup>, 2021**

ANNUAL FEE: \$30

Waukesha Gun Club

Name of Business

N22 W23170 Watertown Rd

Address of Business

Pat Gerbensky - Pres.

Contact Person / Agent for the Business

Waukesha Gun Club

Owner of the Property

Property Zoned

Waukesha, WI

City

53188

Zip

(262) 470-1635

Phone Number

(262) 541-9785

Owner's Phone Number

RECEIVED  
MAY 04 2021  
CITY OF PEWAUKEE  
CLERK'S OFFICE

## LIST NORMAL BUSINESS HOURS OF OPERATION

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
9am - 3pm	CLOSED	12 - 8pm	12 - 8pm	12 - 8pm	9 - 3pm	9 - 3pm

List Proposed Start to Finish Times on Each of the Days

(Please mark "N/A" if not applicable)

## SPORTS RELATED OUTDOOR ACTIVITIES

### VOLLEYBALL

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

### HORSESHOES

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

### BAGS

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

### CLAY TARGET SHOOTING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
8am - 10pm	8am - 10pm	8am - 10pm	8am - 10pm	8am - 10pm	8am - 10pm	8am - 10pm

### OTHER

(please list in space below)

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A						

## ENTERTAINMENT RELATED OUTDOOR ACTIVITIES

DINING / DRINKING						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
8 <sup>am</sup> -10pm	8am-10pm	8am-10pm	8am-10pm	8am-10pm	8am-10pm	8am-10pm
* Drinking after shooting <u>ONLY</u>						
TYPE OF AREA						
<input type="checkbox"/> DECK	<input checked="" type="checkbox"/> PATIO	<input type="checkbox"/> GARDEN	<input type="checkbox"/> DESIGNATED SMOKING AREA	<input type="checkbox"/> OTHER		
Square Footage of Area  N/A	Square Footage of Area  1600	Square Footage of Area  N/A	Square Footage of Area  N/A	Square Footage of Area  N/A		
Seating Capacity	Seating Capacity  100	Seating Capacity	Seating Capacity	Seating Capacity		

TYPE OF MUSIC						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
N/A	→					
<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified

**Sound:** Please list how many speakers you will have and on your site plan indicate where they will be located and where the sound is directed.

N/A

**Lighting:** Please list what types of lights you have, how many, what the wattage is and indicate where they will be located on your site plan.

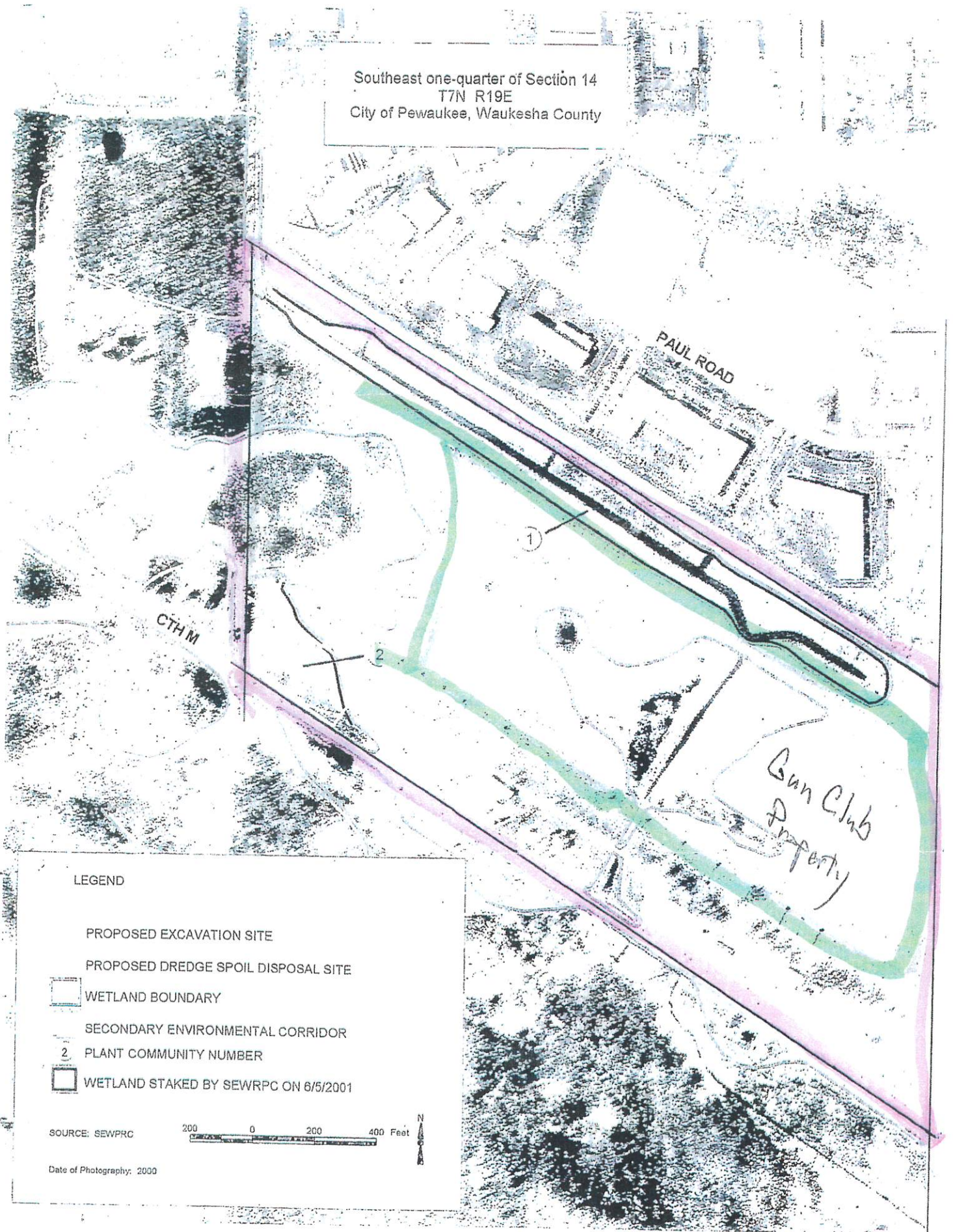
(5) Trap, Skeeet Field are lighted for  
night shooting

**The following items MUST accompany this application:**

- ☐ **SITE PLAN** to scale, showing buildings on the premises, outdoor facilities and distance to buildings on adjoining properties.
- ☐ **SCALED DRAWING OR MAP** showing the location of all speakers or other means of providing music, television and/or sporting activities.
- ☐ **BUILDING PLAN OF OPERATION**

If you have any questions about this process, please contact the Community Development Director Nick Fuchs, during his regular office hours of Monday through Friday 8:00 a.m. to 4:30 p.m. at (262) 691-0770.

Southeast one-quarter of Section 14  
T7N R19E  
City of Pewaukee, Waukesha County





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**OUTDOOR ENTERTAINMENT PERMIT**  
**VALID FROM JULY 1, 2021 THROUGH JUNE 30, 2022**

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**WAUKESHA GUN CLUB**  
**N22 W23170 WATERTOWN ROAD**  
**WAUKESHA, WI 53188**

In accordance with City of Pewaukee Ordinance Section 11.02 an outdoor entertainment permit has been issued for the following activities:

<b>CLAY TARGET SHOOTING</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.

<b>DINING / DRINKING</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.	8 a.m. – 10 p.m.

Given under my hand and the corporate seal of the City of Pewaukee, County of Waukesha, State of Wisconsin, this \_\_\_\_ day of June, 2021.

\_\_\_\_\_  
Kelly Tarczewski – Clerk/Treasurer

**\*NO CHANGES\***

# 2021 APPLICATION FOR OUTDOOR ACTIVITY ON PREMISES WHERE ALCOHOLIC BEVERAGES ARE CONSUMED

**FILING DEADLINE IS MONDAY, MAY 3<sup>rd</sup>, 2021**

**ANNUAL FEE: \$30**

WONDERLAND TAP  
Name of Business PWC 0948996  
W233 N536 Hy F  
Address of Business  
Robert BOETHEN  
Contact Person / Agent for the Business  
Robert BOETHEN  
Owner of the Property

Property Zoned  
Waukegan 53188  
City Zip  
(262) 227-6782  
Phone Number  
(262) 547-6788  
Owner's Phone Number

RECEIVED

APR 30 2021

CITY OF PEWAUKEE  
CLERK'S OFFICE

## LIST NORMAL BUSINESS HOURS OF OPERATION

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
10AM-2AM	10AM-2AM	10AM-2AM	10AM-2AM	6AM-2AM	6AM-2AM	10AM-2AM

**List Proposed Start to Finish Times on Each of the Days**

*(Please mark "N/A" if not applicable)*

## SPORTS RELATED OUTDOOR ACTIVITIES

### VOLLEYBALL

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### HORSESHOES

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
1PM-10PM						1PM-10PM

### BAGS

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### CLAY TARGET SHOOTING

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

### OTHER

*(please list in space below)*

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

## ENTERTAINMENT RELATED OUTDOOR ACTIVITIES

DINING / DRINKING						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

TYPE OF AREA				
<input type="checkbox"/> DECK	<input type="checkbox"/> PATIO	<input type="checkbox"/> GARDEN	<input type="checkbox"/> DESIGNATED SMOKING AREA	<input type="checkbox"/> OTHER
Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area	Square Footage of Area
Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity	Seating Capacity

TYPE OF MUSIC						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified	<input type="checkbox"/> Recorded <input type="checkbox"/> Live <input type="checkbox"/> Amplified <input type="checkbox"/> Unamplified

**Sound:** Please list how many speakers you will have and on your site plan indicate where they will be located and where the sound is directed.

---



---



---

**Lighting:** Please list what types of lights you have, how many, what the wattage is and indicate where they will be located on your site plan.

---



---



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**The following items MUST accompany this application:**

- ☐ **SITE PLAN** to scale, showing buildings on the premises, outdoor facilities and distance to buildings on adjoining properties.
- ☐ **SCALED DRAWING OR MAP** showing the location of all speakers or other means of providing music, television and/or sporting activities.
- ☐ **BUILDING PLAN OF OPERATION**

If you have any questions about this process, please contact the Community Development Director Nick Fuchs, during his regular office hours of Monday through Friday 8:00 a.m. to 4:30 p.m. at (262) 691-0770.



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**OUTDOOR ENTERTAINMENT PERMIT**  
**VALID FROM JULY 1, 2021 THROUGH JUNE 30, 2022**

---

**WONDERLAND TAP**  
**W233 N536 HWY F**  
**WAUKESHA, WI 53186**

In accordance with City of Pewaukee Ordinance Section 11.02 an outdoor entertainment permit has been issued for the following activities:

<b>HORSESHOES</b>						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
1 p.m. – 10 p.m.	1 p.m. – 10 p.m.	1 p.m. – 10 p.m.	1 p.m. – 10 p.m.	1 p.m. – 10 p.m.	1 p.m. – 10 p.m.	1 p.m. – 10 p.m.

Given under my hand and the corporate seal of the City of Pewaukee, County of Waukesha, State of Wisconsin, this \_\_\_\_ day of June, 2021.

\_\_\_\_\_  
Kelly Tarczewski – Clerk/Treasurer

**\*NOTICE OF CHANGE FOR WONDERLAND TAP\***

**HORSESHOES**

Hours were increased to end at 10 p.m. instead of 9 p.m.

**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 9.**

**DATE:** June 7, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:** Nick Fuchs

***SUBJECT:***

Discussion and Possible Action Regarding a Correction Instrument Releasing the Wisconsin Department of Transportation Trans 233 Restriction Requiring a 50-foot Highway Setback for Property Located at W274N1490 Riverland Drive (PWC 0940-997-002) [Fuchs]

***BACKGROUND:***

Lakewood Baptist Church is requesting that the City approve and allow the execution of a Correction Instrument to release a 50-foot Highway Setback restriction on property located at W274N1490 Riverland Drive.

The setback is a requirement of Trans 233 and appears on Certified Survey Map No. 9263. The City is being asked to sign the Correction Instrument prior to its recording with the Waukesha County Register of Deeds. The release has already been approved by the WisDOT.

The request is related to proposed site and building plan modifications, which includes a portion of a parking lot within this 50-foot setback area. These plans were approved by the Plan Commission at their May 20, 2021 meeting.

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

Motion to approve the release of the 50-foot Highway Setback restriction for property located at W274N1490 Riverland Drive.

**ATTACHMENTS:**

Description

Correction Instrument

Site Plan

## **Procedure to Release Setback**

Attached is the form to release the highway setback line on your certified survey map. The following steps are needed before the Correction Instrument can be recorded:

1. Have the Professional Land Surveyor (PLS) will need to sign the Correction Instrument and have the signature notarized.
2. The Local municipality will need to sign the Correction Instrument and have the signature notarized.
3. The Correction Instrument, the Letter of Release, and the copy of the CSM showing changes will have to be recorded at the Registers of Deeds Office.
4. The recorded copy will be sent to WisDOT and a copy will be emailed to you.

Please feel free to contact me if you have any questions.

Thank you,



Patricia Reikowski  
Wisconsin Department of Transportation  
SE Region  
Land Division Coordinator  
[patricia.reikowski@dot.wi.gov](mailto:patricia.reikowski@dot.wi.gov)  
262-548-6704

**Correction Instrument**  
**Rescission of Trans 233 Restrictions**

Wisconsin Department of Transportation  
DT 1458

Pursuant to s.236.295(1)(a), Wis. Stats., I, Patricia Reikowski, authorized Wisconsin Department of Transportation representative, certify that in the plat of:

**Legal Description:**

Being a part of the NW ¼ of the SE ¼ of Section 19, T 7 N, R 19 E, in the City of Pewaukee, Waukesha County, Wisconsin. As recorded on CSM No. 9263, recorded at the Waukesha County Register of Deeds Office on November 16, 2001.  
See exhibit B.

This correction instrument is for the purpose of modifying the above document as follows:

To rescind the Wisconsin Department of Transportation highway setback and language.

This space is reserved for recording data

Wisconsin Department of Transportation  
SE Region  
141 NW Barstow St  
PO Box 798  
Waukesha, WI 53187-0798  
Attn: Patricia Reikowski

Parcel Identification Number/Tax Key Number  
PWC0940997002

**State Approval Notary Certificate**

State of Wisconsin )

Waukesha )

County )

Subscribed and sworn to before me this date: 4/13/21

Susan M King  
(Signature, Notary Public, State of Wisconsin)

Susan M. King

(Print or Type Name, Notary Public, State of Wisconsin)

September 22, 2021

(Date Commission Expires)

**Surveyor Notary Certificate**

State of Wisconsin )

Fond du Lac )

County )

Subscribed and sworn to before me this date: 4-28-21

Colette F. Harmsen  
(Signature, Notary Public, State of Wisconsin)

Colette F. Harmsen  
(Print or Type Name, Notary Public, State of Wisconsin)

2-5-23

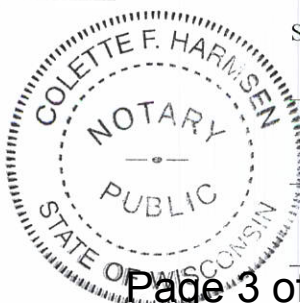
(Date Commission Expires)

Patricia A Reikowski  
(Authorized DOT Signature)

Patricia Reikowski  
(Print Name)



Ryan Wilgreen  
(Surveyor Signature)  
Ryan Wilgreen  
(Print Name)



**Approval Certification**

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Name of Local Government)

Approved for recording by the government identified above

\_\_\_\_\_  
(Authorized Local Government Signature)

\_\_\_\_\_  
(Print or Type Name)

**Local Government Notary Certificate**

State of Wisconsin )  
 ) ss.  
\_\_\_\_\_ County )

Subscribed and sworn to before me this date: \_\_\_\_\_

\_\_\_\_\_  
(Signature, Notary Public, State of Wisconsin)

\_\_\_\_\_  
(Print or Type Name, Notary Public, State of Wisconsin)

\_\_\_\_\_  
(Date Commission Expires)

WisDOT DTSD  
Southeast Regional Office  
141 NW Barstow St., Suite 218  
P.O. Box 798  
Waukesha, WI 53187-0798

Governor Tony Evers  
Secretary Craig Thompson  
[wisconsindot.gov](http://wisconsindot.gov)  
Telephone: (262) 548-5903  
FAX: (262) 548-5662  
Email: [waukesha.dtd@dot.wi.gov](mailto:waukesha.dtd@dot.wi.gov)



## EXHIBIT A

Being a part of the NW ¼ of the SE ¼ of Section 19, T 7 N, R 19 E, in the City of Pewaukee,  
Waukesha County, Wisconsin

The Department of Transportation has reviewed your request to release the setback restriction  
and language on the above referenced property.

The Department hereby releases the above-mentioned restrictions.

It is required that this release be incorporated into a correction document under ss.  
236.295 wis.stats., as an Exhibit.

  
Tony Barth, SE Region Planning Chief



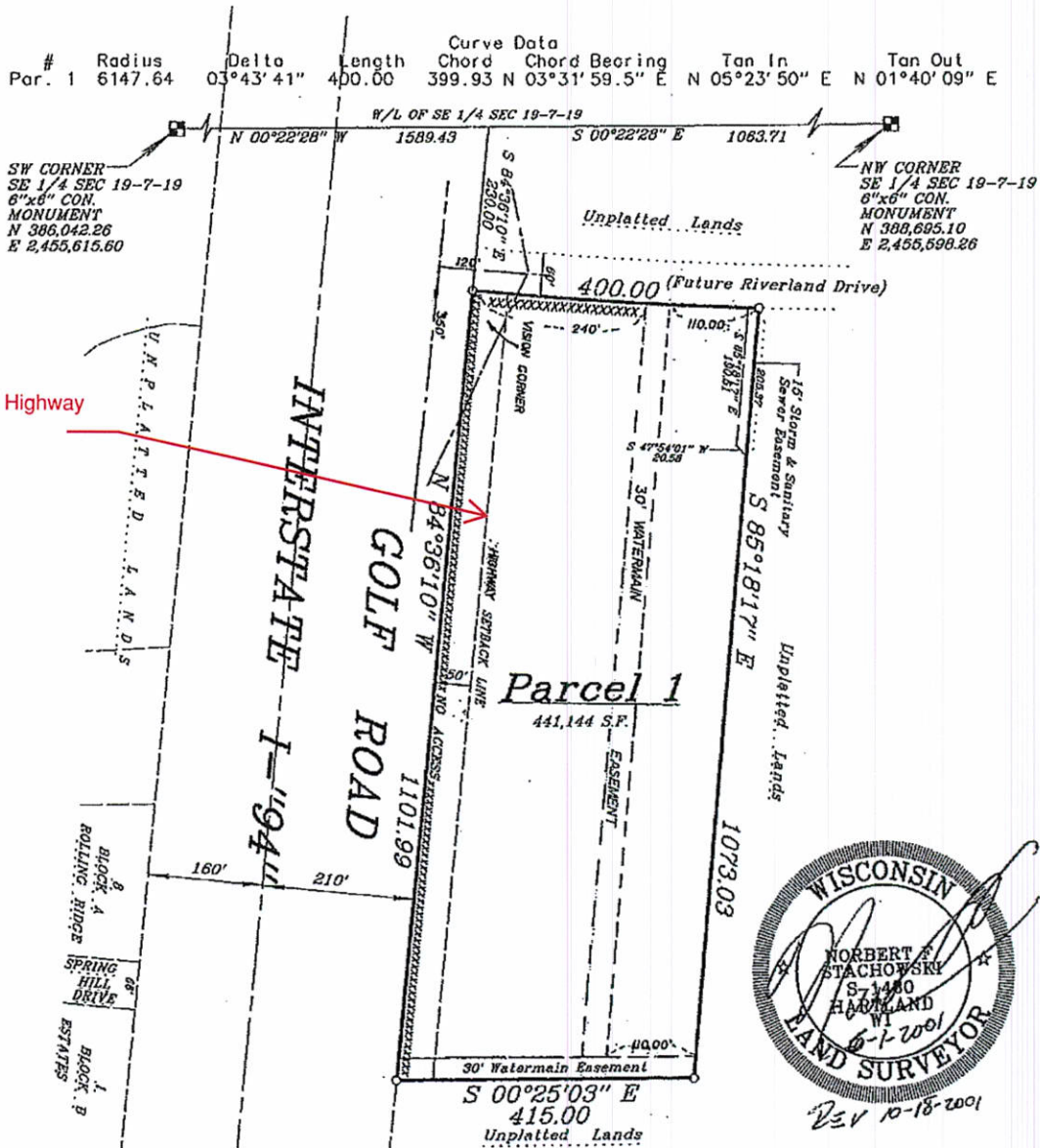
Exhibit B

2722679

PC # 010517-1

CERTIFIED SURVEY MAP NO. 9263

Being a part of the NW 1/4 of the SE 1/4 of Section 19, T 7 N, R 19 E, in the City of Pewaukee, Waukesha County, Wisconsin.



