

Planning Department

W240N3065 Pewaukee Road
Pewaukee, WI 53072
(262) 691-0770 Fax (262) 691-1798

**PLAN COMMISSION
MEETING NOTICE AND AGENDA
Thursday, December 19, 2019
7:00 PM**

Common Council Chambers ~ Pewaukee City Hall
W240 N3065 Pewaukee Road, Pewaukee, WI 53072

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1. Call to Order and Pledge of Allegiance
 2. Discussion and Action Regarding Approval of Meeting Minutes Dated October 17, 2019
 3. Discussion and Action Regarding the Swan View Farms Subdivision Lift Station Building and Site/Landscape Plans (PWC 0871996 & PWC 0871999)
 4. Discussion and Action Regarding a Petition for a Rezoning Public Hearing for Interstate Partners Green Road LLC to Rezone Property Located at N30 W22835 Green Road From Rs-3 Single-Family Residential to M-2 Limited Industrial for the Purpose of Developing a 165,000 Square Foot Industrial Building (PWC 0914980)
 5. Discussion and Action Regarding a Petition for a Rezoning Public Hearing for Interstate Partners Green Road LLC to Rezone Vacant Land on Green Road From M-6 Mixed Industrial to M-2 Limited Industrial for the Purpose of Developing a 165,000 Square Foot Industrial Building (PWC 0914987)
 6. Discussion and Action Regarding a Certified Survey Map for Interstate Partners Green Road LLC for Property Located at N30 W22835 Green Road (PWC 0914980 & PWC 0914987)
 7. Discussion and Action Regarding the Site and Building Plans for Interstate Partners Green Road LLC for Property Located at N30 W22835 Green Road for the Purpose of Developing a 165,000 Square Foot Industrial Building (PWC 0914980 & PWC 0914987)
 8. Discussion and Possible Action Regarding a Potential Land Use Change for Properties Generally Located South of Capitol Drive (State Highway 190)
 9. Adjournment

Ami Hurd
Deputy Clerk

12/13/2019

NOTICE

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It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum. At the above stated meeting, no action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the City Planner, Nick Fuchs, at (262) 691-0770 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 2.**

DATE: December 19, 2019

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding Approval of Meeting Minutes Dated October 17, 2019

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

10.17.19 Minutes

In attendance:

Mayor S. Bierce, D. Linsmeier, S. Sullivan, and C. Wunder.

Also in attendance:

City Planner & Community Development Director N. Fuchs, Administrator S. Klein and Deputy Clerk A. Hurd.

1. Call to Order and Pledge of Allegiance

Chairman Bierce called the meeting to order at 7:00pm and requested everyone stand for the Pledge of Allegiance.

2. Discussion and Action Regarding Approval of Meeting Minutes Dated September 19, 2019

A motion was made and seconded (C. Wunder, D. Linsmeier) to approve the September 19th, 2019 Plan Commission minutes. Motion Passed: 4-For, 0-Against.

3. Discussion and Action Regarding a Revised Site Plan Amendment for R & R Insurance for a Detached Accessory Building Located in the Northeast Corner of their Property at N14 W23900 Stone Ridge Drive (PWC 0954998027)

Mr. Fuchs stated the Plan Commission took no action on this at the previous meeting. The shed is proposed to be in the same location but is now brick to better match the building, and they have added some windows as well. It was previously planned as cedar siding.

A motion was made and seconded (D. Linsmeier, S. Sullivan) to approve the accessory building for R & R Insurance. Motion Passed: 4-For, 0-Against.

4. Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Permit for Mental Health America of Wisconsin to Operate a Peer Run Respite for Veterans Within a Single-Family Home Located at W252 N4304 Sussex Street (PWC 0880997)

Mr. Fuchs stated there would be no exterior modifications to the home. Staff recommends approval with a condition that requires the applicant to return to the Plan Commission in six months to review the use operations and any issues. The condition also has language that it could potentially come back on an annual basis.

Mr. Fuchs pointed out that there is a Protest Petition in the packet, but that will not trigger a 3/4 vote by the Common Council because it is filed against a conditional use permit as opposed to a rezoning or text amendment.

Brian Michel, Director of Prevention Services for Mental Health America of Wisconsin, stated they are proposing a peer-run respite facility, which is a state-funded home for individuals experiencing mental health or substance abuse issues. The home will help them to better engage their social connections, connect them with services, and provide them with peer support. There are bedrooms for three to four people for week-long stays with staff from MHA of Wisconsin in the house 24/7. Staff are subject to caregiver background checks and are trained through a state certified curriculum. Mr. Michel stated there are three similar respites in the

state, but none that serve Veterans only. He added that there are no drops-ins, and services are only for people staying in the house.

Chairman Bierce questioned what the specialists are trained in. Mr. Michel stated there is a recognized curriculum through the Department of Health Services that teaches individuals that have had those experiences and are in recovery how to use their experiences to support others with the same challenges. It is a 40 hour certification training with a state certified exam. The goal is to give coping skills and the tools people need so that they don't need to come back. The outcome is to divert people from more restrictive and intensive modes of service.

Mr. Michel clarified that it is a self-referral process and no one is required to go. The address of the location would not be made public. People call a phone number first and engage in a phone conversation with staff to determine their level of need and if the respite would be a good fit for them at that time. It is not a detox facility or a halfway house.

Ellen Kothel, Chair of No Veteran Left Behind USA, stated she has 10 years of experience working with veterans. She supports this program because there are not enough resources to help everyone. It gives an opportunity to the person to be in a good place where they can talk openly and freely to other Veterans.

Serita Salomon stated she was torn because her Dad was a veteran with mental health and drug addiction issues, but she has a two year old daughter and she does not want to be concerned while in her yard. She is a resident on Lindsay Road and she knows what mental health issues and drug addiction are like. She does not want this in her backyard and was opposed as a mother.

Mark Flower, Veteran Community Engagement Specialist with MHA, stated he has worked with Veterans for over 18 years. He stated this respite is for Veterans who are in mid-crisis, but for a lot of the services, people must be in extreme crisis in order to use the services. Mr. Flower stated the other peer respites in the state have not had issues.

Chairman Bierce questioned how big of a pool of employees would be needed to staff two people at a time. Mr. Michel stated they would have a total staff of nine people split between full and part time. They are looking to have 100 percent of their staff be Veterans.

Jane Holland, Community Outreach Coordinator for the R&R House, stated she has seen that people get so much more out of sitting and talking with someone that has similar and shared life experiences as the military. The R&R house would not be a detox facility or a halfway house, or somewhere to go for a high-level mental health crisis, but instead would be for a low-level crisis. This is to help people take a pause, or a break, from their stressors before it gets to a high level of crisis.

Tom and Sue Nienow (W252 N4350 Sussex Street) stated they live next door and their property is not secure. Ms. Nienow stated they circulated a petition not targeting anyone with mental health or drug abuse issues, but for safety measures. She questioned who would be there to protect them if someone went into high-crisis if there are only two employees on staff and four guests. Mr. Nienow showed pictures of their property. Ms. Nienow was concerned about the amount of people staying in the house throughout the course of a year, without having any background information on any of them. Mr. Nienow was concerned about the amount of vehicles with two staff and four people staying there. Ms. Nienow requested fencing the property with a secure gate and a key card.

Angie and David Edge (W252 N4468 Sussex Street) stated everyone that is a counselor at this home has to have a drug habit or a mental health problem that they've conquered. She felt this was a hotel and she did not

see how anything could get fixed in one to five days. Ms. Edge stated these people are trained military soldiers in crisis, and she does not feel protected. She was concerned about the lack of security and discussed the security at the VA. Mr. Edge stated there would only be one person on site and one person on call. He mentioned that the home is close to the Waukesha Gun Club and they can hear gun shots. They are also close to quarries that do blasting, which could set off a flashback with Veterans. Ms. Edge questioned if there would be a curfew and drug tests.

Mr. Michel noted there would be two staff members on site at all times. The curfew would be 10:00pm or 11:00pm unless people have pre-existing work or family obligations. The people staying at the home will not be drug tested.

Michael and Kristen Shay discussed his wife's work with individuals with mental and physical disabilities. Mr. Shay was frightened thinking about this home with only two individuals with 40 hours of training to handle people in the military if they go into crisis. Ms. Shay did not know the guidelines and wanted to see the proposal for security levels and the training. Mr. Shay did not believe a facility where people can come and go as they please could provide structure to these people. He did not want someone with a crisis coming on to come into a community and instead felt they should get the professional help they need. Mr. Shay requested to see some data on the success and failure rates and the management of the people working there. Ms. Shay questioned what would happen if there are violations from the facility. Mr. Fuchs noted the conditional use permit could be revoked if they are in violation of their conditions.

Mr. Michel noted he has contacted other respite to ask about adverse incidents, and there have been no incidents since they have been in operation from the people that stay there.

Brad Brandt (648 Ole Dairy Drive) stated his main concern was safety and felt there was no consequence for violating the curfew. He was concerned about trespassing on his private property. Mr. Brandt felt the people working there were not medically trained to deal with a crisis. He was concerned about the action plan when something goes wrong.

Peter Burocky stated he has been hired to be a peer run specialist at the home. He described his injuries from the military, and stated when he got out of the army, there was no one telling him what he was supposed to do or where to get help. He saw many different counselors and psychiatrists, none of whom were ever in the military or in combat and it was not helpful. He felt he could use his experience to talk to others and connect with them. He stated his training was about 52 hours and there is continued training every year.

Wanda B. stated she would be one of the peer support specialists and she is a Veteran of the United States Marine Corp. She stated the reason the VA had to increase their security was because Veterans have been attacked on VA grounds, and due to 9/11 and other terrorist attacks.

Todd Vande Zande (739 Stepping Stone Way) felt the place was very concerning. He felt home values in the area would drop 25 percent. He also mentioned that the Simmons Woods walking path was right down the street.

Mark Flower again spoke and stated people will not be told to come to their facility, they will be asking and will come to get help to improve their welfare. If people are in that bad of a crisis, they will be going somewhere else. He asked people to look at this in a more reasonable aspect.

Martina Gollen Graves, President/CEO of Mental Health America of Wisconsin, stated MHA will be celebrating their 90th anniversary next year and they are not new to supporting communities. They are one of over 200 affiliates across the nation. She asked for people to think differently about mental illness and

she noted that less than five percent of the global population are violent as a result of mental illness. This will not be a halfway house. She felt they have experience supporting people who live with mental illness and they are able to support staff and a facility. Ms. Gollen Graves stated she has the utmost trust in the staff they have chosen to support the program at this location.

Mr. Linsmeier suggested placing conditions on the conditional use. He felt some of the neighbor's concerns needed to be looked at. He felt this service could really give Veterans support and he wanted to give that support, but he didn't know how to address the security. Mr. Linsmeier stated he supported getting mental health services.

Commissioner Wunder felt services were needed. She stated she was torn and she wasn't sure this location was the right place for it. She was not opposed to the organization but she was not sure this was the correct location.

Chairman Bierce felt we should word this in a way that would take into account the concerns of the neighbors.

A motion was made (S. Bierce) to recommend approval of the conditional use permit for Mental Health America to move to the Common Council. The motion died for lack of a second.

A motion was made (C. Wunder) to recommend denial of the conditional use permit for Mental Health America. The motion died for lack of a second.

Chairman Bierce stated the conditional use will go to the Common Council on Monday, October 21st with neither a recommendation for approval or denial.

5. Discussion and Action Regarding Conceptual Review of a Proposed Landscape Contracting and Service Business and Single-Family Home for Arce Handyman, LLC Located on the East Side of Bluemound Road, North of Highway 16, South of Wamser Drive (PWC 0951995001)

Mr. Fuchs stated the applicant was proposing a landscape business and a single-family home. They would subdivide the existing property and construct a structure for the landscape business. The other half would contain the single-family home. Mr. Fuchs was concerned about the outdoor storage and the architecture of the building. There was concern about the long term development of the area, as it is planned for manufacturing/warehousing. Mr. Fuchs suggested either elimination of the residential component, or flipping the commercial and residential locations. North of this site is Wamser Drive and additional residential development, and south is more industrial in nature on both sides of Bluemound Road.

Mark Augustine with Landmark Engineering noted that the residential would most likely be Rs-3, and the business would be B-3, B-5 or M-1. The residential on both sides of the property is currently Rs-3. It was suggested that the commercial go on lot 2 and the residential go on lot 1.

Commissioner Sullivan was worried about the home to the south and building a parking lot with trucks starting up next to the house. Mr. Augustine stated if the commercial building was put on the southern portion, the building would run along the property line on the north side.

Mr. Pedro Arce noted that the building would have stone about three to four feet high, and the rest would be smart siding wood. It would look like normal residential home siding. The Commissioners felt windows would be needed, and suggested that Mr. Arce speak to the neighbors about a fence.

Commissioner Linsmeier suggested shielding the concrete blocks from the road.

Discussion took place regarding whether to use the B-5 or M-1 zoning classification. The Commission preferred the rezoning to M-1.

6. Adjournment

A motion was made and seconded (C. Wunder, D. Linsmeier) to adjourn the meeting at 9:18pm.

Motion Passed: 4-For, 0-Against.

Respectfully Submitted,

Ami Hurd
Deputy Clerk

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 3.**

DATE: December 19, 2019

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding the Swan View Farms Subdivision Lift Station Building and Site/Landscape Plans
(PWC 0871996 & PWC 0871999)

BACKGROUND:

FINANCIAL IMPACT:

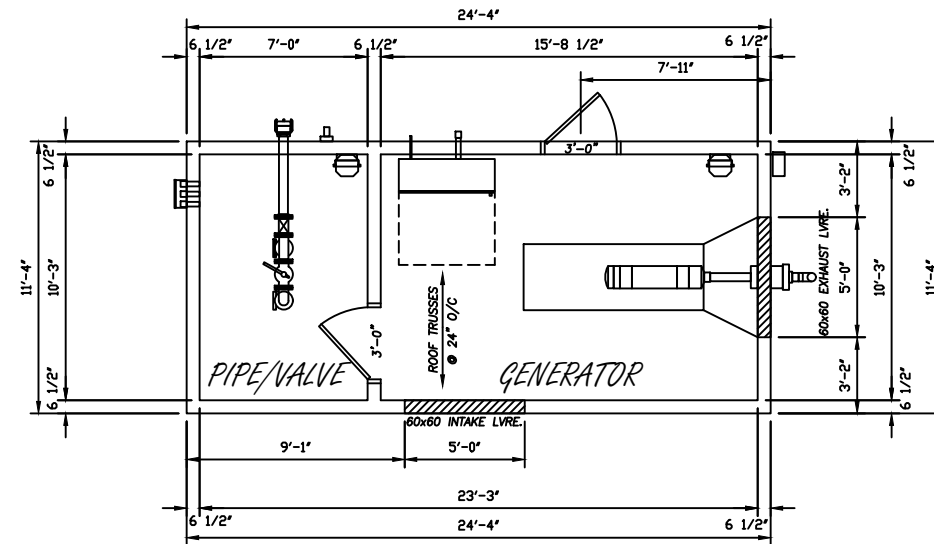
RECOMMENDED MOTION:

ATTACHMENTS:

Description

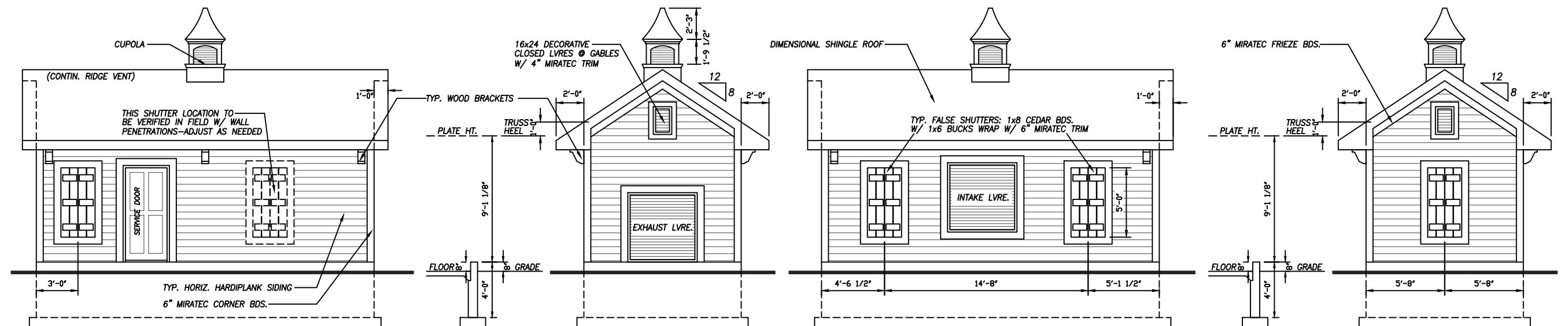
Swan View Farms Lift Station

Swan View Farms Landscape Plan



FLOOR PLAN

SCALE: 1/8" = 1'-0"



ELEVATIONS

SCALE 1/8" = 1'-0"

ARCHITECTURAL PLAN

THESE PLANS ARE THE PROPERTY OF WESTRIDGE BUILDERS, INC. AND MAY NOT BE REPRODUCED OR USED WITHOUT THE EXPRESSED PERMISSION OF WESTRIDGE BUILDERS, INC.

DRAWN: 11/14/2019

FINAL: 11/19/2019

REV: ----

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ALL RIGHTS RESERVED AND PROTECTED BY THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA.

FEDERAL COPYRIGHT PROTECTION EXTENDS TO ORIGINAL AND MODIFIED DERIVATIVE PLANS, IS APPLICABLE TO INTENTIONAL AND UNINTENTIONAL INFRINGEMENT, AND PROVIDES FOR SPECIFIC STATUTORY DAMAGES, BOTH CIVIL AND CRIMINAL.

LIFT STATION



Westridge
BUILDERS

N8 W22520-L JOHNSON DRIVE
WAUKESHA, WISCONSIN 53186
PHONE: 262-547-0326

NAME:

WESTRIDGE BUILDERS, INC.

SWAN VIEW FARMS
PEWAUKEE, WI

ACCEPTED BY:

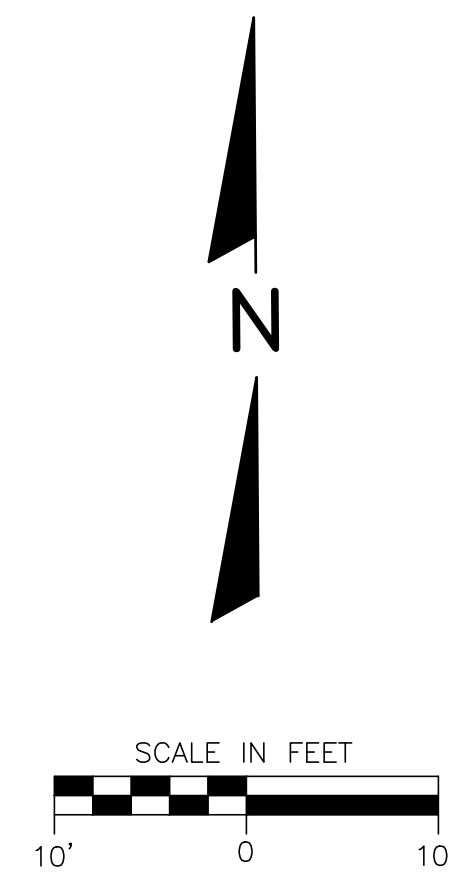
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BUYER:

THE SYMBOLS SHOWN THROUGHOUT PLAN ARE REPRESENTATIVE IN NATURE AND NOT REFLECTIVE OF ACTUAL SELECTIONS

A1



| PLANT SCHEDULE (CONTRACTOR RESPONSIBLE FOR VERIFYING PLANT QUANTITIES) | | | | | | | |
|--|--------|--|----------------------------|-------------|----------|---------|------------------|
| QUANTITY | SYMBOL | BOTANICAL NAME | COMMON NAME | MATURE SIZE | PLANTING | SIZE | TYPE |
| 6 | JC | <i>Impatiens chinensis</i> 'Mountbatten' | Mountbatten Impier | 15' x 6' | B / B | 7-8" | Evergreen Tree |
| 2 | TS | <i>Tilia standishii</i> x <i>pilicarpa</i> 'Green Giant' | Green Giant Arborvitae | 30'x 10' | B / B | 10'-12" | Evergreen Tree |
| 6 | RR | <i>Rosa rugosa</i> 'Pavement Purple' | Purple Pavement Shrub Rose | 3'-4" | POT | 2 gal | Deciduous Shrub |
| 9 | VD | <i>Viburnum dentatum</i> 'Autumn Jazz' | Autumn Jazz Viburnum | 4'-6" | POT | 36" | Deciduous Shrub |
| 6 | SG | <i>Spiraea</i> x 'Goldflame' | Goldflame Spirea | 3'-4" | POT | 2 gal | Deciduous Shrub |
| 8 | CA | <i>Calamagrostis acutiflora</i> 'Karl Foerster' | Karl Foerster Grass | 42"-48" | POT | 1 gal | Ornamental Grass |
| 7 | RH | <i>Rudbeckia hirta</i> | Black Eyed Susan | 18"-24" | POT | 1 gal | Perennial |
| 7 | SA | <i>Sedum</i> x 'Autumn Joy' | Autumn Joy Sedum | 18"-24" | POT | 1 gal | Perennial |

- 1.) ALL FINISHED GRADES TO BE 1" BELOW TOP OF CURBS OR PAVEMENT.
- 2.) BACKFILL AND GRADE ALL PLANTING AREAS WITH MIN. 12" BLENDED TOPSOIL.
- 3.) ALL LAWN AREAS TO BE SEED UNLESS OTHERWISE NOTED.
- 4.) ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK.
- 5.) PROVIDE MIN. 2 YEAR WARRANTY ON ALL PLANT MATERIAL.
- 6.) ALL PLANTING BEDS TO BE MULCHED AT 3" DEPTH WITH HARDWOOD MULCH

[illegible]

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 4.**

DATE: December 19, 2019

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Petition for a Rezoning Public Hearing for Interstate Partners Green Road LLC to Rezone Property Located at N30 W22835 Green Road From Rs-3 Single-Family Residential to M-2 Limited Industrial for the Purpose of Developing a 165,000 Square Foot Industrial Building (PWC 0914980)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Interstate Partners Staff Report

Interstate Partners Narrative

Interstate Partners Green Road Rezoning

Interstate Partners Rezoning Map



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of December 19, 2019

Date: December 12, 2019

Project Name: Green Road Commerce Center Rezoning, Certified Survey Map, and Site and Building Plans

Project Address/Tax Key No.: Approximately W230N22835 Green Road /PWC0914980 & 0914987

Applicant: Interstate Partners

Property Owner: Green Road LLC

Current Zoning: Rs-3 Single-Family Residential District (PWC0914980) and M-6 Mixed Industrial Use District (PWC0914987)

Proposed Zoning: M-2 Limited Industrial District

2050 Land Use Map Designation: Manufacturing/Fabrication/Warehousing

Use of Surrounding Properties: Single-family residential, institutional and agricultural zoned property to the north, Canadian Pacific Rail System and M-2 zoned industrial uses to the south, single-family residential and commercial to the east, and single-family residential to the west

Project Description/Analysis:

The applicant submitted several applications to accommodate and allow the construction of an industrial building upon two parcels of land located at approximately W230N22835 Green Road, including rezoning the two properties, a Certified Survey Map Application, and a Site and Building Plan Application.

Rezoning

The proposed development encompasses two existing properties located along the south side of Green Road. There is an approximately 1.3-acre property zoned Rs-3 Single-Family Residential District and a 10.8-acre property to the west zoned M-6 Mixed Industrial Use District.

The applicant is proposing to rezone both properties to M-2 Limited Industrial District. The most significant difference between the M-2 and M-6 District is the potential for outdoor storage as may be approved by the Plan Commission. The M-6 District specifically states that uses permitted in the M-2 and M-4 Districts are allowed “with no outside storage of equipment, materials or vehicles.” The M-6 District further allows all other principal, accessory and conditional uses permitted in the M-1, M-2, M-4 and B-4 Districts.

Rezoning to M-2 will allow for outdoor storage as a Permitted Use. The M-2 District allows M-1 uses, which permits outdoor storage that is “within an open area attractively and effectively visually screened from public streets, roads, highways and adjacent uses and where the individual goods or materials are not reduced in size of basically changed in character.”

As a speculative industrial building, tenants are currently unknown. As such, individual uses in the future will require separate review and approval. Businesses will be allowed via a Business Plan of Operation Application or Conditional Use as may be allowed within the M-2 District.

Note that a Comprehensive Master Plan Amendment is not required as these properties are designated as Manufacturing/Fabrication/Warehousing on the City's 2050 Land Use/Transportation Plan, which is consistent with the proposed rezoning request.

Certified Survey Map/Land Combination

The applicant has submitted a Certified Survey Map Application as required by Section 18.0602 to combine the two existing properties. The CSM creates a single parcel of land for development that is 12.8152 acres (558,231 square feet).

Related to the CSM, staff recommends that:

1. *The Certified Survey Map shall be contingent upon City of Pewaukee approval of the Rezoning Application submitted as part of the subject development.*
2. *The Certified Survey Map shall include all applicable information as required by Section 18.0603 of the City's Land Division Ordinance.*
3. *The CSM shall be revised to include M-2 Zoning District setbacks with the approval of the subsequent rezoning request.*

Site and Building Plans

The proposed site and building plans consist of a 164,788 square foot industrial building, two dumpster enclosures and associated parking, landscaping, and storm water management facilities.

The proposed peak height of the building is 37-feet, which exceeds the M-2 District maximum height requirement of 35-feet. However, the Plan Commission may approve a height up to six stories per Section 17.0901f. of the Zoning Code. Staff has no objections to the proposed height of the building.

The site plan includes two ingress/egress locations to Green Road. The applicant is proposing 175 parking spaces as part of the initial development. Parking could be expanded in the future by 52 spaces by replacing the storage area with parking. Staff is recommending that sidewalks be extended along the parking spaces located on each side of the building (see Condition No. 6).

The Landscape Plan includes 93 trees and 215 shrubs. The plan includes 3-foot berms along Green Road to screen headlights from vehicles parking in the front parking lot.

The Lighting Plan includes both building and parking lot lighting. The parking lot lights are full cutoff and will not exceed 20-feet in height as required by the City's Zoning Code.

A monument sign is also being proposed. Sign details are attached. Sign placement is anticipated to be adjacent to one of the drives or centered on the property adjacent to Green Road. The applicant has also indicated that building signage may be considered in the future. See Condition No. 5 below related to signage.

The building consists of primarily precast concrete panels. Staff has worked with the applicant on multiple revisions to the design of the building elevations and improvements have been made.

With that said, the Plan Commission is encouraged to consider the proposed architecture of the building in relation to existing and planned land uses. The south side of Green Road between Duplainville Road and Redford Boulevard (CTH F) is planned for industrial uses; however, there are still existing single-family homes. The north side of Green Road also has existing single-family homes and is currently planned for future single-family residential development. As such, staff finds that it is important that the architecture of this industrial building be compatible, to the extent possible, with the current conditions of Green Road and the uses around it. Further, this building will likely set the stage for future development along Green Road.

Without specific changes being suggested, staff has encouraged the applicant to try and focus attention on the main entrances of the building (e.g. more windows, awnings/canopies, or other architectural features).

Staff recommended conditions related to the site and building plans are below.

1. Site and Building Plans shall be contingent upon the approval of the proposed rezoning requests and Certified Survey Map Application.
2. Final grading, erosion control, storm water management approvals by Engineering Department are required prior to any land disturbing activities.
3. Outdoor storage and overnight parking of commercial vehicles and trailers shall only be allowed within the "Storage Area" along the rear of the property directly behind the building as indicated on the Site Plan. Materials within this area shall be kept in an orderly manner.
4. Wisconsin Department of Natural Resources approval of all impacts to wetlands and wetland setbacks shall be obtained prior to the issuance of a Building Permit.
5. The development shall be allowed a monument sign and directional signage in substantial conformance with the sign plans dated November 11, 2019, subject to issuance of a Sign Permit through the Building Services Department prior to installation. Any future proposed signage, including additional ground signs or wall signs, shall be subject to review and approval by the Plan Commission prior to issuance of a Sign Permit. All proposed signs shall comply with Section 17.0700 of the City's Zoning Code.
6. Staff recommends that a walkway be extended along the east and west side parking areas between the parking and the building and connecting to the sidewalk along the front of the building.
7. Rooftop and ground mechanicals shall be screened from public view.

Recommendation:

A motion to recommend approval of the proposed rezoning requests to rezone the property located at W230N22835 Green Road (Tax Key No. 0914980) from Rs-3 Single-Family Residential District to M-2 Limited Industrial District and the property bearing Tax Key No. 0914987 from M-6 Mixed Industrial Use District to M-2 Limited Industrial District.

A motion to recommend approval of a 1 Lot Certified Survey Map to combine the two existing parcels into a single lot contingent upon the approval of the rezoning requests and Site and Building Plans and compliance with Section 18.0603 of the City's Land Division Ordinance.

A motion to approve site and building plans submitted by Interstate Partners for the construction of a 164,788 square foot industrial speculative building in substantial conformance with the plans submitted on December 12, 2019 and subject to the conditions within the Plan Commission staff report dated December 12, 2019.



Interstate Partners LLC

N16 W23217 Stone Ridge Drive • Suite 120 • Waukesha, WI 53188 • Tel: 262.506.1000 • Fax: 262.506.1001 • interstatepartners.com

November 18, 2019

The City of Pewaukee
Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, WI 53072
Attn: Nick Fuchs

RE: Application for Site and Building Plan Review

Dear Nick,

Please let this letter serve as a proper written narrative detailing our request to develop a new 165,000 sf industrial building on a parcel of land that we have also petitioned to be combined and rezoned. Additional requested information is as follows:

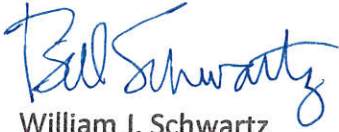
Business/use operational information: Interstate Partners LLC is expecting to develop this facility on a speculative basis. Our target market users are warehouse/distribution and manufacturing companies that have operations that are deemed permitted principal uses under the M-2 zoning code.

Future development plans, site and building improvements: Our immediate plans would be to remove the house and garage from the West side of the property. We would initiate site work in the Spring, 2020 and achieve substantial completion of a new 165,000 sf industrial building by Fall, 2020. The building's exterior will consist of 33' high architectural precast painted panels and strategically located glass/glazing openings on the North elevation. The building will be approximately 275' x 600' with 16' truck docks and 4 drive-in doors and approximately 175 parking stalls (expandable by 54). The professionally designed landscape plan will provide the number and variety of trees/shrubs and screening as desired by the City. There will be 2 storm water ponds along the East property line and a smaller pond on the Southwest corner of the site.

Tentative Development Schedule: Ground breaking in the Spring, 2020 and substantial completion by Fall, 2020.

Estimated Project Value: To be determined.

Sincerely
Interstate Partners LLC


William J. Schwartz
Director of Development

APPENDIX A-3

Page 3 of 4

PETITION
FOR A
- ZONING DISTRICT MAP AMENDMENT -

TO THE HONORABLE MAYOR AND COMMON COUNCIL
OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned do(es) hereby petition the Common Council of the City of Pewaukee, Waukesha County, Wisconsin to rezone the following property **FROM** RS-3

_____ zoning district(s) **TO** M-2
_____ zoning district(s):

Legal description of property to be rezoned:

See legal description attached as well as a draft CSM that has been submitted to the City to combine this parcel with a larger vacant land parcel to the East.

- Please attach extra pages, CSM or other information if needed.

Common property description or name: Green Road Commerce Center

Tax Key Number(s): PWC 0914980 . Address: N36 W 22835 Green Road

This amendment to the zoning map is being proposed in order to have consistent zoning on a larger parcel that we are proposing to develop a 165,000 sq industrial building.
Property owners name: EP Green Road LLC . Address: N16 W 23217 Stone Ridge Drive, # 350 Waukesha, WI 53188

PETITIONER'S (property owner's) SIGNATURE: Bill Schwartz

SIGNED AND DATED this 15th day of November, 2019.

Contact Information:

Petitioner or representative phone no. (262) 506-1003 . Fax no. (262) 506-1001

Email address: b.schwartz@interstatepartners.com . Other: _____

City Staff _____

RECEIVED at City Hall by: _____ on _____

Fees paid: \$ _____ . Date: _____

(Please go to page 4)

APPENDIX A-3

Page 4 of 4

STATE OF WISCONSIN

CITY OF PEWAUKEE

WAUKESHA COUNTY

- NOTICE OF ZONING MAP AMMENDMENT PUBLIC HEARING -

PLEASE TAKE NOTICE THAT THERE WILL BE A PUBLIC HEARING ON THE

PETITION OF: (Owners name) TP Green Road LLC

TO REZONE FROM: Rs-3 TO: M-2

THE FOLLOWING PROPERTY IN THE CITY OF PEWAUKEE:

Legal description of the property to be rezoned*:

See legal description attached as well as a draft CSM that has been submitted to the City in order to combine this parcel with a larger vacant land parcel to the East.

Please attach extra pages or plat or CSM if needed.

Common Description or name: Green Road Commerce Center

Tax Key Number(s): PWC 0914980 Size: 1.305 acres

This Amendment to the Zoning Map (Change in zoning) is being proposed for the purpose of: having consistent and appropriate zoning on a larger parcel upon which we propose to develop a 165,000 sq. industrial building.

City staff - _____

THE PUBLIC HEARING will be held at a meeting of the City Plan Commission in the City Hall Common Council Chambers* on _____ at or after _____ PM.

ACTION BY THE COMMON COUNCIL on the petition is scheduled to be made at a meeting in the Common Council Chambers* on _____ at or after _____ PM.

Dated this _____ day of _____.

Kelly Tarczewski,
Clerk/Treasurer, City of Pewaukee

* Please park in lower (south) parking lot.

EXHIBIT "A"
Legal Description

That part of the North One-half (1/2) of the Northwest One-quarter (1/4) of Section Thirteen (13), Township Seven (7) North, Range Nineteen (19) East, in the City of Pewaukee, County of Waukesha, State of Wisconsin, described as follows:
Beginning at a point in the North line of said Section, 687 feet East of the Northwest corner of said Northwest 1/4 of Section 13 aforesaid; thence East on the Section line, 170 feet to a point; thence South 5°, West 370 feet to a point; thence West 170 feet parallel to the Section line in the center of the highway to a point; thence North 5° East, 370 feet to the place of beginning, except Northerly 33 feet for road purposes.

Tax Key No. PWC 0914.980

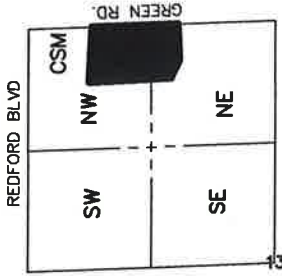
Address: N30 W22835 Green Road

(Signatures may be authenticated or acknowledged. Both are not necessary.)
NOTE: THIS IS A STANDARD FORM. ANY MODIFICATIONS TO THIS FORM SHOULD BE CLEARLY IDENTIFIED.
WARRANTY DEED
2003 STATE BAR OF WISCONSIN
FORM NO. 1-2003
*Type name below signatures

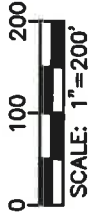
PRELIMINARY

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF SECTION 13, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN



LOCATION SKETCH
NW 1/4 SECTION 13,
T7N, R19E

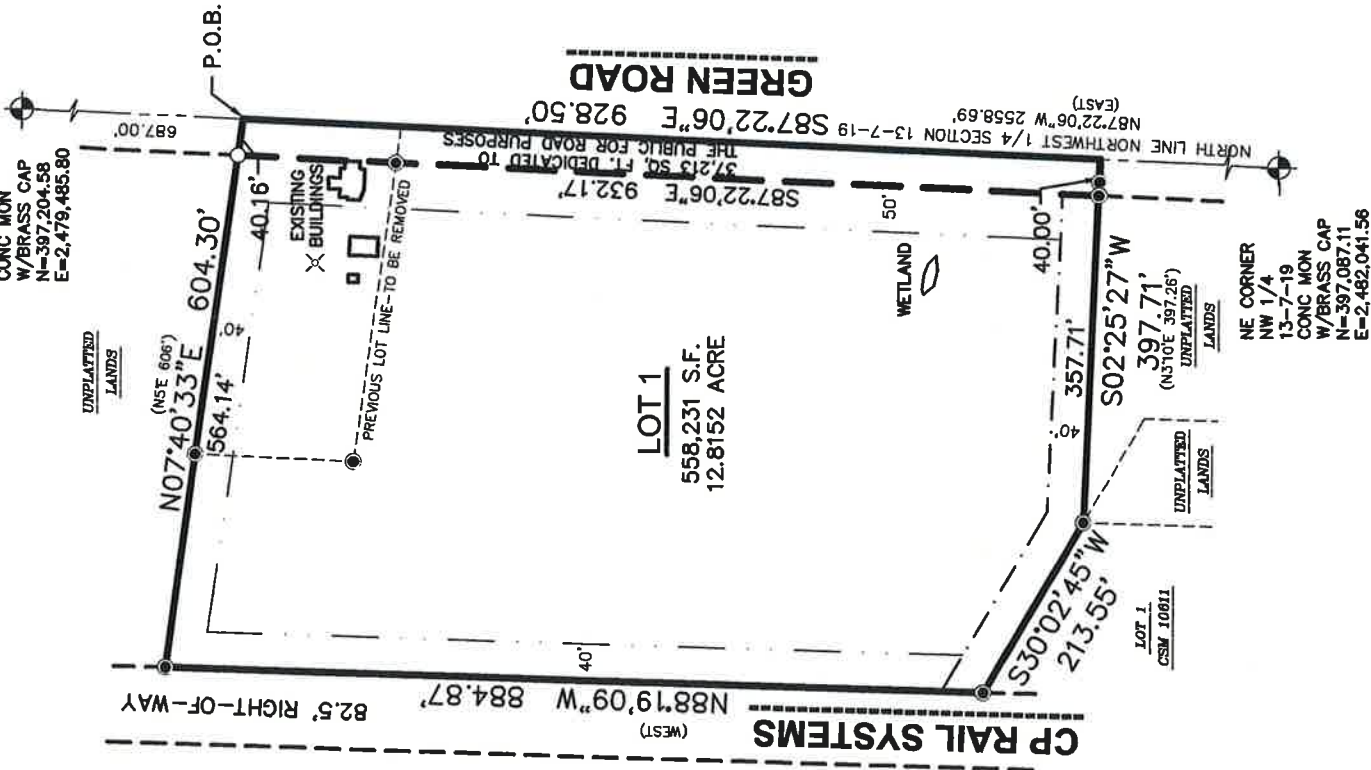


NOTES

1. BEARINGS REFER TO THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 13-7-19, WHICH HAS A WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD27) BEARING OF N87°22'06"W.
2. SEE SHEET 2 FOR LOT DETAILS AND TOPOGRAPHY.
3. SEE SHEET 3 FOR WETLAND LINE DETAILS.
4. ZONED M-8 MIXED INDUSTRIAL USE PER CITY OF PEWAUKEE ZONING MAP.
5. AS OF THE DATE OF THIS MAP, THE BUILDINGS SHOWN HEREON ARE CURRENTLY BEING USED BY THE CITY OF PEWAUKEE FIRE DEPARTMENT FOR TRAINING PURPOSES.

LEGEND

- GOVERNMENT CORNER
- 1" IRON PIPE FOUND
- 3/4" x 18" REBAR SET (1.50 LBS/LF)
- PLAT BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- RECORD LOT LINE
- SECTION LINE
- EASEMENT LINE
- SETBACK LINE



OCTOBER 29, 2019

THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

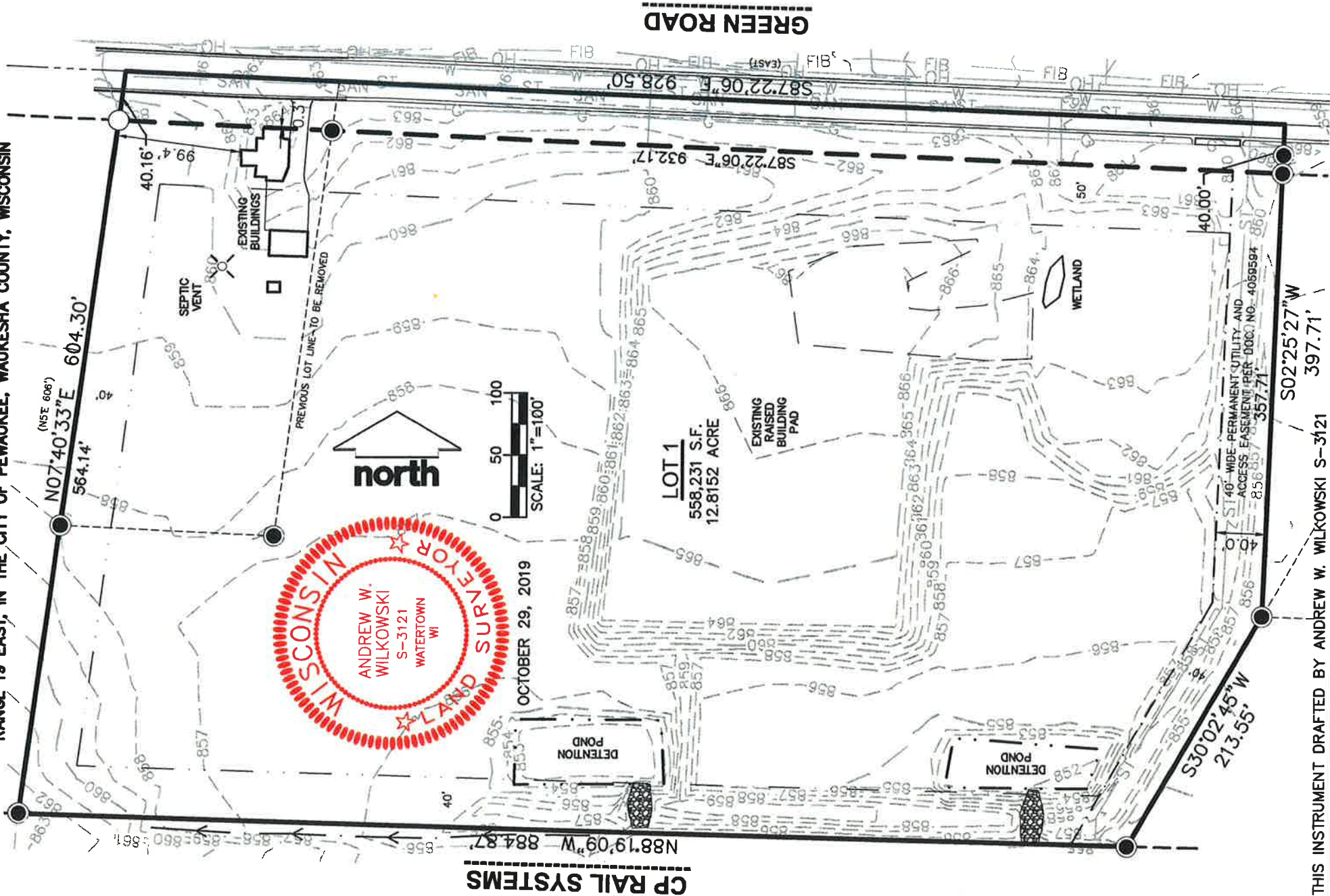
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|---|---|----------------------|----------------|------------------|------------------|
| SURVEYED BY: JSD <i>Professional Services, Inc.</i> <i>Engineers • Surveyors • Planners</i> MILWAUKEE REGIONAL OFFICE W238 N 1610 BLUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 P. 262.513.0666 | SURVEYED FOR: INTERSTATE PARTNERS N16W23217 STONE RIDGE WAUKESHA, WI 53188 | PROJECT NO: 15-7058A | SURVEYED BY: - | | |
| | | FIELDBOOK/Pg: - | DRAWN BY: DHS | | |
| | | | | SHEET NO: 1 OF 5 | CHECKED BY: AWW |
| | | | | | APPROVED BY: AWW |

VOL. _____ PAGE _____
DOC. NO. _____
C.S.M. NO. _____

PRELIMINARY

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 13, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN



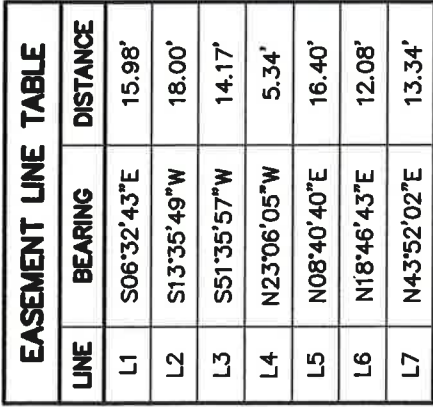
THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

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| <div>SURVEYED BY:</div> <div>JSD Professional Services, Inc.</div> <div>Engineers • Surveyors • Planners</div> <div>MILWAUKEE REGIONAL OFFICE</div> <div>W238 N 1610 BUSSE ROAD, SUITE 100</div> <div>WAUKESHA, WISCONSIN 53188</div> <div>P. 262.511.0666</div> | <div>SURVEYED FOR:</div> <div>INTERSTATE PARTNERS</div> <div>N16W23217 STONE RIDGE</div> <div>WAUKESHA, WI 53188</div> | PROJECT NO: 15-7058A | SURVEYED BY: | — |
| | | FIELDBOOK/PG: — | DRAWN BY: | DHS |
| | | SHEET NO: 2 OF 5 | CHECKED BY: | AWW |
| | | | APPROVED BY: | AWW |

VOL. _____ PAGE _____
DOC. NO. _____
C.S.M. NO. _____

CERTIFIED SURVEY MAP NO.

WETLAND EXHIBIT



THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

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VOL. _____ PAGE _____
DOC. NO. _____
C.S.M. NO. _____

PRELIMINARY

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 13, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

LEGAL DESCRIPTION

PART OF THE NORTHEAST QUARTER AND NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID QUARTER SECTION; THENCE S87°22'06"E ALONG THE NORTH LINE OF SAID QUARTER SECTION 687.00 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE CONTINUING S87°22'06"E ALONG SAID NORTH LINE 928.50 FEET; THENCE S02°25'27"W 397.71 FEET TO THE NORTHWEST CORNER OF CERTIFIED SURVEY MAP (CSM) NO. 10611; THENCE S30°02'45"W ALONG THE WEST LINE OF SAID CSM 213.55 FEET TO A POINT ON THE NORTH LINE OF THE CP RAIL SYSTEMS RIGHT OF WAY; THENCE N88°19'09"W ALONG SAID NORTH LINE 884.87 FEET; THENCE N07°40'33"E 64.30 FEET TO THE POINT OF BEGINNING.

LANDS CONTAINS 595,444 SQUARE FEET OR 13.6695 ACRES.

SURVEYOR'S CERTIFICATE

I, ANDREW W. WILKOWSKI, PROFESSIONAL LAND SURVEYOR S-3121, DO HEREBY CERTIFY THAT BY DIRECTION OF INTERSTATE PARTNERS, LLC, I HAVE SURVEYED, DIVIDED, MAPPED, AND DEDICATED THE LANDS DESCRIBED HEREON AND THAT THE MAP IS A CORRECT REPRESENTATION IN ACCORDANCE WITH THE INFORMATION PROVIDED. I FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS IN FULL COMPLIANCE WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.



OCTOBER 29, 2019
DATE

ANDREW W. WILKOWSKI S-3121
PROFESSIONAL LAND SURVEYOR

CORPORATE OWNER'S CERTIFICATE

INTERSTATE PARTNERS, A LIMITED LIABILITY CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID CORPORATION HAS CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, MAPPED, AND DEDICATED AS REPRESENTED HEREON. SAID CORPORATION FURTHER CERTIFIES THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.34, WISCONSIN STATUTES TO BE SUBMITTED TO THE CITY OF PEWAUKEE] FOR APPROVAL.

IN WITNESS WHEREOF, THE SAID INTERSTATE PARTNERS HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS REPRESENTATIVE THIS _____ DAY OF _____ 2019.


BY: [_____] , MANAGING MEMBER

STATE OF WISCONSIN) SS
WAUKESHA COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____ 2019,
THE ABOVE NAMED REPRESENTATIVES OF THE ABOVE NAMED INTERSTATE PARTNERS,
LLC TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT,
AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, WAUKESHA COUNTY, WISCONSIN MY COMMISSION EXPIRES _____

THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

| | | | | |
|---|---|--|--|---|
| SURVEYED BY:  MILWAUKEE REGIONAL OFFICE W238 N 1610 BLUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 P. 262.613.0686 | SURVEYED FOR: INTERSTATE PARTNERS N16W23217 STONE RIDGE WAUKESHA, WI 53188 | PROJECT No: 15-7058A FIELDBOOK/Pg: - SHEET NO: 4 OF 5 | SURVEYED BY: - DRAWN BY: DHS CHECKED BY: AWW APPROVED BY: AWW | VOL. _____ PAGE _____ DOC. NO. _____ C.S.M. NO. _____ |
|---|---|--|--|---|

PRELIMINARY

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 13, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

CITY OF PEWAUKEE PLAN COMMISSION APPROVAL

APPROVED FOR RECORDING PER CITY OF PEWAUKEE PLAN COMMISSION ACTION OF _____, 2019.

AMI HURD, SECRETARY

STEVE BIERCE, MAYOR

CITY OF PEWAUKEE COMMON COUNCIL APPROVAL CERTIFICATE

RESOLVED THAT THIS CERTIFIED SURVEY MAP AND ITS DEDICATION, WHICH HAS BEEN DULY FILED FOR THE APPROVAL OF THE CITY OF PEWAUKEE COMMON COUNCIL, BE AND THE SAME IS HEREBY APPROVED AND THE DEDICATIONS, IF ANY DESIGNATED HEREON, ARE HEREBY ACKNOWLEDGED AND ACCEPTED BY THE CITY OF PEWAUKEE.

I HEREBY CERTIFY THAT THE ABOVE IS A TRUE AND CORRECT COPY OF A RESOLUTION ADOPTED BY THE CITY OF PEWAUKEE ON THIS _____ DAY OF _____, 2019.

KELLY TARCZEWSKI, CLERK

STEVE BIERCE, MAYOR



OCTOBER 29, 2019

THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

| | | |
|---|---|---|
| JSD <i>Professional Services, Inc.</i> • Engineers • Surveyors • Planners MILWAUKEE REGIONAL OFFICE W238 N 1610 BUSSE ROAD, STE. 100 WAUKESHA, WISCONSIN 53188 P. 262.513.0666 | SURVEYED BY: | SURVEYED FOR: |
| | INTERSTATE PARTNERS | PROJECT NO: 5-7058 |
| | N16W23217 STONE RIDGE WAUKESHA, WI 53188 | FB/P/G: — DRAWN BY: DHS SHEET NO: 5 OF 5 CHECKED BY: AWW APPROVED BY: AWW |

| | |
|-----------------------------------|--|
| OFFICE OF THE REGISTER OF DEEDS | |
| _____ COUNTY, WISCONSIN | |
| RECEIVED FOR RECORD _____ | |
| 20 _____ AT _____ O'CLOCK _____ M | |
| AS DOCUMENT # _____ | |
| IN VOL _____ OF CERTIFIED _____ | |
| SURVEY MAPS ON PAGE(S) _____ | |
| REGISTER OF DEEDS _____ | |

(WS003)

Interstate Partners II Wisconsin LLC
N16W23217 Stone Ridge Drive, Suite 350
Waukesha, WI 53188

Four Hundred and no/100 DOLLARS ***

PAY
TO THE
ORDER OF

City of Pewaukee
W240 N3065 Pewaukee Rd
Pewaukee, WI 53072

CIBC Bank USA
743 North Water Street
Milwaukee, WI 53202

79-7219
750

Check No.
002974

Date
11/15/19

Amount
\$400.00*

Security features
shown on back

MEMO Fee for zoning district amend from Rs-3 to M-2

Void After 90 Days

⑈002974⑈ ⑆075072199⑆ 2394939⑈

| | | | | | | | |
|-------------|-----------|----------------------|-----------|---------------------------|-------|------------|--|
| (WS003) | | CHECK DATE: 11/15/19 | | CHECK NO.: 002974 | | CIPE2 | |
| Invoice No. | Inv. Date | Inv. Amount | Disc. Amt | Description | Vchr | Net Amount | |
| 11152019-1 | 11/15/19 | 400.00 | 0.00 | Interco for IP Green Road | 01103 | 400.00 | |

| | | | |
|-------|--------|------|--------|
| TOTAL | 400.00 | 0.00 | 400.00 |
|-------|--------|------|--------|

VOGELSANG REAL ESTATE LLC
N29W22232 KATHRYN CT
WAUKESHA WI 53186-8868

SJZ ENTERPRISES LLC
21555 W LAWNSDALE RD
NEW BERLIN WI 53146-3868

SERGIO BONDI
N29W22870 MARJEAN LN
WAUKESHA WI 53186-1016

N29W22930 MARJEAN LANE LLC
N29W22930 MARJEAN LN
WAUKESHA WI 53186-1016

W22960 MARJEAN LANE LLC
N29W22960 MARJEAN LN
WAUKESHA WI 53186-1016

IP GREEN ROAD LLC
N16W23217 STONE RIDGE DR STE 350
WAUKESHA WI 53188-1171

IP GREEN ROAD LLC
N16W23217 STONE RIDGE DR STE 120
WAUKESHA WI 53188-1171

PETER J GEFFERT AND SARA J GEFFERT
N30W22897 GREEN RD
PEWAUKEE WI 53072-4028

FRANCES M BOLAN
2770 FLAGSTONE DR
BROOKFIELD WI 53045

CITY OF PEWAUKEE
W240N3065 PEWAUKEE RD
PEWAUKEE WI 53072

THOMAS & SHARON LINDNER
N31W22788 GREEN RD
PEWAUKEE WI 53072

THOMAS W & SHARON L LINDNER
N31W22788 GREEN RD
PEWAUKEE WI 53072

SANITARY DISTRICT NO 3
W240N3065 PEWAUKEE RD
PEWAUKEE WI 53072-4044

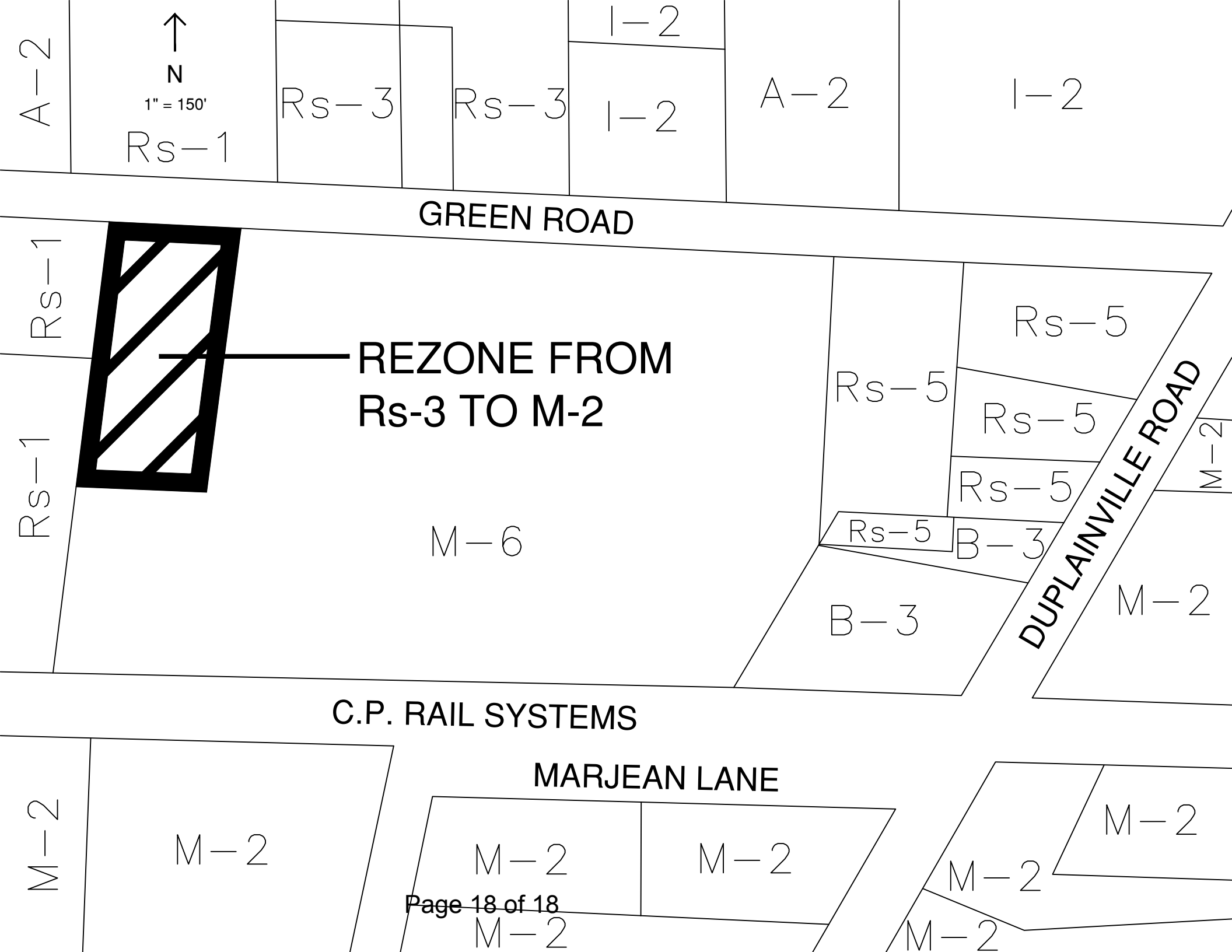
DBA WE ENERGIES WISCONSIN ELECTRIC
231 W MICHIGAN RM A-252
MILWAUKEE WI 53203

NETTESHEIM REVOCABLE MARITAL
N31W22756 GREEN RD
PEWAUKEE WI 53072

SCOTT T AUGUSTINE AND LESLEY M
N31W22828 GREEN RD
PEWAUKEE WI 53072-4005

DBA WE ENERGIES WISCONSIN ELECTRIC
231 W MICHIGAN RM A-252
MILWAUKEE WI 53203

VOGELSANG REAL ESTATE LLC
N29W22232 KATHRYN CT
WAUKESHA WI 53186-8868



**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 5.**

DATE: December 19, 2019

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Petition for a Rezoning Public Hearing for Interstate Partners Green Road LLC to Rezone Vacant Land on Green Road From M-6 Mixed Industrial to M-2 Limited Industrial for the Purpose of Developing a 165,000 Square Foot Industrial Building (PWC 0914987)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Interstate Partners Green Road Rezoning Vacant Land

Interstate Partners Rezoning Map Vacant Land

APPENDIX A-3

Page 3 of 4

PETITION
FOR A
- ZONING DISTRICT MAP AMENDMENT -

TO THE HONORABLE MAYOR AND COMMON COUNCIL
OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned do(es) hereby petition the Common Council of the City of Pewaukee, Waukesha County, Wisconsin to rezone the following property **FROM** M-6

_____ zoning district(s) **TO** M-2
_____ zoning district(s):

Legal description of property to be rezoned:

See legal description attached as well as a draft CSM that has been
submitted to the City in order to combine this parcel with a smaller
parcel to the West.

- Please attach extra pages, CSM or other information if needed.

Common property description or name: Green Road Commerce Center

Tax Key Number(s): PNC 0914987 . Address: N/A - Vacant land parcel

This amendment to the zoning map is being proposed in order to have consistent zoning on a
larger parcel that we are proposing to develop a 165,000 sq. industrial building.
Property owners name: TP Green Road LLC. Address: _____

PETITIONER'S (property owner's) SIGNATURE: Bill Schwartz

SIGNED AND DATED this 15th day of November, 2019.

Contact Information:

Petitioner or representative phone no. (262) 506-1003 . Fax no. (262) 506-1001 .

Email address: bschwartz@interstatepartners.com . Other: _____

City Staff: _____

RECEIVED at City Hall by: _____ on _____.

Fees paid: \$ _____. Date: _____.

(Please go to page 4)

APPENDIX A-3

Page 4 of 4

STATE OF WISCONSIN

CITY OF PEWAUKEE

WAUKESHA COUNTY

- NOTICE OF ZONING MAP AMMENDMENT PUBLIC HEARING -

PLEASE TAKE NOTICE THAT THERE WILL BE A PUBLIC HEARING ON THE

PETITION OF: (Owners name) IP Green Road LLC

TO REZONE FROM: M-6 TO: M-2

THE FOLLOWING PROPERTY IN THE CITY OF PEWAUKEE:

Legal description of the property to be rezoned*:

See legal description attached as well as a draft CSM that has
been submitted to the City in order to combine this parcel with a
smaller parcel to the West.

Please attach extra pages or plat or CSM if needed.

Common Description or name: Green Road Commerce Center

Tax Key Number(s): PNC 0914987 Size: 10.784 acres

This Amendment to the Zoning Map (Change in zoning) is being proposed for the purpose of: having consistent and appropriate zoning on a larger parcel upon which
we propose to develop a 165,000 sq. industrial building.

City staff – _____

THE PUBLIC HEARING will be held at a meeting of the City Plan Commission in the City Hall
Common Council Chambers* on _____ at or after PM.

ACTION BY THE COMMON COUNCIL on the petition is scheduled to be made at a meeting in the
Common Council Chambers* on _____ at or after PM.