NOTE:  
○—DENOTES 1"x24" IRON PIPE 1.13 LBS.  
PER LINEAL FOOT SET AT ALL LOT  
CORNERS UNLESS NOTED OTHERWISE.

BEARINGS REFER TO THE WISCONSIN  
STATE PLANE CO-ORDINATE SYSTEM  
SOUTH ZONE.

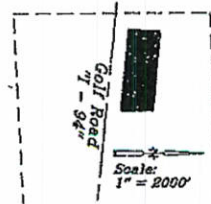
ACCESS RESTRICTION  
AS OWNER I HEREBY RESTRICT NO OWNER, POSSESSOR, USER,  
NOR LICENSEE, NOR OTHER PERSON SHALL HAVE ANY RIGHT OF  
DIRECT VEHICULAR INGRESS OR EGRESS WITH U.S. 1-94 OR  
GOLF ROAD, AS SHOWN ON THIS C.S.M.: IT BEING EXPRESSLY  
INTENDED THAT THIS RESTRICTION SHALL CONSTITUTE A  
RESTRICTION FOR THE BENEFIT OF THE PUBLIC ACCORDING TO  
SECTION 236.293, WISCONSIN STATUTES AND SHALL BE ENFORCEABLE  
BY THE DEPARTMENT OF TRANSPORTATION.

TRANS 233 # 67-094-0594-01

GRAPHIC SCALE

0 100' 200' 300'

Scale: 1" = 200'



Vicinity Sketch  
SE 1/4 Sec 19-7-19



Stock No. 26273

CERTIFIED SURVEY MAP NO. 9263

Being a part of the NW 1/4 of the SE 1/4 of Section 19, T 7 N, R 19 E, in the City of Pewaukee, Waukesha County, Wisconsin.

## SURVEYOR'S CERTIFICATE:

I, Norbert F. Stachowski, a Registered Land Surveyor, do hereby certify:

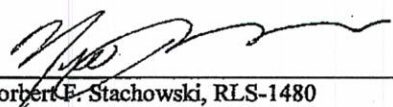
That I have surveyed, divided and mapped a part of the NW 1/4 of the SE 1/4 of Section 19, T 7 N, R 19 E, in the City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows; commencing at the SW corner of said SE 1/4 Section 19, thence N 00° 22' 28" W along the west line of said Section 19 1589.43 feet to a point on the North Line of Golf Road, thence S 84° 36' 10" E along the North Line of Golf Road 230.00 to the place of beginning, thence 400.00 feet along an arc of a circle whose center is to West whose radius is 6147.64 feet and whose chord bears N 03° 31' 59.5" E 399.93 feet, thence S 85° 18' 17" E 1073.03 feet, thence S 00° 25' 03" E 415.00 feet to a point on the North Line of Golf Road, thence N 84° 36' 10" W along the North Line of Golf Road 1101.99 feet to the place of beginning. Said lands containing 441,144 square feet more or less.

That I have made this survey, land division and map by the direction of Bryce P. Styza, Owner of said land.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Subdivision Ordinance of the City of Pewaukee.

10-18-2008  
Date

  
Norbert F. Stachowski, RLS-1480





Stock No. 26273

CERTIFIED SURVEY MAP NO. 9263

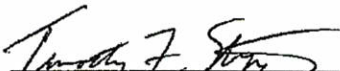
Being a part of the NW 1/4 of the SE 1/4 of Section 19, T 7 N, R 19 E, in the City of Pewaukee,  
Waukesha County, Wisconsin.

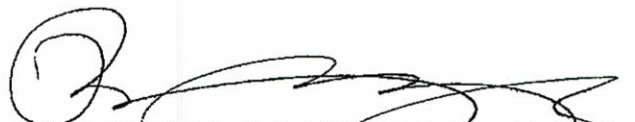
OWNER'S CERTIFICATE

As Owner, I hereby certify that I have caused the land described above to be surveyed, divided,  
mapped as represented on this map in accordance with the requirements of Ordinances of the  
City of Pewaukee and any applicable sections of Chapter 236 of the Wisconsin Statutes.

WITNESS the hand and seal of said Owner this 18th day of October, 2001.


IN THE PRESENCE OF:

  
Witness - Timothy F. Styza

  
Bryce P. Styza

STATE OF WISCONSIN )  
SS  
WAUKESHA COUNTY )

PERSONALLY came before me this 18th day of October, 2001, the above  
named Bryce P. Styza, to me known to be the person who executed the foregoing instrument and  
acknowledged the same.

  
Notary Public - State of Wisconsin  
Glenda R. Scheel-Weidner  
My commission expires May 12, 2002





Stock No. 26273

CERTIFIED SURVEY MAP NO. 9263

Being a part of the NW 1/4 of the SE 1/4 of Section 19, T 7 N, R 19 E, in the City of Pewaukee, Waukesha County, Wisconsin.

CONSENT OF CORPORATE MORTGAGEE

M & I MARSHALL & ILSLEY BANK, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, Mortgagee of the above described land, does hereby consent to the surveying, dividing and mapping of the lands described in the foregoing instrument of Norbert F. Stachowski, a Registered Land Surveyor, and does hereby consent to the above certification of Bryce P. Styza, Owner.

IN WITNESS WHEREOF, the said M & I MARSHALL & ILSLEY BANK, has caused these presents to be signed by Dwight W. Kellogg, Vice President in Waukesha, Wisconsin, and its corporate seal to be hereunto affixed this 18th day of October, 2001.

IN THE PRESENCE OF:

M &amp; I MARSHALL &amp; ILSLEY BANK

*Jean L. Clark*  
Witness - Jean L. Clark

*DW Kellogg*  
Dwight W. Kellogg, Vice President



Remove setback language

SETBACK REQUIREMENTS AND RESTRICTIONS

(5) No improvements or structures are allowed between the right-of-way line and the highway setback line. Improvements and structures include, but are not limited to, signs, parking areas, driveways, wells, septic systems, drainage facilities, buildings and retaining walls. It is expressly intended that this restriction is for the benefit of the public as provided in section 236.293, Wisconsin Statutes, and shall be enforceable by the Wisconsin Department of Transportation or its assigns. Contact the Wisconsin Department of Transportation for more information. The phone number may be obtained by contacting the County Highway Department.

NOISE, VISION CORNERS AND DRAINAGE

"The lots of this land division may experience noise at levels exceeding the level in s. Trans 405.04, Table 1. These levels are based on federal standards. Owners of these lots are responsible for abating noise sufficient to protect these lots."



45

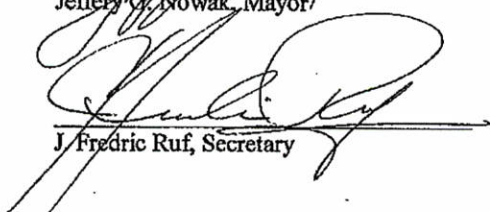
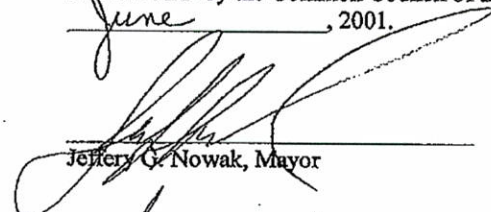


Stock No. 26273

CERTIFIED SURVEY MAP NO. 9263

Being a part of the NW 1/4 of the SE 1/4 of Section 19, T 7 N, R 19 E, in the City of Pewaukee, Waukesha County, Wisconsin.

PLAN COMMISSION APPROVALAPPROVED by the Plan Commission of the City of Pewaukee on this 17 day of May, 2001.
  
 Jeffery G. Nowak, Mayor

  
 J. Fredric Ruf, Secretary
COMMON COUNCIL APPROVALAPPROVED by the Common Council of the City of Pewaukee on this 18 day of June, 2001.
  
 Jeffery G. Nowak, Mayor

  
 Sandra Salbashian, City Clerk
Vol. 84 pgs 42-46  
2722679REGISTER'S OFFICE  
WAUKESHA COUNTY, WI  
RECORDED ON

11-16-2001 3:05 PM

MICHAEL J. HASLINGER  
REGISTER OF DEEDS
 REC. FEE: 12.00  
 REC. FEE-CD: 5.00  
 REC. FEE-ST: 2.00  
 TRAN. FEE:  
 TRAN. FEE-STATE:  
 PAGES: 5

 PREPARED BY: NORBERT F. STACHOWSKI  
 METROPOLITAN ENGINEERING  
 20875 CROSSROADS CIRCLE, SUITE 150  
 WAUKESHA, WI 53186




SPECIFICATION NOTE:  
SEE SHEET C0.1 FOR PLAN  
SPECIFICATIONS AND REQUIREMENTS

EXCEL

ARCHITECTS • ENGINEERS • SURVEYORS

Always a Better Plan

100 Camelot Drive

Fond Du Lac, WI 54935

Phone: (920) 926-9800

www.EXCELENGINEER.com

PROJECT INFORMATION

PROPOSED ADDITION FOR:  
**LAKEWOOD BAPTIST CHURCH**  
W274 N1490 RIVERLAND DRIVE • PEWAUKEE, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

APR. 1, 2021  
APR. 5, 2021  
APR. 23, 2021  
MAY 7, 2021

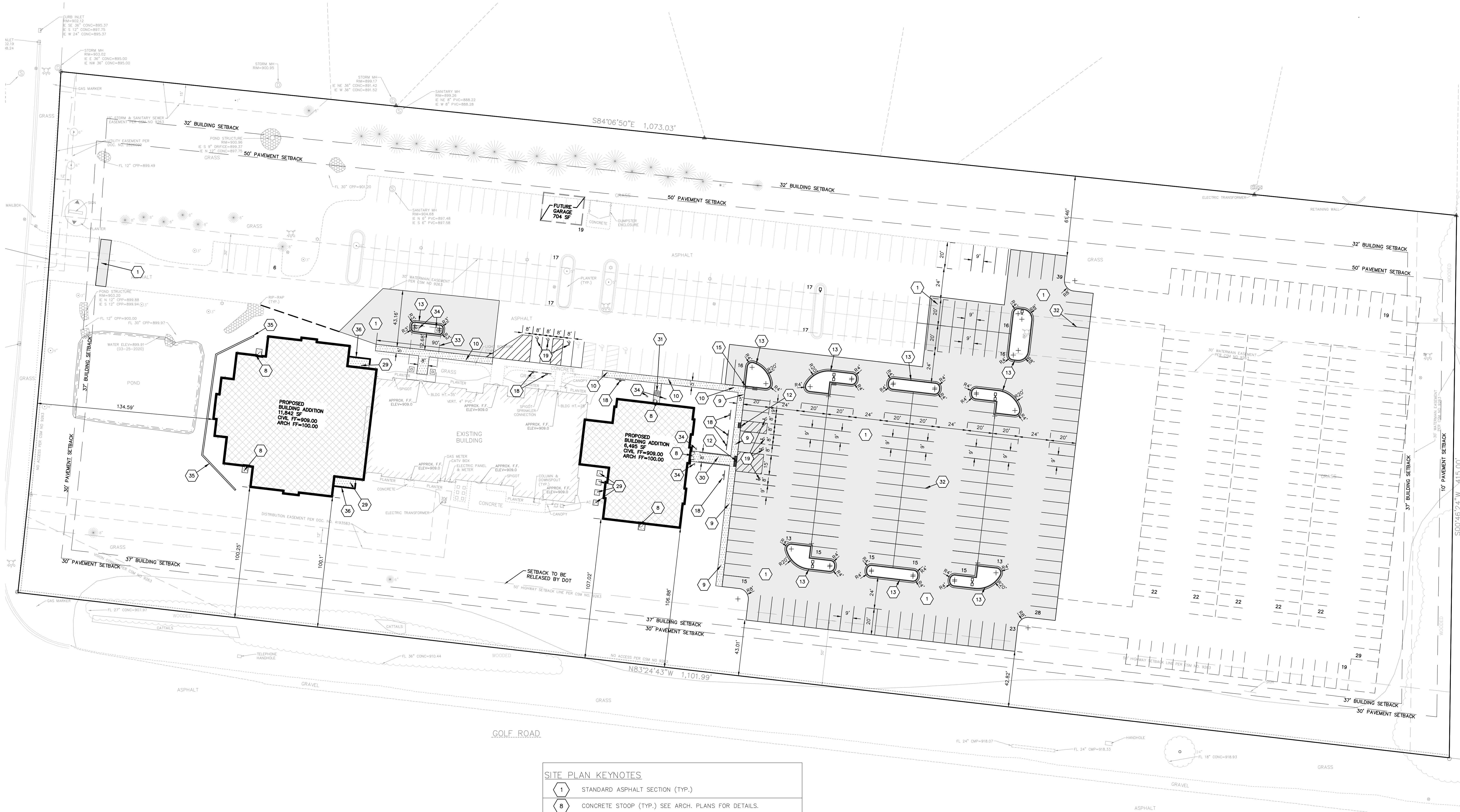
JOB NUMBER

2059660

SHEET NUMBER

C1.1

2021 © EXCEL ENGINEERING, INC.



SITE INFORMATION:

LEGAL DESCRIPTION: LOT 1 CERT SURV 9263 VOL 84/42 REC AS DOC# 2722679 PT SE1/4 SEC 19 17N R19E :: DOC# 3922819

PROPERTY AREA: AREA = 441,445 S.F. (10.13 ACRES).

EXISTING ZONING: I-1 URBAN INSTITUTIONAL DISTRICT

PROPOSED ZONING: I-1 URBAN INSTITUTIONAL DISTRICT

PROPOSED USE: CHURCH

AREA OF SITE DISTURBANCE: 240,000 S.F. (5.51 ACRES)

SETBACKS: BUILDING: FRONT = 25'+12'=37'  
SIDE = 20'+12'=32'  
REAR = 25'+12'=37'  
STREET = 25'+12'=37'

PAVEMENT: FRONT = 30'  
SIDE = 50'  
REAR = 10'  
STREET = 30'

PROPOSED BUILDING HEIGHT: AUDITORIUM: 46'-4" CLASSROOM: 31'-6" STEEPLE: 62'-0" MAX. HEIGHT ALLOWED: 35'

THEREFORE 12' INCREASE TO BUILDING SETBACKS PER SECTION 17.0901 E

PARKING REQUIRED: 1 SPACE PER 2 SEATS (332 SPACES REQ.)

PARKING PROVIDED: 332 SPACES (9 H.C. ACCESSIBLE)

HANDICAP STALLS REQUIRED: 8, HANDICAP STALLS PROVIDED: 10

LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 40%

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.13	441,145	
BUILDING FLOOR AREA	0.29	12,528	2.8%
PAVEMENT (ASP. & CONC.)	1.74	75,629	17.1%
TOTAL IMPERVIOUS	2.02	88,157	20.0%
LANDSCAPE/ OPEN SPACE	8.10	352,988	80.0%

PROPOSED SITE DATA (INCLUDES FUTURE PARKING)

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.13	441,145	
BUILDING FLOOR AREA	0.71	30,865	7.0%
PAVEMENT (ASP. & CONC.)	4.32	188,225	42.7%
TOTAL IMPERVIOUS	5.03	219,090	49.7%
LANDSCAPE/ OPEN SPACE	5.10	222,055	50.3%

SITE PLAN KEYNOTES

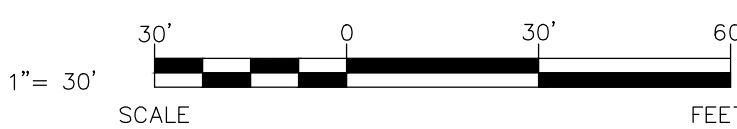
- 1 STANDARD ASPHALT SECTION (TYP.)
- 8 CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS.
- 9 RAISED WALK (TYP.)
- 10 FLUSH WALK (TYP.)
- 12 CURB RAMP (TYP.)
- 13 18" CURB & GUTTER (TYP.)
- 15 CURB TAPER (TYP.)
- 18 HANDICAP SIGN (TYP.)
- 19 HANDICAP STALL & STRIPING PER STATE CODES.
- 29 CONCRETE EQUIPMENT PAD BY EQUIPMENT SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
- 30 ADA RAMP WITH HANDRAIL (SEE DETAIL ON C2.1)
- 31 4 CONCRETE EXTERIOR STEPS WITH HANDRAIL (SEE DETAIL ON C2.1)
- 32 PARKING STALL & STRIPING (TYP.)
- 33 CANOPY (TYP.) (SEE ARCH PLANS)
- 34 COLUMN (TYP.) (SEE ARCH PLANS)
- 35 MODULAR BLOCK RETAINING WALL. FINAL DESIGN AND CONSTRUCTION DETAILS BY WALL MANUFACTURER. (SEE DETAIL ON C2.1)
- 36 9" HIGH WHITE CLAPBOARD SIDING SCREENING WALL (SEE ARCH PLANS)

PAVEMENT HATCH KEY:

- STANDARD ASPHALT
- SIDEWALK CONCRETE

PAVEMENT NOTE:

ALL PAVING MUST COMPLY WITH SECTION 17.0601C OF THE CITY OF PEWAUKEE ZONING CODE.



CIVIL SITE PLAN

**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 10.**

**DATE:** June 7, 2021

**DEPARTMENT:** Planning

**PROVIDED BY:** Nick Fuchs

***SUBJECT:***

Discussion and Possible Action Regarding **Ordinance 21-05** Related to Amendments to Sections 4.06, 4.09 and 4.15 of Chapter 4 - Fire Department of the City of Pewaukee Municipal Code (*Second Reading*) [Fuchs]

***BACKGROUND:***

The proposed changes are related to the City's application to become a delegated municipality for fire sprinkler and fire alarm authority.

Following submittal of an application to the Department of Safety and Professional Services to become delegated, the city was asked to amend its Fire Department ordinance, primarily updating standards that were not grandfathered under Act 270.

These changes were prepared by the City's consultant, E-Plan Exam, and have been reviewed by the Fire Chief. There are no staff objections.

Once the ordinance is amended, staff anticipates approval of the City's application to be delegated for fire sprinkler and fire alarm authority.

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

A motion approving the proposed amendments to Sections 4.06, 4.09, and 4.15 of Chapter 4 of the Municipal Code.