Dated this _____ day of _____.

Kelly Tarczewski,
Clerk/Treasurer, City of Pewaukee

* Please park in lower (south) parking lot.

Property Details

Tax Key: PWC 0914987

Tax Year: 2019

11/4/2019 10:51:46 AM

WAUKESHA COUNTY

CITY OF PEWAUKEE

OWNER NAME AND MAILING ADDRESS

PROPERTY ADDRESS

IP GREEN ROAD LLC
C/O JOHN HELLER
N16W23217 STONE RIDGE DR STE 350
WAUKESHA, WI 53188-1171

Contact us to Update Mailing Address

LEGAL DESCRIPTION

PT N1/2 NW1/2 SEC 13 T7N R19E, COM 687 FT E OF NW COR, E 1456 FT, S27°W 652 FT TO RR R/W, W 1213 FT, N5°E 606 FT TO BGN :: EX VOL 71/230 & EX VOL 74/111 & EX VOL 89/34 & EX VOL 365/446 & EX VOL 582/11 & EX VOL 775/337 :: DOC# 4264141

ASSESSMENT STATUS

OWNERSHIP/LEGAL DESCRIPTION EXCEPTION DOCUMENTS

Assessment Year:

2019

DEED

DOC

4264141

Assessment Status:

ACTIVE

EXCEPTION

[EXCEPTION]

VP

365 / 446

Assessment Attributes:

NONE

EXCEPTION

[EXCEPTION]

VP

582 / 11

Deeded Acres:

0.000

ASSESSMENT INFORMATION

Assessed By: JAMES SIEBERS
262-691-6010
siebers@pewaukee.wi.us
Board of Review Date: 7/29/2019
Links to WI Dept of Revenue Resources:
Guide for Property Owners
Property Assessment Appeal Guide
Board of Review Calendar

PROPERTY VALUES

| Property Class | Acres | Land | Improvement | Total |
|------------------------|--------|----------------|-------------|----------------|
| COMMERCIAL, MERCANTILE | 10.784 | \$1,078,400.00 | \$0.00 | \$1,078,400.00 |
| Total: | 10.784 | \$1,078,400.00 | \$0.00 | \$1,078,400.00 |

The property values displayed are finalized and will be used for the calculation of this year's property tax bills.

DISTRICTS

District Type
CITY

District Name
CITY OF PEWAUKEE

DOR Code
270
4312

TCDB

PEWAUKEE SCHOOL - 4312
WAUKESHA TECH COLLEGE

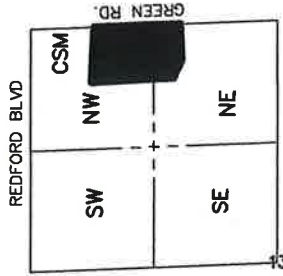
08

This program accesses data from databases maintained by several County Departments and Local Municipalities. There may be inconsistencies in data depending on the date the information was gathered or the purpose for which it is maintained. Due to variances in sources and update cycles, there is no guarantee as to the

PRELIMINARY

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF SECTION 13, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN



LOCATION SKETCH
NW 1/4 SECTION 13,
T7N, R19E

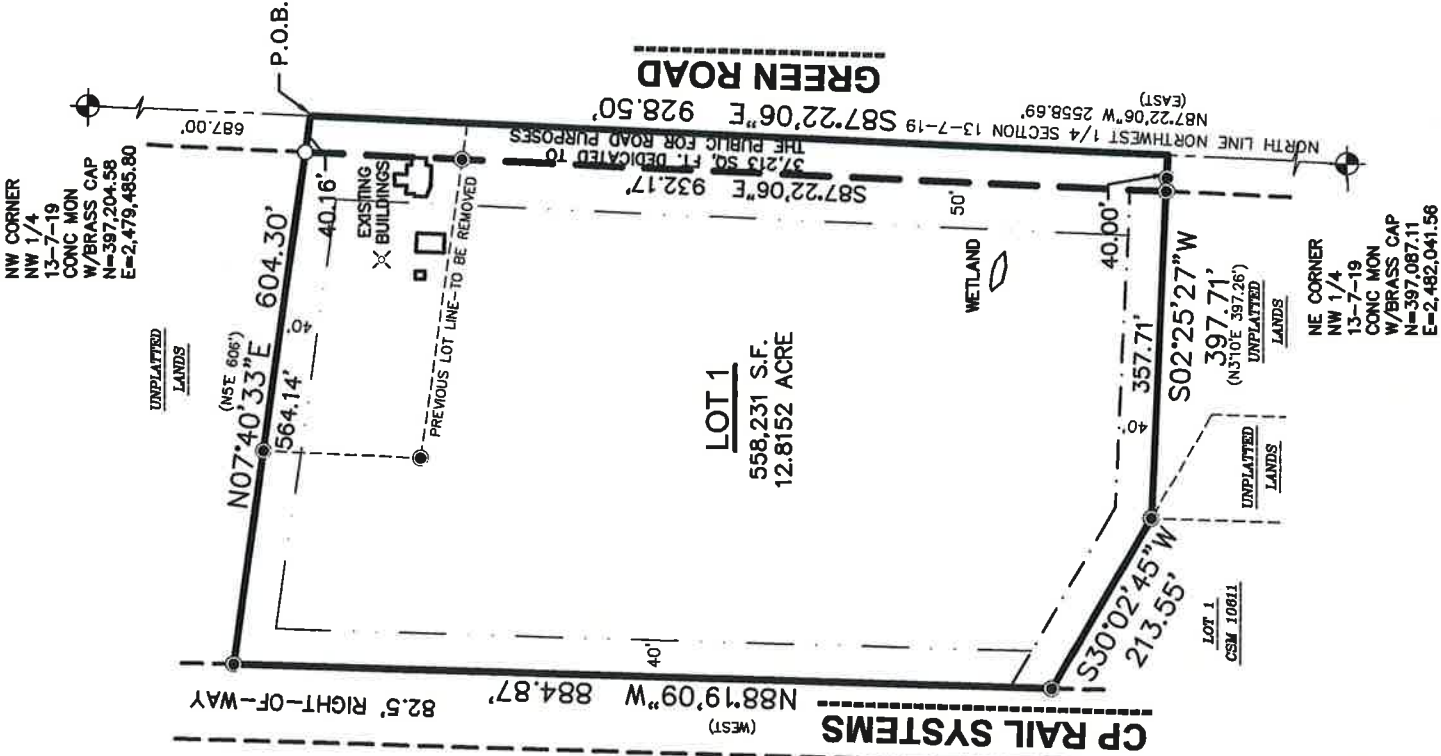


NOTES

1. BEARINGS REFER TO THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 13-7-19, WHICH HAS A WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD27) BEARING OF N87°22'06"W.
2. SEE SHEET 2 FOR LOT DETAILS AND TOPOGRAPHY.
3. SEE SHEET 3 FOR WETLAND LINE DETAILS.
4. ZONED M-8 MIXED INDUSTRIAL USE PER CITY OF PEWAUKEE ZONING MAP.
5. AS OF THE DATE OF THIS MAP, THE BUILDINGS SHOWN HEREON ARE CURRENTLY BEING USED BY THE CITY OF PEWAUKEE FIRE DEPARTMENT FOR TRAINING PURPOSES.

LEGEND

- GOVERNMENT CORNER
- 1" IRON PIPE FOUND
- 3/4" x 18" REBAR SET (1.50 LBS/LF)
- PLAT BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- RECORD LOT LINE
- SECTION LINE
- EASEMENT LINE
- SETBACK LINE



OCTOBER 29, 2019

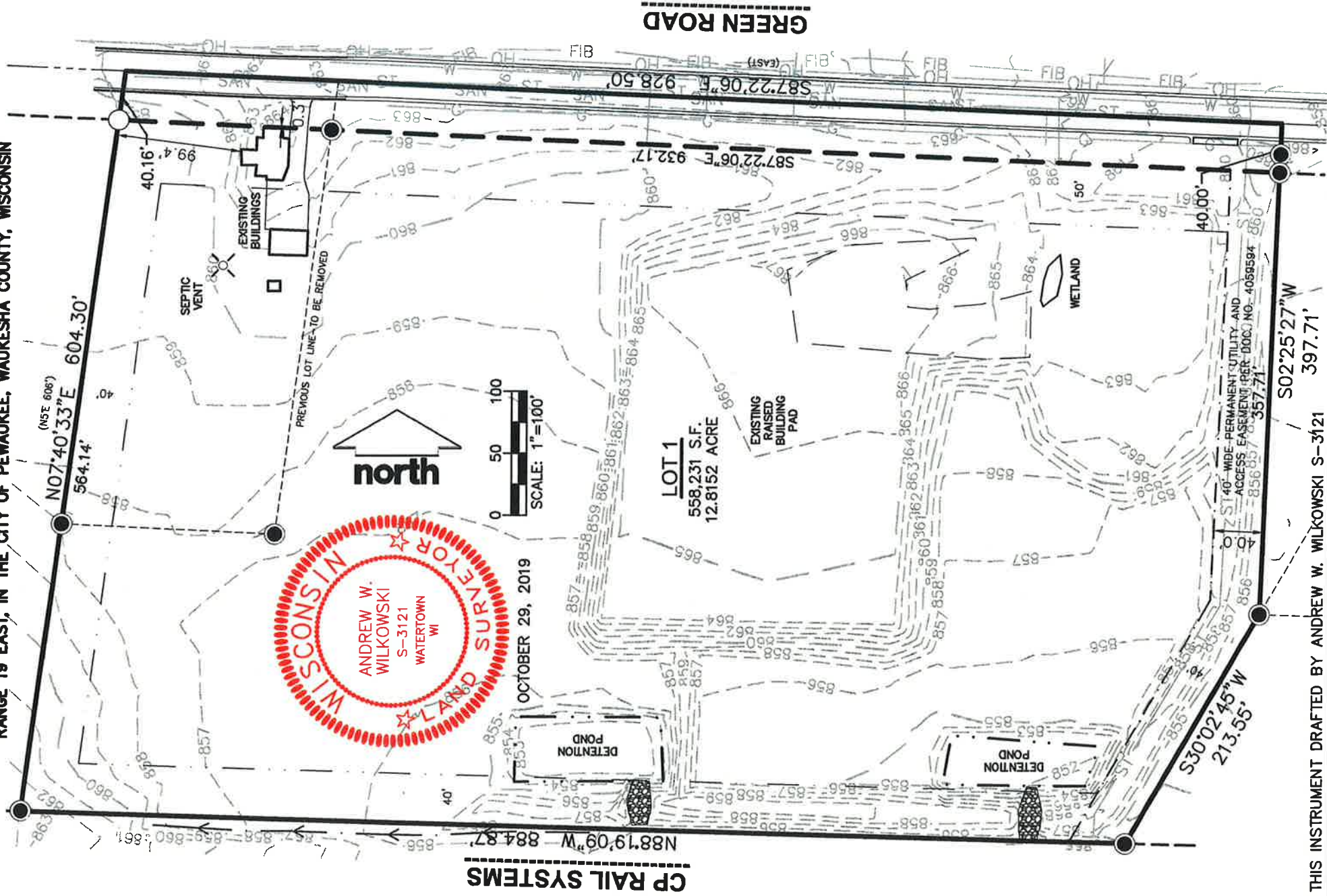
THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

| | | | | | | | | | | |
|---|--|--|----------------------|--|-----------------|--|--------|--|--------------|--|
| SURVEYED BY: JSD Professional Services, Inc. Engineers • Surveyors • Planners | SURVEYED FOR: INTERSTATE PARTNERS | | PROJECT NO: 15-7058A | | SURVEYED BY: - | | VOL. - | | PAGE - | |
| | MILWAUKEE REGIONAL OFFICE W238 N 1610 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 P: 262.513.0066 | | FIELDBOOK/PG: - | | DRAWN BY: - | | DHS | | DOC. NO. - | |
| | N16W23217 STONE RIDGE WAUKESHA, WI 53188 | | SHEET NO: 1 OF 5 | | CHECKED BY: AWW | | AWW | | C.S.M. NO. - | |


PRELIMINARY

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF SECTION 13, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN



THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

| | | | |
|---|---|----------------------|------------------|
| <div>SURVEYED BY:</div> <div> JSD Professional Services, Inc.</div> <div><i>Engineers • Surveyors • Planners</i></div> <div>MILWAUKEE REGIONAL OFFICE W238 N 1510 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 P. 262.613.0666</div> | <div>SURVEYED FOR:</div> <div>INTERSTATE PARTNERS</div> <div>N16W23217 STONE RIDGE WAUKESHA, WI 53188</div> | PROJECT NO: 15-7058A | SURVEYED BY: - |
| | | FIELDBOOK/PG: - | DRAWN BY: DHS |
| | | SHEET NO: 2 OF 5 | CHECKED BY: AWW |
| | | | APPROVED BY: AWW |
| | | | |
| VOL. _____ PAGE _____ | | DOC. NO. _____ | C.S.M. NO. _____ |

VOL. _____ PAGE _____

DOC. NO. _____

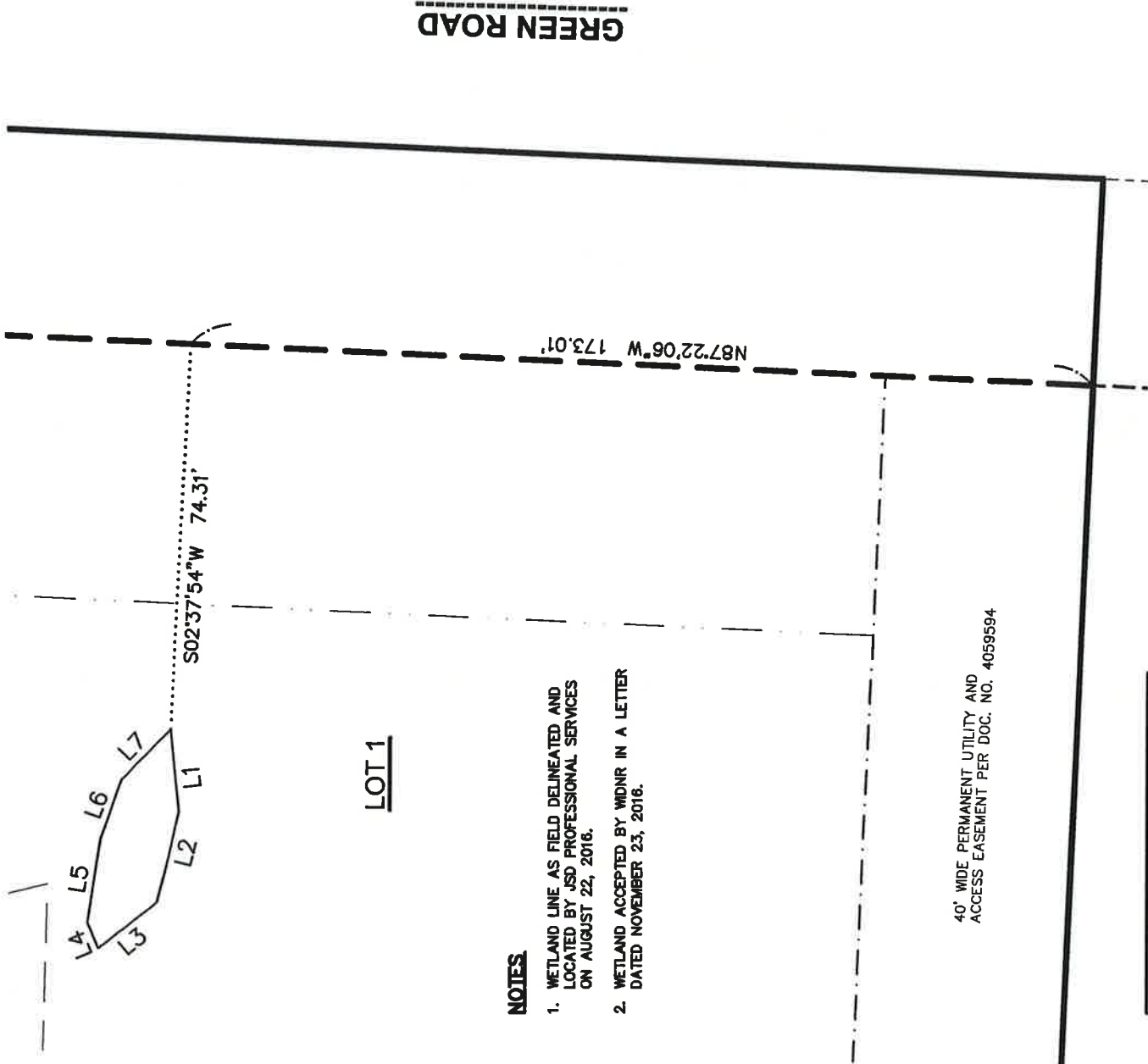
C.S.M. NO. _____

PRELIMINARY

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 13, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

WETLAND EXHIBIT



NOTES

- 1. WETLAND LINE AS FIELD DELINEATED AND LOCATED BY JSD PROFESSIONAL SERVICES ON AUGUST 22, 2016.
- 2. WETLAND ACCEPTED BY WIDNR IN A LETTER DATED NOVEMBER 23, 2016.

| EASEMENT LINE TABLE | | |
|---------------------|-------------|----------|
| LINE | BEARING | DISTANCE |
| L1 | S06°32'43"E | 15.98' |
| L2 | S13°35'49"W | 18.00' |
| L3 | S51°35'57"W | 14.17' |
| L4 | N23°06'05"W | 5.34' |
| L5 | N08°40'40"E | 16.40' |
| L6 | N18°46'43"E | 12.08' |
| L7 | N43°52'02"E | 13.34' |



OCTOBER 29, 2019

THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

| | | | | |
|---|---|--------------|------------------|--------------|
| JSD Professional Services, Inc. "Engineers • Surveyors • Planners" MILWAUKEE REGIONAL OFFICE W238 N 1610 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 P. 262.513.0665 | SURVEYED FOR: | SURVEYED BY: | PROJECT NO: | SURVEYED BY: |
| | INTERSTATE PARTNERS | DRAWN BY: | 15-7058A | DHS |
| | N16W23217 STONE RIDGE WAUKESHA, WI 53188 | CHECKED BY: | SHEET NO: 3 OF 5 | AWW |
| | | APPROVED BY: | DOC. NO. | |
| | | | C.S.M. NO. | |

| | |
|------------|------|
| VOL. | PAGE |
| DOC. NO. | |
| C.S.M. NO. | |

PRELIMINARY

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 13, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

LEGAL DESCRIPTION

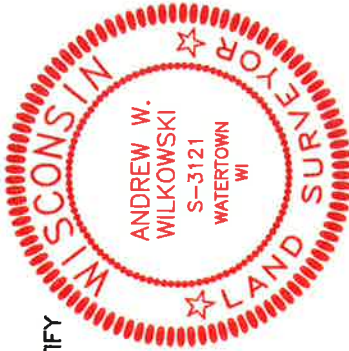
PART OF THE NORTHEAST QUARTER AND NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID QUARTER SECTION; THENCE S87°22'06"E ALONG THE NORTH LINE OF SAID QUARTER SECTION 687.00 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE CONTINUING S87°22'06"E ALONG SAID NORTH LINE 928.50 FEET; THENCE S02°25'27"W 397.71 FEET TO THE NORTHWEST CORNER OF CERTIFIED SURVEY MAP (CSM) NO. 10611; THENCE S30°02'45"W ALONG THE WEST LINE OF SAID CSM 213.55 FEET TO A POINT ON THE NORTH LINE OF THE CP RAIL SYSTEMS RIGHT OF WAY; THENCE N88°19'09"W ALONG SAID NORTH LINE 884.87 FEET; THENCE N07°40'33"E 64.30 FEET TO THE POINT OF BEGINNING.

LANDS CONTAINS 595,444 SQUARE FEET OR 13.6695 ACRES.

SURVEYOR'S CERTIFICATE

I, ANDREW W. WILKOWSKI, PROFESSIONAL LAND SURVEYOR S-3121, DO HEREBY CERTIFY THAT BY DIRECTION OF INTERSTATE PARTNERS, LLC, I HAVE SURVEYED, DIVIDED, MAPPED, AND DEDICATED THE LANDS DESCRIBED HEREON AND THAT THE MAP IS A CORRECT REPRESENTATION IN ACCORDANCE WITH THE INFORMATION PROVIDED. I FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS IN FULL COMPLIANCE WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.



OCTOBER 29, 2019
DATE

ANDREW W. WILKOWSKI S-3121
PROFESSIONAL LAND SURVEYOR

CORPORATE OWNER'S CERTIFICATE

INTERSTATE PARTNERS, A LIMITED LIABILITY CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID CORPORATION HAS CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, MAPPED, AND DEDICATED AS REPRESENTED HEREON. SAID CORPORATION FURTHER CERTIFIES THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.34, WISCONSIN STATUTES TO BE SUBMITTED TO THE CITY OF PEWAUKEE] FOR APPROVAL.

IN WITNESS WHEREOF, THE SAID INTERSTATE PARTNERS HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS REPRESENTATIVE THIS _____ DAY OF _____, 2019.

BY: [_____] MANAGING MEMBER

STATE OF WISCONSIN) SS
WAUKESHA COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2019, THE ABOVE NAMED REPRESENTATIVES OF THE ABOVE NAMED INTERSTATE PARTNERS, LLC TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, WAUKESHA COUNTY, WISCONSIN MY COMMISSION EXPIRES _____

THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

| | | | | |
|---|--|---|---|--|
| Milwaukee Regional Office 1610 Blusse Road, Suite 100 Waukesha, WI 53188 P. 262.511.0666 | SURVEYED FOR: INTERSTATE PARTNERS N16W23217 STONE RIDGE WAUKESHA, WI 53188 | SURVEYED BY: PROJECT NO: 15-7058A FIELDBOOK/Pg: - SHEET NO: 4 OF 5 | DRAWN BY: DHS CHECKED BY: AWW APPROVED BY: AWW | VOL. _____ PAGE _____ DOC. NO. _____ C.S.M. NO. _____ |
| | | | | |

PRELIMINARY

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 13, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

CITY OF PEWAUKEE PLAN COMMISSION APPROVAL

APPROVED FOR RECORDING PER CITY OF PEWAUKEE PLAN COMMISSION ACTION OF 2019.

AMI HURD, SECRETARY

STEVE BIERCE, MAYOR

CITY OF PEWAUKEE COMMON COUNCIL APPROVAL CERTIFICATE

RESOLVED THAT THIS CERTIFIED SURVEY MAP AND ITS DEDICATION, WHICH HAS BEEN DULY FILED FOR THE APPROVAL OF THE CITY OF PEWAUKEE COMMON COUNCIL, BE AND THE SAME IS HEREBY APPROVED AND THE DEDICATIONS, IF ANY DESIGNATED HEREON, ARE HEREBY ACKNOWLEDGED AND ACCEPTED BY THE CITY OF PEWAUKEE.

I HEREBY CERTIFY THAT THE ABOVE IS A TRUE AND CORRECT COPY OF A RESOLUTION ADOPTED BY THE CITY OF PEWAUKEE ON THIS DAY OF 2019.

KELLY TARCEWSKI, CLERK

STEVE BIERCE, MAYOR



OCTOBER 29, 2019

THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

| | | | |
|---|--|---------------------------|------------------------|
| SURVEYED BY:  MILWAUKEE REGIONAL OFFICE W238 N 1610 BUSSE ROAD, STE. 100 WAUKESHA, WISCONSIN 53188 P. 262.513.0666 | SURVEYED FOR: INTERSTATE PARTNERS | PROJECT NO: 5-7058 | SURVEYED BY: — |
| | | FB/PG: — | DRAWN BY: DHS |
| | | SHEET NO: 5 OF 5 | CHECKED BY: AWW |

| | |
|--|--------------|
| OFFICE OF THE REGISTER OF DEEDS | |
| COUNTY, WISCONSIN | |
| RECEIVED FOR RECORD | |
| 20 | AT O'CLOCK M |
| AS DOCUMENT # | |
| IN VOL OF CERTIFIED | |
| SURVEY MAPS ON PAGE(S) | |
| REGISTER OF DEEDS | |

(WS003)

Interstate Partners II Wisconsin LLC
N16W23217 Stone Ridge Drive, Suite 350
Waukesha, WI 53188

CIPE2

CIBC Bank USA
743 North Water Street
Milwaukee, WI 53202

79-7219
750

Four Hundred and no/100 DOLLARS ***

PAY
TO THE
ORDER OF

City of Pewaukee
W240 N3065 Pewaukee Rd
Pewaukee, WI 53072

Check No.
002973

Date
11/15/19

Amount
\$400.00*

Security Features
listed on back

[Signature]

MEMO Fee for zoning district amend from M-6 to M-2

Void After 90 Days

⑈002973⑈ ⑆075072199⑆ 2394939⑈

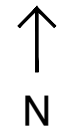
| (WS003) Invoice No. | | Inv. Date | Inv. Amount | Disc. Amt | CHECK DATE: 11/15/19 | | CHECK NO.: 002973 | | CIPE2 | |
|------------------------|--|-----------|-------------|-----------|---------------------------|--|-------------------|------------|-------|--|
| 11152019-2 | | 11/15/19 | 400.00 | 0.00 | Interco for IP Green Road | | Vchr | Net Amount | | |
| | | | | | | | 01104 | | | |

| | | | | |
|-------|--|--------|------|--------|
| TOTAL | | 400.00 | 0.00 | 400.00 |
|-------|--|--------|------|--------|

| | | |
|---|--|---|
| SARA E SCHWALLER W227N2893 DUPLAINVILLE RD WAUKESHA WI 53186-1003 | WILLIAM G GALINSKY AND LISA M BROWN W227N2912 DUPLAINVILLE RD WAUKESHA WI 53186 | WILLIAM G GALINSKY AND LISA M BROWN W227N2912 DUPLAINVILLE RD WAUKESHA WI 53186 |
| CUTTINGEDGEPROPERTY LLC 720 CHADWICK DR WATERTOWN WI 53094-5912 | TRI-MIL LLP 2625 RESEARCH PARK DR FITCHBURG WI 53711-4908 | TRI-MIL LLP 2625 RESEARCH PARK DR FITCHBURG WI 53711-4908 |
| MARJEAN HOLDINGS LLC N29W22885 MARJEAN LN WAUKESHA WI 53186-1015 | ZIEGLER ENTERPRISES LLC 21555 LAWNSDALE RD NEW BERLIN WI 53146-3868 | W22960 MARJEAN LANE LLC N29W22960 MARJEAN LN WAUKESHA WI 53186-1016 |
| W22960 MARJEAN LANE LLC N29W22960 MARJEAN LN WAUKESHA WI 53186-1016 | HAROLD J RADTKE REVOCABLE TRUST W227N2905 DUPLAINVILLE RD WAUKESHA WI 53186-8816 | DUPLAINVILLE LAND COMPANY LLC W226N2940 DUPLAINVILLE RD WAUKESHA WI 53186-8815 |
| W22960 MARJEAN LANE LLC N29W22960 MARJEAN LN WAUKESHA WI 53186-1016 | VOGELSANG REAL ESTATE LLC N29W22232 KATHRYN CT WAUKESHA WI 53186-8868 | SJZ ENTERPRISES LLC 21555 W LAWNSDALE RD NEW BERLIN WI 53146-3868 |
| SERGIO BONDI N29W22870 MARJEAN LN WAUKESHA WI 53186-1016 | N29W22930 MARJEAN LANE LLC N29W22930 MARJEAN LN WAUKESHA WI 53186-1016 | W22960 MARJEAN LANE LLC N29W22960 MARJEAN LN WAUKESHA WI 53186-1016 |
| ZINDALAND LLC 206 MANDAN DR WAUKESHA WI 53188-4660 | NJT DEVELOPMENT OF PEWAUKEE LLC PO BOX 470 PEWAUKEE WI 53072 | SUSAN K SPENCER W226N3045 DUPLAINVILLE RD WAUKESHA WI 53186 |
| AARONIN STEEL SALES INC 1008 ANN MARIE WAY OCONOMOWOC WI 53066-2916 | CLARENCE GERBIG AND LORRAINE W226N3061 DUPLAINVILLE RD WAUKESHA WI 53186 | LORAIN GERBIG W226N3061 DUPLAINVILLE RD WAUKESHA WI 53186-1005 |
| WEINZ SERVICE INC W226N3080 DUPLAINVILLE RD WAUKESHA WI 53186-8814 | WEINZ SERVICE INC W226N3080 DUPLAINVILLE RD WAUKESHA WI 53186-8814 | JEREMY R GITZLAFF N30W22695 GREEN RD PEWAUKEE WI 53072-4026 |
| IP GREEN ROAD LLC N16W23217 STONE RIDGE DR STE 350 WAUKESHA WI 53188-1171 | IP GREEN ROAD LLC N16W23217 STONE RIDGE DR STE 120 WAUKESHA WI 53188-1171 | |

| | | |
|--|---|---|
| PETER J GEFFERT AND SARA J GEFFERT N30W22897 GREEN RD PEWAUKEE WI 53072-4028 | FRANCES M BOLAN 2770 FLAGSTONE DR BROOKFIELD WI 53045 | QUAD GRAPHICS INC N61W23044 HARRYS WAY SUSSEX WI 53089-3995 |
| CITY OF PEWAUKEE W240N3065 PEWAUKEE RD PEWAUKEE WI 53072 | THOMAS & SHARON LINDNER N31W22788 GREEN RD PEWAUKEE WI 53072 | THOMAS W & SHARON L LINDNER N31W22788 GREEN RD PEWAUKEE WI 53072 |
| SANITARY DISTRICT NO 3 W240N3065 PEWAUKEE RD PEWAUKEE WI 53072-4044 | DBA WE ENERGIES WISCONSIN ELECTRIC 231 W MICHIGAN RM A-252 MILWAUKEE WI 53203 | TRINITY ACADEMY INC W225N3131 DUPLAINVILLE RD PEWAUKEE WI 53072-4155 |
| NETTESHEIM REVOCABLE MARITAL N31W22756 GREEN RD PEWAUKEE WI 53072 | SCOTT T AUGUSTINE AND LESLEY M N31W22828 GREEN RD PEWAUKEE WI 53072-4005 | DBA WE ENERGIES WISCONSIN ELECTRIC 231 W MICHIGAN RM A-252 MILWAUKEE WI 53203 |
| VOGELSANG REAL ESTATE LLC N29W22232 KATHRYN CT WAUKESHA WI 53186-8868 | ZIGNEGO CO INC W226N2940 DUPLAINVILLE RD WAUKESHA WI 53186 | |

A-2



1" = 150'

Rs-1

Rs-3

Rs-3

I-2

A-2

I-2

**REZONE FROM
M-6 TO M-2**

GREEN ROAD

Rs-1

Rs-1

Rs-3

Rs-5

Rs-5

Rs-5

Rs-5

Rs-5

B-3

B-3

DUPLAINVILLE ROAD

M-2

M-2

C.P. RAIL SYSTEMS

MARJEAN LANE

M-2

M-2

M-2

M-2

M-2

M-2

M-2

M-2

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 6.**

DATE: December 19, 2019

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Certified Survey Map for Interstate Partners Green Road LLC for Property Located at N30 W22835 Green Road (PWC 0914980 & PWC 0914987)

BACKGROUND:

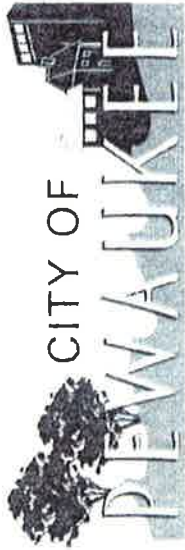
FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Interstate Partners CSM



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770
Fax (262) 691-1798
fuchs@pewaukee.wi.us

APPLICATION FOR MINOR LAND DIVISION/CERTIFIED SURVEY MAP

TO THE HONORABLE MAYOR AND COMMON COUNCIL OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned hereby petitions the Common Council of the City of Pewaukee, Waukesha County, Wisconsin for

Certified Survey Map review and approval to allow for: the parcel of land located at N30W28835 Green Road (PWC 0914987) to be legally combined with our adjacent land parcel (PWC 0914987).

Legal description of property to be rezoned - Please attach. (See attached "Exhibit A")

Common property description or name: Green Road Commerce Center

Property Address: N30W28835 Green Road/Vacant land Tax Key Number(s): 0914987/0914987

Property owner(s) (Full Legal Name): IP Green Road LLC

Owner's Address: N16W23217 Stone Ridge Drive, # 350 City/State/Zip: Waukesha, WI 53188

Phone: 262-506-1000 Email: bschwartz@interstatepartners.com

Applicant (Full Legal Name):

Name: IP Green Road LLC

Company: Interstate Partners LLC

Address: N16W23217 Stone Ridge Drive, # 350

City/State/Zip: Waukesha, WI 53188

Phone: 262-506-1000

Email: bschwartz@interstatepartners.com

Contact Person (Full Legal Name):

Name: Bill Schwartz

Company: Interstate Partners LLC

Address: N16W23217 Stone Ridge Drive, # 350

City/State/Zip: Waukesha, WI 53188

Phone: 262-506-1003

Email: bschwartz@interstatepartners.com

Certified Survey Map submittals must include and be accompanied by the following:

☒ This Application form accurately completed with original signatures.

☒ Application Filing Fee, payable to the City of Pewaukee:

☒ \$200.00, plus \$10.00 for each lot or outlot created with no public facilities

☐ \$350.00, plus \$10.00 for each lot or outlot created with public facilities

☒ Five (5) complete collated sets of Application materials to include:

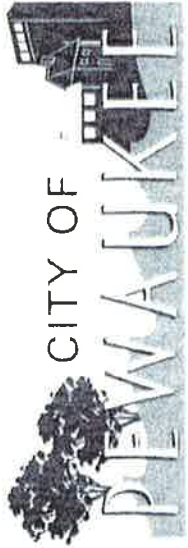
☒ A written project narrative detailing the request and reason for the proposed land division or combination.

☒ A draft certified survey map in compliance with Section 18.0601, 18.0602, 18.0603 and any other applicable regulation of Chapter 18 of the City's Municipal Code.

☒ A map of protected natural resource features onsite.

☒ All application materials provided in a digital format (Adobe PDF). Materials may be submitted on a USB Flash Drive or emailed to hurd@pewaukee.wi.us.

☒ Note twelve (12) additional sets of plans will be required for Plan Commission following staff review of the initial submittal. These plans should be revised in response to staff comments as may be necessary.



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770
Fax (262) 691-1798
fuchs@pewaukee.wi.us

The applicant and property owner(s) hereby certify that:

- 1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge;
- 2) the applicant and property owner(s) has/have read and understand all information in this application; and
- 3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval.

By execution of this application, the property owner(s) authorize the City of Pewaukee and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

PETITIONER'S/APPLICANT'S SIGNATURE:

NAME & TITLE (PRINT): William J. Schwartz Director of Development
SIGN AND DATED this 13th day of November, 2019.

PROPERTY OWNER'S SIGNATURE:

NAME & TITLE (PRINT): John B. Heller Manager 18 Green Rd
SIGN AND DATED this 13th day of November, 2019.

PROPERTY OWNER'S SIGNATURE:

NAME & TITLE (PRINT): _____
SIGN AND DATED this _____ day of _____, _____.

City Staff-

RECEIVED at City Hall by: _____ on _____
Fee paid: \$ _____ Date: _____

EXHIBIT "A"
Legal Description

That part of the North One-half (1/2) of the Northwest One-quarter (1/4) of Section Thirteen (13), Township Seven (7) North, Range Nineteen (19) East, in the City of Pewaukee, County of Waukesha, State of Wisconsin, described as follows:
Beginning at a point in the North line of said Section, 687 feet East of the Northwest corner of said Northwest 1/4 of Section 13 aforesaid; thence East on the Section line, 170 feet to a point; thence South 5°, West 370 feet to a point; thence West 170 feet parallel to the Section line in the center of the highway to a point; thence North 5° East, 370 feet to the place of beginning, except Northerly 33 feet for road purposes.

Tax Key No. PWC 0914.980

Address: N30 W22835 Green Road

(Signatures may be authenticated or acknowledged. Both are not necessary.)

NOTE: THIS IS A STANDARD FORM. ANY MODIFICATIONS TO THIS FORM SHOULD BE CLEARLY IDENTIFIED.
WARRANTY DEED
*Type name below signatures

2003 STATE BAR OF WISCONSIN

FORM NO. 1-2003



Interstate Partners LLC

N16 W23217 Stone Ridge Drive • Suite 120 • Waukesha, WI 53188 • Tel: 262.506.1000 • Fax: 262.506.1001 • interstatepartners.com

November 13, 2019

The City of Pewaukee
Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, WI 53072
Attn: Nick Fuchs

RE: Application for Certified Survey Map

Dear Nick,

Please let this letter serve as a proper written narrative detailing our request to legally combine two parcels that we own on Green Road into one. We purchased the home located at N30W22835 Green Road in 2018 from the owner who had acquired the REO property from a lender. This is the property that the City of Pewaukee Fire Department has used since September, 2018 to conduct its training and safety exercises. In addition to the CSM, we will also be requesting a rezoning of this parcel to allow for the future development of a speculative 165,000 industrial building.

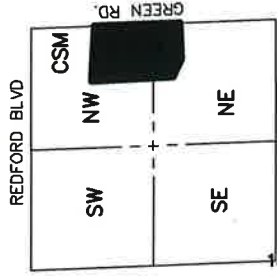
Sincerely
Interstate Partners LLC

William J. Schwartz
Director of Development

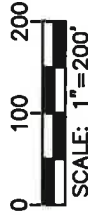
PRELIMINARY

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF SECTION 13, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN



LOCATION SKETCH
NW 1/4 SECTION 13,
T7N, R19E

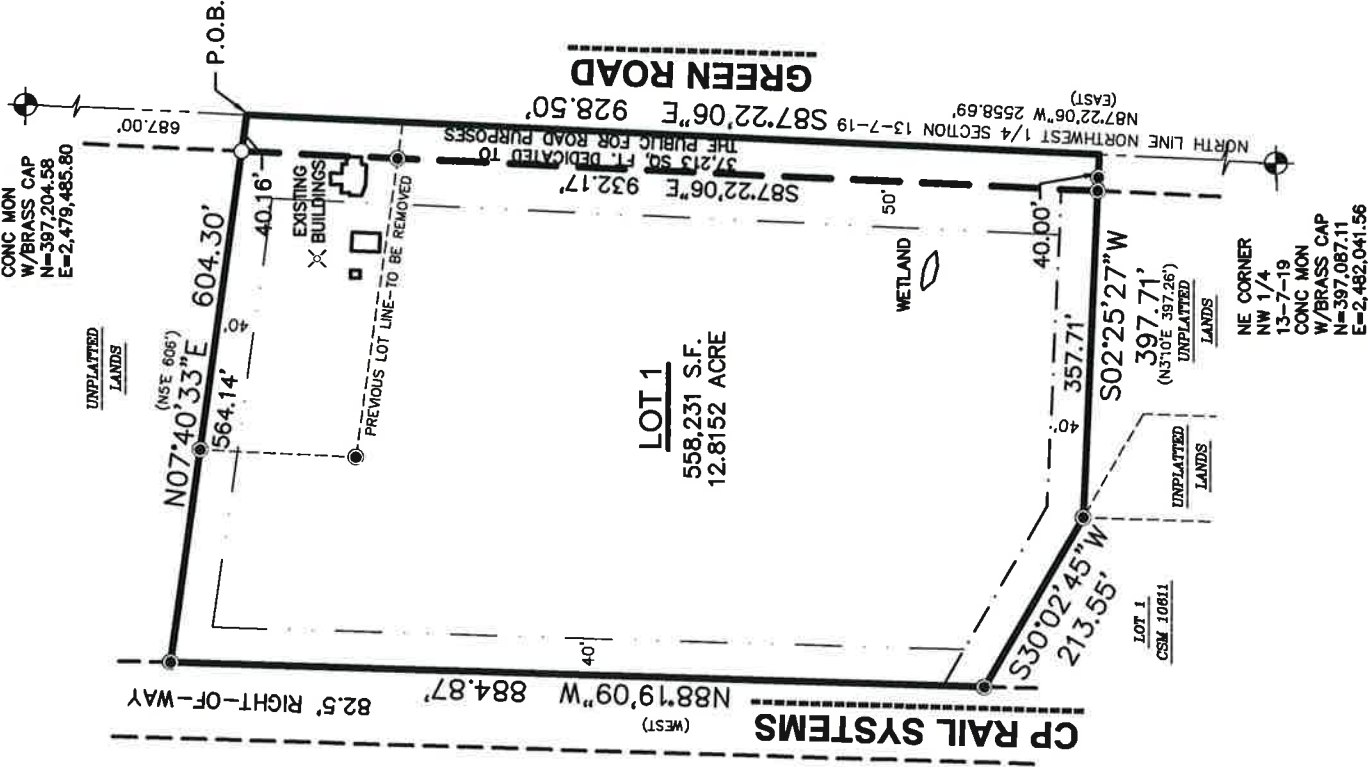


NOTES

1. BEARINGS REFER TO THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 13-7-19, WHICH HAS A WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD27) BEARING OF N87°22'06"W.
2. SEE SHEET 2 FOR LOT DETAILS AND TOPOGRAPHY.
3. SEE SHEET 3 FOR WETLAND LINE DETAILS.
4. ZONED M-8 MIXED INDUSTRIAL USE PER CITY OF PEWAUKEE ZONING MAP.
5. AS OF THE DATE OF THIS MAP, THE BUILDINGS SHOWN HEREON ARE CURRENTLY BEING USED BY THE CITY OF PEWAUKEE FIRE DEPARTMENT FOR TRAINING PURPOSES.

LEGEND

- GOVERNMENT CORNER
- 1" IRON PIPE FOUND
- 3/4" x 18" REBAR SET (1.50 LBS/LF)
- PLAT BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- RECORD LOT LINE
- SECTION LINE
- EASEMENT LINE
- SETBACK LINE



OCTOBER 29, 2019

THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

| | | | |
|---|-----------------------|---------------------|--------------|
| JSD Professional Services, Inc. • Engineers • Surveyors • Planners MILWAUKEE REGIONAL OFFICE W238 N 1610 BLISS ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 P. 262.613.0666 | SURVEYED FOR: | SURVEY NO: 15-7058A | SURVEYED BY: |
| | INTERSTATE PARTNERS | FIELDBOOK/Pg: - | DHS |
| | N16W23217 STONE RIDGE | SHEET NO: 1 OF 5 | AWW |
| | WAUKESHA, WI 53188 | | AWW |

VOL. PAGE

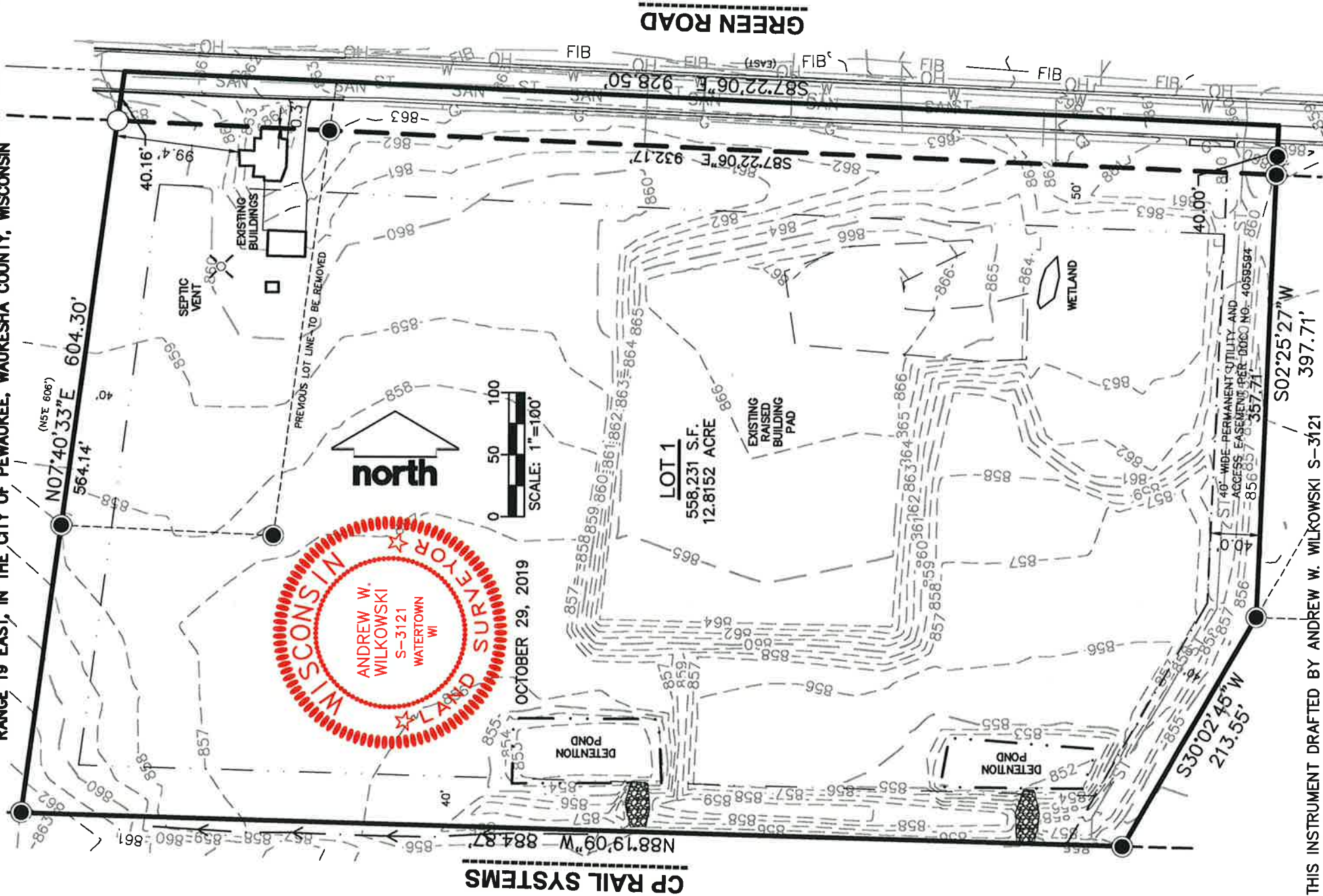
DOC. NO.

C.S.M. NO.

PRELIMINARY

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 13, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN



THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

| | | | | | | | |
|---|-----------------------|--------------------|----------------------|--|--------------|--|--|
| <div>SURVEYED BY:</div> <div>JSD</div> <div>Professional Services, Inc.</div> <div>Engineers • Surveyors • Planners</div> <div>MILWAUKEE REGIONAL OFFICE</div> <div>W238 N 1610 BLUSSE ROAD, SUITE 100</div> <div>WAUKESHA, WISCONSIN 53188</div> <div>P. 262.513.0666</div> | SURVEYED FOR: | | PROJECT NO: 15-7058A | | SURVEYED BY: | | |
| | INTERSTATE | | FIELDBOOK/Pg: - | | DRAWN BY: | | |
| | PARTNERS | | SHEET NO: 2 OF 5 | | CHECKED BY: | | |
| | N16W23217 STONE RIDGE | | | | APPROVED BY: | | |
| | | WAUKESHA, WI 53188 | | | | | |

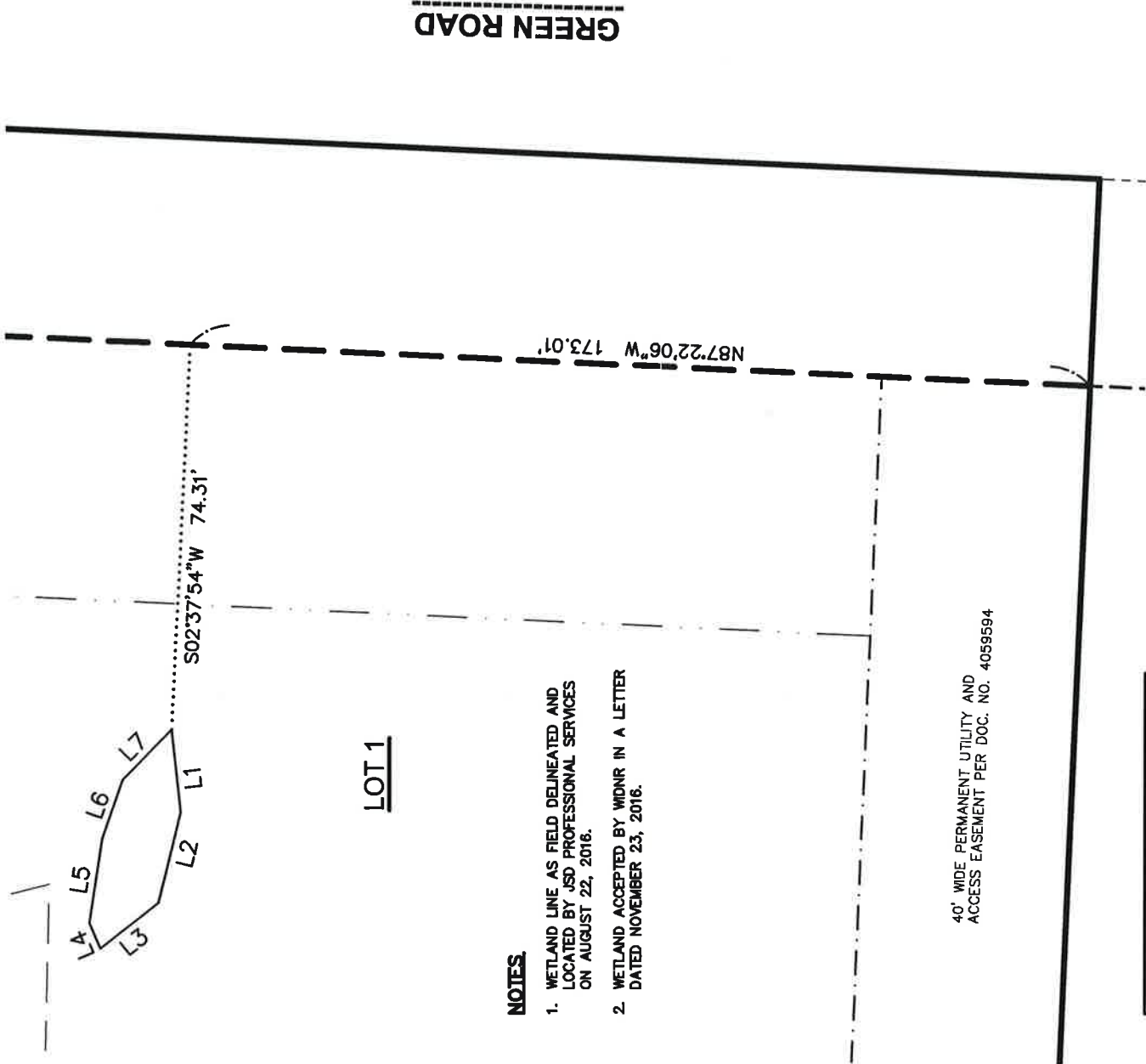
VOL. _____ PAGE _____
DOC. NO. _____
C.S.M. NO. _____

PRELIMINARY

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 13, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

WETLAND EXHIBIT



- NOTES**
- 1. WETLAND LINE AS FIELD DELINEATED AND LOCATED BY JSD PROFESSIONAL SERVICES ON AUGUST 22, 2016.
 - 2. WETLAND ACCEPTED BY WDNR IN A LETTER DATED NOVEMBER 23, 2016.

| EASEMENT LINE TABLE | | |
|---------------------|-------------|----------|
| LINE | BEARING | DISTANCE |
| L1 | S06°32'43"E | 15.98' |
| L2 | S13°35'49"W | 18.00' |
| L3 | S51°35'57"W | 14.17' |
| L4 | N23°06'05"W | 5.34' |
| L5 | N08°40'40"E | 16.40' |
| L6 | N18°46'43"E | 12.08' |
| L7 | N43°52'02"E | 13.34' |



OCTOBER 29, 2019

THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

JSD
Professional Services, Inc.
Engineers • Surveyors • Planners

MILWAUKEE REGIONAL OFFICE
W238 N 1610 BLUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

SURVEYED FOR:

INTERSTATE PARTNERS

N16W23217 STONE RIDGE
WAUKESHA, WI 53188

| | |
|----------------------|------------------|
| PROJECT NO: 15-7058A | SURVEYED BY: - |
| FIELDBOOK/Pg: - | DRAWN BY: DHS |
| SHEET NO: 3 OF 5 | CHECKED BY: AWW |
| | APPROVED BY: AWW |

VOL. _____ PAGE _____

DOC. NO. _____

C.S.M. NO. _____

PRELIMINARY

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 13, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

LEGAL DESCRIPTION

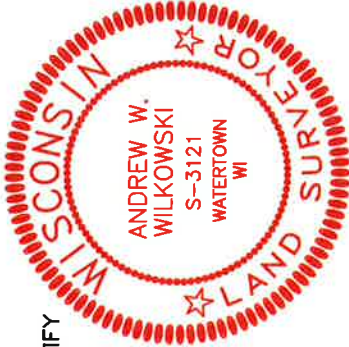
PART OF THE NORTHEAST QUARTER AND NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID QUARTER SECTION; THENCE S87°22'06"E ALONG THE NORTH LINE OF SAID QUARTER SECTION 687.00 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE CONTINUING S87°22'06"E ALONG SAID NORTH LINE 928.50 FEET; THENCE S02°25'27"W 397.71 FEET TO THE NORTHWEST CORNER OF CERTIFIED SURVEY MAP (CSM) NO. 10611; THENCE S30°02'45"W ALONG THE WEST LINE OF SAID CSM 213.55 FEET TO A POINT ON THE NORTH LINE OF THE CP RAIL SYSTEMS RIGHT OF WAY; THENCE N88°19'09"W ALONG SAID NORTH LINE 884.87 FEET; THENCE N07°40'33"E 64.30 FEET TO THE POINT OF BEGINNING.

LANDS CONTAINS 595,444 SQUARE FEET OR 13.6695 ACRES.

SURVEYOR'S CERTIFICATE

I, ANDREW W. WILKOWSKI, PROFESSIONAL LAND SURVEYOR S-3121, DO HEREBY CERTIFY THAT BY DIRECTION OF INTERSTATE PARTNERS, LLC, I HAVE SURVEYED, DIVIDED, MAPPED, AND DEDICATED THE LANDS DESCRIBED HEREON AND THAT THE MAP IS A CORRECT REPRESENTATION IN ACCORDANCE WITH THE INFORMATION PROVIDED. I FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS IN FULL COMPLIANCE WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.



ANDREW W. WILKOWSKI S-3121
PROFESSIONAL LAND SURVEYOR

OCTOBER 29, 2019
DATE

CORPORATE OWNER'S CERTIFICATE

INTERSTATE PARTNERS, A LIMITED LIABILITY CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID CORPORATION HAS CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, MAPPED, AND DEDICATED AS REPRESENTED HEREON. SAID CORPORATION FURTHER CERTIFIES THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.34, WISCONSIN STATUTES TO BE SUBMITTED TO THE CITY OF PEWAUKEE] FOR APPROVAL.

IN WITNESS WHEREOF, THE SAID INTERSTATE PARTNERS HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS REPRESENTATIVE THIS _____ DAY OF _____ 2019.

BY: [] MANAGING MEMBER

STATE OF WISCONSIN) SS
WAUKESHA COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____ 2019,
THE ABOVE NAMED REPRESENTATIVES OF THE ABOVE NAMED INTERSTATE PARTNERS,
LLC TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT,
AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, WAUKESHA COUNTY, WISCONSIN MY COMMISSION EXPIRES _____

THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

| | | | | |
|---|---|--|--|---|
| SURVEYED BY: JSD Professional Services, Inc. Engineers • Surveyors • Planners MILWAUKEE REGIONAL OFFICE W238 N 1610 BLUENSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 P. 262.515.0666 | SURVEYED FOR: INTERSTATE PARTNERS N16W23217 STONE RIDGE WAUKESHA, WI 53188 | PROJECT NO: 15-7058A FIELDBOOK/Pg: - SHEET NO: 4 OF 5 | SURVEYED BY: - DRAWN BY: DHS CHECKED BY: AWW APPROVED BY: AWW | VOL. _____ PAGE _____ DOC. NO. _____ C.S.M. NO. _____ |
|---|---|--|--|---|

PRELIMINARY

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 13, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

CITY OF PEWAUKEE PLAN COMMISSION APPROVAL

APPROVED FOR RECORDING PER CITY OF PEWAUKEE PLAN COMMISSION ACTION OF _____, 2019.

AMI HURD, SECRETARY

STEVE BIERCE, MAYOR

CITY OF PEWAUKEE COMMON COUNCIL APPROVAL CERTIFICATE

RESOLVED THAT THIS CERTIFIED SURVEY MAP AND ITS DEDICATION, WHICH HAS BEEN DULY FILED FOR THE APPROVAL OF THE CITY OF PEWAUKEE COMMON COUNCIL, BE AND THE SAME IS HEREBY APPROVED AND THE DEDICATIONS, IF ANY DESIGNATED HEREON, ARE HEREBY ACKNOWLEDGED AND ACCEPTED BY THE CITY OF PEWAUKEE.

I HEREBY CERTIFY THAT THE ABOVE IS A TRUE AND CORRECT COPY OF A RESOLUTION ADOPTED BY THE CITY OF PEWAUKEE ON THIS _____ DAY OF _____, 2019.

KELLY TARCZEWSKI, CLERK

STEVE BIERCE, MAYOR



OCTOBER 29, 2019

THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI S-3121

| | | |
|--|---|------------------------------|
| JSD Professional Services, Inc. • Engineers • Surveyors • Planners MILWAUKEE REGIONAL OFFICE W238 N 1610 BUSSE ROAD, STE. 100 WALKESHA, WISCONSIN 53188 P: 262.513.8666 | SURVEYED BY: | SURVEYED FOR: |
| | INTERSTATE PARTNERS | PROJECT NO: 15-7058 |
| | N16W23217 STONE RIDGE WAUKESHA, WI 53188 | FB/PG: - SHEET NO: 5 OF 5 |
| | DRAWN BY: DHS | SURVEYED BY: - |
| | CHECKED BY: AWW | |
| | APPROVED BY: AWW | |

| | |
|---------------------------------|-------------------------|
| OFFICE OF THE REGISTER OF DEEDS | _____ COUNTY, WISCONSIN |
| RECEIVED FOR RECORD | _____ |
| 20__ AT ____ O'CLOCK ____ M | |
| AS DOCUMENT # _____ | |
| IN VOL. _____ OF CERTIFIED | |
| SURVEY MAPS ON PAGE(S) _____ | |
| REGISTER OF DEEDS | _____ |

(WS003)

CITY

Interstate Partners II Wisconsin LLC
N16W23217 Stone Ridge Drive, Suite 350
Waukesha, WI 53188

CIBC Bank USA
743 North Water Street
Milwaukee, WI 53202

79-77219
750

Two Hundred Ten and no/100 DOLLARS ***

PAY
TO THE
ORDER OF

City of Pewaukee
W240 N3065 Pewaukee Rd
Pewaukee, WI 53072

Check No.
002972

Date
11/13/19

Amount
\$210.00*

Security features
listed on back

Henry S. 100

MEMO Application fee for new CSM

Void After 90 Days

⑈002972⑈ ⑆075072199⑆ 2394939⑈

| Invoice No. | Inv. Date | Inv. Amount | Disc. Amt | DESCRIPTION | CHECK NO. : 002972 | CITY |
|-------------|-----------|-------------|-----------|---------------------------|--------------------|-------------------|
| 11132019 | 11/13/19 | 210.00 | 0.00 | Interco for IP Green Road | 01102 | Net Amount 210.00 |

TOTAL 210.00

210.00

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 7.**

DATE: December 19, 2019

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding the Site and Building Plans for Interstate Partners Green Road LLC for Property Located at N30 W22835 Green Road for the Purpose of Developing a 165,000 Square Foot Industrial Building (PWC 0914980 & PWC 0914987)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

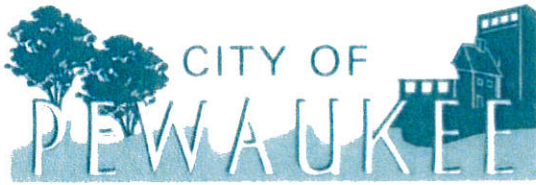
ATTACHMENTS:

Description

Interstate Partners Site & Building Plans Application

Interstate Partners Building Plans

Interstate Partners Sign Plan



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770
Fax (262) 691-1798
fuchs@pewaukee.wi.us

APPLICATION FOR SITE AND BUILDING PLAN REVIEW

TO THE HONORABLE MAYOR AND PLAN COMMISSION OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned hereby petitions the Plan Commission of the City of Pewaukee, Waukesha County, Wisconsin for site and building plan review and approval to allow for: the development of a speculative 165,000 sq ft industrial building on a vacant land parcel located on Green Road in the City of Pewaukee.