**ATTACHMENTS:**

Description

Chapter 4 Amendment

CHAPTER 4	
FIRE DEPARTMENT	
4.01	Repealed (Ord. #4-10) ..... 1
4.02	Repealed (Ord. #4-10) ..... 1
4.03	Repealed (Ord. #4-10) ..... 1
4.04	Reserved ..... 1
4.05	<u>OPERATION</u> ..... 1
4.06	<u>POWERS AND DUTIES OF CHIEF</u>
	(1) GENERAL SUPERVISION..... 1
	(2) REPORTS..... 1
	(3) FIRE AND RESCUE RECORDS..... 1
	(4) INVENTORY..... 1
	(5) OTHER DUTIES..... 1
	(6) WISCONSIN ADMINISTRATIVE CODE..... 1
	(7) RESIDENCY..... 1
4.07	<u>CARE AND PROTECTION OF APPARATUS</u> ..... 1
	(1) CONTROL AND MAINTENANCE OF APPARATUS..... 1
	(2) USE OF EQUIPMENT..... 1
	(3) PROTECTION OF EQUIPMENT..... 2
4.08	<u>POLICE POWER OF DEPARTMENT</u> ..... 2
	(1) POLICE AUTHORITY AT FIRES..... 2
	(2) PRESCRIBED LIMITS AT FIRE..... 2
4.09	<u>FIRE INSPECTOR: DUTIES</u> ..... 2
	(1) CHIEF AS FIRE INSPECTOR..... 2
	(2) COMPLIANCE WITH DEPARTMENT OF <del>COMMERCE</del> <u>SAFETY</u> <u>AND PROFESSIONAL SERVICES</u> ..... 2
	(3) NOTICE OF FIRE HAZARD..... 2
	(4) WRITTEN RECORDS OF INSPECTIONS..... 2
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#### 4.02 Repealed (Ord. # 04-10)

#### 4.03 Repealed (Ord. # 04-10)

#### 4.04 Reserved

#### 4.05 OPERATION

The operation of the Fire Department shall be consistent with the By-Laws as recommended by the Fire Department members and as approved by the Commission.

#### 4.06 POWERS AND DUTIES OF CHIEF

(1) GENERAL SUPERVISION. The Chief shall have general supervision of the Fire Department, subject to this chapter and the By-Laws of the Fire Department.

(2) REPORTS. The Chief shall submit such written reports to the Commission as the Commission deems desirable, but an annual report for a fiscal year ending June 30th shall be submitted not later than September 1 of each year. This report shall detail the condition of the various pieces of apparatus and equipment, the number of fires, the total number of active members in the department and resignations and expulsions from the department, and the drill and training program of the department occurring since the previous reports.

(3) FIRE AND RESCUE RECORDS. The Chief shall keep a record of every fire and rescue to which any company was called and shall enter in such record the locality of fire and/or rescue, time alarm was received, cause of fire and/or rescue, where fire started, cause of delay (if any) in responding, equipment used and number assigned to each, estimated time rescue was completed, estimated time fire was extinguished, names of persons responding and hours expended. Such record shall be filed with the Commission within ten (10) working days of the first of each month for the previous months operations along with any other record of expended hours for the month that will result in payment of wages.

(4) INVENTORY. The Chief shall keep an inventory of all apparatus and equipment and an inventory of all hose, showing dates and results of tests on each length, which shall be individually identified.

(5) OTHER DUTIES. The Chief shall perform such other duties as are incumbent on the commanding officer of the Fire Department as determined by the Commission.

(6) WISCONSIN ADMINISTRATIVE CODE. The Chief shall comply with the Wisconsin Administrative Code rules of Department ~~Commerce-Agriculture Trade and Consumer Protection~~ Flammable and Combustible Liquids, specifically Section ~~9340.844~~ relative to requirements for record keeping.

Commented [DM1]: Please verify this one Kevin.

(7) RESIDENCY. Residency for the Fire Chief is defined as must reside within Waukesha County within twelve months of the completion of a twelve-month introductory period. (Cr. #08-08; Rep. & Rec. #08-14, #09-15, #09-17)

#### 4.07 CARE AND PROTECTION OF APPARATUS.

(1) CONTROL AND MAINTENANCE OF APPARATUS. The Chief shall have control of all apparatus used by the Fire Department and shall be responsible for its proper maintenance.

(2) USE OF EQUIPMENT. No apparatus shall be used for any purpose except for fire fighting, or in training therefore, unless the Chief and Mayor or its designates have given their approval on such use. With the approval of the Chief, Mayor or designates, such apparatus may be used for purposes other than fire fighting or in training therefore.

(3) PROTECTION OF EQUIPMENT. No person shall willfully injure in any manner any hose, hydrant, or fire apparatus belonging to the Department, and no vehicle shall be driven over any

unprotected hose of a fire department when laid down in any street, private driveway or other place, to be used at any fire or alarm of fire, without the consent of the fire department official in command.

#### 4.08 POLICE POWER OF DEPARTMENT

(1) POLICE AUTHORITY AT FIRES. The Chief and assistants or officers in command at any fire are hereby vested with full and complete police authority at fires. The Chief or any assistant or officer of the department may cause the arrest of any person failing to give the right of way to the Fire Department in responding to a fire.

(2) PRESCRIBED LIMITS AT FIRE. The Chief or any assistant or officer may prescribe certain limits in the vicinity of any fire within which no persons, excepting firemen and law enforcement officers and those admitted by order of any officer of the Department, shall be permitted. The Chief or any assistant or officer may cause the removal of any property whenever it shall become necessary for the preservation of such property from fire or to prevent the spreading of fire or to protect the adjoining property and during the progress of any fire they may order the removal or destruction of any property necessary to prevent the further spread of the fire. They may cause the removal of all wires or other facilities and the turning off of all electricity or other services where the same impedes the work of the fire department during the progress of a fire. (Rep. & Rec. 09-21)

#### 4.09 FIRE INSPECTOR: DUTIES

(1) CHIEF AS FIRE INSPECTOR. The Chief shall hold the office of the fire inspector, with power to appoint one or more deputy fire inspectors as is deemed necessary who shall perform the same duties and have the same powers as the fire inspector.

(2) COMPLIANCE WITH THE DEPARTMENT OF ~~COMMERCE~~SAFETY AND PROFESSIONAL SERVICES. The fire inspector shall comply with State Department of Safety And Professional Services~~Commerce~~ regulations.

(3) NOTICE OF FIRE HAZARD. Whenever in the City of Pewaukee any inspection by the Fire Chief or deputies reveals a fire hazard, the Chief or deputies shall serve a notice in writing upon the owner of the property giving said owner a reasonable time in which to remove the hazard. If the property owner believes that time allowed is unreasonable, he or she may appeal to the Commission. If the fire hazard is not removed within the time allowed, the Chief or designee may have the same removed by the Department, and the cost of such removal shall be placed on the tax roll as a special charge.

(4) WRITTEN RECORDS OF INSPECTIONS. The Chief shall keep a written record of each property inspected which shall conform to the requirements of the State Department of Safety And Professional Services~~Commerce~~ and shall make the quarterly report of inspections required by the State Department of Safety And Professional Services~~Commerce~~.

(5) FREE ACCESS TO PROPERTY. No person shall deny the Chief or designee free access to any property within the City of Pewaukee at any reasonable time for the purpose of making fire inspections. No person shall hinder or obstruct the fire inspector in the performance of duty or refuse to observe any lawful direction given.

#### 4.10 RESCUE SERVICE

The Fire Department shall provide emergency rescue service and all necessary records as required by the Emergency Medical Services of the State of Wisconsin.

#### 4.11 INTERNATIONAL FIRE CODE ADOPTED (Rep. & Rec. 05-3)

The International Fire Code, hereinafter "IFC", as set from time to time may be amended, is hereby adopted as though fully set forth herein, with the following exceptions:

- (a) Chapter 1, "Administration", of the IFC is not included as part of the adoption of the IFC.
- (b) Chapter 34, "Flammable and Combustible Liquids", is not included as part of the adoption of the

#### **4.12 FALSE FIRE AND EMS ALARMS (Rep. & Rec. 04-14)**

(1) **INTENT.** The intent of this chapter is to regulate the use of alarm systems in the City of Pewaukee, and to prevent carelessness, improper maintenance and/or other acts or omissions which cause or result in false fire and/or emergency medical services (EMS) alarms. Such false alarms initiate fire and/or EMS personnel and equipment responses, cause or result in unnecessary expense to the City, increase the risk of damage to property or injury to persons and dilute the level of fire protection and emergency medical services available to other areas of the City.

##### **(2) DEFINITIONS**

Alarm Coordinator means the person(s) designated to administer, control, and/or maintain the records involving false alarms.

Alarm Site means a single residence location, a multi-tenant location and any property, as referenced and further defined in § 3 b. (4) of this section, which is served by an alarm system or systems.

Alarm System means any mechanical, electrical or radio-controlled device or system, including, but not limited to, local alarms designed to emit, transmit or relay a signal or message, and which, when activated, is intended to summon, or would reasonably be expected to summon, fire or EMS services of the City. ALARM SYSTEM does not include:

- (1) An alarm installed on a vehicle, unless the vehicle is permanently located at a site; or
- (2) An alarm designed to alert only the inhabitants of a residence and which does not constitute a local alarm.

False Alarm means the activation of an alarm system signal or message which elicits notification to and/or response by the City of Pewaukee Fire Department and/or Emergency Medical Service, whether the activation is intentional, accidental or otherwise, and where there is no evidence of a fire, medical emergency or other activity which warrants a call for immediate fire or emergency medical assistance. This may include, but is not limited to, an alarm discovered by a firefighter or emergency medical technician before notification of said alarm from an alarm company, or a local alarm system, that is not monitored.

Fire or Emergency Medical Alarm means a system or portion of a communication system consisting of components and circuits arranged to monitor and enunciate the status of fire or medical emergency or supervisory signal initiating devices which are intended to summon fire or emergency medical services.

Local Alarm means an alarm system that emits a signal at an alarm site that is audible or visible from the exterior of the structure.

##### **(3) SERVICE FEES**

(a) Each time the fire department or emergency service personnel respond to a false alarm activation, the fire chief may, in his/her discretion, report the incident to the Alarm Coordinator for assessment of a service fee, as provided in subsection b. below.

(b) A service fee for excessive false activations may be charged as shall be established from time to time by resolution of the Common Council. (Rep. & Rec. 06-17)

(4) **SERVICE FEES NOT CHARGED.** No service fee shall be charged for a false activation caused by any of the following circumstances:

(a) Electrical storms, tornados or other acts of God where there is clear evidence of physical damage to the alarm system;

(b) Intermittent disruptions of telephone circuits beyond the control of the alarm site owner; and

(c) Electrical power or other power disruptions, exceeding two hours and is beyond the control of the alarm site owner.

(5) SERVICE FEES CHARGED AGAINST THE PROPERTY. All false activation fees shall be charged against the property owner and are due and payable within thirty (30) days from the date of invoice. Any delinquent service fees shall be assessed against the property as a special charge for current services, pursuant to § 66.0627 of the Wisconsin statutes.

#### **4.13 RESIDENTIAL STORAGE OF GASOLINE**

(1) STORAGE OF INFLAMMABLE LIQUIDS. No person corporation or organization shall store, accumulate, harbor or permit to be stored on any premises in the City of Pewaukee that are utilized as residential uses any gasoline, petroleum or other inflammable liquids that exceed a flash point of one hundred (100) degrees in excess of twelve (12) gallons.

(2) PERMITS. No permits will be granted and no person, organization or corporation will be permitted to install, on any residential premises in the City of Pewaukee, any storage tanks or storage facilities underground or above ground in excess of twelve (12) gallons.

(3) PENALTY. Any person, organization or corporation violating the terms of this Ordinance shall immediately upon notice from the City remove said storage tank or facility. In addition to the immediate removal of the facility any person, violating the terms of this Ordinance after notice shall be subject to the penalties contained in Chapter 25 of the Municipal Court of the City of Pewaukee.

#### **4.14 LOCK BOX REQUIREMENTS**

(1) GENERAL.

(a) This section will provide the Fire Department with means of rapidly entering a property in the event of a fire, medical emergency or other emergency. The use of a secured access key will reduce the amount of property damage and increase effectiveness of Fire Department operations. This section will apply to all new buildings and existing buildings.

(b) A lock box is a secured box or vault that may, at the owner's option, contain keys for exclusive emergency Fire Department use. Only Pewaukee Fire Department shall have access to the master key for any lock box.

(c) Lock Boxes shall be installed in the following new buildings:

1. Buildings that have a fire suppression system or fire alarm system.
2. In all residential occupancies that have more than two (2) units and have a common area.
3. In any nonresidential buildings over 1,500 square feet.

(d) Lock Boxes shall be installed in the following existing buildings:

1. Any building that meets the requirements for new buildings and has a change on occupant (for nonresidential buildings), or change in owner or when more than 50% of the building is remodeled.
2. In any building where lack of access may result in the loss of life, large property or environmental damage based on factors but not limited to; fire load, occupant load, exposures, building construction, age of building and storage or use of hazardous materials.

(e) A lock box shall not be required for nonresidential buildings when a person is on site at all times. This person must have keys and the ability to access all areas of the building(s).

(2) INSTALLATION AND MAINTENANCE.

- (a) The building owner or occupant shall be responsible for purchasing an approved lock box and providing the proper keys for access to all areas.
- (b) The lock box shall be installed in an accessible location approved by the Fire Department.
- (c) A minimum of one lock box shall be provided for each building. The Fire Department may require more than one lock box for large buildings.
- (d) The building owner or occupant must notify the Fire Department, Bureau of Inspections when keys or locks are changed.

(3) **ILLEGAL TAMPERING.** It shall be unlawful to tamper or remove any Lock Box installed within the City or Village of Pewaukee.

#### 4.15 INSTALLATION OF SPRINKLER SYSTEM.

(1) (a) **PURPOSE.** Whereas automatic fire sprinkler systems are one of the most effective means of protecting life and property from the effects of fire, this section is created to provide rules and regulations for contractors and property owners for the installation and maintenance of sprinkler systems. These regulations shall apply to new and existing buildings. (Cr. 05-2)

(b) **DEFINITIONS.** The occupancies, uses and structures described herein shall be defined in accordance with COMM-SPS Chapters 301-202500, Wis. Adm. Code. (Renumbered 05-2)

COMMSPS: Wisconsin Department of Safety

And Professional ServicesCommerce. F.D.C.:

Fire Department Connection.

N.F.P.A.: National Fire Protection Association.

Combustible liquid: A liquid having a flash point at or above 100 degrees Fahrenheit (37.8 degrees Celsius).

Flammable liquid: A liquid having a flash point below 100 degrees Fahrenheit (37.8 degrees Celsius).

~~(2) NEW BUILDINGS.~~ Automatic fire sprinkler systems shall be installed and maintained in operable condition in the following new buildings: ~~(Repealed & Recreated 05-2)~~

~~(a) Within all new factories, workshops, office buildings, mercantile establishments, warehouses, passenger terminals, exhibition buildings, motor vehicle garages, motor vehicle storage garages, body shops, and places of public assembly where:~~

~~1. The plans for the building were submitted before July 1, 2002, and construction of the building has not commenced and the building is Class 1 or Class 2 fire resistive construction and is 10,000 square feet or more in total area; or,~~

~~2. The building is 6,000 square feet or more in total area; or,~~

~~3.1. Where Required by Wisconsin Administrative Code COMM-SPS Ch. 361-365; or,~~

~~4. The building has three (3) interior stories or more in height regardless of the amount of building square footage; or,~~

~~5. If a vehicle can be parked in any basement or sub-basement of a motor vehicle repair garage, motor vehicle storage garage or body shop.~~

~~(b) Within the following new residential buildings:~~

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1. Buildings subject to Wis. Adm. Code COMM 61-65 in which case, the automatic sprinkler system shall be in accord with the provisions of COMM § 62.0903, Wis. Adm. Code;

2. Motels; hotels; dormitories; homes for the aged; shelter facilities for battered women serving more than twenty (20) occupants; rooming houses; convents and monasteries; and community based residential facilities serving nine (9) or more unrelated adults.

(c) Within new theaters and buildings of public assembly with over 100 person capacity; health care facilities including hospitals, nursing homes, convalescent and group care centers; detention and correctional facilities; public or private day care facilities licensed to accommodate twenty (20) or more children;

**Commented [DM4]:** IBC controlled

(d) Within new schools, colleges and universities where:

1. The areas in buildings of Class 1 or Class 2 fire resistive construction contain:

a. ~~Woodworking, auto, and machine shops;~~

**Commented [DM5]:** IFC/IBC controlled

b. ~~All areas where more than 10 gallons of flammable or combustible liquids are stored;~~

**Commented [DM6]:** Will want to remove this – Maximum allowable quantities and how to deal with them are best left to IBC/IFC/NFPA codes

2. The buildings are Class 3 – 8 non-fire resistive construction, regardless of size.

(e) High hazard Construction or Occupancy: Within any new building or new occupancy which by reason of its construction, combustible operations or both is deemed a severe hazard to life or property by the Fire Chief or his assignee. This includes, but shall not be limited to the following operations:

1. Manufacturing, storage, handling, or spraying paint or varnish or other related operations;

2. Storage of combustible and flammable gases including, but not limited to acetylene, hydrogen, and liquid propane, in amounts exceeding 2,000 cubic feet;

3. Manufacturing and storing explosives and pyrotechnics;

4. Commercial building basements over 2,500 square feet, containing or storing combustible materials and not subject to the requirements of the Wisconsin Administrative Code.

(f)(c) Exceptions: Automatic fire sprinkler systems are not required in the following when approved by the Fire Chief:

1. Rooms or buildings used for the manufacture or storage of aluminum powder, calcium carbide, calcium phosphate, metallic sodium or potassium, quick lime, magnesium powder, sodium peroxide or like materials where the application of water may cause or increase combustion;

2. The portion of a building or foundry used to melt and pour metal or glass into a mold or cast and portions of buildings used for heat treating operations;

3. In any building where the Fire Chief determines that the use of water as a fire extinguishing agent would increase the hazard. However, an automatic fire suppression system as defined in IBC Ch. 9 as adopted by the Wis. Adm. Code, ~~COMM-SPS Ch. 361-365~~ using an extinguishing agent other than water, and/or an automatic smoke detection system shall be installed;

**Commented [DM7]:** Recommend that this is also deleted – IFC and IBC have this covered

4. ~~Church sanctuaries and church naves which are used exclusively for worship and ceremonies;~~

**Commented [DM8]:** Not grandfathered under 270

- (a) Automatic fire sprinkler systems shall be installed and maintained in operable condition in existing public buildings or places of employment, within additions to existing public buildings or places of employment, where:

1. An addition is made to an existing building which contains an automatic fire sprinkler system;

- (b) The building owner or occupants shall not make changes in the occupancy, use or processes utilized within, or materials used or stored in the building without evaluation by the City of Pewaukee Fire Department of the fire protection systems and their capability to protect the new occupancy's use of materials. The evaluation shall consider factors that include but are not limited to occupancy changes, process or material changes, or building renovations such as relocating walls, adding mezzanines and ceilings below sprinklers, the removal of heating systems and spaces with piping subject to freezing.

~~(c) Exceptions:~~

- ~~1. Remodeling of a structure which does not change the occupancy or hazard classification does not require the installation of an automatic fire sprinkler system.~~
- ~~2. Additions to existing buildings built prior to August 7<sup>th</sup>, 1996 that are without an existing fire sprinkler system may be permitted to expand, by not more than 50% of their existing square footage footprint, nor by more than 6,000 square feet, whichever is less, provided the building and addition is of a construction type other than Type V as defined in the International Building Code nor requires a fire sprinkler system.~~

~~(4) WAIVER FROM SPRINKLER REQUIREMENTS. (Cr. 09-03)~~

~~In the event that municipal water is unavailable to a new or existing building which is required to have a sprinkler system pursuant to subsections (2) and (3) above, the Common Council may issue a waiver only from the requirements found in §4.15 (2) and (3), in the following circumstances and upon compliance with the following conditions~~

- ~~1. The cost of obtaining municipal water to the property is cost prohibitive as determined by the Common Council; or the installation of a private water supply capable of meeting the water supply needs of an automatic sprinkler system is not feasible due to factors as determined by the City's Department of Public Works.~~
- ~~2. The structure(s) shall have monitored smoke and fire alarms installed;~~
- ~~3. The Fire Department has reviewed the waiver application and supporting documentation, if any, and has recommended approval;~~
- ~~4. The property owner shall install a sprinkler system that complies with the City's requirements within 6 months of municipal water availability;~~
- ~~5. The property owner shall record a deed restriction, in a form acceptable to the City's attorney, which states that the parcel has been relieved of compliance with the §4.15(2) or (3) of the City's code and that upon the availability of municipal water, the owner shall install a fully functional sprinkler system as required by §4.15, City of Pewaukee Code, within 6 months of municipal water being available to the property.~~
- ~~6. The property owner shall indemnify the City for any loss of structure, personal property, injuries or death that may occur while the building does not have sprinkler system. The indemnification shall be in a form approved by the City attorney.~~

(a) Prior to the installation of an automatic fire sprinkler system ~~five~~ four copies of the plans and specifications shall be submitted to the Fire Prevention Bureau for its review. Approved plans shall be stamped "Conditionally Approved by the Fire Prevention Bureau", including the date of such approval, and the signature of the Officer granting approval. ~~Three~~ Two (32) copies shall be returned to the owner, and two (2) copies will be kept on file in the Fire Prevention Bureau. All sprinkler systems and plans must meet the standards of the N.F.P.A., Wisconsin Administrative Code COMM-SPS section and the Municipal Code of the City of Pewaukee.