Legal description of property to be rezoned – Please attach. (See attached)

Common property description or name: Green Road Commerce Center

Property Address: N30W22835 Green Road/Vacant land Tax Key Number(s): 0914980 / 0914981

Property owner(s) (Full Legal Name): IP Green Road LLC

Owner's Address: N116W23217 Stone Ridge Drive # 350 City/State/Zip: Waukesha, WI 53188

Phone: 262-506-1000 Email: bschwartz@interstatepartners.com

Applicant (Full Legal Name):

Name: John B. Heller

Company: Interstate Partners LLC

Address: N116W23217 Stone Ridge Drive # 350

City/State/Zip: Waukesha, WI 53188

Phone: 262-506-6200

Email: jheller@interstatepartners.com

Contact Person (Full Legal Name):

Name: William J. Schwartz

Company: Interstate Partners LLC

Address: N116W23217 Stone Ridge Drive # 350

City/State/Zip: Waukesha, WI 53188

Phone: 262-506-1003

Email: bschwartz@interstatepartners.com

Site and Building Plan submittals must include and be accompanied by the following:

- ☒ This Application form accurately completed with original signatures.
- ☒ Application Filing Fee, payable to the City of Pewaukee:
 - ☒ \$500.00 for new construction
 - ☐ \$250.00 for amendments
 - ☐ \$75.00 for minor amendments (staff review only)
- ☒ Five (5) complete collated sets of Application materials to include:
 - ☒ A written project narrative detailing the request, business/use operational information, future development plans, site and building improvements, tentative development schedule, and estimated project value.
 - ☒ Scaled drawings, as may be applicable, including, but not limited to; a site plan, grading/erosion control plan, preliminary storm water management plan, landscape plan, lighting plan, building elevations, colored renderings, sign details and natural resource delineations.
- ☒ All application materials provided in a digital format (Adobe PDF). Materials may be submitted on a USB Flash Drive or emailed to hurd@pewaukee.wi.us.
- ☒ Note twelve (12) additional sets of plans will be required for Plan Commission following staff review of the initial submittal. These plans should be revised in response to staff comments as may be necessary.



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W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770
Fax (262) 691-1798
fuchs@pewaukee.wi.us

The applicant and property owner(s) hereby certify that:

- 1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge;
- 2) the applicant and property owner(s) has/have read and understand all information in this application; and
- 3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval.

By execution of this application, the property owner(s) authorize the City of Pewaukee and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

^{CONTACT'S}
PETITIONER'S/APPLICANT'S SIGNATURE: William J. Schwartz
NAME & TITLE (PRINT): William J. Schwartz Director of Development
SIGN AND DATED this 18th day of November, 2019.

PROPERTY OWNER'S SIGNATURE: John B. Heller
NAME & TITLE (PRINT): John B. Heller
SIGN AND DATED this 19th day of November, 2019.

PROPERTY OWNER'S SIGNATURE: _____
NAME & TITLE (PRINT): _____
SIGN AND DATED this _____ day of _____, _____.

City Staff-

RECEIVED at City Hall by: _____ on _____

Fee paid: \$ _____ Date: _____



PLAN COMMISSION SUBMITTAL FOR: INTERSTATE PARTNERS SPECULATIVE INDUSTRIAL BUILDING - GREEN ROAD COMMERCE CENTER



N30 W22805 GREEN RD
PEWAUKEE, WI 53072



N16 W23217 STONE RIDGE DRIVE, SUITE 300
WAUKESHA, WI 53188 | www.jaknetter.com
office 262 513 9800 | fax 262 513 9815

PROJECT INFORMATION:



GREEN ROAD SPEC
INDUSTRIAL BUILDING

N30 W22805 GREEN RD
GREEN ROAD
COMMERCE CENTER
PEWAUKEE, WI 53072

DRAWING ISSUANCE:

PLAN COMMISSION
SUBMITTAL

REVISIONS

| # | DATE | DESCRIPTION |
|---|------|-------------|
|---|------|-------------|

CIVIL
JSD PROFESSIONAL SERVICES, INC.

N22 W22931 NANCY COURT
WAUKESHA, WI 53186
PHONE: (262) 513-1232

PROJECT CONTACT:
DIRECT PHONE:
EMAIL ADDRESS:

RIZAL ISKANDARS-JACH
(262) 513-1232
riz@jsdinc.com

ARCHITECTURAL
JAKnetter ARCHITECTS

N16 W23217 STONE RIDGE DRIVE, SUITE 300
WAUKESHA, WI 53188
PHONE: (262) 513-9800

PROJECT CONTACT:
DIRECT PHONE:
EMAIL ADDRESS:

JAY A. KNETTER, AIA
(262) 278-4383
jayk@jaknetter.com

NATHAN ZYWICKI, ASSOC AIA
(262) 278-4865
nathanz@jaknetter.com

SITE PHOTOMETRICS
ELAN LIGHTING

16350 W. GLENDALE DR.
NEW BERLIN, WI 53151
PHONE: (262) 785-0144

PROJECT CONTACT:
DIRECT PHONE:
EMAIL ADDRESS:

GREG SCHWARTZ
(262) 439-5544
g.schwartz@elanlighting.com

LANDSCAPING
NELSON LANDSCAPE INC.

P.O. BOX 823
WAUKESHA, WI 53187-0823
PHONE: (262) 549-6111

PROJECT CONTACT:
DIRECT PHONE:
EMAIL ADDRESS:

COREY NELSON
(262) 549-6111
corey@nelsonlandscape.com

ISSUANCES

PLAN COMMISSION CONCEPTUAL REVIEW
PLAN COMMISSION SUBMITTAL

18 NOVEMBER 2019
11 DECEMBER 2019

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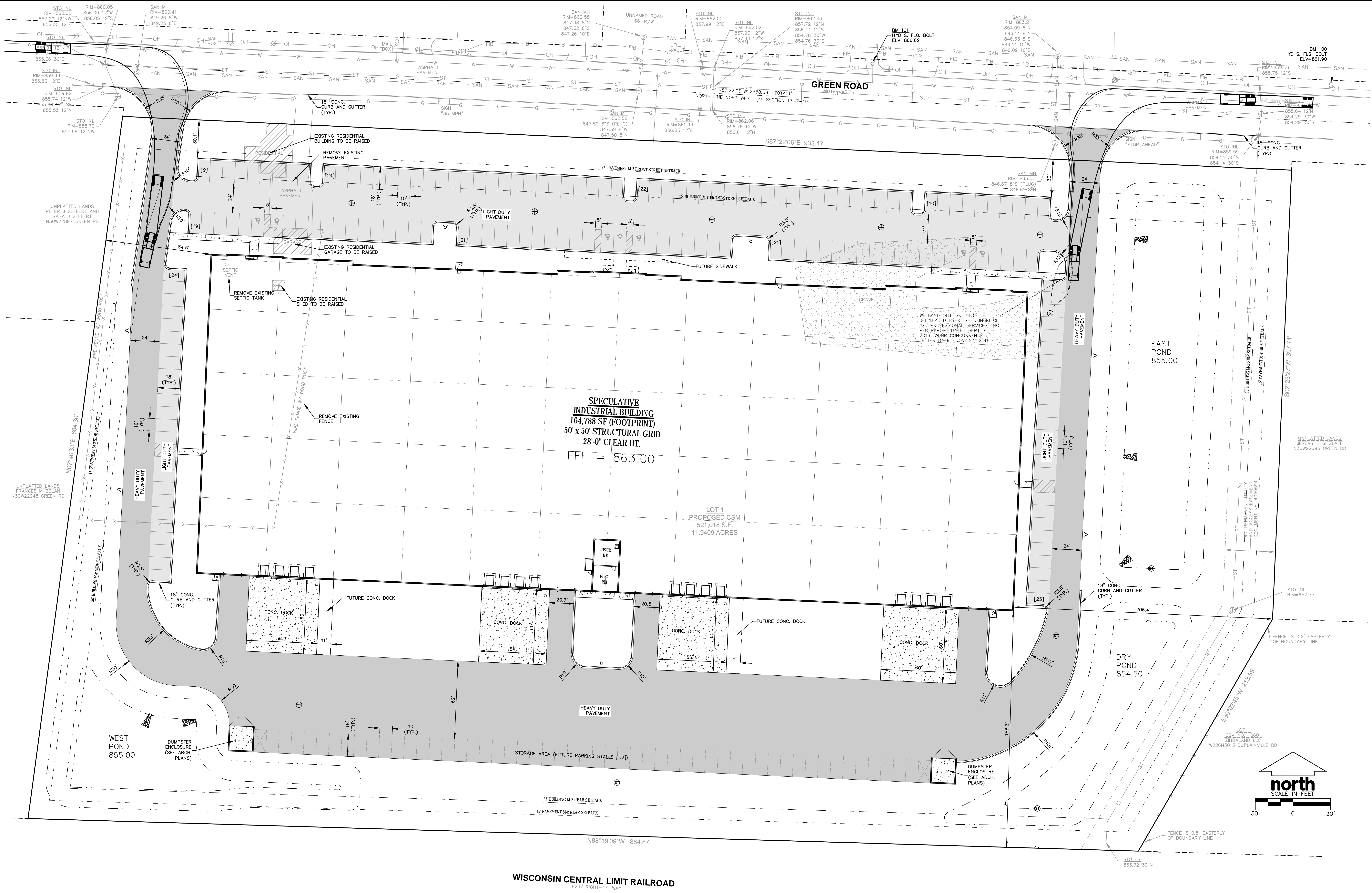
11 DECEMBER 2019

PROJECT NUMBER PROJECT MANAGER
16004-00 NZ/JK

COVER

TS100

File: R:\2015\1507058 Green Rd.dwg User: inmanon Printed: Dec 10, 2019 - 1:54pm Xref's



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| PROPOSED LEGEND | |
|-----------------|-----------------------|
| | MANHOLE, TYPE UNKNOWN |
| | SANITARY MANHOLE |
| | STORM MANHOLE |
| | CATCH BASIN ROUND |
| | CATCH BASIN SQUARE |

| PAVEMENT THICKNESS NOTES | |
|--|----------------------------------|
| ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION - CURRENT EDITION AND ADDENDUM, APPLICABLE CITY OF PEWAUKEE ORDINANCES, AND THE GEOTECHNICAL REPORT." | |
| ** FINAL PAVEMENT DESIGN TO BE DETERMINED BY OWNER BASED ON GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER OF RECORDS RECOMMENDATIONS AS SPECIFIED IN THE SAID GEOTECHNICAL REPORT. | |
| MINIMUM PAVEMENT STRUCTURE | |
| | LIGHT DUTY ASPHALT PAVEMENT |
| | HEAVY DUTY ASPHALT PAVEMENT |
| | CONCRETE TRUCK DOCK AND SIDEWALK |

| SITE DATA TABLE | |
|----------------------------------|-----------------------|
| LOT AREA | 521,017 SF (11.96 AC) |
| IMPERVIOUS SURFACE AREA | 310,603 SF (7.13 AC) |
| FUTURE IMPERVIOUS SURFACE AREA | 312,575 SF (7.18 AC) |
| OPEN SPACE AREA | 210,414 SF (4.83 AC) |
| FUTURE OPEN SPACE AREA | 208,442 SF (4.79 AC) |
| EXTERIOR PARKING STALLS | 175 SPACES |
| EXTERIOR HANDICAP PARKING STALLS | 7 STALLS |

Call 811 or (800) 242-8511
www.DiggersHotline.com

MILWAUKEE REGIONAL OFFICE
10238 N1610 BUSSE RD. STE 100
WAUKESHA, WISCONSIN 53188
262.513.0666 PHONE | 262.513.1232 FAX
www.jsdinc.com
JSD JOB NO.: 18-8713A
JSD PROJ. MGR.: RWI

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MILWAUKEE REGIONAL OFFICE
10238 N1610 BUSSE ROAD SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CLIENT:

Real Estate Development

CLIENT ADDRESS:
N16 W23217 STONERIDGE DR.
WAUKESHA, WI 53188

PROJECT:
GREEN ROAD
INDUSTRIAL
BUILDING

PROJECT LOCATION:
CITY OF PEWAUKEE, WI
WAUKESHA COUNTY

Design/Drawn: PSM
Approved: RWI
Date: 11/18/2019

SHEET TITLE:
PAVEMENT ID &
SITE PLAN

SHEET NUMBER:
C1.0

JSD PROJECT NO.: 15-7058



MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE ROAD SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CLIENT:  **Interstate Partners LLC**
Real Estate Development

CLIENT ADDRESS:
N16 W23217 STONERIDGE DR.
WAUKESHA, WI 53188

PROJECT:
**GREEN ROAD
INDUSTRIAL
BUILDING**

PROJECT LOCATION:
CITY OF PEWAUKEE, WI
WAUKESHA COUNTY

[illegible]















| | |
|---------------|----------|
| Design/Drawn: | PS |
| Approved: | RH |
| Date: | 11/18/20 |

GRADING PLAN

SHEET NUMBER: _____

C2.0



| | |
|---|----------------------------|
|  | SIGN |
|  | ELECTRICAL PED/TRANSFORMER |
|  | GAS VALVE |
|  | CONIFEROUS TREE |
|  | DECIDUOUS TREE |
|  | WATER MAIN |
|  | SANITARY SEWER |
|  | STORM SEWER |
|  | FIBER OPTIC |
|  | UNDERGROUND TELEPHONE |
|  | UNDERGROUND ELECTRIC |
|  | UNDERGROUND GAS |
|  | OVERHEAD UTILITY |
|  | FENCE LINE |



MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE ROAD SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

IENT:  **Interstate Partners LLC**
Real Estate Development

16 W23217 STONERIDGE DR.
WAUKESHA, WI 53188

PROJECT:
**GREEN ROAD
INDUSTRIAL
BUILDING**

PROJECT LOCATION:
CITY OF PEWAUKEE, WI
WAUKESHA COUNTY

[illegible]

| | |
|---------------|------------|
| Design/Drawn: | PSM |
| Approved: | RWI |
| Date: | 11/18/2019 |

UTILITY PLAN

SHEET NUMBER: _____

C4.0

PROJECT NO: 15-7058

3. THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MANUAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE CONSIDERED ACCORDING TO THE REQUIREMENTS FROM LOCAL, STATE, FEDERAL, OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE QUALITY OF THE WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOils INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS INCLUDING BUT NOT LIMITED TO THE REQUIREMENTS OF A BID PROPOSAL.
6. THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES DISCOVERED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
7. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON THEIR OWN COMPUTATIONS AND UNDER NO CIRCUMSTANCES BE BASED ON THE ENGINEER'S ESTIMATE.
8. QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER'S RESPONSES WILL BE IN WRITING. ENGINEER/OWNER'S RESPONSES IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
9. PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND ALL CITY, COUNTY AND STATE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REGULATIONS, AND ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
10. COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN THEIR ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL COMPLIES WITH ALL CITY, COUNTY AND STATE REQUIREMENTS. THE CONTRACTOR UNDERSTANDS THAT ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PERMITS.
11. SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS RECEIVED. ENGINEER/OWNER'S RESPONSES TO ANY DISCREPANCIES/CONFLICTS IN THE PLANS AND SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
12. THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS IN OBTAINING PERMITS, IS NOT CAUSE FOR DELAY OF THE PROJECT.
13. THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND "DIGGER'S HOTLINE" IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STANDATIONS, AND OTHER APPLICABLE STANDARDS. ANY DELAYED RESPONSES TO ANY DISCREPANCIES/CONFLICTS IN THE PLANS OR SPECIFICATIONS ARE APPLICABLE.
14. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, IMPLEMENT, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
15. CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANLY AND SAFE CONDITION. THE CONTRACTOR SHALL MAINTAIN ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
16. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, JSD, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
17. ALL FIELD/DRAIN TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER/OWNER IN WRITING IMMEDIATELY AND RE-CONNECTION OR REPAIR TO MAINTAIN DRAINAGE. ENGINEER/OWNER SHALL DETERMINE THE MOST FAVORABLE METHOD OF RE-ESTABLISHMENT OF OFFSITE DRAINAGE. IF TILE IS ENCOUNTERED DURING TRENCH EXCAVATIONS, RE-ESTABLISHMENT TILE

1. INSTALL PERIMETER SILT FENCE, EXISTING INLET PROTECTION, AND TEMPORARY CONSTRUCTION ENTRANCE.
2. CONSTRUCT POND AND CONDUIT ROUGH GRADING EFFORTS.
3. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
4. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
5. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.

EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER THAT MEETS OR EXCEEDS THE WISCONSIN DEPARTMENT OF NATURE RESOURCES DEFINITION OF "NATURAL STABILIZATION".

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE CITY OF PEWAUKEE ORDINANCES."
2. CONCRETE PAVING SPECIFICATIONS--

CODES AND STANDARDS -- THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE OF WISCONSIN STANDARD SPECIFICATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.

CRUSHED AGGREGATE BASE COURSE -- THE BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.

SURFACE PREPARATION -- NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
3. ASPHALTIC CONCRETE PAVING SPECIFICATIONS--

CODES AND STANDARDS -- THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND THE CRUSHED AGGREGATE BASE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.

WEATHER LIMITATIONS -- APPLY TACK COAT WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE WHEN AMBIENT ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (1° C).

GRADE CONTROL -- ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.

CRUSHED AGGREGATE BASE COURSE -- BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.

BINDER COURSE AGGREGATE -- THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.

SURFACE COURSE AGGREGATE -- THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.8 AND 460, STATE HIGHWAY SPECIFICATIONS.

ASPHALTIC MATERIALS -- THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.

SURFACE PREPARATION -- NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
4. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.

1. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO THE OWNER IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ALL DISCREPANCIES.
2. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
3. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
 - a. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES.
 - b. WHILE JUDS ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF PRACTICE. THEREFORE NO GUARANTEE OF QUANTITY OR BALANCE IS GIVEN.
 - c. THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
4. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE THE EXISTING ROADWAY. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE PLUMBING TO AVOID ANY FLOODING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL CONTRACTOR BE RESPONSIBLE FOR THE REMEDIATION OF UNDESIRABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
5. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER/OWNER. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL ENGINEERING SERVICES REPORT FOR SITE COMPACTION REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE ELIGIBLE FOR REMEDIATION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
6. IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RE-TEST THE AREA AT A COST TO THE OWNER.
7. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION SHALL BE SPREAD ON A GRADE TO EXPOSE TO THE AIR. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE FIELD MARKER THAT IDENTIFIES THE LOCATION OF THE SPREAD MATERIAL. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF EFFECTIVE TREATMENT DEPTH OF MATERIAL THAT WILL BE USED TO TUMOVER THE SPREAD MATERIAL OR THE MAXIMUM COMPACTION LIFT DEPTH.
8. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
9. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
10. THE SITE SHALL BE COMPLETED TO WITHIN 0.10'-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF EACH AREAS CONSTRUCTION.
11. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
12. CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL MEASURES. WHEN CONSTRUCTION IS COMPLETED, CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
14. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE BIDDING. RESTORATION SHALL INCLUDE, BUT NOT BE LIMITED TO, RESTORE RIGHT-OF-WAY TO MINIMUM INCLUDING LANDSCAPING.
15. CONTRACTOR SHALL COMPLY WITH ALL CITY AND/OR STATE CONSTRUCTION STANDARDS/ORDINANCES.

1. STRIPING SHALL BE YELLOW.
2. PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. ALL STRIPING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK. WORK SHALL NOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
4. DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
5. LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "THIRD HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
6. PROTECT ADJACENT CURBS, WALLS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
7. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES. (OR TO MFG. SPECIFICATION)
8. BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
9. ALL HANDICAPPED APPLICABLE PARKING SHALL BE LOCATED PER 2009 IRC 110.6.6

1. THE DRAIN TILE CONDUIT AND FITTINGS SHALL MEET STRENGTH AND DURABILITY REQUIREMENTS FOR THE SITE. THE CONTRACTOR SHALL EXCEED THE MINIMUM REQUIREMENTS OF THE APPROPRIATE SPECIFICATIONS PUBLISHED BY THE AMERICAN SOCIETY FOR TESTING AND MATERIALS. CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) CONDUIT AND FITTINGS SHALL MEET THE REQUIREMENTS OF ASTM M252. CONDUIT TYPE (SINGLE OR DOUBLE WALL) SHALL BE DETERMINED BY THE PLANS. CONTRACTOR MAY SUBSTITUTE DUAL WALL CONDUIT AT LOCATIONS SPECIFIED FOR SINGLE WALL CONDUIT AT THE SOLE EXPENSE OF THE CONTRACTOR.
2. *SINGLE WALL CONDUIT SHALL BE TYPE CP WITH CLASS II PERFORATION PATTERN.
3. *DUAL WALL CONDUIT SHALL BE TYPE SP WITH A SMOOTH INTERIOR THAT CARRIES A MAXIMUM MANNING "N" VALUE OF 0.12 WITH CLASS II PERFORATION PATTERN.
2. ALL DRAIN TILE CONSTRUCTION MUST BE PROVIDED WITH TRACER WIRE OR OTHER APPROVED METHODS IN ORDER TO BE LOCATED IN ACCORD WITH 182.07.15(2)(a). OR, THE STATUTES, CONTRACTOR SHALL PROVIDE JSD & CENTERLINE NOTICE OF LOCATION METHOD INSIDE THE STRUCTURE.
3. THE MINIMUM DEPTH OF COVER (FINISH GRADE TO TOP PIPE) SHALL BE:
 - * CONCRETE PAVED AREAS - 2.0'-ft
 - * ASPHALT PAVED AREAS - 2.5'-ft
 - * BEHIND CURB - 0.5'-ft
 - * OTHER LANDSCAPED/GRASS/PERVIOUS AREAS - 2.0'-ft
4. A MAXIMUM TRENCH WIDTH OF 2'-ft SHALL BE MAINTAINED FOR ALL DRAIN TILE INSTALLATION WITH THE EXCEPTION OF CONNECTION POINTS TO THE EXISTING STORM SEWER SYSTEM IN WHICH CASE THE CONTRACTOR SHALL LIMIT DISTURBANCE AS POSSIBLE.
5. CONNECTION TO THE EXISTING STORM SEWER SYSTEM SHALL ACHIEVED BY CORING THE EXISTING REINFORCED CONCRETE STORM SEWER STRUCTURES OR PIPING TO THE DIAMETER NECESSARY TO ACCOMMODATE A PERMANENT CONCRETE CONDUIT. CONNECTION TO THE EXISTING REINFORCED CONCRETE STORM SEWER SHALL BE ACHIEVED BY THE USE OF KOR-N-SEAL CONNECTIONS, OR EQUAL.
6. FOR TRENCH INSTALLATIONS OF CORRUGATED PLASTIC CONDUIT (OTHER THAN BEHIND CURB LOCATIONS), THE FOLLOWING BEDDING METHODS ARE REQUIRED:
 - * A STONE BEDDING LAYER, AT LEAST 3 IN. THICK, USING A CLEAR STONE SHALL BE INSTALLED TO COMPACT BEDDING MATERIAL BESIDE AND TO THE UPPER (TOP) LIMITS OF BASE COURSE IN PAVED AREAS OR TOP OF CLAY (BOTTOM OF TOPSOIL LAYER) ABOVE THE CONDUIT..
7. ANY HARD OBJECTS LARGER THAN 1.5 IN. IN DIAMETER EXPOSED WITHIN THE TRENCH BOTTOM OR WALLS SHALL BE REPAIRED OR PREVENT UNDERMINING OF THE CONSTRUCTION.
8. PRE MANUFACTURED FITTINGS (SUCH AS, WYES, TEES, BENDS, CAPS, ETC.) OF THE SAME MATERIAL AS THE CONDUIT SHALL BE USED. ALL CONNECTIONS AND FITTINGS SHALL BE GREATER THAN 22.5 DEGREES.
9. IF A NOT CONNECTED TO A STRUCTURE, THE UPPER END OF EACH SUBSURFACE DRAIN TILE SHALL BE CAPPED WITH A TIGHT-FITTING EXTERNAL CAP OF THE SAME MATERIAL AS THE CONDUIT.
10. AT ALL TIMES THE DRAIN TILE SYSTEM SHALL BE KEPT CLEAN AND PROTECTED AGAINST UNDERMINING OF THE CONDUIT AND DAMAGE DURING CONSTRUCTION. TYPICAL UNDERMINING INCLUDES ENTRY OF CONSTRUCTION

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND DEPTH OF ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONNECTIONS AND/OR TO AVOID DAMAGE THERE TO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN (WISCONSIN LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND ORDINANCES. CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
3. UTILITY CONSTRUCTION AND SEPARATIONS SHALL COMPLY WITH THE CITY OF PEWAUKEE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE CITY AND PROFESSIONAL SERVICE (CPS) DEPS 352.

TRACER WIRE SHALL BE INSTALLED AS NECESSARY IN ACCORD WITH 182.0715(2R) OF THE STATE STATUTES AND CITY OF PEWAUKEE REQUIREMENTS.

5. LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLETION OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
6. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISRUPTED DURING CONSTRUCTION.
7. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION.
8. STORM SEWER SPECIFICATIONS –
 - PIPE – HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS DESIGNATION M-294 OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION B-494 TYPE "B".
9. INLETS/CATCH BASINS – INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLAN NO. 25 OF THE "STANDARD SPECIFICATIONS". FRAME & GRATE SHALL BE NENAH R-2501 WITH TYPE G GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NENAH R-3067, OR EQUAL.
10. FIELD LINE CONNECTION – ALL FIELD LINE CONNECTED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UTILITY PRICE(S) FOR STORM SEWER. LINE TILES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
11. WATER MAIN SPECIFICATIONS –
 - PIPE – POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-500, CLASS 150, DR-18 – WITH CAST IRON D.O. AND INTEGRAL ELASTOMERIC GEL AND SPIGOT JOINTS – NON-METALLIC WATERMANS SHALL BE INSTALLED WITH BLUE INSTALLATION TRACER WIRE AND CONFORM WITH SPS 382.30 (11)(5).
 - VALVES AND VALVE BOXES – GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 4.3.5 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
 - HYDRANTS – HYDRANTS SHALL CONFORM TO THE SPECIFICATION OF THE CITY OF PEWAUKEE. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE HYDRANT SHALL BE AT LEAST 18 INCHES AND NO LESS THAN 5 FEET FROM THE EDGE OF THE PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3035, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.

BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME SIZE AND TYPE AS THE BEDDING MATERIAL. BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE BEDDING SUPPORT THROUGHOUT THE ENTIRE LENGTH OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."

BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT, TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL BE BACKFILLED WITH THE SAME MATERIAL AS THE BACKFILL WITH THE EXCAVED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS."

MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF PEAUWEEK.

MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEMA# R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.

11. WATER MAIN, SANITARY FLOOR MAIN, AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF EXCAVATION IS GREATER THAN 4 FEET. PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION, IN ACCORDANCE WITH ITS LATEST ADDENDUM (MCM).