**Commented [DM9]:** Modifying to reflect DSPS plan review intake guidelines per SPS 361

(b) All plans submitted to the Fire Department shall be signed and sealed in accordance with Wis. Adm. Code COMM-SPS provisions.

(c) Conditional approval of the automatic fire sprinkler system plans by the fire Prevention Bureau is not intended to confirm the accuracy of any calculations or system design performed by the contractor. The contractor is responsible for the accuracy of any calculations or the system's design.

(d) No work may begin on installation of an automatic fire sprinkler system or alteration of a fire sprinkler system until it is approved by the Fire Prevention Bureau. If work is started before a plan has received conditional approval, all work must be stopped immediately.

(e) No automatic fire sprinkler shall receive final approval prior to an acceptance test performed by the Fire Chief or assignee. The building may not be occupied before the test is completed and approved. All acceptance tests will be scheduled by the Fire Prevention Bureau. No acceptance test will be conducted unless the Fire Prevention Bureau receives at least 48 hour advance notice.

(f) Additions or changes involving less than 20 sprinkler heads to an existing approved automatic fire sprinkler system requires a letter from the owner or occupant of the building to the Fire Prevention Bureau describing the installation including a sketch of the proposed additions or changes. The Fire Prevention Bureau may require a plan review that meets all of the requirements of this section.

(6) INSTALLATION. (Rep. & Rec. 05-2)

(a) Approved automatic fire sprinkler systems shall be installed in accordance with the standards of the current edition of N.F.P.A relating to the installation of sprinkler systems and other applicable standards of the Wis. Adm. Code COMM-SPS section, and the Municipal Code of the City of Pewaukee.

(b) Compressors for Dry Pipe Systems are required to be wired directly into the building's electrical power system.

(c) All compressors for Dry Pipe Systems will have low limit air switches, and alarms separate from any other alarms located on the premise.

(d) Hydrant water flow test data shall be performed no more than one (1) year prior to the submission of automatic fire sprinkler plans. The data shall be obtained in cooperation with the City of Pewaukee Water and Sewer Department. The Fire Department maintains the right to request new flow test to be performed.

(e) All fire alarm systems shall be interconnected. One horn strobe alarm shall be provided on the outside of the building by the F.D.C.

**Commented [DM10]:** Not grandfathered in act 270, is covered by NFPA provisions, recommend removal

(7) MAINTENANCE OF EQUIPMENT. (Rep. & Rec. 05-2)

(a) Automatic fire sprinkler systems and standpipe systems shall be maintained in operative condition at all times.

**CITY OF PEWAUKEE MUNICIPAL ORDINANCE  
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(b) It shall be unlawful for any owner or occupant to reduce the effectiveness of the protection so required; except this shall not prohibit the owner or occupant from temporarily reducing or discontinuing the protection where necessary to make tests, repairs, alterations or additions.

(c) The Fire Prevention Bureau shall be notified when the system has been shut down for any reason, and a state licensed sprinkler contractor is not on site. The Fire Prevention Bureau shall be notified when the system has been restored to service. Notification of a shut down shall be in writing when feasible ahead of time. Notification of an emergency shut down may be made by telephone call to the Fire Prevention Bureau.

(8) INSPECTIONS. Every sprinkler system required by the Municipal Code, or by the Wisconsin Administrative Code shall be tested in accordance with N.F.P.A. 25. The results of the testing shall be kept on site and available for review by the Fire Prevention Bureau. (Repealed & Recreated 05-2)

(9) FIRE DEPARTMENT HOSE CONNECTIONS. Every automatic sprinkler system installed in new or existing buildings shall be equipped with at least one Fire Department hose connection at a location approved by the Fire Prevention Bureau and meeting Wis. Adm. Code standards (Repealed & Recreated #05-2)

(10) LICENSE REQUIRED FOR INSTALLATION, MAINTENANCE OR INSPECTION. (Created 05-2)

(a) No person may install, maintain or repair automatic fire sprinkler systems unless the person holds a license as required by COMM-SPS § 305.50, Wis. Adm. Code.

(b) No person may conduct annual inspection and testing of an existing automatic fire sprinkler system and its components unless the person holds a license as required by COMM-SPS § 305.50, Wis. Adm. Code.

(11) Fees for fire sprinkler plan reviews and site inspections shall be set from time to time by resolution of the Common Council. (Cr. 05-2)

#### **4.16 OPEN BURNING**

(1) PERMIT REQUIRED.

(a) No burning shall be permitted unless the owner of the property upon which burning is proposed first obtains a permit, approved by the Fire Chief and under proper safeguards prescribed for and issued only at the City Hall during regular business hours.

(b) Notwithstanding any other provision in this Section, if the burning of any material, either with or without a permit, intentional or not, results in failure to comply in full with the conditions of a burning permit, or if negligence in supervising and controlling the fire results in the dispatch and/or deployment of fire-fighting equipment or personnel to control or extinguish the fire or to protect life, buildings or adjacent property, in addition to other potential fines and forfeitures, the property owner shall be required to pay all costs and expenses incurred by the City for said fire or emergency call. Said costs and expenses shall be calculated by the City Clerk after consultation with the Fire Chief and will assess the cost of said fire or emergency call against the property as set forth in this section and pursuant to Section 66.0703, Wis. Stats.

(2) RESTRICTIONS ON BURNING.

(a) No person or corporation or their agent may burn garbage (including, but not limited to kitchen and garden waste) fresh cut grass, green grass, green leaves, green brush or any other noncombustible material in the City.

(b) No person or corporation or their agent may burn any material within the public street, shoulders, gutters, storm water ditches, catch basins, or on other public property in the City except as set forth herein.

(c) No person living in a multi-family (3 or more) structure may burn any materials, and corporate

owners of such structures in the City may not burn any materials on such premises except as set forth herein.

(d) No person living in a single or two family home may burn home generated combustible material in the City without a permit for such burning issued by the Fire Chief as set forth herein.

(e) No developer or contractor may burn any materials in the City.

(3) COMMERCIAL/INDUSTRIAL BURNING PROHIBITED. No burning permit shall be issued to commercial or industrial businesses nor shall commercial or industrial businesses be allowed to burn in an incinerator or rubbish container.

(4) PROHIBITED ON PUBLIC PROPERTY. No person shall kindle, start or maintain a fire upon public property within the City of Pewaukee except in designated picnic areas in the public parks where cooking fires may be maintained in permanent or portable enclosed grills. An adult person shall be in constant attendance of such "picnic" fire.

(5) RULES FOR BURNING.

(a) All burning pursuant to a permit shall be kindled or started no earlier than 7:00 a.m. and should be completely extinguished by 10:00 p.m., unless otherwise specified on the permit. All burning shall be conducted with the adult person named on the permit in constant attendance. The burning of refuse should be in its natural state, (grass, leaves, twigs, brush, branches, and untreated wood). Items that are prohibited to be burned are petroleum products, tires, plastics, insulation, garbage and treated building materials and any other item which may smolder or give off noxious odors.

(b) Burning of permitted materials should be accomplished in a metal, screened receptacle no larger than 55 gallons and approved by the Fire Chief or Fire Inspector.

(c) Burning of piled materials (brush and leaves) shall be confined to an area at least 50 feet from buildings and trees no larger than 6' x 6' x 4' and flames from such burning may not exceed 8 feet.

(d) No permit issued under this Section shall create a property right in the person receiving said permit, and said permit shall be limited to and shall be used in strict compliance with the terms and conditions specified therein, and shall automatically expire on the date specified on the permit.

(e) Bonfires/Campfires shall be allowed only under constant supervision in a contained burning pit. The actual fire area shall be in an enclosed fire ring of metal or masonry no larger than 5 feet in diameter. Flames from the fire shall be maintained at no higher than 6 to 8 feet. All fires must be completely extinguished by 10:00 p.m.

(f) Only owners of real estate may sign permits. A signed copy of the permit will be filed with the City Clerk.

#### 4.17 STORAGE TANKS.

(1) In addition to all other requirements imposed by law, not less than five (5) days prior to the installation or upgrade of any Underground Storage Tank (UST) or Above Ground Storage Tank (AST) for storage of flammable or combustible liquid and not less than fifteen (15) days prior to the removal of any such tank, the contractor performing said work shall give written notice to the City (Village) of Pewaukee certified UST/AST Inspector of said contractor's intention to perform said work.

(2) At the time said notice is filed, said contractor shall pay to the City Clerk the fee or fees set forth in Section 3 of this Ordinance.

(3) Fees for UST/AST Installation and Upgrade are as established from time to time by resolution of the Common Council. (Rep. & Rec. 06-17)

(4) Fees for UST/AST Removal: The fee for inspection related to the removal of any UST/AST in the City of Pewaukee, Wisconsin, shall be as established from time to time by resolution of the Common Council. (Rep & Rec. 06-17)

#### 4.18 DESTRUCTION OF FIRE DEPARTMENT RECORDS

(1) PURPOSE. The purpose of this ordinance is to establish records retention schedules for Fire Department records and authorize destruction of Fire Department records pursuant to that schedule on an annual basis. Records custodians do not have the authority to destroy records prior to the established retention period unless such records have been photographically reproduced as original records pursuant to Section 16.61(7), Wis. Stats. and under this ordinance. If there is not a specific law requiring a specific retention period, all records must be kept 7 years, unless this ordinance specifies a shorter time period and the state Public Records and Forms Commission concurs with the proposed retention.

(2) HISTORICAL RECORDS. The State Historical Society of Wisconsin (SHSW) has waived the required 60-day statutory notice under Section 19.21(5)(d), Wis. Stats. for the records marked "W" which designates waived notice. SHSW must be notified prior to destruction of records marked "N" designating non-waiver. "N/A" indicates not applicable and applies to all records designated for permanent retention.

(3) DESTRUCTION AFTER REQUEST FOR INSPECTION. No requested record may be destroyed until after the request is granted or 60 days after the request is denied. If an action is commenced under Section 19.37, Wis. Stats., the requested record may not be destroyed until a court order is issued and all appeals have been completed.

(4) DESTRUCTION OF RECORDS SUBJECT TO PENDING LITIGATION. No records subject to pending litigation shall be destroyed until the litigation has been resolved.

(5) MICROFILMING RECORDS. Any Fire Department records can be kept on microfilm provided the applicable standards established in Section 16.61(7), Wis. Stats. are met. Factors such as retention periods and estimated costs and benefits of converting records between different medias should be considered in deciding whether or not to microfilm. The retention periods identified in this ordinance apply to records in any media.

(6) LISTING OF RECORDS.

<u>Record</u>	<u>Retention</u>
a. Inspection Reports	CR + 10 years
b. Burning Permits	CR + 1 year
c. Date Run Sheets	CR + 7 years
d. Defibrillation Data Sheets	CR + 7 years
e. Correspondence	CR + 1 year
f. Purchase Orders	CR + 2 years
g. Vehicle Maintenance Reports EVT	Life of vehicle
h. Defibrillation Code Tapes	CR + 7 years
i. EMS Reports	CR + 7 years
j. Fire Reports	CR + 7 years
k. HASMAT Records	CR + 10 years

LEGEND: CR means time is counted from creation or receipt of the record. EVT means an event such as filing a lawsuit or writing a ticket and time is counted from the date of this significant event. Unless specified all numbers above relate to years.

(7) REVIEW AND APPROVAL BY STATE PUBLIC RECORDS AND FORMS BOARD. This record has been reviewed and approved by the Public Records and Forms Board.

#### 4.19 CHARGES FOR EMS SERVICES

Any person requiring the services of the EMS shall pay the fees for such services provided in such amounts as determined, from time to time, by separate resolution of the Common Council. If, following notice as provided under Section 66.0627, Wis. Stats., the cost for the EMS services to City residents remains unpaid, the City Clerk/Treasurer may place the amount owed on the real estate tax rolls of the City in November of each year and said levy shall be collected as a special charge pursuant to Section 66.0627, Wis. Stats.. These charges do not apply to any law enforcement officer, firefighter or City employee who, while on duty, requires the services of the EMS. (Rep. & Recr. 09-21)

#### 4.20 REIMBURSEMENT FOR FIRE CALLS ON HIGHWAYS

(1) In the event the City of Pewaukee Fire Department or Emergency Medical Services equipment and personnel is dispatched to the scene of a motor vehicle accident within the City limits, those persons involved in the accident shall reimburse the City for the costs associated with providing the service, regardless of issues of fault or causation, etc., at a rate to be determined from time to time by resolution of the Common Council, unless such persons are a resident of the City of Pewaukee. Proof of residency within the City may be required and can be established through proof of ownership, lease or rental agreement for a residential dwelling; utility bills for a residential dwelling; or other evidence acceptable to the City Clerk, who shall be the final decision maker as to residency.

(2) The Fire Department and City Clerk shall apply for reimbursement to the Wisconsin Department of Transportation for fire calls that occur on State or Federal Highways within the City of Pewaukee limits as provided for under §62.13(8), Wis. Stats., and Wisconsin Administrative Regulations. The City shall apply for reimbursement only for incidents involving non-residents. Such reimbursement, if any from the State, does not relieve non-resident individuals involved in the incident from their reimbursement responsibilities under this ordinance.

#### 4.21 DEFINITIONS (Cr. 01-16)

- (1) Definitions:
- (a) Within this ordinance, the term "hazardous materials(s)" shall have that meaning as defined in the International Fire Code or the National Fire Protection Pamphlet 1670 or 472.
  - (b) Within this ordinance the term "technical rescue" shall have that meaning as defined in the National Fire Protection Pamphlet 1670 or 472.

(2) Any person who possesses or controls a hazardous material(s) which is discharged or who causes the discharge of a hazardous material(s) whether accidentally, negligently or intentionally which effects public or private property; public or private streets or alleys; or onto the ground waters, surface waters, subsurface waters or aquifers within the City of Pewaukee shall be responsible for the reimbursement of the responding agency, including but not limited to fire service, emergency medical service and law enforcement, for actual and necessary expenses incurred in carrying out their duties under this section.

(3) Any person who requires a technical rescue within the City of Pewaukee shall be responsible for the reimbursement of the responding agency, including but not limited to fire service, emergency medical service and law enforcement, for actual and necessary expenses incurred in carrying out their duties under this section.

(4) For purposes of this ordinance, actual and necessary expenses shall include any amount over and above the Basic Costs for Services as determined by the current (at the time the service is

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**01/2016**

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rendered) Waukesha County Mutual Aid Fee Schedule, for the following items which includes but is not limited to:

- abatement or clean up of the hazardous material;
- cost of equipment operations;
- cost of materials utilized, including the replacement of equipment damaged by hazardous materials;
- costs of third party specialists, experts or contract labor necessary to abate or clean up the material or to conduct the rescue;
- costs of cleaning, decontaminating and maintaining equipment specific to the incident;
- costs of laboratory expenses incurred in recognizing and identifying hazardous material(s) in evaluation of the response, decontamination, cleanup and medical surveillance;
- costs for future medical surveillance of response personnel as required by the responding agencies' medical advisor; and,
- labor costs such as overtime.

(5) The provisions of this ordinance are in addition to any other available remedies provided by law for the collection of reimbursement for the services described herein.

#### **4.22 FIRE INSPECTION OF COMMERCIAL STRUCTURES** (Cr. 07-14, Rep & Rec 16-01)

The Schedule of Fees for Fire Prevention Inspections shall read as follows:

- A. An annual fire prevention fee shall be charged to the property owner for the required inspection of each building, structure and premises in the city. This fee shall apply to taxable and tax-exempt properties alike.
- B. The fees shall be established, from time to time, by separate resolution of the Common Council and are for all buildings that fall under the Wisconsin Commercial Code and based on the following square footage schedule (square footage refers to the total floor area of any building or structure):
  - 1. Under 2,500 square feet
  - 2. 2,501 to 5,000 square feet
  - 3. 5,001 to 10,000 square feet
  - 4. 10,001 to 25,000 square feet
  - 5. 25,001 to 50,000 square feet
  - 6. 50,001 to 100,000 square feet
  - 7. 100,001 square feet and over
  - 8. Residential Multi-Family Buildings
- C. The annual fire prevention inspection fee shall constitute a special charge against the property, and any fee not paid by the date specified shall be extended upon the tax roll as a delinquent tax against the property and all proceedings in relation to the collection, return and sale of property for delinquent real estate taxes apply to the delinquent fee under the provisions of Section 66.0703 (13), Wis. Stats.
- D. All buildings, structures, and premises owned by the City of Pewaukee shall be exempt from the annual fire prevention inspection fee.

#### **4.25 PENALTY**

Any person who shall violate any provision of this chapter or any order, rule or regulations made hereunder shall be subject to a penalty as provided in Section 25.04 of the City of Pewaukee Municipal Code.

**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 11.**

**DATE:** June 7, 2021

**DEPARTMENT:** PW - Streets

**PROVIDED BY:** Magdelene Wagner

***SUBJECT:***

Discussion and Possible Action Regarding Rocky Point Avenue Generator Easement to Lake Pewaukee Sanitary District [Wagner]

***BACKGROUND:***

Lake Pewaukee Sanitary District (LPSD) is updating several of their lift stations with permanent generators including the lift station at the west end of Rocky Point Avenue.

LPSD has worked with the adjacent property owners and have concluded they will place the generator in this location rather than adjacent to the existing lift station at the west end of Rocky Point Avenue (see Location Map).

LPSD is now seeking an easement for the generator building, parking slab, and gas/electric to be located within the right of way of Rocky Point Avenue (see Easement Document).

***FINANCIAL IMPACT:***

None. LPSD is responsible for all costs associated with this easement acquisition.

***RECOMMENDED MOTION:***

Council approve the easement contingent on City Engineer and City Attorney approving the documents.

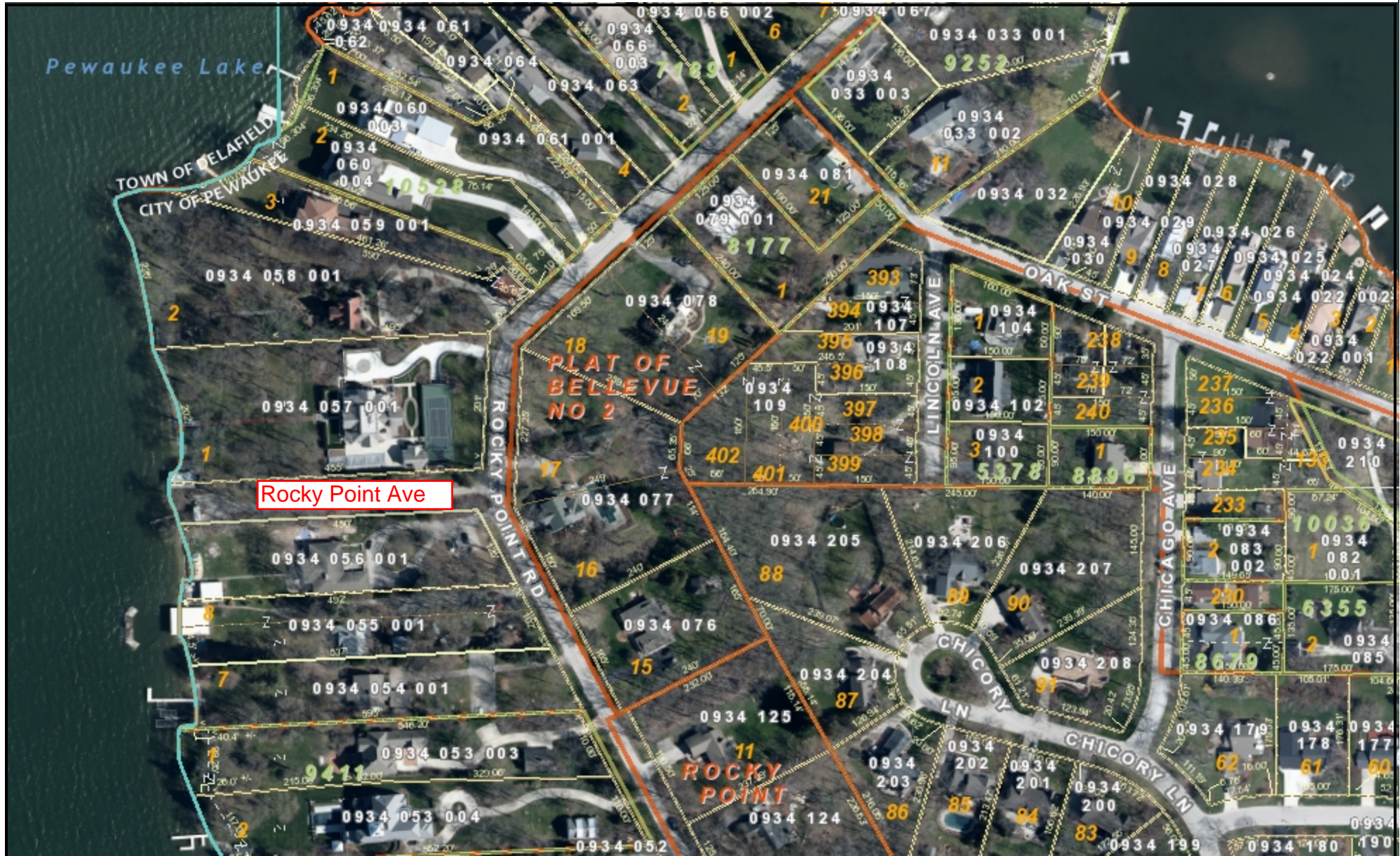
**ATTACHMENTS:**

Description

Location Map

Location Map with Topo

Easement Document



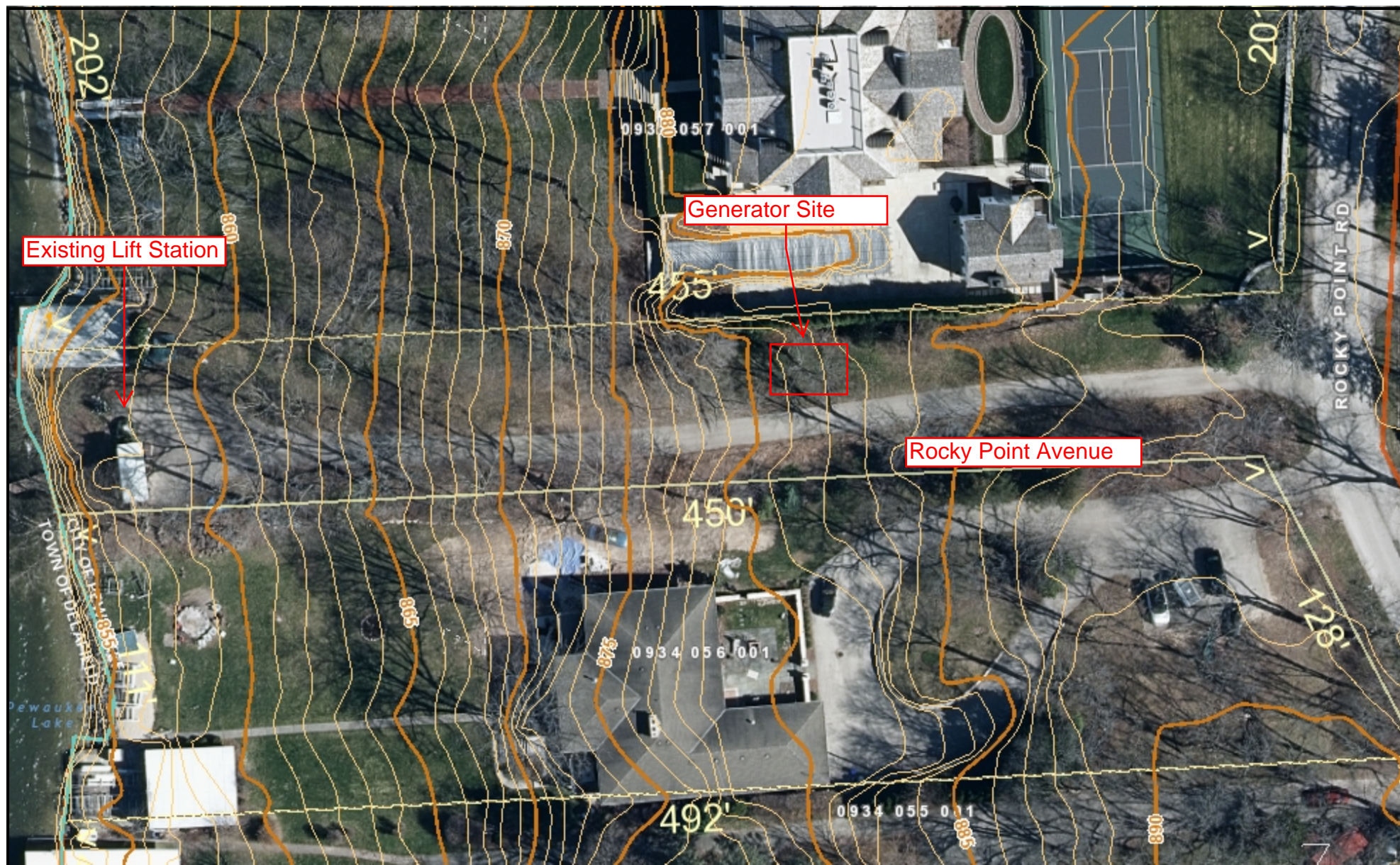
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The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning.

Notes:

Printed: 6/2/2021





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**Notes:**

Printed: 6/2/2021



SANITARY SEWER  
GENERATOR BUILDING EASEMENT

Document Title

Document Number

Recording Area

Name and Return Address

Haight & Fabyan, S.C.  
A. Erick Fabyan  
115 E Capitol Dr  
Hartland WI 53029

Parcel Identification Number (PIN)

THIS AGREEMENT made this \_\_\_\_\_ day of \_\_\_\_\_, 2021, by and between the City of Pewaukee, a city located in Waukesha County, Wisconsin (the “Grantor”) and the Lake Pewaukee Sanitary District, a public utility located in Waukesha County, Wisconsin, (the “LPSD”).

RECITALS

WHEREAS, the Grantor is the owner of that certain public road right of way known as Rocky Point Avenue situated in the Plat of Bellevue Subdivision in the City of Pewaukee, Waukesha County, Wisconsin (the “Road Right of Way”).

WHEREAS, the LPSD owns and operates sewer facilities that traverse the Road Right of Way;

WHEREAS, the LPSD is the owner of that certain land abutting the Road Right of Way that contains a sanitary pumping station and related facilities, and which has the following legal description:

All that part of property identified as the westerly portion of Rocky Point Avenue, and located in the Town of Delafield, Waukesha County, Wisconsin, and further identified as property located

in the Town of Delafield, identified as Rocky Point Avenue, located between lot 8 of Block B of Plat of Bellevue and lot 1 of Block C of Plat of Bellevue, which plat is located in Section 18, Town of Pewaukee (now known as City of Pewaukee) and Section 13 Town of Delafield, Waukesha County, State of Wisconsin.

(the "Parcel");

WHEREAS, the LPSD desires to build on the Road Right of Way a building to contain a generator for the operation of a sanitary sewer pumping station located on the Parcel, together with appurtenances thereto, and a slab for parking (the "Building");

WHEREAS, the LPSD desires to acquire, and Grantor desires to grant, a permanent and perpetual right for the construction, operation, use, maintenance and repair (including reconstruction) of the Building, including the right of entry, in and across the easement area of the property hereinafter described on the Road Right of Way and as more particularly set forth on Exhibit A:

Part of Rocky Point Avenue, as platted by the Plat of Bellevue, being part of the Southwest 1/4 of the Northwest 1/4 of Section 18, T7N, R19E, City of Pewaukee, Waukesha County, Wisconsin bounded and described as follows:

Commencing at the Southeast corner of Lot 1, Block C of the Plat of Bellevue; thence South 87°45'00" West along the North line of Rocky Point Avenue 170.12 feet to the point of beginning of the lands to be described; thence South 02°15'00" East, 30.00 feet; thence South 82°09'30" West, 51.24 feet; thence North 02°15'00" West, 30.00 feet to the North line of Rocky Point Avenue; thence North 87°45'00" East along said North line 51.00 feet to the point of beginning.

Contains 1,658 square feet, 0.04 acres; and

WHEREAS, the Grantor acknowledges that locating the Building in the Road Right of Way necessitates installing electrical cables across the Road Right of Way that go to the Building and from the Building to the sanitary pumping station, and Grantor desires to grant and LPSD desires to acquire a permanent and perpetual right for the construction, installation, operation, repair, maintenance, and replacement of conduit and cables underground, together with markers and other appurtenant equipment, and together with all necessary and usual appurtenant equipment above ground, all for the purpose of transmitting electric energy to the sanitary pumping station located on the Parcel, upon, along, over, across and within the property hereinafter described on the Road Right of Way and as more particularly set forth on Exhibit B:

Easement A: Part of Rocky Point Avenue, as platted by the Plat of Bellevue, being part of the Southwest 1/4 of the Northwest 1/4 of Section 18, T7N, R19E, City of Pewaukee, Waukesha County, Wisconsin bounded and described as follows:

Beginning at the Southeast corner of Lot 1, Block C of the Plat of Bellevue; thence South 03°30'03" West, 10.05 feet; thence South 87°45'00" West, 169.12 feet; thence North 02°15'00" West, 10.00 feet to the North line of Rocky Point Avenue; thence North 87°45'00" East, 170.12 feet to the point of beginning.

Contains 1,696 square feet, 0.04 acres.

Easement B: Part of Rocky Point Avenue, as platted by the Plat of Bellevue, being part of the Southwest 1/4 of the Northwest 1/4 of Section 18, T7N, R19E, City of Pewaukee, Waukesha County, Wisconsin bounded and described as follows:

Commencing at the Southeast corner of Lot 1, Block C of the Plat of Bellevue; thence South 87°45'00" West along the North line of Rocky Point Avenue 170.12 feet; thence South 02°15'00" West, 30.00 feet to the point of beginning of the lands to be described; thence South 32°41'49" East, 34.80 feet to the South line of Rocky Point Avenue; thence South 87°45'00" West along said South line 11.60 feet; thence North 32°41'49" West, 33.55 feet; thence North 82°09'03" East, 11.02 feet to the point of beginning.

Contains 342 square feet, 0.01 acres


Easement C: Part of Rocky Point Avenue, as platted by the Plat of Bellevue, being part of the Southwest 1/4 of the Northwest 1/4 of Section 18, T7N, R19E, City of Pewaukee, Waukesha County, Wisconsin bounded and described as follows:

Commencing at the Southeast corner of Lot 1, Block C of the Plat of Bellevue; thence South 87°45'00" West along the North line of Rocky Point Avenue 221.12 feet to the point of beginning of the lands to be described; thence South 02°15'00" East, 10.00 feet; thence South 87°45'00" West; 76.85 feet; thence North 02°15'00" West, 10.00 feet; thence North 87°45'00" East, 76.85 feet to the point of beginning.


Contains 768 square feet, 0.02 acres.

NOW, THEREFORE, in consideration of good and valuable consideration, receipt of which is hereby acknowledged,

1. Grantor grants and conveys unto LPSD a perpetual easement for the construction, operation, use, maintenance and repair (including reconstruction) of a Building to contain a generator for the operation of a sanitary sewer pumping station, together with appurtenances thereto, and a slab for parking in the City of Pewaukee, Waukesha County, Wisconsin, through the easement area so described above and as set forth on the attached Exhibit A;

2. Grantor grants and conveys unto LPSD a perpetual easement for the construction, installation, operation, repair, maintenance and replacement of conduit and cables underground, together with markers and other appurtenant equipment, and together with all necessary and usual appurtenant equipment above ground, all for the purpose of transmitting electric energy to the sanitary pumping station located on the Parcel, through the easement area so described above and as set forth on the attached Exhibit B. LPSD shall be authorized to execute any utility easements as the grantor of said utility easements over said described land for the purposes set forth herein. 

#### UPON CONDITION

4. The right, permission and authority is also granted to LPSD to trim and/or cut down certain trees and/or brush where said trees and/or brush interfere with the construction or 

maintenance of the Building, represent a hazard to the Building, interfere with the construction or maintenance of the electrical equipment and underground or aboveground facilities, or represent a hazard to such electrical equipment or underground or aboveground facilities.

5. The Grantor, and Grantor's heirs, successors and assigns, covenant(s) and agree(s) to restrict the use of the land included in the Easement described hereinabove so that no obstruction of access to the Building shall be created in the future and that no building, trees, shrubs, structures or items that may interfere with the use, maintenance or repair of the Building within the vertical planes of the easement area.

6. The Grantor, and Grantor's heirs, successors and assigns, covenant(s) and agree(s) to restrict the use of the land included in the Easement described hereinabove so that no building, trees, shrubs, structures or items will be erected over and/or under or placed in such close proximity to the electrical equipment and either underground or aboveground electrical facilities as to create a violation of the Wisconsin State Electrical Code or any amendments thereto. The Grantors, and Grantor's heirs, successors and assigns, further covenant(s) and agree(s) that after the installation and construction of said electrical facilities, the elevation of the existing ground surface within the easement area set forth on Exhibit B shall not be altered by more than four (4) inches without the written consent of Grantee.

7. LPSD and its agents shall have the right to enter upon the Easement for the purpose of exercising its rights herein acquired.

8. Grantor consents to the entry by the servants, employees, workmen, agents or independent contractors of LPSD for and incidental to the construction, operation, use, maintenance and repair (including reconstruction) of such Building.

9. This indenture shall run with the land hereinbefore described, and shall be binding upon and inure to the benefit of the parties hereto, their respective heirs, administrators, successors and assigns.

**[SIGNATURE PAGE TO FOLLOW]**

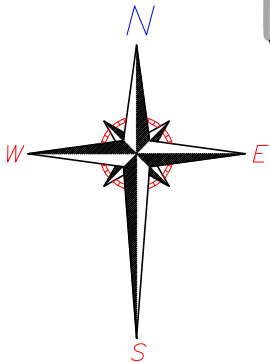
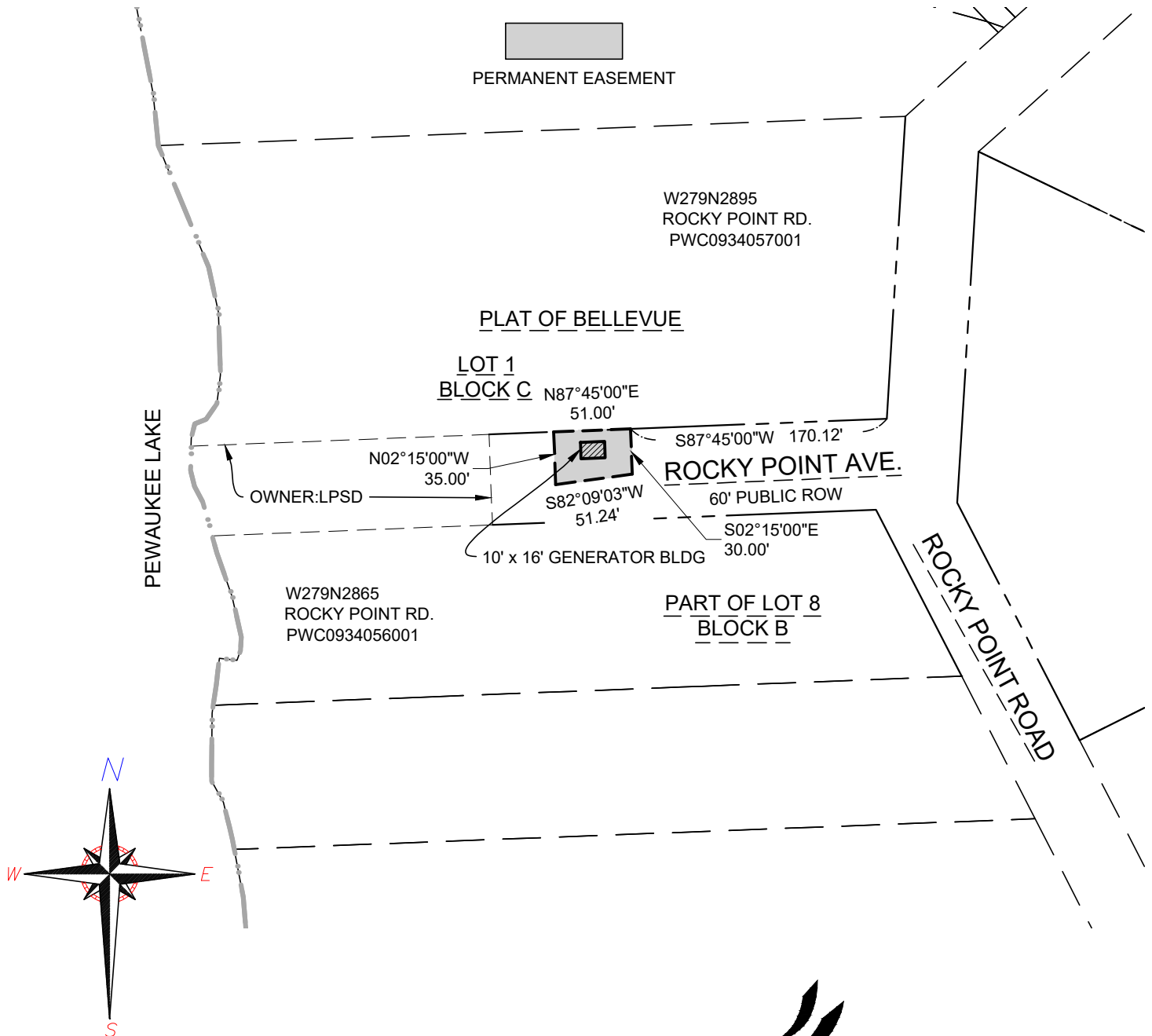


# EXHIBIT A

Part of Rocky Point Avenue as platted by the Plat of Bellevue, being part of the Southwest 1/4 of the Northwest 1/4 of Section 18, T7N, R19E, City of Pewaukee, Waukesha County, Wisconsin bounded and described as follows:

Commencing at the Southeast corner of Lot 1, Block C of the Plat of Bellevue; thence South 87°45'00" West along the North line of Rocky Point Avenue 170.12 feet to the point of beginning of the lands to be described; thence South 02°15'00" East, 30.00 feet; thence South 82°09'30" West, 51.24 feet; thence North 02°15'00" West, 30.00 feet to the North line of Rocky Point Avenue; thence North 87°45'00" East along said North line 51.00 feet to the point of beginning.