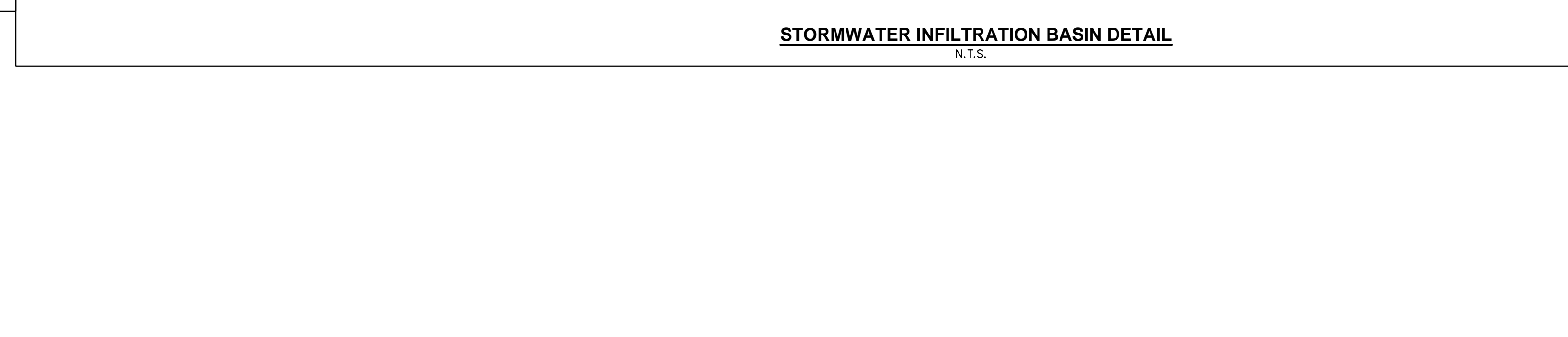
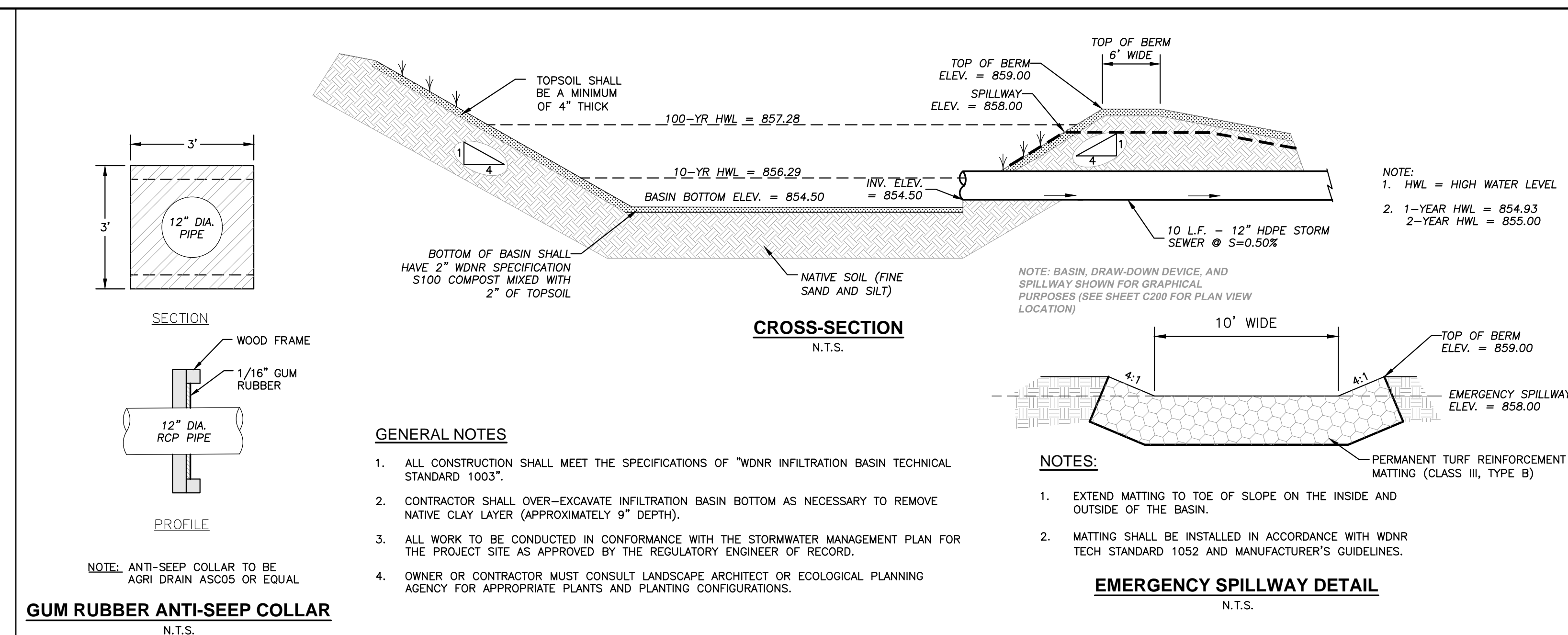
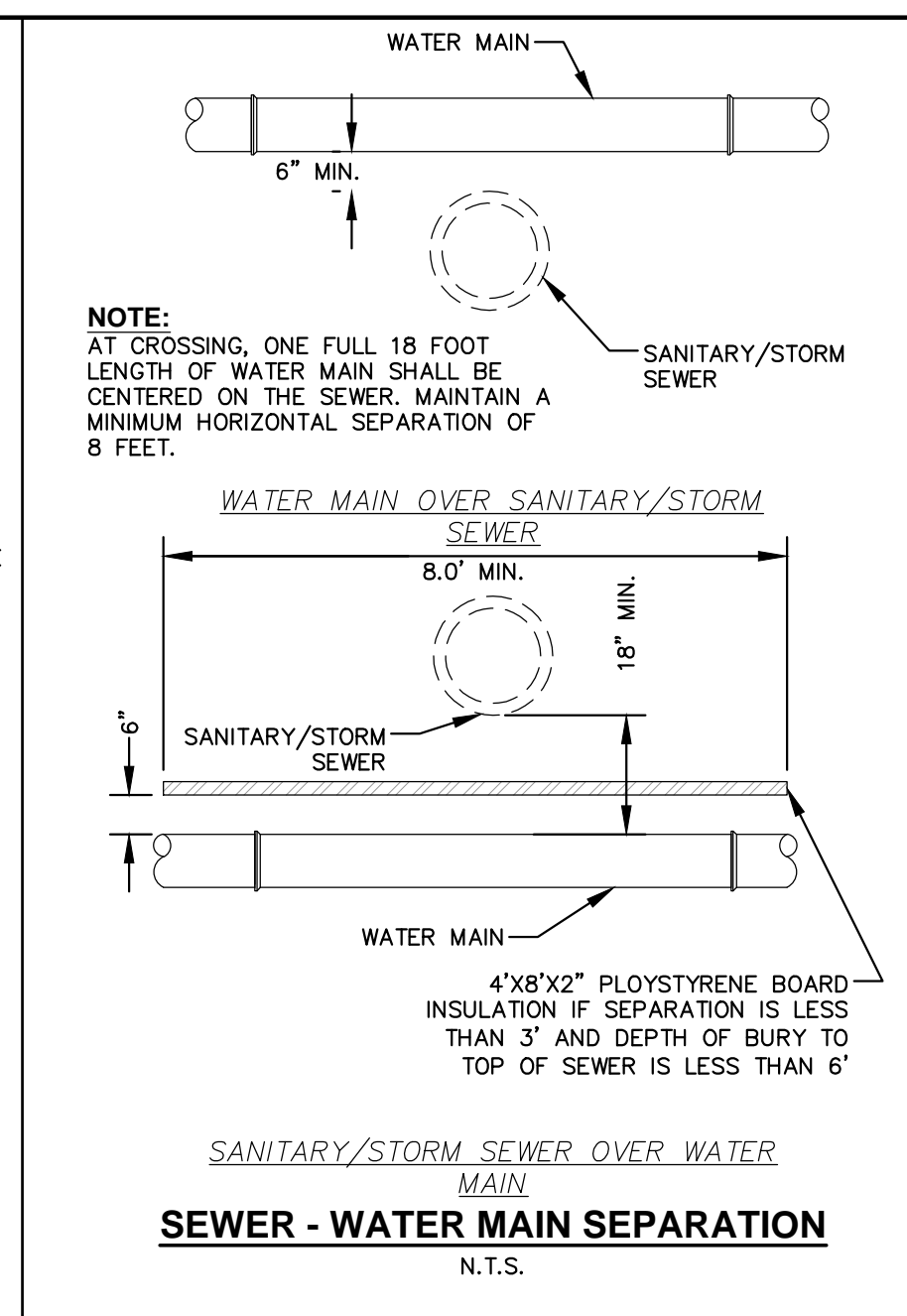
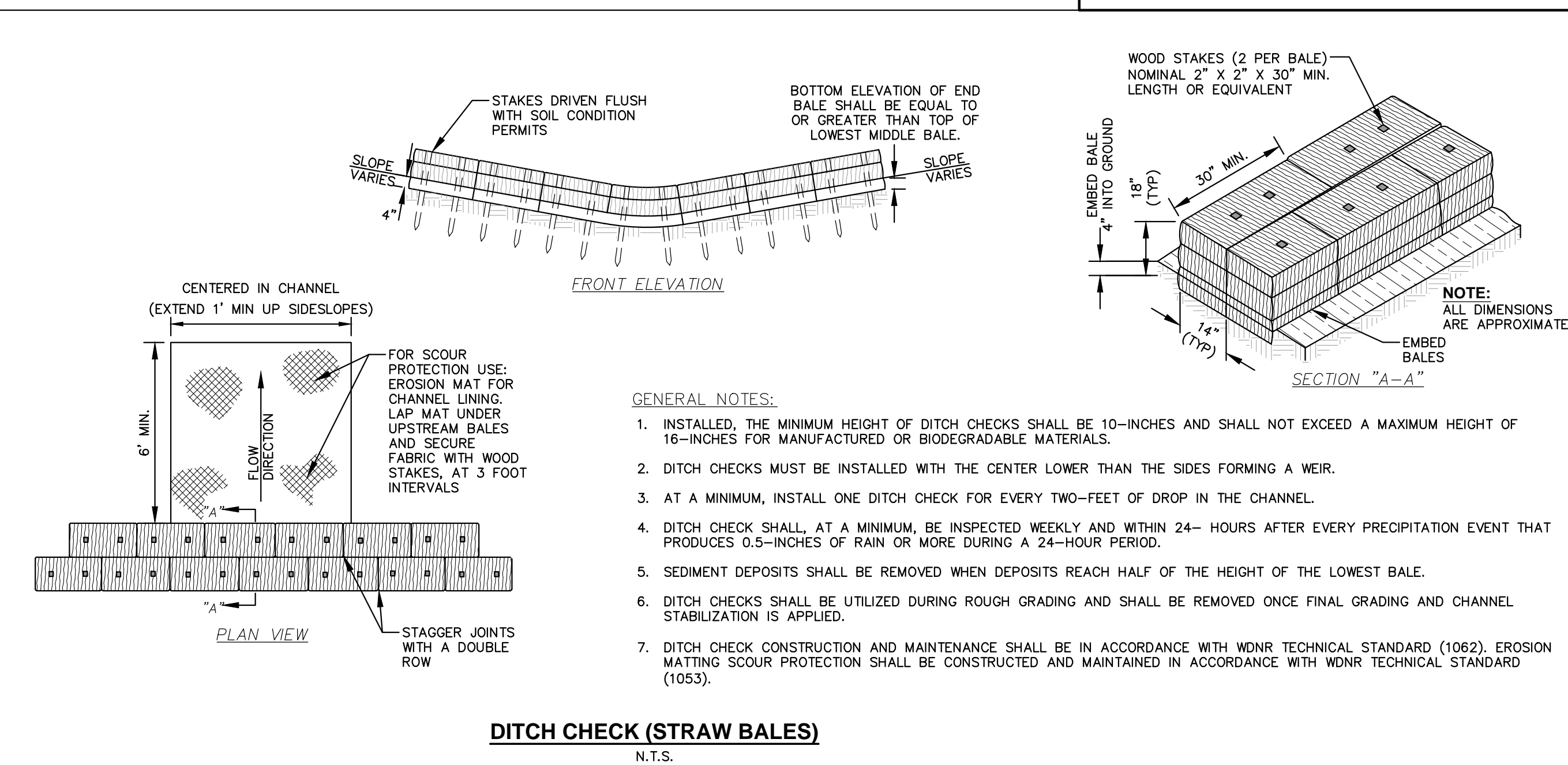
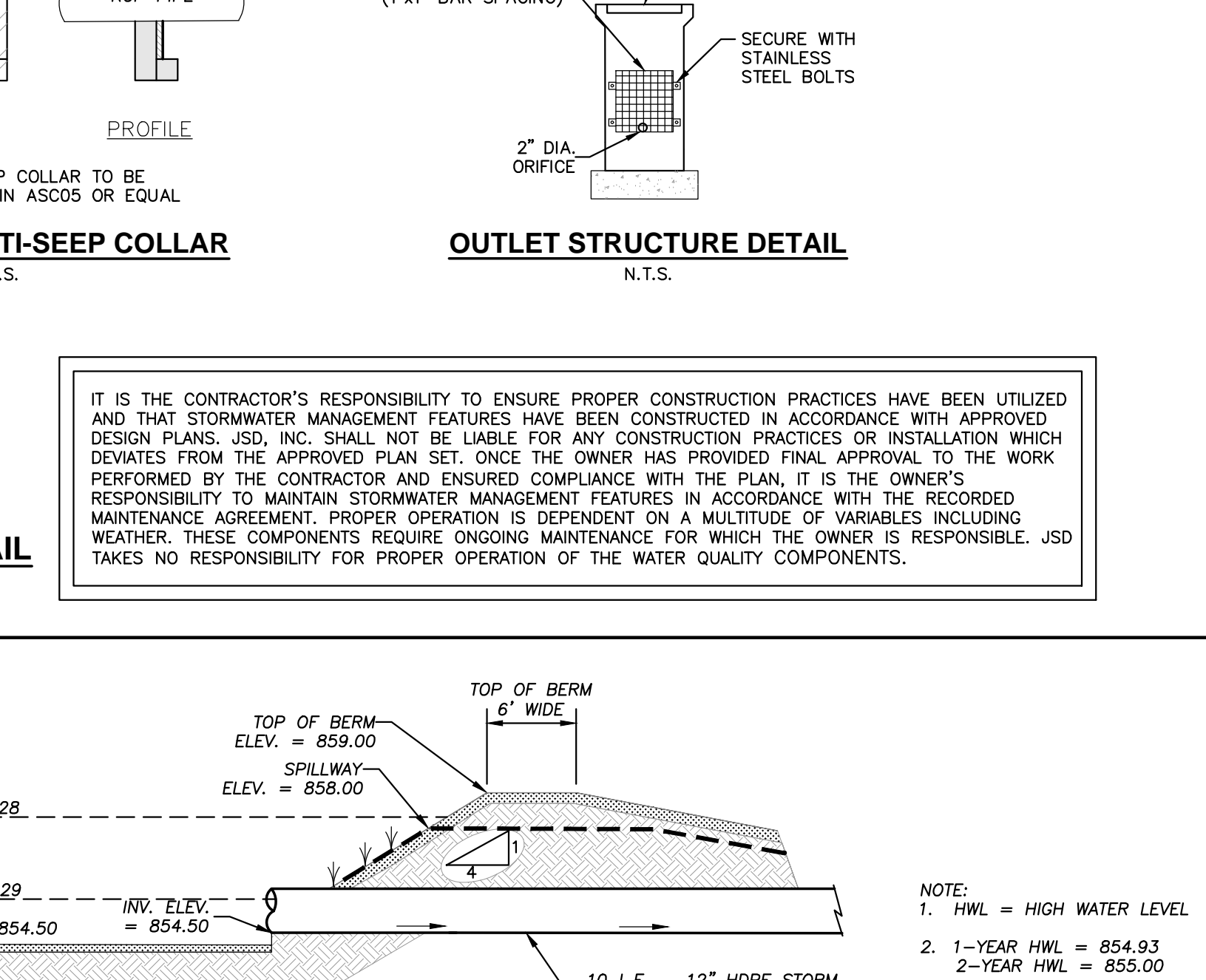
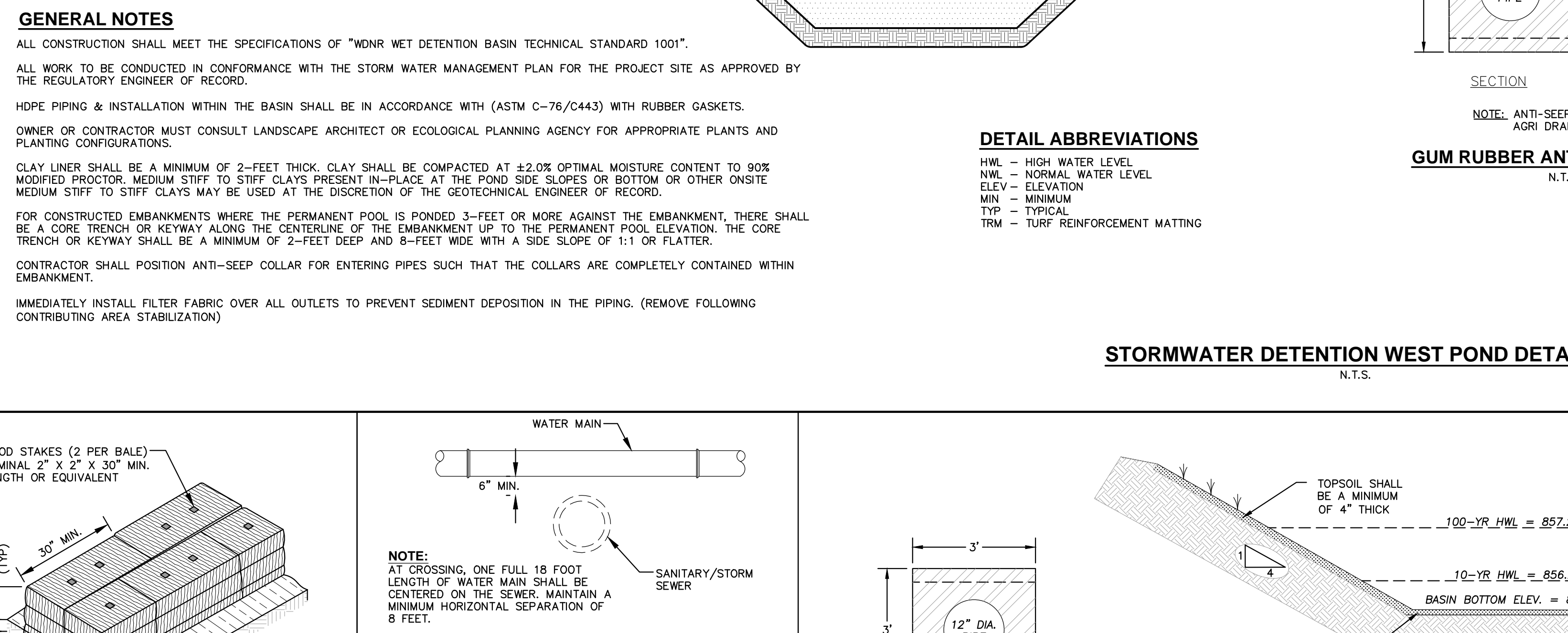
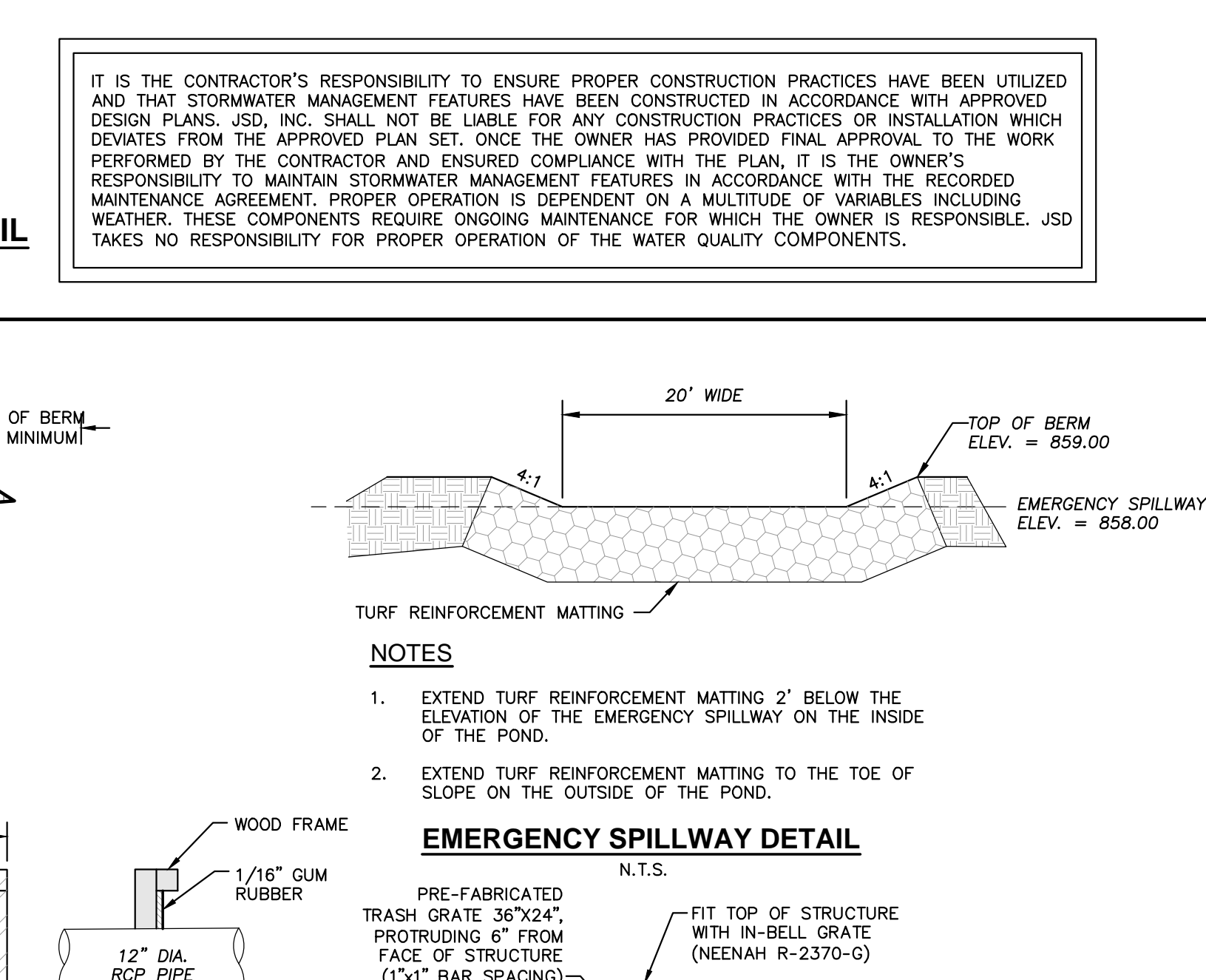
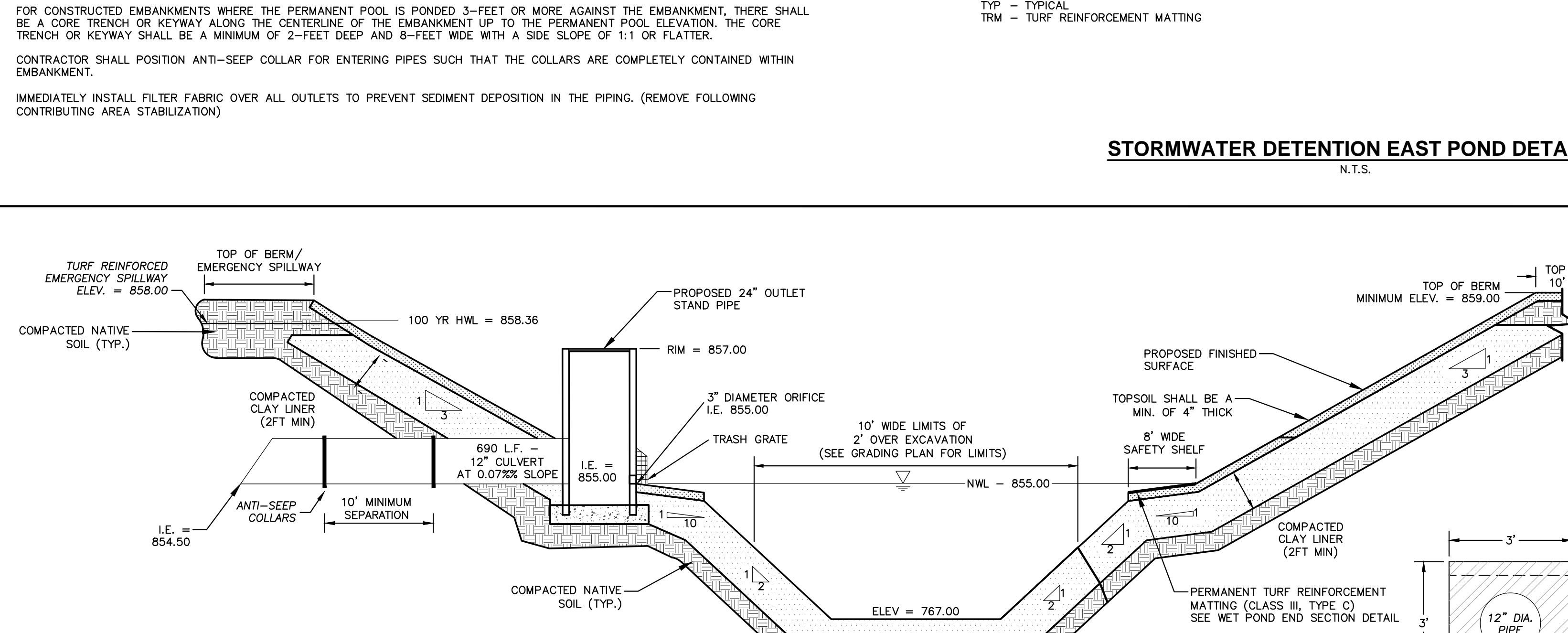
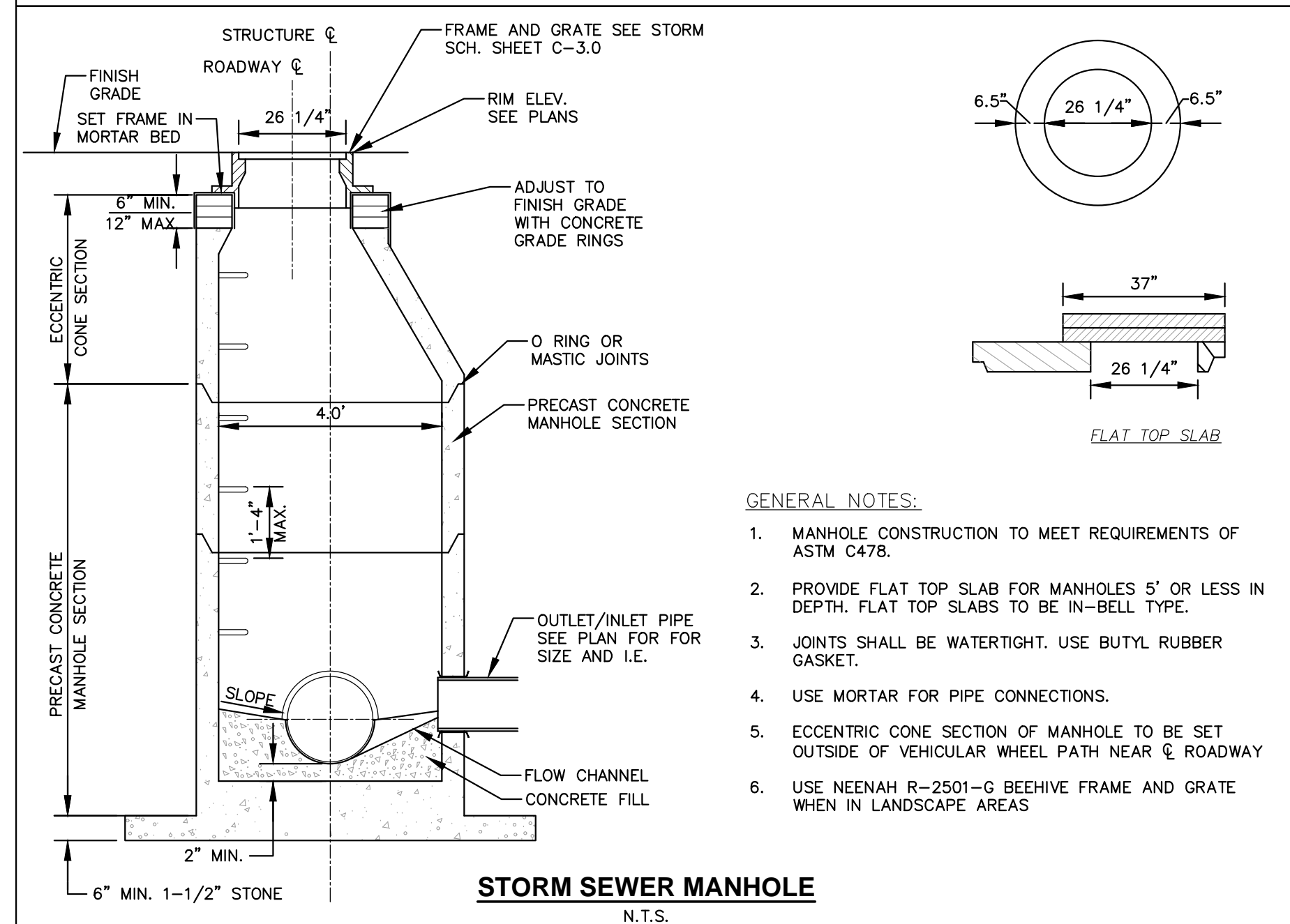
12. TRACER WIRE SHALL BE INSTALLED ALONG THE SANITARY SEWER SERVICE. THE TRACER WIRE SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GROUND VIA A 1/2" NCH PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.

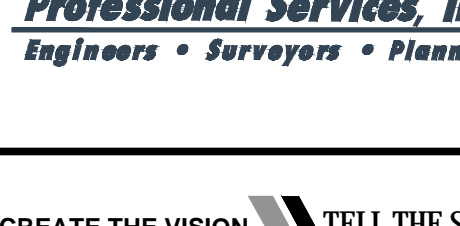
13. ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.

14. THE CONTRACTOR SHALL CONTACT THE CITY OF PEAUWEEK ENGINEERING DEPARTMENT 72-HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE CITY-OWNED SYSTEM TO SCHEDULE INSPECTIONS.

PROJECT LOCATION:
CITY OF PEWAUKEE, WI
WAUKESHA COUNTY

C5.0






JSD

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KENOSHA | APPLETON | WAUSAU

MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE ROAD SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CIENT:

 **Interstate Partners LLC**
Real Estate Development

CIENT ADDRESS:
**N16 W23217 STONERIDGE DR.
WAUKESHA, WI 53188**

PROJECT:

**GREEN ROAD
INDUSTRIAL
BUILDING**

PROJECT LOCATION:
**CITY OF PEWAUKEE, WI
WAUKESHA COUNTY**

PLAN MODIFICATIONS:

| # | Date: | Description: |
|---------------|------------|--------------|
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| | | |
| Design Drawn: | PSM | |
| Approved: | RWI | |
| Date: | 11/18/2019 | |

SHEET TITLE:
DETAILS

SHEET NUMBER:
C5.2

JSD PROJECT NO: 16-7058



Post Office Box 823
Waukesha, WI 53187-0823
 **262-549-6111**
 **262-549-9229**
 **www.nelsonlandscape.com**

Sheet Title:

LANDSCAPE PLAN

Project:
GREEN ROAD SPEC. BLDG
PEWAUKEE, WI

Client:

 **Interstate Partners LLC**
Real Estate Development

INTERSTATE PARTNERS LLC
N16W23217 STONE RIDGE DR
WAUKESHA, WI 53188

Designed By: C. J. N.
 Drawn By: C. J. N.
 Date: 1-11-19
 Revisions: 11-18-19, 12-11-19

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Nelson Landscape Incorporated

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This plan is subject to final on-site conditions and may be modified to account for unforeseen obstacles, other changes, or site modifications that were not made known at the time of preparation dated on this plan.



SEEDDED FLOWED TURF, REFER TO NOTES
LOW-MOW PESCUE MIX, REFER TO NOTES
NATURALIZED AREA, SEED MIX (TIMES) T.B.D.

| Qty | Botanical Name | Common Name | Size/Condition |
|-------------------------------|---|---|----------------|
| 4 | Celtis occidentalis JFS-KSU | PRAIRIE SENTINEL HACKBERRY | 2 1/2" b. |
| 5 | Gymnocladia dioica | KENTUCKY COFFEE TREE | 2 1/2" b. |
| 6 | Hales transition Schmidtii | GOLDEN RAINDROPS CUTLEAF CRABAPPLE | 2 1/2" b. |
| 7 | Pteleocarya dypterostrados | DWARF REDWOOD | 2 1/2" b. |
| 6 | Picea abies | NORWAY SPRUCE | 6 1/2" b. |
| 8 | Picea glauca var. densata | BLACK HILLS SPRUCE | 6 1/2" b. |
| 8 | Picea pungens | COLORADO GREEN SPRUCE | 6 1/2" b. |
| 8 | Picea pungens f. glauca | COLORADO BLUE SPRUCE | 6 1/2" b. |
| 2 | Platanus acerifolia Varian Grd | EXPLANATION PLANT TREE | 2 1/2" b. |
| 11 | Pyrus calleryana Autumn Blaze | AUTUMN BLAZE CALLERY PEAR | 2 1/2" b. |
| 6 | Syringa reticulata | JAPANESE TREE LILAC | 6 1/2" b. |
| 8 | Ulmus ulsoniana Prospector | PROSPECTOR ELM | 2 1/2" b. |
| Shrubs | | | |
| 38 | Buxus Green Velvet | GREEN VELVET BOXWOOD | 8 1/2" b. |
| 20 | Chamaecyparis platensis Golden Top | GOLDEN TOPS JAPANESE FALSE CYPRESS | 8-24"/cont. |
| 19 | Dierodala SZOBOSZAI ppa, dral (Proven Winners) | KODAKO ORANGE BUSH HONEYSUCKLE (Proven Winners) | 8-24"/cont. |
| 40 | Dierodala mulara SHINDERS ppa, dral (Proven Winners) | KODAKO BLACK BUSH HONEYSUCKLE (Proven Winners) | 8-24"/cont. |
| 4 | Forsythia x Cartaeo (Gold Tide) | COURTASOL (GOLD TIDE) DWARF FORSYTHIA | 8-24"/cont. |
| 16 | Juniperus virginiana Grey Owl | GREY OWL BURK EASTERN RED CEDAR | 8-24"/cont. |
| 2 | Picea pungens Glauca | GLOBOSA BLUE SPRUCE | 8 1/2" b. |
| 7 | Rosa arvensis "Cris-Lin" | GROW-LOW FRAGRANT SUMAC | 18"-24"/cont. |
| 2 | Rhus typhina Baller's PP# 1465 | TIGER EYES(R) SUMAC | 30"/cont. |
| 3 | Spiraea x medio SP#STBK pp#26655, dral (Proven Winners) | DOUBLE PLATE BLUE KAZOOE SPREA (Proven Winners) | 8-24"/cont. |
| 8 | Taxus x medio Everlark | EVERLARK YEW | 8 1/2" b. |
| Perennials and Annuals | | | |
| 22 | Amaranthus hybridus Blue Ice | BLUE ICE BLUE STAR FLOWER | # cont. |
| 17 | Asclepias tuberosa | BUTTERFLY WEED | # cont. |
| 17 | Aster x Inkari's Harlot | MOMCH FRICKARTS ASTER | # cont. |
| 12 | Hemerocallis Blueberry Candy | BLUEBERRY CANDY DAYLILY | # cont. |
| 52 | Hemerocallis Rocket City | ROCKET CITY DAYLILY | # cont. |
| 6-4 | Nepeta x Fossena Walkers Low | WALKERS LOW CATMINT | # cont. |

PLANTING NOTES:

- CONTRACTOR SHALL VERIFY LOCATION OF ALL ON-SITE UTILITIES PRIOR TO COMMENCING ANY WORK ON-SITE. WISCONSIN STATUTE 182.0175 REQUIRES THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGER'S HOTLINE AT 1-800-242-0511.
- SUPPLY AND INSTALL ALL WISCONSIN GROWN NURSERY STOCK. GUARANTEE ALL STOCK FOR A PERIOD OF ONE YEAR. ALL PLANTING MATERIAL IS TO MEET AMERICAN STANDARDS FOR NURSERY STOCK ANSI Z601-2004. ALL PLANT MATERIAL IS TO BE PLANTED IMMEDIATELY AFTER ARRIVAL AND UNLOADING ON SITE. PLANT TYPES, SIZES, AND QUANTITIES ARE ACCORDING TO THE PROPOSED PLANS. IF ANY DISCREPANCIES ARE PRESENT BETWEEN PLANT LEGEND AND GRAPHIC DEPICTION, GRAPHICALLY DEPICTED QUANTITIES SHALL HOLD PRECEDENCE.
- ACTUAL LOCATIONS OF PLANT MATERIAL ARE SUBJECT TO FINAL SITE LAYOUT AND CONDITIONS AND MAY BE ADJUSTED ACCORDINGLY.
- JOBY AND STAKE ALL LARGE TREES AND EVERGREENS.
- ALL PLANTS ARE TO BE BACKFILLED WITH A 50/50 MIX OF PLANT STARTER AND TOPSOIL BLEND AND IS TO BE FREE OF ROOTS, ROCKS LARGER THAN 1" IN DIAMETER, SUBSOIL DEBRIS, AND WEEDS.
- OPEN AND REMOVE THE TOP BURLAP AND TWINE OR STRING FROM ALL BALLED TREES. DO NOT PLACE MULCH AGAINST TRUNK OF TREE.
- SUPPLY AND INSTALL 3"-4" OF SHREDDED HARDWOOD BARK MULCH IN ALL PLANTING BEDS, AND 1-1 1/2" IN ALL PERENNIAL BEDS. TREAT ALL AREAS WITH A PRE-EMERGENT HERBICIDE (GRANULAR FORM) TRIEFAN® OR APPROVED EQUAL FOLLOWING ALL MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS PRIOR TO PLACING MULCH.
- SUPPLY AND INSTALL 3"-4" OF SHREDDED HARDWOOD MULCH 1" PAST THE DRIP LINE OF ALL INDIVIDUAL TREES. DO NOT PLACE MULCH AGAINST TRUNK OF TREE.
- SUPPLY AND INSTALL BLACK VINYL EDGING "AGE OF DIAMOND" MANUFACTURED BY VALLEYVIEW INDUSTRIES OR APPROVED EQUAL IN ALL PLANTING BEDS THAT ADJOIN TURF AREAS ACCORDING TO THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
- ALL TURF AREAS ARE TO BE FINE-GRADED. ALL TURF AREAS ARE TO BE SEEDED, AREAS ARE TO BE SOWN AT THE MANUFACTURER'S RECOMMENDED RATES AND COVERED WITH A CLEAN OAT STRAW. TURF AREAS ARE TO BE SOWN WITH NELSON LANDSCAPE'S CUSTOM BLENDED SEED FOR LAWNS AND IS TO BE APPLIED AT THE RECOMMENDED RATE, A STARTER FERTILIZER APPLIED, AND COVERED WITH A CLEAN OAT STRAW. ANY AREAS WHERE POTENTIAL EROSION EXISTS DUE TO WIND OR WATER OR OTHER MEANS INCLUDING ALL SLOPES OF 3:1 OR GREATER SHALL BE COVERED WITH STRAW EROSION CONTROL BLANKETS "DS-75" MANUFACTURED BY NORTH AMERICAN GREEN, INSTALLED TO MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

Age of Diamond Lawn Edging (AD-30)

Product Diagram & Installation Details

Product Specifications

Edging Profile

Installation Detail

ValleyView Industries

0 30 60

Summer

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Sheet #: L100 Page 1 of 1

PROJECT INFORMATION:



GREEN ROAD SPEC
INDUSTRIAL BUILDING

N30 W22805 GREEN RD
GREEN ROAD COMMERCE
CENTER
PEWAUKEE, WI 53072

DRAWING ISSUANCE:

PLAN COMMISSION
SUBMITTAL

REVISIONS

| # | DATE | DESCRIPTION |
|---|------|-------------|
|---|------|-------------|

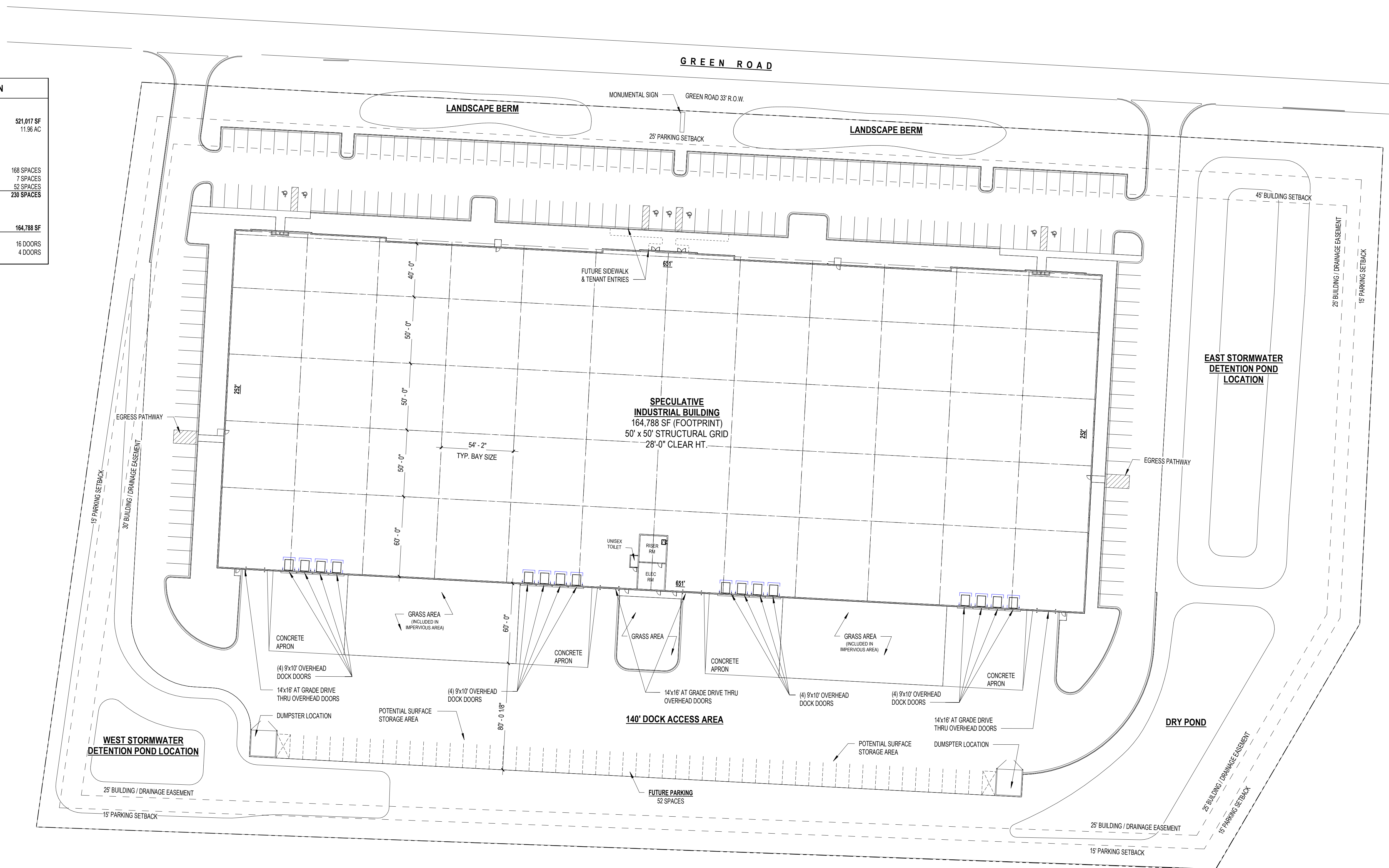
11 DECEMBER 2019

| PROJECT NUMBER | PROJECT MANAGER |
|----------------|-----------------|
| 16004-00 | NZ/JK |

ARCHITECTURAL SITE
PLAN

AS100

| PROJECT INFORMATION | |
|---------------------------|------------------------|
| OVERALL SITE INFORMATION: | |
| SITE AREA: | 521,017 SF 11.95 AC |
| SITE INFORMATION: | |
| PARKING: | |
| NORTH PARKING FIELD: | 188 SPACES |
| ACCESSIBLE PARKING: | 7 SPACES |
| FUTURE PARKING: | 52 SPACES |
| TOTAL PARKING: | 230 SPACES |
| BUILDING: | |
| TOTAL OVERALL AREA: | 164,788 SF |
| TOTAL O.H. DOCK DOORS: | 16 DOORS |
| TOTAL AT-GRADE DOORS: | 4 DOORS |



PROJECT INFORMATION:



GREEN ROAD SPEC INDUSTRIAL BUILDING

N30 W22805 GREEN RD
GREEN ROAD COMMERCE CENTER
PEWAUKEE, WI 53072

DRAWING ISSUANCE:

PLAN COMMISSION

REVISIONS

| # | DATE | DESCRIPTION |
|---|------|-------------|
|---|------|-------------|

10 DECEMBER 2019

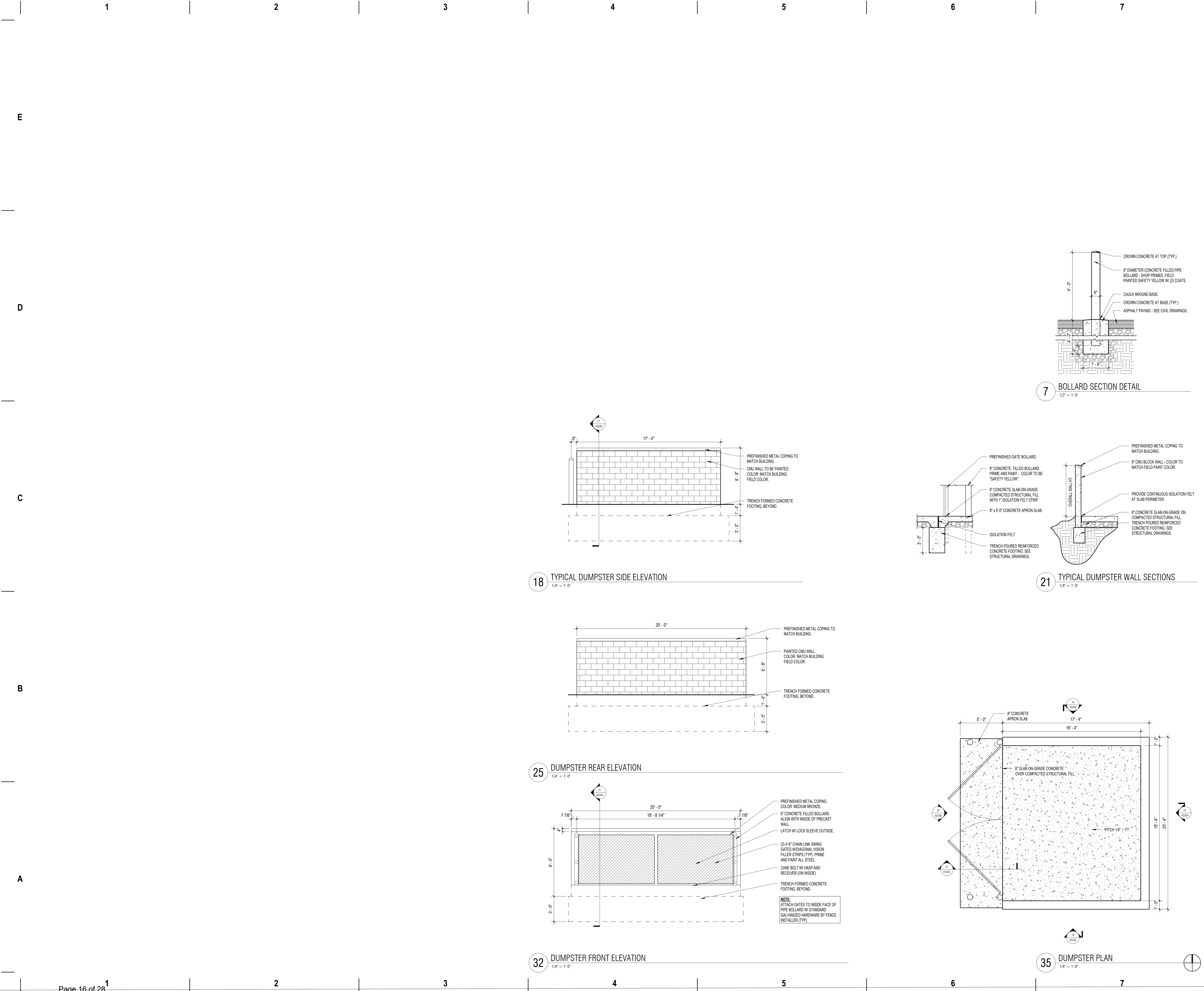
| PROJECT NUMBER | PROJECT MANAGER |
|----------------|-----------------|
| 16004-00 | NZ/JK |

COLOR SITE PLAN



COLOR SITE PLAN

Scale: 1"=40'-0"



PROJECT INFORMATION:



GREEN ROAD SPEC
INDUSTRIAL BUILDING

N30 W22805 GREEN RD
GREEN ROAD COMMERCE
CENTER
PEWAUKEE, WI 53072

DRAWING ISSUANCE:

PLAN COMMISSION
SUBMITTAL

REVISIONS

| # | DATE | DESCRIPTION |
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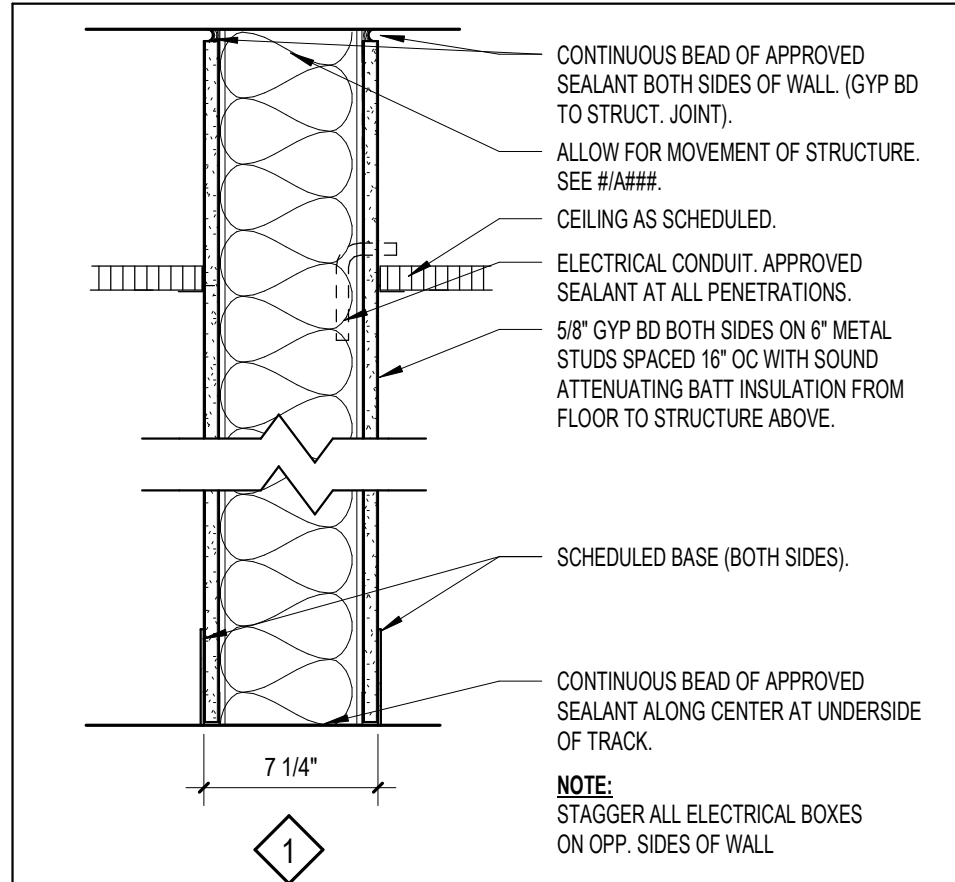
11 DECEMBER 2019

| PROJECT NUMBER | PROJECT MANAGER |
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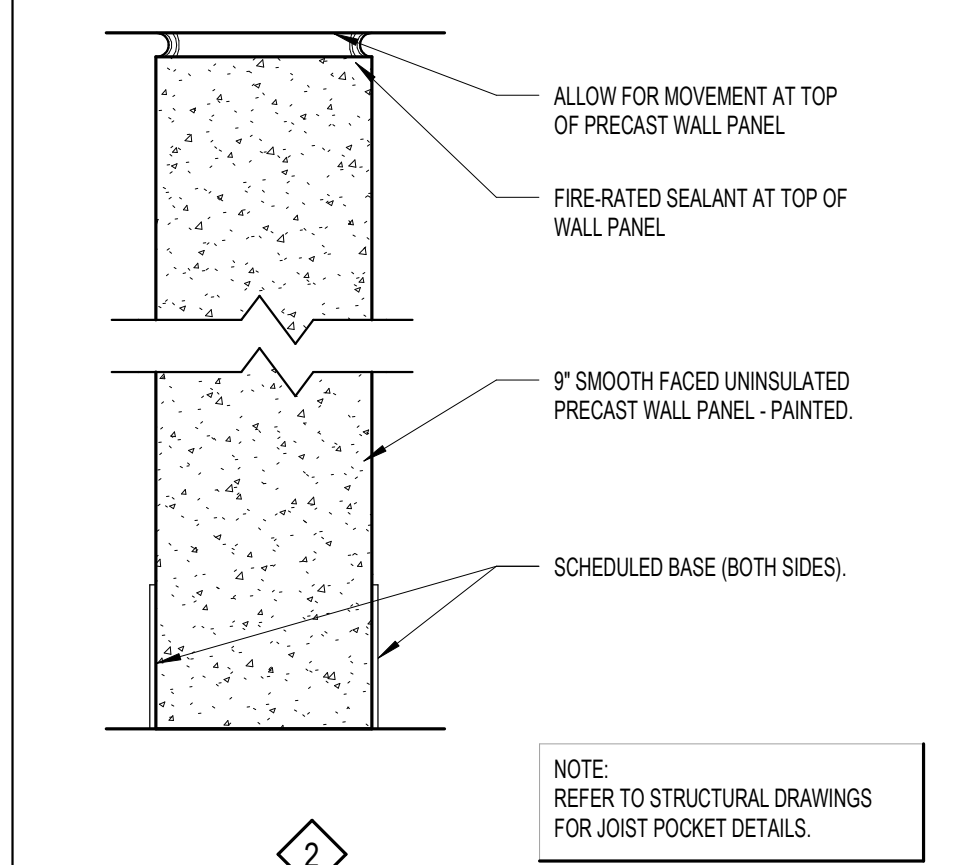
OVERALL GROUND
FLOOR PLAN

A100

| FLOOR PLAN LEGEND | |
|-------------------|---|
| | EXISTING WALL, TO REMAIN |
| | NEW WALL |
| | DOOR - NEW CONSTRUCTION |
| | DOOR NUMBER - REFER TO DOOR SCHEDULE |
| | WALL TYPE - REFER TO SHEET A000 |
| | KEYNOTE - REFER TO KEYNOTE LEGEND |
| | FIRE EXTINGUISHER (WALL / COLUMN / HOOK CONNECTION) |
| | ACADEMY, CLEAR ALUMINUM VERTICAL DOD, SEMI-RECESSED FIRE EXTINGUISHER CABINET BY SL INDUSTRIES OR EQUAL |



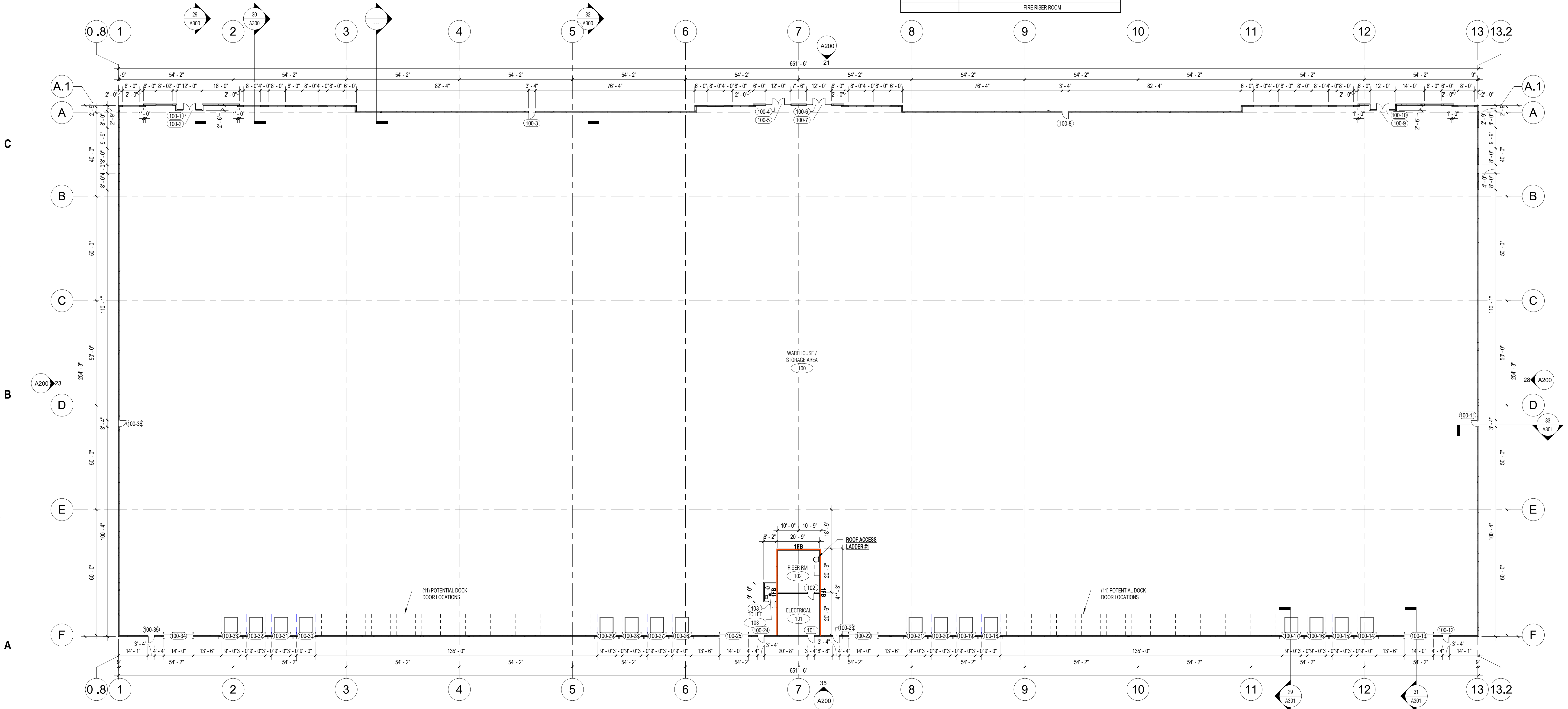
| | |
|--------------|--|
| WALL TYPE: 1 | DESCRIPTION: STRUCTURE TO STRUCTURE (1-HOUR) |
| UL#: U419 | ELECTRICAL ROOM |



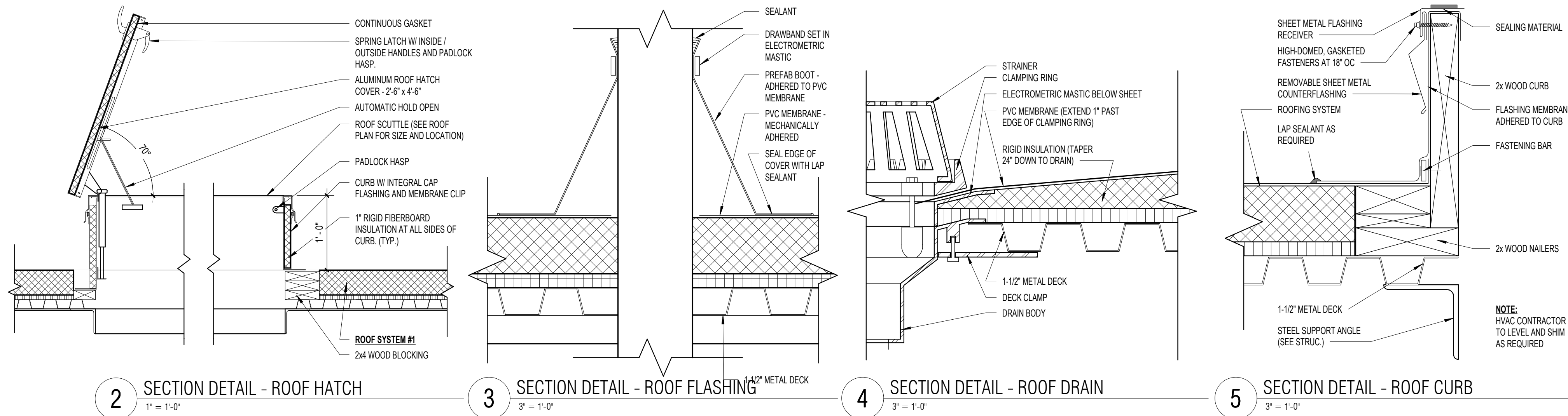
| | |
|--------------|-------------------------------------|
| WALL TYPE: 2 | DESCRIPTION: STRUCTURE TO STRUCTURE |
| | FIRE RISER ROOM |

| BUILDING ASSEMBLIES | |
|---|--|
| FOUNDATION SYSTEM #1 | |
| FLOOR #1 | |
| POURED-IN-PLACE 6" THICK CONCRETE SLAB ON GRADE WITH STEEL REINFORCING AS SPECIFIED IN STRUCTURAL DRAWINGS. PROVIDE CONTINUOUS 15-MIL POLYETHYLENE VAPOR BARRIER OVER 3" COMPACTED STONE BASE PRIOR TO PLACING CONCRETE SLAB IN ENTIRE BUILDING. PROVIDE KERFA FLEX JOINT FILL OVER BOND BREAKER FILLER AT COLUMNS AND CONCRETE SLAB SAWCUT CONTROL JOINTS. (SEE STRUCTURAL DRAWINGS FOR FLOOR SLAB REINFORCING, CONTROL JOINT LOCATIONS AND SPECIFIC INFORMATION.) | |
| EXTERIOR WALL SYSTEM #1 | |
| 9" NOMINAL OR PRECASTER ENGINEER PREFERENCE. INSULATED (3" R12) R-12 MIN., LOAD-BEARING ARCHITECTURAL PRECAST CONCRETE PANELS WITH REVEALS AND FINISH AS SHOWN IN EXTERIOR ELEVATIONS. EXTERIOR FACE OF PANELS TO BE PAINTED WITH LIXON MASONRY / CONCRETE PAINT BY SHERWIN WILLIAMS - 100% ACRYLIC LATEX. ALL DOOR AND WINDOW OPENINGS TO BE FORMED WITH INTEGRAL DRIP AT THE HEAD OF THE OPENING AND POSITIVE SLOPED SILL. PROVIDE SEALANT AND BACKER ROD AT ALL VERTICAL PANEL JOINTS (INTERIOR AND EXTERIOR). (SEE ELEVATIONS AND WALL SECTIONS FOR LOCATIONS OF REVEALS, PANEL ARTICULATIONS, AND WALL PANEL LAYOUT.) REFER TO EXTERIOR MATERIAL FINISH SCHEDULE FOR PAINT COLOR SELECTIONS. | |
| GLAZING SYSTEM #1 | |
| VISION GLASS: 1" INSULATED LIGHT GRAY TINTED LOW-E GLASS. ALUMINUM GLAZING SYSTEM: "TRIFAB 451UT SYSTEM" BY KAWNEER OR EQUAL. THIS IS A CENTER GLAZED STOREFRONT SYSTEM - 2" WIDE x 4 1/2" DEEP IN BLACK ANODIZED ALUMINUM FINISH. 1" INSULATED LOW-E TINTED GLASS UNITS WITH THERMAL BREAK, SILL FLASHING, EXTERIOR METAL CLOSURES AND SIKES ATTACHED TO EXTERIOR. PRECAST WALL PANEL, 2" WIDE MULLION COVERS TYPICAL UNLESS NOTED OTHERWISE. ALL DOORS TO BE MEDIUM STYLE FRAMES. | |
| GLASS COMPOSITION | |
| INSULATED GLASS: 1" GRAY TINTED INSULATED GLASS UNIT IN THERMALLY BROKEN BLACK ANODIZED ALUMINUM FRAME, 1/4" CLEAR, 1/2" AIR SPACE, 1/4" LOW-E COATING ON GRAY TINTED. PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL. | |
| ROOF SYSTEM #1 | |
| 45 MIL SINGLE-PLY EPDM BALLASTED MEMBRANE ON ONE (1) LAYER OF 2" POLYSTYRENE INSULATION WITH INTEGRAL BARRIER BOARD AND ONE (1) LAYER OF 2" POLYSTYRENE INSULATION WITH STAGGERED JOINTS AND MINIMUM R-20 VALUE. PROVIDE TAPERING OF ROOF INSULATION AS REQUIRED FOR SADDLES AND FLAT STRUCTURE AREAS TO ROOF DRAINS. 30 GA. MINIMUM METAL DECK OVER STRUCTURAL STEEL JOISTS. STRUCTURAL STEEL TO PITCH TO ROOF DRAINS - SEE STRUCTURAL DRAWINGS. | |
| ROOF ACCESS LADDER #1 | |
| PROVIDE AND INSTALL CAGED INTERIOR STEEL ROOF ACCESS LADDER WITH INTERMEDIATE PLATFORM FOR ROOF ACCESS PER OSHA REQUIREMENTS INSIDE MECHANICAL ROOM. PRIME AND PAINT GRAY. | |
| ROOF HATCH #1 | |
| PROVIDE TYPE "CS" SIZE 2'-4" WIDE x 3'-4" LONG ROOF ACCESS HATCH BY BALCO ON STRUCTURALLY FRAMED OPENING - SEE STRUCTURAL DRAWINGS. HATCH TO BE FINISH PAINTED W/ SKYLIGHT. | |
| SOFFIT SYSTEM #1 | |
| DENS GLASS GOLD SHEATHING SOFFIT WITH BASE AND FINISH COAT APPLIED. SHEATHING TO BE APPLIED TO UNDERSIDE OF COLD FORMED METAL FRAMING W/ 9" BATT INSULATION OVER VAPOR BARRIER. | |

| BUILDING ASSEMBLIES | |
|--|--|
| WALL COPING / GRAVEL STOP SYSTEM #1 | |
| PREFINISHED 2-PIECE METAL WALL COPING WITH 6" FACE ON 2x WOOD ROOF BLOCKING, ANCHORED SECURELY TO TOP OF PRECAST WALL @ 4'-0" O.C. WITH 3/8" DIAMETER ANCHORS. EXTEND ROOF MEMBRANE OVER WALL AND TERMINATE UNDER COPING SYSTEM. COLOR TBD. PROVIDE GRAVEL STOP ROOF COPING AT A MAJORITY OF ROOF AREA. | |
| EXIT MAIN DOOR #1 | |
| 14 GA. GALVANIZED INSULATED LAMINATED CORE HOLLOW METAL DOOR (FLUSH), PRIMED AND PAINTED, COLOR TBD. INSULATED HOLLOW METAL FRAMES W/ THRESHOLD, WEATHERSTRIPPING AND DRP CAP HEAD. | |
| OVERHEAD DOOR #1 | |
| 14'-0"x16'-0" INSULATED PREFINISHED STEEL OVERHEAD DOOR WITH (2) VISION PANELS AND ELECTRIC OPERATOR. VERTICAL TRACK AND FRAME ASSEMBLY TO BE GALVANIZED STEEL. EXTERIOR FACE OF DOOR TO BE PREFINISHED WHITE. | |
| OVERHEAD DOCK DOOR #1 | |
| 9'-0" x 10'-0" HEAVY DUTY INSULATED (R12) PREFINISHED STEEL OVERHEAD DOOR WITH (2) VISION PANELS AND WEATHERSTRIPPING. VERTICAL TRACK ASSEMBLY AND FRAME TO HAVE GALVANIZED FINISH. ELECTRIC OPERATOR WITH 40" SWING ARM DOCK LIGHT. PROVIDE DOCK SEAL WITH 40" VINYL HYPALON ARMOR PLEATS WITH 8" EXPOSURE AND FULLY ADJUSTABLE HEAD CURTAINS. VERIFY SEAL AND OTHER REQUIREMENTS WITH MANUFACTURER. PROVIDE 7/8" 35,000# MECHANICAL DOCK LEVELER (SERVO OR EQUAL) AT RECESSED DOCK DOOR LOCATIONS. VERIFY FIT DIMENSIONS WITH DOCK LEVELER MFR. PROVIDE WEATHER SEALS, RUBBER DOCK BUMPERS WITH 1/2" DIA. GALVANIZED EXPANSION BOLTS FOR ANCHORING. EXTERIOR FACE OF DOOR TO BE PREFINISHED WHITE. | |