Contains 1,658 square feet, 0.04 acres



SCALE: 1" = 100'



PHONE: 414.949.8919  
501 MAPLE AVENUE  
DELAFIELD, WI 53018-9351  
www.sehinc.com

PROJECT LAPSD #149010

# EXHIBIT B

EASEMENT TO LPSD

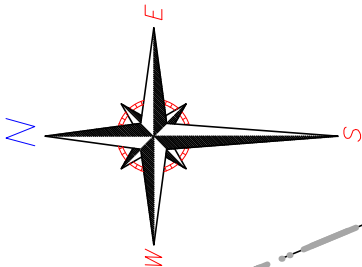
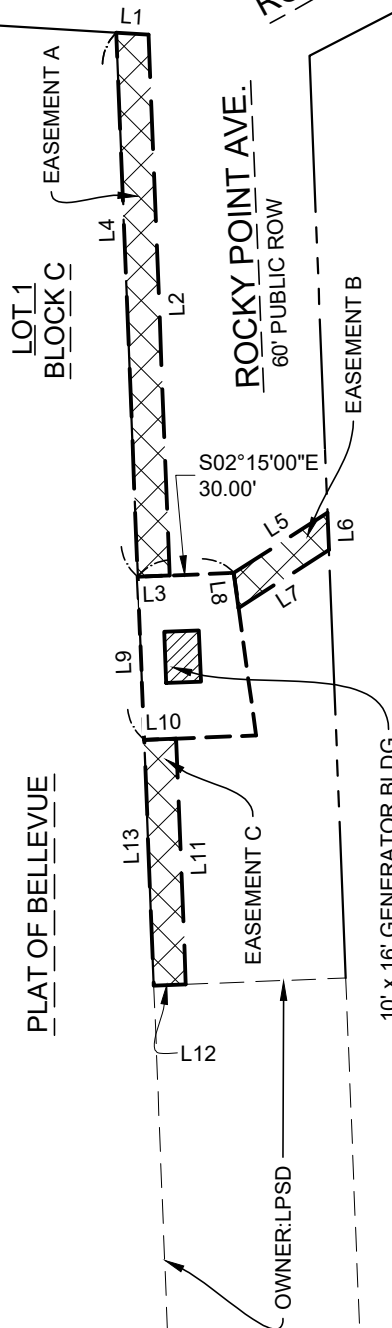
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ROCKY POINT RD.  
PWC0934057001

W279N2865  
ROCKY POINT RD.  
PWC0934056001

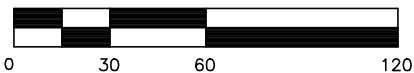
PART OF LOT 8  
BLOCK B

LINE TABLE

SEGMENT	LENGTH	DIRECTION
L1	10.05'	S03°30'03"W
L2	169.12'	S87°45'00"W
L3	10.00'	N02°15'00"W
L4	170.12'	N87°45'00"E
L5	34.80'	S32°41'49"E
L6	11.60'	S87°45'00"W
L7	33.55'	N32°41'49"W
L8	11.02'	N82°09'03"E
L9	221.12'	S87°45'00"W
L10	10.00'	S02°15'00"E
L11	76.85'	S87°45'00"W
L12	10.00'	N02°15'00"W
L13	76.85'	N87°45'00"E



SCALE: 1" = 60'



PEWAUKEE LAKE



PHONE: 414.949.8919  
501 MAPLE AVENUE  
DELAFIELD, WI 53018-9351  
www.sehinc.com

PROJECT LAPSD #149010

SHEET 1 OF 2

# EXHIBIT B

## Easement A

Part of Rocky Point Avenue as platted by the Plat of Bellevue, being part of the Southwest 1/4 of the Northwest 1/4 of Section 18, T7N, R19E, City of Pewaukee, Waukesha County, Wisconsin bounded and described as follows:

Beginning at the Southeast corner of Lot 1, Block C of the Plat of Bellevue; thence South 03°30'03" West, 10.05 feet; thence South 87°45'00" West, 169.12 feet; thence North 02°15'00" West, 10.00 feet to the North line of Rocky Point Avenue; thence North 87°45'00" East, 170.12 feet to the point of beginning.

Contains 1,696 square feet, 0.04 acres

## Easement B

Part of Rocky Point Avenue as platted by the Plat of Bellevue, being part of the Southwest 1/4 of the Northwest 1/4 of Section 18, T7N, R19E, City of Pewaukee, Waukesha County, Wisconsin bounded and described as follows:

Commencing at the Southeast corner of Lot 1, Block C of the Plat of Bellevue; thence South 87°45'00" West along the North line of Rocky Point Avenue 170.12 feet; thence South 02°15'00" West, 30.00 feet to the point of beginning of the lands to be described; thence South 32°41'49" East, 34.80 feet to the South line of Rocky Point Avenue; thence South 87°45'00" West along said South line 11.60 feet; thence North 32°41'49" West, 33.55 feet; thence North 82°09'03" East, 11.02 feet to the point of beginning.

Contains 342 square feet, 0.01 acres

## Easement C

Part of Rocky Point Avenue as platted by the Plat of Bellevue, being part of the Southwest 1/4 of the Northwest 1/4 of Section 18, T7N, R19E, City of Pewaukee, Waukesha County, Wisconsin bounded and described as follows:

Commencing at the Southeast corner of Lot 1, Block C of the Plat of Bellevue; thence South 87°45'00" West along the North line of Rocky Point Avenue 221.12 feet to the point of beginning of the lands to be described; thence South 02°15'00" East, 10.00 feet; thence South 87°45'00" West, 76.85 feet; thence North 02°15'00" West, 10.00 feet; thence North 87°45'00" East, 76.85 feet to the point of beginning.

Contains 768 square feet, 0.02 acres

Contains 1,658 square feet, 0.04 acres

**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 12.**

**DATE:** June 7, 2021

**DEPARTMENT:** Public Works

**PROVIDED BY:** Magdelene Wagner

***SUBJECT:***

Discussion and Possible Action Regarding the Intermunicipal Agreement for the Lindsay Road/Redford Boulevard (CTH F) Intersection Improvements [Wagner]

***BACKGROUND:***

Recall the City of Pewaukee approved working with Waukesha County to apply for a Highway Safety Improvement Program Grant for the Lindsay Road and Redford Boulevard (CTH F) intersection improvement project. The project did receive funding from the HSIP grant for 2023 construction of a Restricted Crossing U-Turn (RCUT) intersection.

This was previously discussed on March 15, 2021. See attached minutes.

With securing the grant, the County is seeking a Two Party Project Agreement for the project and its funding. Please see the attached revised agreement. Couple of items to note in this agreement. The City is funding all costs outside of the grant funding. The City will responsible for the operation and maintenance of the lighting required for the intersection and any enhancements (other than standard signage and pavement markings) for the pedestrian crossing. The City will also have jurisdiction of the crossing.

***FINANCIAL IMPACT:***

The 2021 Budget allocated \$20,000 for this project

***RECOMMENDED MOTION:***

Common Council approve the intermunicipal agreement contingent on the Director of Public Works and the City Attorney review and approval.

**ATTACHMENTS:**

Description

20210315 CC minutes

Letter to County for Adding Pedestrian Crossing

Revised Two Party Agreement

issue because the homes are built in stages. She said the Parade of Homes are hurrying to complete the homes so more traffic is in the area at this time.

5. Discussion and Possible Action to Adopt **Resolution 21-03-08** Government Responsibility Resolution for the Department of Natural Resources (DNR) Storm Water Planning Grant Application

Ms. Wagner stated every two years the DNR offers planning grants for storm water and this year they would like to move forward with an application. She said this has been a long-standing project and the request for proposal is expected to go out this year. The grant would cover the water quality aspect of the project and would be available in 2022. Ms. Wagner stated the resolution would grant her the authorization to sign the applications and sign the paperwork for reimbursements.

**A motion was made and seconded (J. Kara, R. Grosch) to approve the government**

**responsibility resolution, 21-03-08, for the Department of Natural Resources.** Motion Passed: 6-For, 0-Against.

6. Discussion and Possible Action Regarding the Intermunicipal Agreement for the Lindsay Road / Redford Boulevard (CTH F) Intersection Improvements

Ms. Wagner stated she received this agreement from Waukesha County for the restricted crossing “U” turn safety improvements for the intersection at Redford Boulevard and Lindsay Road. She said the County secured a grant and would be responsible for 90 percent of the project costs and the City would be responsible for the other 10 percent. Ms. Wagner stated this agreement lays out the costs, as well as who the project lead is and who will do the review. Ms. Wagner made note that there are proposed LED lights at the intersection and the City would be responsible for the long-term maintenance of them. She said the agreement was reviewed by the City Attorney and herself and she had a few questions related to the document. She said there is land acquisition needed, as well as some grading work, but the County was unsure of their needs at this time. Ms. Wagner stated she’d rather grant them an easement, versus giving them the land. She said flood plain changes are needed in that northeast quadrant and the City may have use for that land. The project would not take place until 2023 and as much as the Council would like to see the project expedited, she said the County felt that would not be possible due to funding issues. Ms. Wagner stated the plan doesn’t show pedestrian or bicycle crossing and the County would not consider building the facility because there is nothing currently there and there is high-volume on the roadway. It is not a safe crossing area. Ms. Wagner stated if the Council wants it, they need to put in the walkway or trail prior to the project. Ms. Wagner wanted a provision added to the agreement that the City can reject all bids if they come in too high. Ms. Wagner recommended approving the agreement contingent on final review of the agreement by staff and the City Attorney.

Mr. Bergman asked if a crossing was proposed in the City’s bike and pedestrian plan. Ms. Wagner confirmed that it was. She said there are trails proposed down Lindsay Road, Swan Road and Duplainville Road that would connect to Balmer Park and the Sports Complex.

Mr. Bergman thought if the City had a plan for future development, the County would have to build it to accommodate for that future improvement. Ms. Wagner stated that was correct if they were reconstructing the road. However, this is just an intersection improvement funded by a safety grant.

Mr. Grosch stated he thought the County had a facility for crossing when they originally proposed the improvements to the City. Ms. Wagner said they had a provision showing how it would look, but it was removed.

Mr. Kara stated he was disappointed that this project won't be completed until 2023. This plan will make it useless for bikes and pedestrians. Ms. Wagner stated it was her understanding that this would be a raised intersection. Ms. Wagner stated they would have to "snake" around to cross the intersection to avoid the curb. Mr. Kara asked if the plan created a more dangerous situation for bicycles.

Ms. Brown stated this intersection was already dangerous. She said this improvement came to the Council because it was dangerous for cars.

Mr. Dziwulski voiced his displeasure that the County took out the crossing. He felt it was too dangerous.

Mr. Grosch stated some provision should be made in this area since the City has a plan for trails in the area.

Ms. Wagner read the following comment from the County: "If the City feels strongly regarding the crossing, we would need to meet and not only discuss the impacts and safety of the crossing, but the City's improvements to connect walks and overall." Ms. Wagner continued to say that the County feels this is a minor inconvenience for bicyclists for a major safety gain.

Mr. Bergman agreed with Mr. Kara's safety concerns and thought it should be brought back to Waukesha County for reconsideration to make it safe for bicyclist and pedestrians as well.

Ms. Wagner was directed to go back to the County to voice the City's concerns.

Ms. Wagner stated the County is going to ask when the trails are going in on Lindsay Road to justify the pedestrian crossing. She said the project could be added to the 2022 budget.

Mayor Bierce asked when Duplainville Road and Lindsay Road were projected to be done. Ms. Wagner stated Duplainville Road is proposed for 2022. She said Lindsay Road has been pushed off because they are waiting for utilities to come to that area. She estimated sometime within in the next five years.

Ms. Brown stated she was concerned that this would tie future Councils. She said no costs were given and she didn't agree with this.

Attorney Riffle stated we were not tying future Council hands because no contract is being signed.

Mr. Klein concurred with Attorney Riffle.

Ms. Wagner stated she would come back to the Council requesting a budget amendment for engineering fees.

Mr. Grosch asked if it would be an on-road or off-road plan. Ms. Wagner stated she believes the recommendation is for an on-road trail but feels there are some pretty significant grading issues to do so.

7. Discussion and Possible Action Regarding **Ordinance 21-01** Amending Chapter 5 - Traffic to Add Broken Hill Boulevard, Century Farm Road, and Highfield Road to Section 5.05(3)(b)

Ms. Wagner stated this is in response to the complaints received related to the Swan View Farms construction traffic driving through the Broken Hill subdivision. She indicated even though the developer's agreement prohibits large trucks from using these streets, the vendors are still cutting



**Department of Public Works  
Engineering Division**

W240N3065 Pewaukee Road • Pewaukee, WI 53072

Phone: (262) 691-0804 • Fax: (262) 691-5729

Email: [publicworks@pewaukee.wi.us](mailto:publicworks@pewaukee.wi.us)

May 17, 2021

Allison Bussler  
Public Works Director  
Waukesha County Department of Public Works  
515 West Moreland Boulevard, AC 220  
Waukesha, WI 53188

Dear Ms. Bussler:

The City of Pewaukee (City) appreciates all your efforts to address the safety concerns of the City residents at the intersection of Redford Boulevard (CTH F) and Lindsay Road intersection. We were grateful to see the Highway Safety Improvement Program (HSIP) committee agreed with our concerns and approved the grant.

Upon receipt of the Inter Municipal Agreement from the County to support this project, we were surprised to see the pedestrian crossing that was discussed and presented prior to and shown as part of the HSIP application was eliminated.

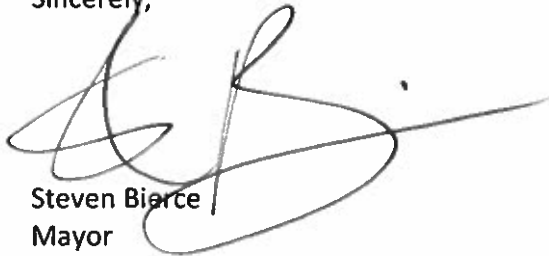
The City has committed and is currently designing a multi-purpose trail along Lindsay Road from Duplainville Road to the Pewaukee Sports Complex, and along Duplainville Road from Weyer Road south to Green Road (see the attached map with its proposed location). The construction of the trails connect two of our City parks, Wagner Park and Pewaukee Sports Complex, as well as connecting numerous subdivisions to the parks. The City anticipates the construction of this trail as part of the Duplainville Road reconstruction project in 2022.

City and County staff discussed having this crossing at an existing signalized intersection. Unfortunately, this would not be a realistic alternative. The closest signalized intersection is Lisbon Road (CTH K), approximately 3,550 feet north, however this intersection is outside of the City's jurisdiction in the Town of Lisbon, and would require additional trail installed along CTH K and Duplainville Road. In addition, traffic along CTH K is uncontrolled at Duplainville Road, has a large volume of traffic, a large volume of truck traffic, and often backs up due to the railroad crossing yielding another dangerous intersection for pedestrians. The next closest controlled intersection is Capital Drive (STH 190) and CTH F, approximately 7,100 feet south, which is less than ideal due to the current configuration of off ramps from Capital Drive to CTH F and the substantial grade difference between STH 190 and CTH F. A trail would need to be installed along CTH F or along STH 190, STH 164, Swan Road, and Lindsay Road to the park - a substantially longer connection.

The Pewaukee Sports Complex is planned to have walking trails within the park. In addition, an inclusive playground/splash pad is planned for this park.

The City is respectfully requesting the pedestrian crossing be added to the intersection improvement project. If you need additional information or would like to discuss this further, please feel free to contact our office at (262) 691-0770.

Sincerely,

A handwritten signature in black ink, appearing to be 'S. Bierce', with a long horizontal stroke extending to the right.

Steven Bierce  
Mayor

Sincerely,

A handwritten signature in black ink, appearing to be 'Magdelene Wagner', with a large, sweeping arch over the letters.

Magdelene Wagner, P.E.  
Director of Public Works/City Engineer

Cc: Scott Klein, City Administrator  
Karen Braun, Engineering Manager, Waukesha County



# Waukesha County GIS Map



0 1,000.00feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

- Notes:**
- Trail under design - Construction 2022
  - Future Trails
  - Current on road Trail



Printed: 5/17/2021

**TWO-PARTY PROJECT AGREEMENT**  
**Between**  
**WAUKESHA COUNTY by the DEPARTMENT OF PUBLIC WORKS**  
**And**  
**THE CITY OF PEWAUKEE**

This Agreement is made and entered into between Waukesha County by the Department of Public Works (hereinafter called the DEPARTMENT) and the City of Pewaukee (hereinafter called the CITY) to designate the responsibilities for design, real estate acquisition, construction, and payment of certain costs associated with roadway safety improvements at the County Trunk Highway F (CTH F, also known as Redford Boulevard) and Lindsay Road intersection. Attachment 1 is a Conceptual Plan of the Intersection Proposed Improvements.

WHEREAS, the DEPARTMENT has obtained Highway Safety Improvement Program (HSIP) federal-funding from the Wisconsin Department of Transportation (WisDOT) to modify the existing CTH F/Lindsay Road full-turn intersection to a 'Restricted Crossing U-Turn Intersection' (RCUT) in the City of Pewaukee.

WHEREAS, the CITY has requested that the DEPARTMENT prioritize safety improvements at the CTH F and Lindsay Road intersection more quickly than other DEPARTMENT projects.

WHEREAS, the CITY agrees to pay the actual costs associated with the local-share for completing the design, real estate acquisition and construction items listed in the cost estimate, attached hereto as Attachment 2, necessary to convert the CTH F/Lindsay Road intersection to a RCUT intersection.

The parties do mutually agree to the responsibilities related to the design, real estate acquisition and construction funding of said items as described below:

**RESPONSIBILITIES:**

The DEPARTMENT shall:

1. Complete design, real estate acquisition, contract plans, specifications and estimates for modifying the CTH F/Lindsay Road full-turn intersection to a RCUT intersection. Work directly with WisDOT staff as part of preparing construction bid documents.
2. At the request of the CITY the DEPARTMENT will include a pedestrian crossing at the intersection as shown in Attachment 1. Standard pedestrian signage and pavement markings will be included a part of this agreement. If the CITY requests specialized pedestrian signage, crossing enhancements and lighting, a separate agreement will be required.

3. Monitor progress of ongoing field inspection and contract administration performed by WisDOT during construction for HSIP-funded projects. WisDOT would publicly bid said roadway improvement in accordance with all federal and state laws.
4. Make available to the City, with reasonable notice, bidding documents, bid results, notice of award, and copies of all records recommendations of awards, reports, engineer findings, and WisDOT's correspondence regarding said roadway improvements.
5. Review WisDOT's accounts of construction activities, changes in work, construction costs, and any delays or additional work necessary to complete the project. Assess any incremental increases or decreases in quantities or costs.
6. Provide copies of WisDOT's possible work change directives, change orders, or other appropriate documents to the contractor, as contract or construction changes dictate, to expedite the progress of the construction work. Any document that would increase the CITY's costs shall be provided before execution by WisDOT and the DEPARTMENT, via email, to the CITY'S Representative for review, and the CITY'S comments thereon considered if received by the DEPARTMENT within two business days of the time it is emailed to the CITY'S Representative.
7. Furnish to the CITY a detailed breakdown of all actual construction costs including all change orders and work change directives upon completion of the project.
8. Invoice the CITY on a quarterly basis.

The CITY shall:

1. Pay the actual costs of items that are estimated in Attachment 2, beyond the federal funding amount of a HSIP-project to be sought by Waukesha County. Project costs estimated at time this Agreement is signed, are anticipated to include:

	<b>Federal-funded share</b>	<b>County share</b>	<b>City share</b>	<b><u>TOTAL</u></b>
Design & WisDOT-design review	\$135,720	\$ 0	\$ 15,080	\$ 150,800
Construction	\$738,068	0	\$ 83,008	\$ 821,076
Real estate	<u>0</u>	<u>0</u>	\$34,200	\$ 34,200
<b>TOTAL COST DISTRIBUTION</b>	<b>\$873,788</b>	<b>\$ 0</b>	<b>\$132,288</b>	<b>\$1,006,076</b>

Any additional costs that may be incurred in association with these items shall be paid for by the CITY. The CITY shall pay the total **actual costs** for these items when they are invoiced by the DEPARTMENT.

2. Accept and maintain ownership of the pedestrian crossing and construct the planned multi-purpose trail along Lindsay Road in the vicinity of this intersection prior to the summer 2023 intersection project construction.
3. Pay the entire actual design/construction/real estate acquisition costs for items which are the responsibility of the CITY within 30 days of receipt of an invoice from the DEPARTMENT.
4. Accept all future cost responsibilities for operating intersection area highway lighting located outside the CTH F pavement, upon completion of project construction.
5. Quit Claim to Waukesha County at no additional costs the adjacent City-owned lands necessary for project construction.
5. Designate a representative to act for the CITY under this Agreement. The representative shall be:

Magdelene Wagner, P.E.  
Director of Public Works/City Engineer  
City of Pewaukee  
W240 N3065 Pewaukee Road  
Pewaukee, WI 53072  
262-691-0804 Office

#### OTHER TERMS

1. Assignment: The parties agree that there shall be no assignment or transfer of this Agreement nor of any interests, rights or responsibilities contained herein without a written amendment agreed to by both parties.
2. Amendment: The parties, by mutual consent, may amend this Agreement in writing at any time.
3. Severability: If any provision of this Agreement is held invalid under any applicable law, such invalidity shall not affect any other provision of this Agreement that can be given effect without the invalid provision and, to this end, the provisions hereof are severable.
4. Construction is currently anticipated to occur during 2023 as a HSIP-funded project by WisDOT, subject to the terms of this Agreement.
5. If this HSIP-funded project is cancelled by WisDOT, then this two party agreement becomes void between the DEPARTMENT and CITY.

Attachment 1: Conceptual Plan of Intersection Proposed Improvements, CTH F at Lindsay Rd

Attachment 2: Concept Layout Plan Cost Estimate (August 2020)

APPROVAL

This Agreement will be effective on the date of the DEPARTMENT'S signature.

CITY:  
City of Pewaukee

DEPARTMENT:  
Waukesha County

By: \_\_\_\_\_

By: \_\_\_\_\_

Title: \_\_\_\_\_

Allison Bussler  
Title: Director of Public Works

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Address for CITY:

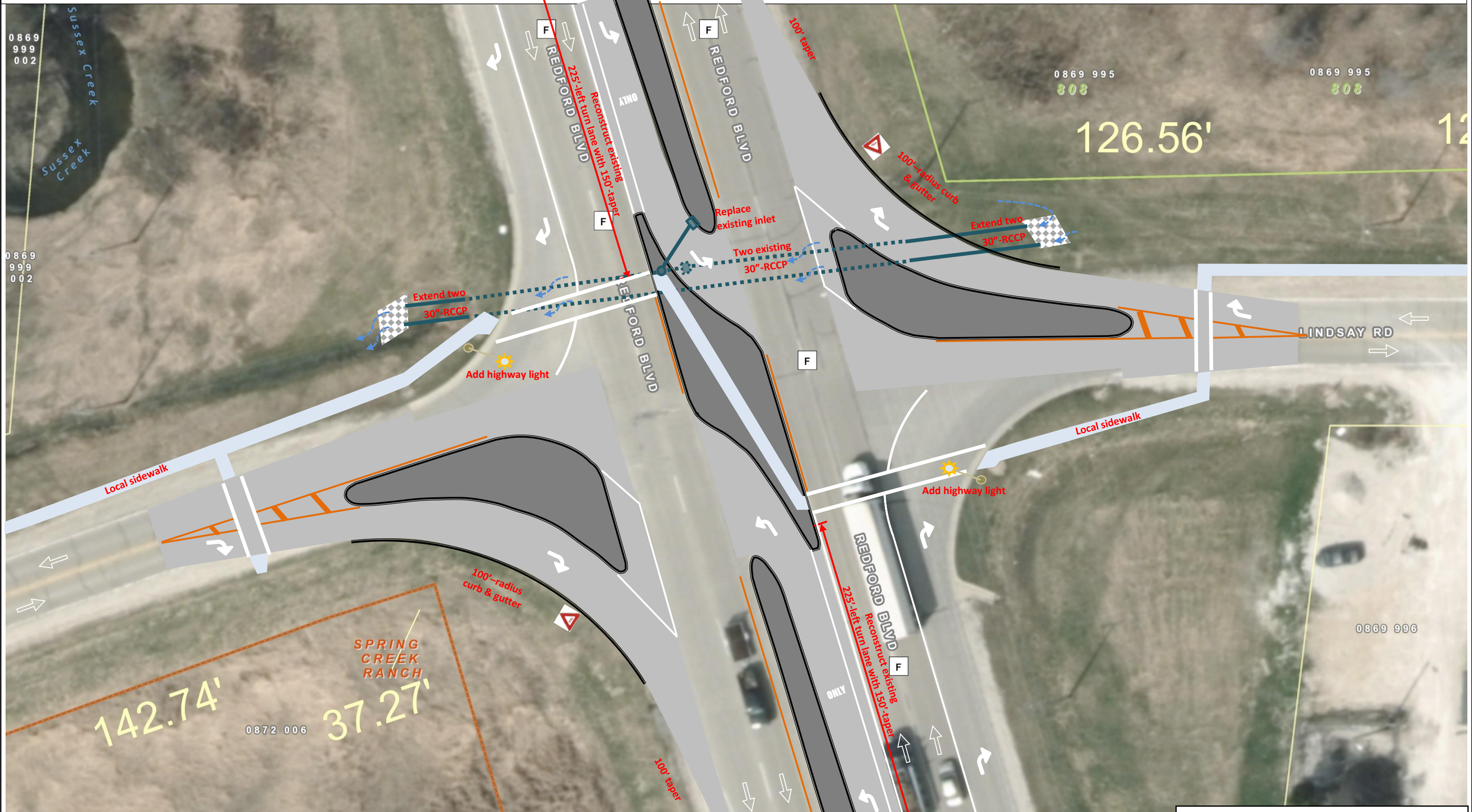
Address for DEPARTMENT:

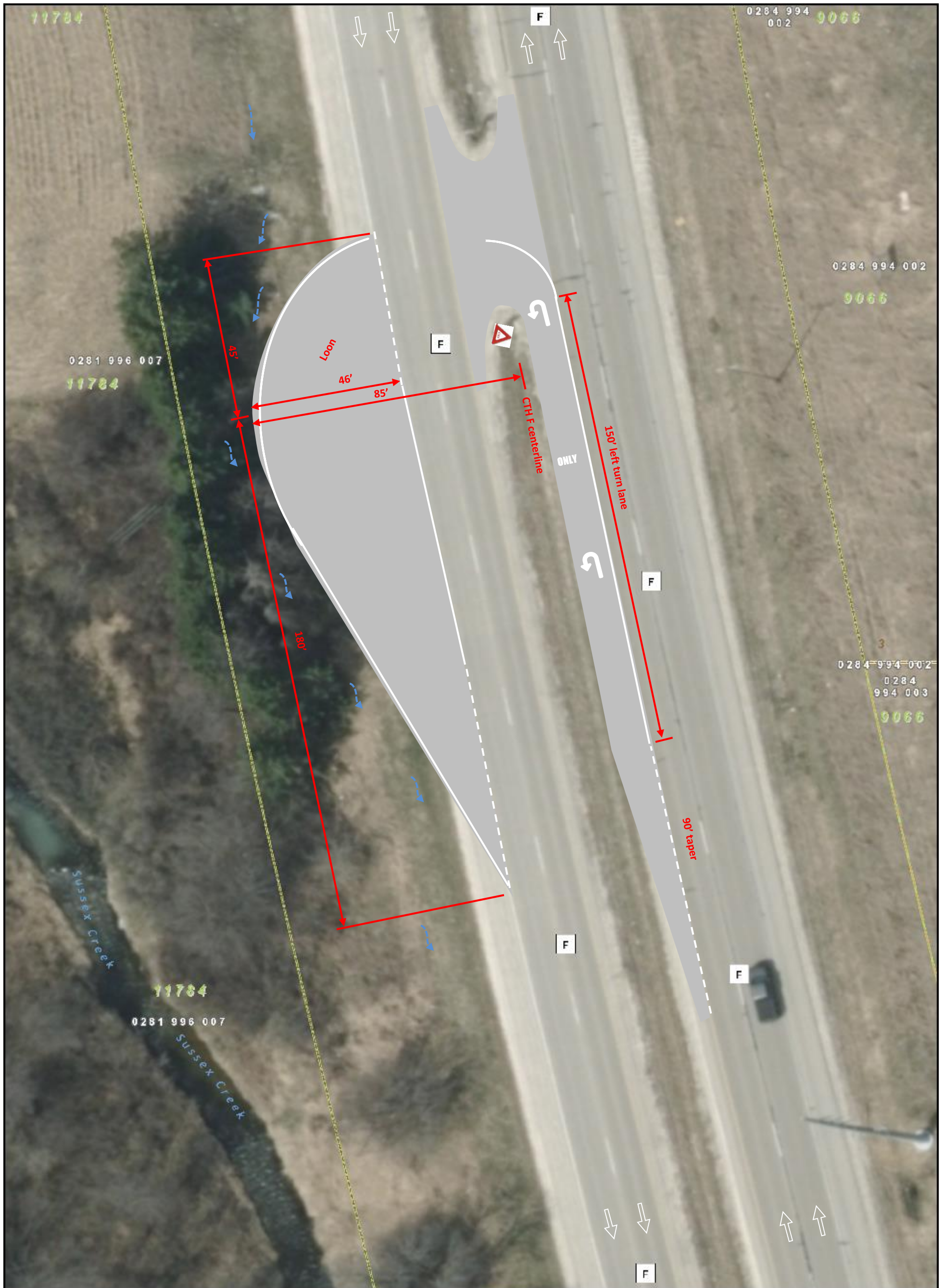
City of Pewaukee  
W240 N3065 Pewaukee Road  
Pewaukee, WI 53072

Waukesha County Department of  
Public Works  
515 W. Moreland Blvd., Room AC 210  
Waukesha, WI 53188



CTH F (Redford Blvd) - Lindsay Rd: *Restricted Crossing U-Turn (RCUT) Intersection*





0 30.00 Feet

Printed: 7/8/2020





# CONCEPT LAYOUT PLAN COST ESTIMATE (August 2020)

## CTH F (Redford Blvd) / Lindsay Rd Intersection

~1400-feet / ~350 feet

Waukesha County Project

Inflated cost

3.5%/year  
to Yr 2024

ITEM NO.	Bid Item	DESCRIPTION	UNIT	ESTIMATED QUANTITY	UNIT COST	TOTAL COST
1	201.0105 & 201.0205	CLEARING & GRUBBING	STA	4	\$800.00	\$ 3,200
2	204.0100	REMOVE PAVEMENT	SY	2,300	\$5.00	\$ 11,500
3	204.0150	REMOVE CURB & GUTTER	LF	760	\$4	\$ 3,040
4	205.0100	EXCAVATION COMMON - BORROW	CY	8,800	\$17.00	\$ 149,600
5	305.0110	BASE AGGREGATE DENSE 1-1/4" (10"-section)	TON	2,200	\$18.00	\$ 39,600
6	455.0115	ASPHALTIC MATERIAL PG64-22	TON	65	\$5.00	\$ 325
7	460.1100	HMA PAVEMENT TYPE E-3 (5.5"-section)	TON	1,180	\$65.00	\$ 76,700
8	465.0305	ASPHALTIC SURFACE SAFETY ISLANDS (Rt turns, Median-Lt turns)	TON	220	\$75.00	\$ 16,500
9	465.0315	ASPHALTIC FLUMES	SY	10	\$60.00	\$ 600
10	520.1030	APRON ENDWALLS, 30-IN	EA	4	\$1,100.00	\$ 4,400
11	602.0410	CONCRETE SIDEWALK - 5" (6'-wide sidewalk)	SF	2,300	\$6.50	\$ 14,950
12	608.0430	STORM SEWER PIPE REINFORCED CONCRETE CLASS IV, 30-IN	LF	140	\$120.00	\$ 16,800
13		MANHOLE, 5-FT DIAMETER & COVER	EA	1	\$3,300.00	\$ 3,300
14		INLET 2X3-FT & COVER	EA	1	\$2,050.00	\$ 2,050
15	601.0411	CONCRETE CURB & GUTTER 30-INCH TYPE D	LF	1,910	\$26.00	\$ 49,660
16	619.0000	MOBILIZATION	LS	1	\$35,000.00	\$ 35,000
17	625.0500	SALVAGED TOPSOIL	SY	1,850	\$3.00	\$ 5,550
18	628.1504	SILT FENCE	LF	1,500	\$2.50	\$ 3,750
19	628.2006	EROSION MAT URBAN CLASS I TYPE A	SY	2,600	\$2	\$ 5,200
20		REMOVE, RE-INSTALL, ADD SIGNS	LS	1	\$6,000.00	\$ 6,000
21		TRAFFIC CONTROL (Shift CTH F lanes, close Lindsey Rd)	LS	1	\$20,000.00	\$ 20,000
22	642.5201	FIELD OFFICE C	LS	1	\$9,000.00	\$ 9,000
23	646.0106	PAVEMENT MARKINGS EPOXY 4"	LF	3,120	\$1.50	\$ 4,680
24	646.7420	PAVEMENT MARKINGS EPOXY 6" (CROSSWALK)	LF	330	\$8.00	\$ 2,640
25		PAVEMENT MARKINGS WORDS & ARROWS	EA	16	\$300.00	\$ 4,800
26	647.0726	PAVEMENT MARKINGS 12" DIAGONALS	LF	50	\$9.50	\$ 475
27		HYDROSEEDING	SY	1,700	\$2.00	\$ 3,400
28		REMOVE EXISTING HIGHWAY LIGHTING	EA	1	\$700	\$ 700
29		NEW HIGHWAY LIGHTING	EA	2	\$3,000.00	\$ 6,000
30	690.0150	SAWING ASPHALT	LF	3,260	\$2.50	\$ 8,150
					<b>SUBTOTAL</b>	<b>\$ 507,570</b>

ABOVE MAJOR ITEMS REPRESENT 85% OF COSTS OF SIMILAR PROJECTS

0.85

TOTAL CONSTRUCTION COST FOR ALL BID ITEMS

\$ 597,141

15% Allowance for Construction Engineering & Contingencies

\$ 89,571

**TOTAL CONSTRUCTION**

**\$686,712**

\$772,900

REAL ESTATE ACQUISITION / EASEMENTS					
ITEM	DESCRIPTION			AREA (SF)	TOTAL COST
1	SE	Parcel 86995996	FEE & TLE	6.25	\$15,000
					Acquisition
					\$6,000
					Land/TLE
					\$6,000
					Misc/Incidental
					\$3,000
					Title Searches (1 parcel)
					\$400
					Utilities & Miscellaneous
					\$0

**TOTAL REAL ESTATE**

**\$30,400**

\$34,215

**DESIGN CONSULTANT** (11.0% of total construction) + **DESIGN REVIEW** (8.5% of total construction)

**\$133,909**

\$150,716

**GRAND TOTAL**

**\$851,020**

**\$957,831**

Exhibit 7  
**Cost Estimate**  
CTH F (Redford Blvd) / Lindsay Rd Intersection

**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 13.**

**DATE:** June 7, 2021

**DEPARTMENT:** Clerk/Treasurer

**PROVIDED BY:**

***SUBJECT:***

Discussion and Possible Action to Move Assigned Balance of \$346,511.00 from the Salt Shed to the Department of Public Works Building/Campus [Klein]

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 14.**

**DATE:** June 7, 2021

**DEPARTMENT:** Clerk/Treasurer

**PROVIDED BY:**

***SUBJECT:***

Discussion and Possible Action Regarding **Resolution 21-06-20** Declaring Official Intent to Reimburse Expenditures for the Department of Public Works Campus and Improvements

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

Resolution 21-06-20

**RESOLUTION 21-06-20****RESOLUTION DECLARING OFFICIAL INTENT TO REIMBURSE  
EXPENDITURES FOR DEPARTMENT OF PUBLIC WORKS CAMPUS AND  
IMPROVEMENTS**

**WHEREAS**, the City of Pewaukee, Waukesha County, Wisconsin hereinafter referred to as (the "City") owns and operates a Department of Public Works garage in need of costly repairs and upkeep, and

**WHEREAS**, the City is plans to purchase property to construct a new Department of Public Works garage (the "Project"); and

**WHEREAS**, the City expects to finance the Project on a long-term basis through the issue of tax-exempt bonds (hereinafter referred to as the "Bonds"); and

**WHEREAS**, because the Bonds will not be issued prior to July of 2021, the City must provide interim financing to cover the cost of the Project, which costs will be incurred prior to receipt of the proceeds of the Bonds; and

**WHEREAS**, it is necessary, desirable, and in the best interests of the City to advance moneys from its funds on hand on an interim basis to pay the costs of the Project until the Bonds are issued.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Pewaukee hereby authorizes the purchase of land and the construction of the DPW garage:

**Section 1. Expenditure of Funds.** The City will make expenditures as needed from its funds on hand to pay the costs of the Project until Bond proceeds become available.

**Section 2. Declaration of Official Intent.** The City hereby officially declares its intent under Treasury Regulation Section 1.150-2 to reimburse said expenditures with proceeds of the Bonds, the principal amount of which is not expected to exceed \$14,250,000.

**Section 3. Unavailability of Long-Term Funds.** No funds or payment of the Project from sources other than the Bonds are, or are reasonably expected to be, reserved, allocated on a long-term basis, or otherwise set aside by the City pursuant to its budget or financial policies.

**Section 4. Public Availability of Official Intent Resolution.** This Declaration of Official Intent is a public record, which shall be maintained in the files of the City and is available for public inspection pursuant to subchapter II of Chapter 19 of the Wisconsin Statutes, and shall remain available for public inspection until the Bonds are issued.

**Section 5. Effective Date.** This resolution shall be effective upon its adoption and

approval.

Approved this 7th day of June, 2021.

COMMON COUNCIL, CITY OF PEWAUKEE,  
WAUKESHA COUNTY, STATE OF WISCONSIN

ATTEST:

\_\_\_\_\_  
Steve Bierce, Mayor

\_\_\_\_\_  
Kelly Tarczewski, Clerk/Treasurer

Vote: Aye \_\_\_\_\_

Nay \_\_\_\_\_

Abstain \_\_\_\_\_

Absent \_\_\_\_\_

**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 15.**

**DATE:** June 7, 2021

**DEPARTMENT:** Public Works

**PROVIDED BY:** Magdelene Wagner/Scott Klein

***SUBJECT:***

Discussion and Possible Action Regarding the Award of the Department of Public Works Garage Structural Steel and Precast Concrete Walls to the Lowest Qualified Bidder [Klein]

***BACKGROUND:***

Due to the long lead times for the Structural Steel and the Precast Concrete Wall panels for the Public Works Garage, we have bid these components out ahead of the full contracts. By awarding this contract, we will be placed in the queue for manufacturing these components to support the construction start timeframe of late Fall or early Winter 2021. This will allow occupancy of this building by late Summer or early Fall 2022.

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

Common Council award the Department of Public Works Garage Structural Steel and Precast Concrete Walls to the lowest qualified bidder.

**ATTACHMENTS:**

Description

Bid Summary

DPW Garage

6/4/2021

PreCast

Fabcon \$1,093,774.<sup>00</sup>

Addendum #1 acknowledged

Bid Bond OK

Bid Prequal OK

Spancrete \$1,103,829.<sup>00</sup>

Addendum #1 acknowledged

Bid Bond OK

Bid Prequal OK

Structural Steel

Metro Welding and Fabricating \$1,100,000.<sup>00</sup>

Addendum #1 acknowledge

Bid Bond OK

Bid Prequal OK

Red Cedar Steel Erectors \$202,400

Addendum #1 acknowledged

Bid Bond OK

Bid Prequal OK

<Install  
only>

Cardinal Fabricating Corporation \$1,055,000.<sup>00</sup>

Addendum # acknowledged

Bid Bond OK

Bid Prequal

**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 16.**

**DATE:** June 7, 2021

**DEPARTMENT:** Clerk/Treasurer

**PROVIDED BY:**

***SUBJECT:***

Discussion and Possible Action Regarding **Ordinance 21-04** Related to Weapons Discharge for Urban Deer Management (*First Reading*) [Brown / Rifle]

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

Ordinance 21-04 Weapons Discharge

**ORDINANCE NO. 21-04****AN ORDINANCE TO REPEAL AND RECREATE  
SECTION 6.02(3)(c) OF THE CITY ORDINANCE**

**WHEREAS**, the City of Pewaukee enacted § 6.02(3)(c) of the City Code of Ordinances which provides an exception to the limitations on the discharge of weapons within the boundaries of the City pursuant to the terms of an Urban Deer Management program; and

**WHEREAS**, the Common Council wishes to expand the City's Deer Management program to use volunteer hunters within the context of a Nuisance Deer Permit issued to the City by the Wisconsin Department of Natural Resources.

**NOW THEREFORE**, the Common Council of the City of Pewaukee hereby repeals and recreates § 6.02(3)(c) of the City Code of Ordinances as follows:

**SECTION 1:**

§ 6.02(3)(c) of the City Code of Ordinances shall provide:

**(3) EXCEPTIONS.**

(c) When used pursuant to the terms of a City sponsored Volunteer Urban Deer Management program approved by the Common Council, excepted as follows:

1. The Program shall be according to DNR GENERAL PERMIT REQUIREMENTS, and Standard Nuisance Deer Permit Conditions FOR DEER HARVESTED BY NON-CONTRACTED HUNTERS.
2. The Program is specific to the Rocky Point Peninsula residential area, and adjoining Lake Pewaukee Sanitary District (LPSD) lands to the north and south.
3. The Program is limited to volunteer hunters vetted and receiving written consent by individual property owners, or in case of LPSD properties, the LPSD.
4. For hunting within Rocky Point conservancy areas under the jurisdiction of the Rocky Point Homeowners Association, the Program is limited to volunteer hunters vetted and receiving written consent by the Rocky Point Homeowners Association.
5. The Program is limited to Bows, Crossbows, and other like weapon or instruments only, from tree stands elevated a minimum of 10 feet off of the ground. No such weapons shall be discharged within 35 yards from a habitable building on any other adjacent property, unless the owner of such adjacent property or habitable building has given written

permission to be closer. In no case shall such weapons or instruments be discharged in a direction that could result in the projectile landing on or flying over any adjacent properties unless the owner(s) of such adjacent properties have given written permission to do so.

6. Under this Program, Hunters shall have permission to collect culled deer and deliver them for Chronic Wasting Disease (CWD) testing and processing of the meat for donation to food pantries or to private individuals. Property owners refusing to give volunteer hunters permission to collect culled deer from their property shall be responsible for tagging the deer, delivering the deer head to a DNR CWD testing site, and for donating culled deer either to private individuals or a food pantry, or otherwise disposing of the culled deer.
7. The time period for the Program hunt shall be from January 22, 20\_\_ through February 28, 20\_\_, or until such time that the City designates the use of CONTRACTED SHARPSHOOTERS, or otherwise extends or ends the volunteer program.

**SECTION 2: Effective Date.**

This ordinance shall be effective upon publication or posting as provided by law.

Dated this \_\_\_\_ day of June 2021.

CITY OF PEWAUKEE

\_\_\_\_\_  
Steve Bierce, Mayor

ATTEST:

\_\_\_\_\_  
Kelly Tarczewski, City Clerk

This ordinance posted or published \_\_\_\_\_ .

**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 17.**

**DATE:** June 7, 2021

**DEPARTMENT:** Clerk/Treasurer

**PROVIDED BY:**

***SUBJECT:***

Discussion and Possible Action Regarding Appointments to Various Boards, Commissions and Committees [Mayor Bierce]

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

Appointments Needed

Larry Wells Resume

PLAN COMMISSION	Original Appointment	Current Term	
		From	To
Doug Kiser	6/1/2020	6/1/2020	5/1/2022
Sullivan, Sean (Engineer)	9/4/2007	5/15/2017	5/1/2018
Janka, Ted	5/1/2003	5/4/2015	5/1/2018
Linsmeier, Dave (Park & Recreation Board)	4/3/2006	5/20/2019	5/1/2020
Wunder, Christine	7/1/2004	5/15/2017	5/1/2020
Bierce, Steve - Mayor	6/6/2016	4/17/2017	Indefinitely
Bergman, Brandon - Alderman	5/17/2017	5/17/2017	Indefinitely

According to Section 1.03(2) of the Pewaukee Municipal Code the membership should be as follows: consisting of (7) members; the mayor (presiding officer), (1) Alderman, (1) representative from the Joint Park & Recreation Board (selected by the Park & Recreation Board) and (4) citizen members with experience and qualifications related to planning matters (1) of which needs to be a full-time City Engineer. (3) of the citizen members are to serve an alternating 3-year term. *The 4th citizen engineer member, the alderman and Joint Park & Recreation Board representative shall be appointed annually in April.* Citizen members are compensated.

ZONING BOARD OF APPEALS	Original Appointment	Current Term	
		From	To
Marlin, Katie - Chairperson (appointed 1/7/2019)	7/18/2016	8/6/2018	5/1/2021
Thomas Matt	5/7/2012	5/21/2018	5/1/2021
Welcenbach, Robert	6/1/2015	5/15/2017	5/1/2020
Tredwell, Jim	2/15/2016	5/20/2019	5/1/2022
<b>VACANCY</b>			5/1/2022
<b>VACANCY - Alternate</b>			5/1/2023
<b>VACANCY - Alternate</b>			5/1/2022

It consists of (5) regular members. Their terms shall be for a staggered three (3) year period. The Mayor shall appoint the Chairperson. There shall also be (2) alternates for staggered three (3) year term. *The Mayor shall annually designate as 1st and 2nd Alternate.* The 1st alternate will fill any vacancy and complete the regular appointee's term and the 2nd alternate will fill the 1st alternate's term, leaving the 2nd alternate position need to be filled. On 1/2/2007 Ordinance 06-24 was passed revising the membership.

FIRE COMMISSION	Original Appointment	Current Term	
		From	To
Farley, Thomas	3/2/2020	3/2/2020	5/1/2023
Goff, Bob	7/18/2011	6/1/2015	5/1/2020
Novack, Kathleen	9/15/2014	5/20/2019	5/1/2024
<b>VACANT</b>			5/1/2026
Elaine Kroening	11/5/2014	5/15/2017	5/1/2022

The Fire Commission was originally part of the Police & Fire Commission that was created by Ordinance 04-10 on 4/19/2004. With the anticipated disbanding of the Police Department on 1/1/2010 ordinance 9.21 was created and passed on 12/21/2009. The membership remains as a five (5) citizen members; each to serve an alternating 5 - year term. Compensation is \$20 per meeting.

JOINT LIBRARY BOARD	Original Appointment	Current Term	
		From	To
Noll, Dale	5/2/2016	5/21/2018	5/1/2021
Muchowski, Laura ( <i>nominated by Pewaukee School District</i> )	2/21/2005	5/15/2017	5/1/2020
Wildman, Karen	7/15/2013	5/20/2019	5/1/2022
<b>VACANT - Alderman</b>	6/6/2016	6/6/2016	Indefinitely
Village Resident			
Village Resident			
Village Trustee			

*This Board was created by Ordinance 05-4 on 1/17/2005. The Board consists of (3) members appointed by the Village Board and (3) members appointed by the City Common Council. No more than (1) member from each municipality shall be an elected official. (1) additional member shall be a City of Pewaukee resident and shall be nominated by the Superintendent of the Pewaukee School District and appointed by the Common Council. Members shall serve a staggering 3-year term.*

JOINT PARK & RECREATION BOARD	Original Appointment	Current Term	
		From	To
Majeskie, Gary	2/19/2018	5/20/2019	1/1/2022
Kaatz, Del	1/20/2003	7/20/2020	1/1/2023
Linsmeier, Dave	4/3/2006	8/6/2018	1/1/2021
Dziwulski, Brian - Alderman	7/17/2017	7/17/2017	Indefinitely
Village Resident			
Village Resident			
Village Trustee			

*This Board was created by Ordinance 96-19 on 11/4/1996. The Board consists of (7) voting members and (2) non-voting ex-officio members. The breakdown of members is as follows: (1) Village Trustee, (2) Village citizens, (1) City Alderman, and (3) City residents. In addition the Administrators from the Village and City may attend meetings and take part in discussions. The terms are 3-years with appointments in January. Although no compensation was listed in the ordinance, citizen members are being paid \$20 for each meeting they attend.*

ETHICS BOARD	Original Appointment	Current Term	
		From	To
Farley, Tom	2/7/2008	5/15/2017	4/30/2023
Farrow, Margaret	2/7/2008	5/20/2019	4/30/2022
<b>VACANCY</b>			4/30/2024
<b>VACANCY - Alternate</b>			4/30/2024

*The Ethics Board was established by Ordinance 06-16 on 9/5/2006. It consists of (3) regular citizen members and (1) alternate. Once established there will be alternating 3-year terms. There is no compensation for this position*

TOURISM COMMISSION	Original Appointment	Current Term	
		From	To
Bierce, Steve - Mayor	1/1/2017	1/1/2017	Indefinitely
Wamser, Jerry - Alderman	9/19/2017	5/20/2019	9/19/2020
Brown, Colleen - Alderman	9/19/2017	5/20/2019	9/19/2020
Grosch, Ray - Alderman	9/19/2017	5/20/2019	9/19/2020
Doresey, Frank - Hotel Representative	10/15/18	5/20/2019	9/19/2020

Created by Ordinance 16-22 on September 19, 2016. It is to consist of the Mayor and (3) Alderman and (1) member who shall represent the Wisconsin hotel & motel industry. **Commissioners shall serve for a one-year term.** Among the members they shall elect a chairperson, vice-chairperson and secretary.

FINANCE COMMITTEE	Original Appointment	Current Term	
		From	To
Bergman, Brandon - Alderman	5/4/2015	6/6/2016	Indefinitely
Brown, Colleen - Alderman	5/6/2013	6/6/2016	Indefinitely
<b>VACANT</b>			<b>Indefinitely</b>
Klein, Scott - Administrator	1/1/2017	1/1/2017	Indefinitely

Created by Ordinance 09-02 on January 19th, 2009. The Committee shall consist of the following: Two (2) Common Council Members & the City Administrator. The appointments are to be made by the first regular meeting of the newly elected Council. The Mayor shall designate the chairman and secretary of the committee. On November 16th, 2009 it was revised by Ordinance 09-18 to add one (1) resident preferably with a financial background and Administrator as staff representative.

EMPLOYEE SERVICES COMMITTEE	Original Appointment	Current Term	
		From	To
<b>VACANT - Alderman</b>			<b>Indefinitely</b>
Grosch, Ray - Alderman	6/6/2016	6/6/2016	Indefinitely
Woldanski, Kelley - Director of People & Culture	1/19/2009	1/19/2009	Indefinitely

The Human Resource Committee was created by Ordinance 09-02 on January 19th, 2009. The Committee shall consist of the following: Two (2) Common Council Members & the Human Resource Director. The appointments are to be made at the first meeting of the newly elected Council. The Mayor shall designate the Chairman and Secretary of the Committee. Revised on November 16th, 2009 by Ordinance 09-18 to name the HR Director as staff representative. On 4/22/2019 via an email received by the Administrator, the Human Resource Director title changed to Director of People & Culture and the HR Department will be known as Employee Services.

PEWAUKEE LAKE PATROL ADVISORY COMMITTEE	Original Appointment	Current Term	
		From	To
Heier, Timothy - Police Chief	5/1/2019		
Twelmeyer, Lucas - Sergeant			
Heyrman, Greg Sergeant			
<b>VACANT - Alderman</b>			Indefinitely
Van Horn, Pete - Town of Delafield - Supervisor			
Hill, Ed - Village of Pewaukee - Trustee			
Koepp, Thomas - Lake Pewaukee Sanitary District	5/2/2011	5/2/2011	Indefinitely

*Created upon discussion at the Common Council meeting on 2/2/2009. A termination needs to be made on the make-up of committee members and the purpose of the group. Town of Delafield has different opinion on the appointment of Thomas Koepp and doesn't believe he belongs on the committee. Whereas we wanted someone from the LPSD to serve on the committee for times when the water levels were too high to help determine safety.*

RESIDENCE BOARD	Original Appointment	Current Term	
		From	To
Wagner, K. Scott - District #1	8/6/2018	5/20/2019	5/1/2024
Tuttle, Debra - District #2	8/6/2018	8/6/2018	5/1/2021
<b>VACANCY - District #3</b>			5/1/2023

*Created by Ordinance 18-01 Approved on January 15, 2018. The Board shall consist of three (3) citizens residing in the City one (1) from each Aldermanic District. Members shall serve for a term of five (5) years and shall serve no more than two (2) consecutive terms. The terms for the initial members of the Residence Board shall be staggered with one member serving one (1) year, a second member serving three (3) years and the third member serving five (5) years.*

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**EXECUTIVE SUMMARY**

Leadership experience in start-up/high-growth companies as well as Fortune 100 firms; involved in all aspects of creating, developing, structuring, and running technology businesses. Have managed the commercial launch of over 40 technology products/devices ranging from software releases to \$3M magnetic resonance imaging systems. Proven track record in assembling and directing teams and have secured over \$2.8M in equity investment and debt financing.

**SKILLS AND ABILITIES**

- Developing new businesses/opportunities
- Driving the strategies, goals and objectives
- Managing day to day operations
- Raising debt/equity funding
- Creating business plans/revenue models/financials
- Managing commercial product launches
- Overseeing programs
- Negotiating contracts/legal agreements
- Screening/selecting/managing suppliers and partners

**PROFESSIONAL EXPERIENCE****Independent Contractor** - Apr 2017 - Present

Providing business consultation and support to various companies including a developer of interventional MRI technologies for breast cancer detection and treatment and a developer of IoT/ Industry 4.0 products and other disruptive technologies.

**Partner, Chief Operating Officer: Esker Technologies** Aug 2009 - Apr 2017

- Created the business plan, revenue model and financials and, along with the CEO, raised \$1.48M in equity and debt funding.
- Managed the successful development and commercial release of the industry's first DC Power Line Network product offering.
- Signed-on an international sales and distribution partner that increased the Company's presence by over 1,000% in the target markets.
- Developed the market segmentation strategy, product development system and communications strategy.

**Chief Executive Officer and Co-Founder: NovaScan** May 2004 - Aug 2009

- Set company direction and strategy; created the business plan, revenue model, and due-diligence materials to secure over \$400,000 in funding through equity investments, grants and loans.
- Managed the development of electrical property imaging technology targeting improved cancer detection, secured IRB approval, and launched the clinical feasibility at area hospitals.
- Co-winner of the 2004 Wisconsin Governor's Business Plan Contest (out of over 300 business plans entered) - providing capital and PR for the Company.
- Awarded Qualified New Business Venture status under the State of Wisconsin Act 255 and secured a technology loan from the Wisconsin Department of Commerce.

**Consultant: MedPACS Displays** Apr 2002 - May 2005

- Managed the introduction of a new product line.
- Doubled the number of sales and service distributors, increasing coverage and sales revenues.
- Developed a unique fee per study pricing model (operating budget vs. capital purchase).
- Revamped the marketing and communications program.

**VP of Marketing and Co-Founder: CartaNova** Feb 2000 - Mar 2002

- Formed CartaNova from three separate companies, developed the business and revenue models, wrote the business plan and launched the company.
- Raised \$1M in angel funding.
- Established a strategic relationship with Abbott Labs and negotiated a development contract worth over \$300,000.
- Managed the production and commercial introduction of the company's initial product offering that targeted health care applications.

**Manager - Signa 1.5T and 3T MRI Programs: GE Medical Systems** Apr 1998 - Jan 2000

- Managed program revenue growth increase of over 40% from \$34M in 1998 to \$49M in 1999, and 50% in 2000 to \$74M.
- Launched the industry's first FDA cleared, clinically reimbursable 3T system.
- Member of management team that achieved an industry-first \$1B in orders and sales in 1999.
- Brought pricing discipline to the 3T program, resulting in a \$900K in profit margin in 1998 and negotiated and executed research programs representing over \$1.3M in project/support funding.

**Product Manager: Picker International** Nov 1994 – Apr 1998

- Managed the successful introduction of the 1T Polaris and Eclipse high-field MRI systems resulting in a record orders rate of 160% of budget in the introduction year.
- Developed the marketing action plan, communications plan, customer action plan, and pricing strategy for the Polaris and Eclipse - meeting profit and cost containment targets.
- Developed "MVP" sales program that exceeded the FY 1997 budget for orders, sales and PBT; received *Management Award of Excellence* for this program.
- Developed special 3rd quarter FY 1996 sales program, helping the division exceed budget for the 2nd year in a row for the 1.5T Eclipse MRI system with over \$80M in annual sales.

**Marketing Manager: Medical Advances** Mar 1988 – Oct 1994

- Managed the successful introduction of >30 new direct and OEM products accounting for organizational growth of >700%.
- Established three major OEM accounts resulting in over \$3M in revenue.
- Redesigned and upgraded the communications program, including a new trade show exhibit and managed 29 direct mail campaigns.
- Efficiently managed marketing resources with expenditures under budget in 1992 and 1993.

**Associate Product Manager: Toshiba Medical Systems** Jul 1983 – Mar 1988

- Provided sales support, product planning, competitive analysis and price book management.
- Held various management positions in computed radiography, radiation therapy (simulators and linear accelerators), x-ray, and computed tomography product groups.
- Received Award of Merit for accomplishments as Associate Product Manager.

**EDUCATION/LEADERSHIP**

- Masters of Business Administration degree - UW-Whitewater.
- Positively Pewaukee - board of directors and community business support council.
- Mentor for INSIGHT - a Pewaukee High School educational capstone program.
- WiSys - applied research grant review member (\$9M in research proposals evaluated and scored).
- Advisory boards – have served on a number of boards for various companies.
- Pewaukee Fire Department - former paid-on-call firefighter and EMT.
- Volunteer – Habitat for Humanity, Junior Achievement, American Diabetes Association, Interfaith Caregiving Network, and Special Olympics.

**CITY OF PEWAUKEE  
COMMON COUNCIL AGENDA ITEM 18.**

**DATE:** June 7, 2021

**DEPARTMENT:** Clerk/Treasurer

**PROVIDED BY:**

***SUBJECT:***

Discussion and Possible Action to Determine if the Common Council will Hold it's First Meeting In July due to Independence Day [Mayor Bierce]

***BACKGROUND:***

***FINANCIAL IMPACT:***

***RECOMMENDED MOTION:***

**ATTACHMENTS:**

Description

July 2021 Calendar

# JULY 2021

SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
				1	2	3
4	5 <b>INDEPENDENCE DAY OBSERVED</b> Offices Closed	6	7	8	9	10
11	12	13 <b>Court 7:30 a.m.</b>	14 <b>Joint Park &amp; Recreation Meeting</b> <i>7:00 p.m.</i>	15 <b>Plan Commission Meeting</b> <i>6:00 p.m.</i>	16	17
18	19 <b>Common Council Meeting 6:30 p.m.</b>	20	21 <b>Joint Library Board Meeting</b> <i>6:30 p.m.</i>	22	23	24
25	26	27 <b>Court 7:30 a.m.</b>	28	29	30	31