35 GROUND FLOOR PLAN
3/64" = 1'-0"



- GENERAL NOTES - ROOF PLAN**
- 1. ELEVATIONS ARE RELATIVE TO CONSTANT JOIST BEARING ELEVATIONS AT EXTERIOR WALLS.
 - 2. DESIGN AND SIZE OF ROOF DRAINAGE SYSTEM BY PLUMBING / MEP DESIGN/BUILD CONTRACTOR.
 - 3. ROOF DRAINS TO BE LOCATED AT LOW POINT OF TRUSS GIRDER OR BEAM. SEE STRUCTURAL DRAWINGS PROVIDE INSULATION AROUND CONDUCTORS AT ROOF PENETRATIONS AND ATTACH STRUCTURAL COLUMNS AS REQUIRED.
 - 4. PROVIDE SPECIAL JOIST AT INDICATED LOCATIONS FOR RTU'S UNIT SIZE. ACTUAL LOCATION AND WEIGHT TO BE VERIFIED BY HVAC DESIGN/BUILD MEP CONTRACTOR. SEE STRUCTURAL DRAWINGS FOR DETAILS.
 - 5. R-24 MINIMUM ROOF INSULATION SYSTEM REQUIRED. POLYISOCYANURATE INSULATION WITH INTEGRAL VAPOR BARRIER IS TYPICAL.
 - 6. FUTURE RTU'S TO BE SCREENED WITH ENVIRO-METAL PANEL, SHROUD OR STAND ALONE TUBE STEEL FRAME WITH HORIZONTAL RIBBED METAL PANEL IN PREFINISHED GREY COLOR. LOCATIONS TO BE DETERMINED IN THE FUTURE BASED ON TENANT NEEDS.

| BUILDING ASSEMBLIES | |
|---|--|
| FOUNDATION SYSTEM #1 | |
| FLOOR #1 | |
| POURED-IN-PLACE 6" THICK CONCRETE SLAB ON GRADE WITH STEEL REINFORCING AS SPECIFIED IN STRUCTURAL DRAWINGS. PROVIDE CONTINUOUS 15-MIL POLYETHYLENE VAPOR BARRIER OVER 2" COMPACTED STONE BASE PRIOR TO PLACING CONCRETE SLAB IN ENTIRE BUILDING. PROVIDE VORTEX FLEX JOINT FILL OVER BOND BREAKER FILLER AT COLUMNS AND CONCRETE SLAB SAWCUT CONTROL JOINTS. (SEE STRUCTURAL DRAWINGS FOR FLOOR SLAB REINFORCING, CONTROL JOINT LOCATIONS AND SPECIFIC INFORMATION). | |
| EXTERIOR WALL SYSTEM #1 | |
| 9" NOMINAL OR PRECASTER ENGINEER PREFERENCE. INSULATED (2" / 3" / 2") R-12 MIN., LOAD-BEARING ARCHITECTURAL PRECAST CONCRETE PANELS WITH REVEALS AND FINISH AS SHOWN IN EXTERIOR ELEVATIONS. EXTERIOR FACE OF PANELS TO BE PAINTED WITH LOW-MANNOVY CONCRETE PAINT BY SHERWIN-WILLIAMS - 100% ACRYLIC LATEX. ALL DOOR AND WINDOW OPENINGS TO BE FORMED WITH INTEGRAL DRIP AT THE HEAD OF THE OPENING AND POSITIVE SLOPED SILL. PROVIDE SEALANT AND BACKER ROD AT ALL VERTICAL PANEL JOINTS INTERIOR AND EXTERIOR. (SEE ELEVATIONS AND WALL SECTIONS FOR LOCATIONS OF REVEALS, PANEL ARTICULATIONS, AND WALL PANEL LAYOUT). REFER TO EXTERIOR MATERIAL FINISH SCHEDULE FOR PAINT COLOR SELECTIONS. | |
| GLAZING SYSTEM #1 | |
| VISION GLASS: 1" INSULATED LIGHT GRAY TINTED LOW-E GLASS. ALUMINUM GLAZING SYSTEM: "TRIFAB 451UT" SYSTEM BY KAWNEER OR EQUAL. THIS IS A CENTER GLAZED STOREFRONT SYSTEM - 2" WIDE x 4 1/2" DEEP IN BLACK ANODIZED ALUMINUM FINISH. 1" INSULATED LOW-E TINTED GLASS UNITS WITH THERMAL BREAK, SILL FLASHING, EXTERIOR METAL CLOSURES AND SHIMS ATTACHED TO EXTERIOR PRECAST WALL PANEL. 2" WIDE MULLION COVERS TYPICAL UNLESS NOTED OTHERWISE. ALL DOORS TO BE MEDIUM STYLE FRAMES. | |
| GLASS COMPOSITION | |
| INSULATED GLASS: 1" GRAY TINTED INSULATED GLASS UNIT IN THERMALLY BROKEN BLACK ANODIZED ALUMINUM FRAME. 1/4" CLEAR, 1/2" AIR SPACE. 1/4" LOW-E COATING ON GRAY TINTED. PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL. | |
| ROOF SYSTEM #1 | |
| 45-MIL SINGLE PLY EPDM BALLASTED MEMBRANE ON ONE (1) LAYER OF 2-6" POLYISOCYANURATE INSULATION WITH INTEGRAL BARRIER BOARD AND ONE (1) LAYER OF 2-6" POLYISOCYANURATE INSULATION WITH STAGGERED JOINTS AND MINIMUM R-26 VALUE. PROVIDE TAPERING OF ROOF INSULATION AS REQUIRED FOR SADDLES AND FLAT STRUCTURE AREAS TO ROOF DRAINS. 20 GA. MINIMUM METAL DECK OVER STRUCTURAL STEEL JOISTS. STRUCTURAL STEEL TO PITCH TO ROOF DRAINS. SEE STRUCTURAL DRAWINGS. | |
| ROOF ACCESS LADDER #1 | |
| PROVIDE AND INSTALL CAGED INTERIOR STEEL ROOF ACCESS LADDER WITH INTERMEDIATE PLATFORM FOR ROOF ACCESS PER OSHA REQUIREMENTS INSIDE MECHANICAL ROOM. PRIME AND PAINT GRAY. | |
| ROOF HATCH #1 | |
| PROVIDE TYPE "CS" SIZE 2'-6" WIDE x 3'-6" LONG ROOF ACCESS HATCH BY BILCO ON STRUCTURALLY FRAMED OPENING. SEE STRUCTURAL DRAWINGS. HATCH TO BE FINISH PAINTED W/ SKYLIGHT. | |
| SOFFIT SYSTEM #1 | |
| DENS GLASS GOLD SHEATHING SOFFIT WITH BASE AND FINISH COAT APPLIED. SHEATHING TO BE APPLIED TO UNDERSIDE OF COLD FORMED METAL FRAMING W/ 8" BATT INSULATION OVER VAPOR BARRIER. | |

| BUILDING ASSEMBLIES | |
|--|--|
| WALL COPING / GRAVEL STOP SYSTEM #1 | |
| PREFINISHED 2-PIECE METAL WALL COPING WITH 6" FACE ON 2x4 WOOD ROOF BLOCKING, ANCHORED SECURELY TO TOP OF PRECAST WALL @ 4'-0" O.C. WITH 3/8" DIAMETER ANCHORS. EXTEND ROOF MEMBRANE OVER WALL AND TERMINATE UNDER COPING SYSTEM. COLOR TBD. PROVIDE GRAVEL STOP ROOF COPING AT A MAJORITY OF ROOF AREA. | |
| EXIT MAN DOOR #1 | |
| 14 GA. GALVANIZED INSULATED LAMINATED CORE HOLLOW METAL DOOR (FLUSH), PRIMED AND PAINTED; COLOR TBD. INSULATED HOLLOW METAL FRAMES W/ THRESHOLD, WEATHERSTRIPPING AND DRIP CAP HEAD. | |
| OVERHEAD DOOR #1 | |
| 14'-0" x 16'-0" INSULATED PREFINISHED STEEL OVERHEAD DOOR WITH (2) VISION PANELS AND ELECTRIC OPERATOR. VERTICAL TRACK AND FRAME ASSEMBLY TO BE GALVANIZED STEEL. EXTERIOR FACE OF DOOR TO BE PREFINISHED WHITE. | |
| OVERHEAD DOCK DOOR #1 | |
| 9'-0" x 10'-0" HEAVY DUTY INSULATED (R12) PREFINISHED STEEL OVERHEAD DOOR WITH (2) VISION PANELS AND WEATHERSTRIPPING. VERTICAL TRACK ASSEMBLY 1" AND FRAME TO HAVE GALVANIZED FINISH. ELECTRIC OPERATOR WITH 48" SWING ARM DOCK LIGHT. PROVIDE DOCK SEAL WITH 4" O.D. VINYL HYDRA-PALON ARMOR PLEATS WITH 8" EXPOSURE AND FULLY ADJUSTABLE HEAD CURTAINS. VERIFY SEAL AND OTHER REQUIREMENTS WITH MANUFACTURER. PROVIDE 7'x8" 35,000LB MECHANICAL DOCK LEVELER (SERCO OR EQUAL) AT RECESSED DOCK DOOR LOCATIONS-VERIFY FIT DIMENSIONS WITH DOCK LEVELER MFG. PROVIDE WEATHER SEALS, RUBBER DOCK BUMPERS WITH 1/2" DIA. GALVANIZED EXPANSION BOLTS FOR ANCHORING. EXTERIOR FACE OF DOOR TO BE PREFINISHED WHITE. | |

JAK

architecture + interior design

JAKnetter Architects

N16 W23217 STONE RIDGE DRIVE, SUITE 300
WAUKESHA, WI 53188 | www.jaknetter.com
office 262 513 9800 | fax 262 513 9815

PROJECT INFORMATION:



GREEN ROAD SPEC INDUSTRIAL BUILDING

N30 W22805 GREEN RD
GREEN ROAD COMMERCE CENTER
PEWAUKEE, WI 53072

DRAWING ISSUANCE:

PLAN COMMISSION SUBMITTAL

| REVISIONS | | |
|-----------|------|-------------|
| # | DATE | DESCRIPTION |

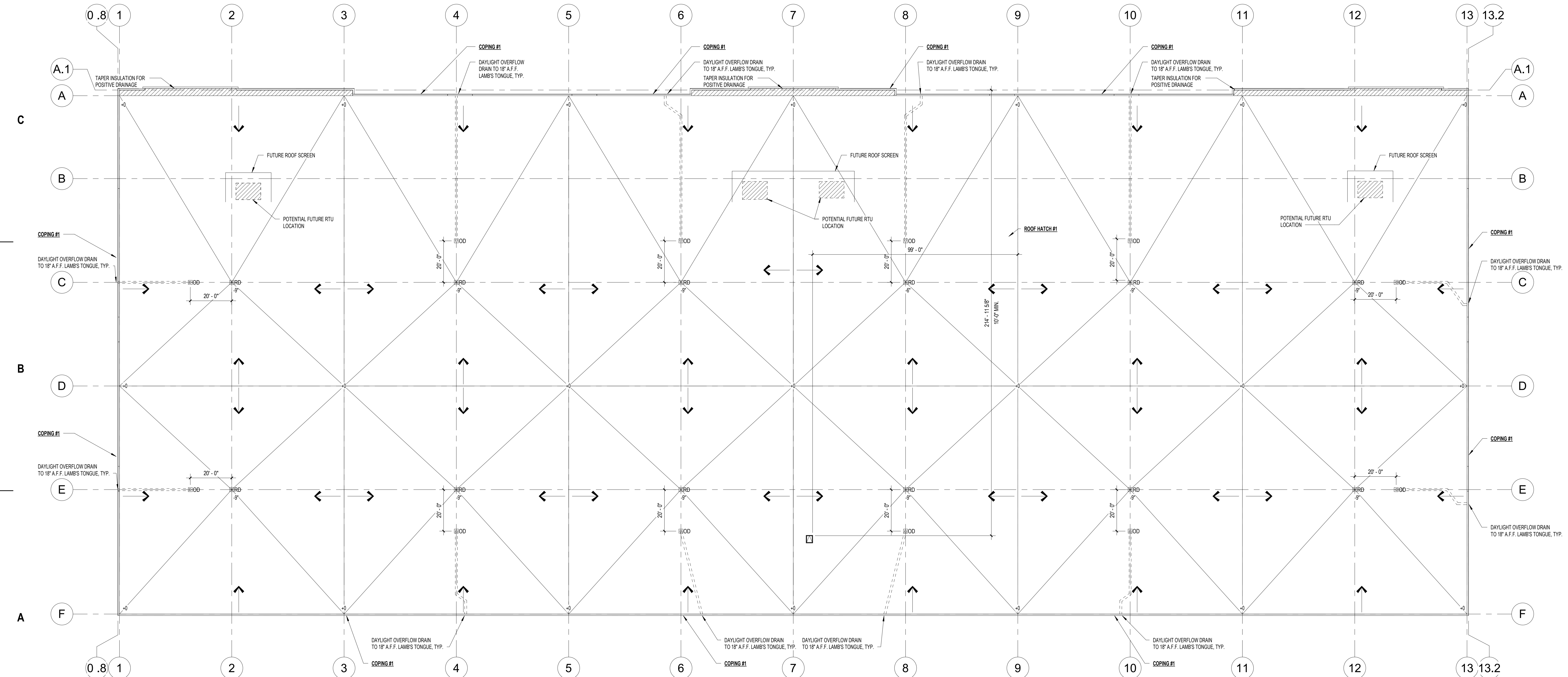
11 DECEMBER 2019

| | |
|----------------|-----------------|
| PROJECT NUMBER | PROJECT MANAGER |
| 16004-00 | NZ/JK |

ROOF PLAN

A109

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35 T/O PRECAST PANEL
3/64" = 1'-0"



| EXTERIOR MATERIAL FINISH SCHEDULE | | | |
|--|---|-----------------|--|
| EXTERIOR ALUMINUM WINDOW / DOOR FINISH | BLACK ANODIZED ALUMINUM - THERMALLY BROKEN GLAZING SYSTEM W/ 1" INSULATED LOW-E GRAY ANNEALED TINTED GLASS. | COLOR 1 (PT-1): | SHERWIN WILLIAMS, 'PASSIVE' SW7064 |
| GLASS | 1" OPTIGRAY LOW-E GLASS BY PRG - REFER TO BUILDING ASSEMBLIES FOR MORE INFORMATION | COLOR 2 (PT-2): | SHERWIN WILLIAMS 'ARGOS' SW7065 |
| PREFINISHED METAL FLASHING, COPING, ETC. | PREFINISHED METAL COPING, METAL ERA, COLOR: 'MATTE BLACK' OR EQUAL. | COLOR 3 (PT-3): | SHERWIN WILLIAMS 'GRAY MATTERS' SW7066 |
| METAL TRIM/ CANOPY | PREFINISHED METAL PANEL, COLOR: BLACK ANODIZED OR EQUAL COLOR TONE | COLOR 4 (PT-4): | SHERWIN WILLIAMS 'CITYSCAPE' SW7067 |
| 1. PROVIDE SEALANT COLOR SAMPLES TO ARCHITECT FOR APPROVAL. 2. PROVIDE COPING, BREAK METAL, PAINT DRAW DOWNS, ETC. SAMPLES TO ARCHITECT FOR APPROVAL. | | COLOR 5 (PT-5): | SHERWIN WILLIAMS 'EARTHEN JUG' SW7703 |

| BUILDING ASSEMBLIES |
|-------------------------|
| FOUNDATION SYSTEM #1 |
| FLOOR #1 |
| EXTERIOR WALL SYSTEM #1 |
| GLAZING SYSTEM #1 |
| GLASS COMPOSITION |
| ROOF SYSTEM #1 |
| ROOF ACCESS LADDER #1 |
| ROOF HATCH #1 |
| SOFFIT SYSTEM #1 |

| BUILDING ASSEMBLIES |
|-------------------------------------|
| WALL COPING / GRAVEL STOP SYSTEM #1 |
| EXIT MAN DOOR #1 |
| OVERHEAD DOOR #1 |
| OVERHEAD DOCK DOOR #1 |

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PROJECT INFORMATION:

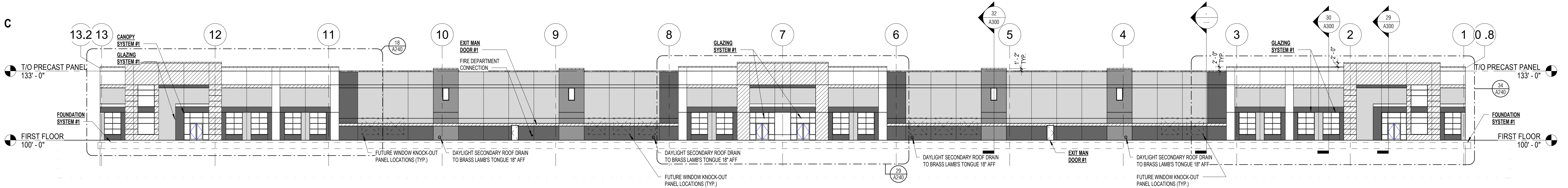
Interstate Partners LLC
Real Estate Development

GREEN ROAD SPEC
INDUSTRIAL BUILDING

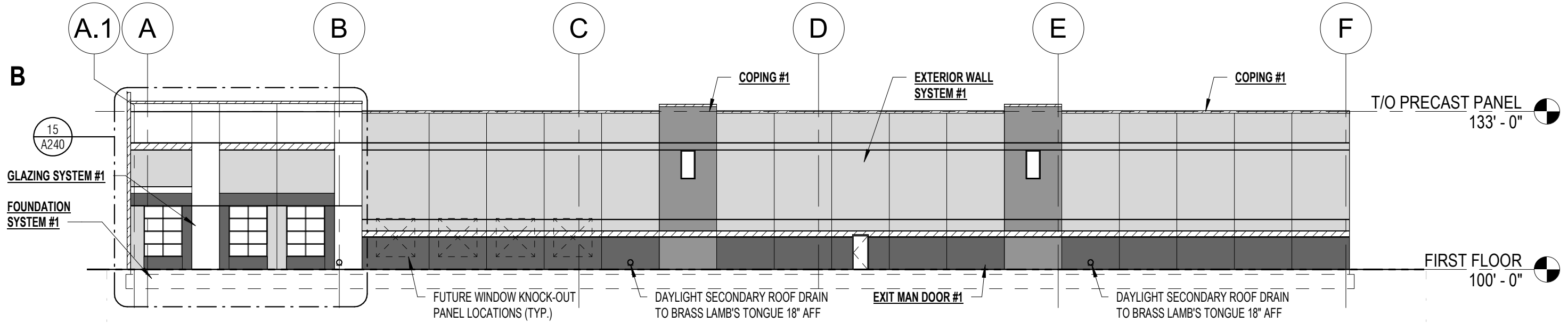
N30 W22805 GREEN RD
GREEN ROAD COMMERCE
CENTER
PEWAUKEE, WI 53072

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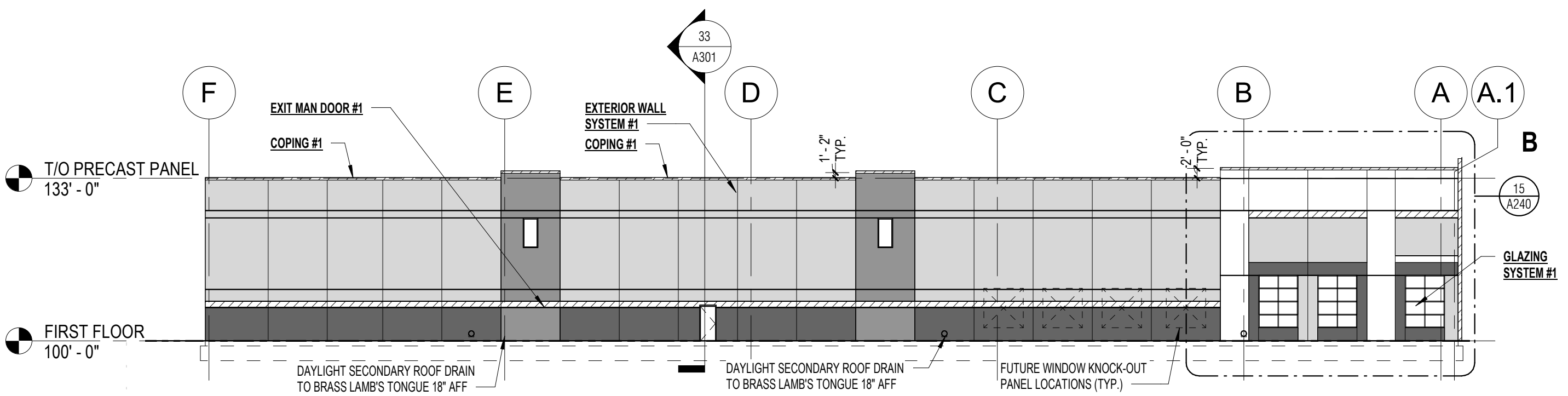
PLAN COMMISSION
SUBMITTAL



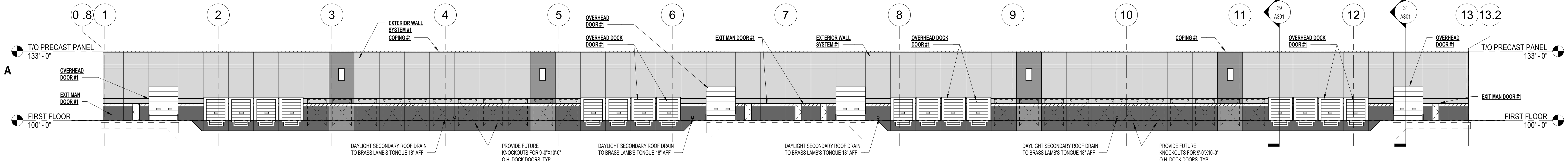
21 ELEVATION - OVERALL NORTH ELEVATION
3/64" = 1'-0"



23 ELEVATION - OVERALL WEST ELEVATION
3/64" = 1'-0"



28 ELEVATION - OVERALL EAST ELEVATION
3/64" = 1'-0"



35 ELEVATION - OVERALL SOUTH ELEVATION
3/64" = 1'-0"

| REVISIONS | | |
|-----------|------|-------------|
| # | DATE | DESCRIPTION |

| | | |
|------------------|----------------|-----------------|
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OVERALL BUILDING
ELEVATIONS

A200

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1

2

3

4

5

6

7

E

D

C

B

A



13 ENLARGED ELEVATION
1/16" = 1'-0"



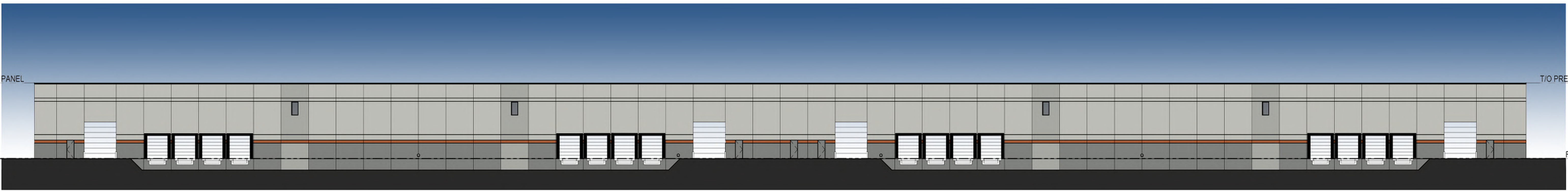
20 ELEVATION - OVERALL NORTH COLOR ELEVATION
3/64" = 1'-0"



23 ELEVATION - OVERALL WEST COLOR ELEVATION
3/64" = 1'-0"



27 ELEVATION - OVERALL EAST COLOR ELEVATION
3/64" = 1'-0"



34 ELEVATION - OVERALL SOUTH COLOR ELEVATION
3/64" = 1'-0"



PROJECT INFORMATION:



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| 16004-00 | NZ/JK |

OVERALL COLOR ELEVATIONS-ALTERNATE

A210

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2

3

4

5

6

7

E

D

C

B

A



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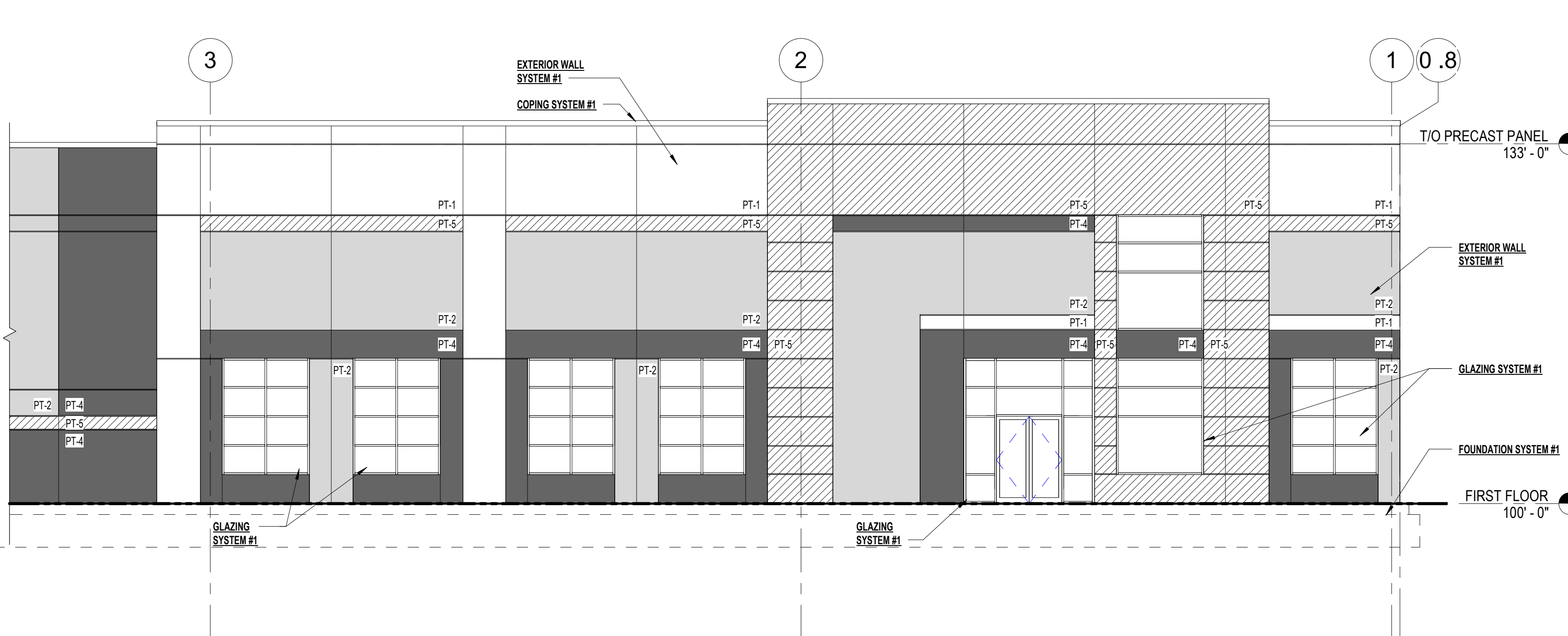
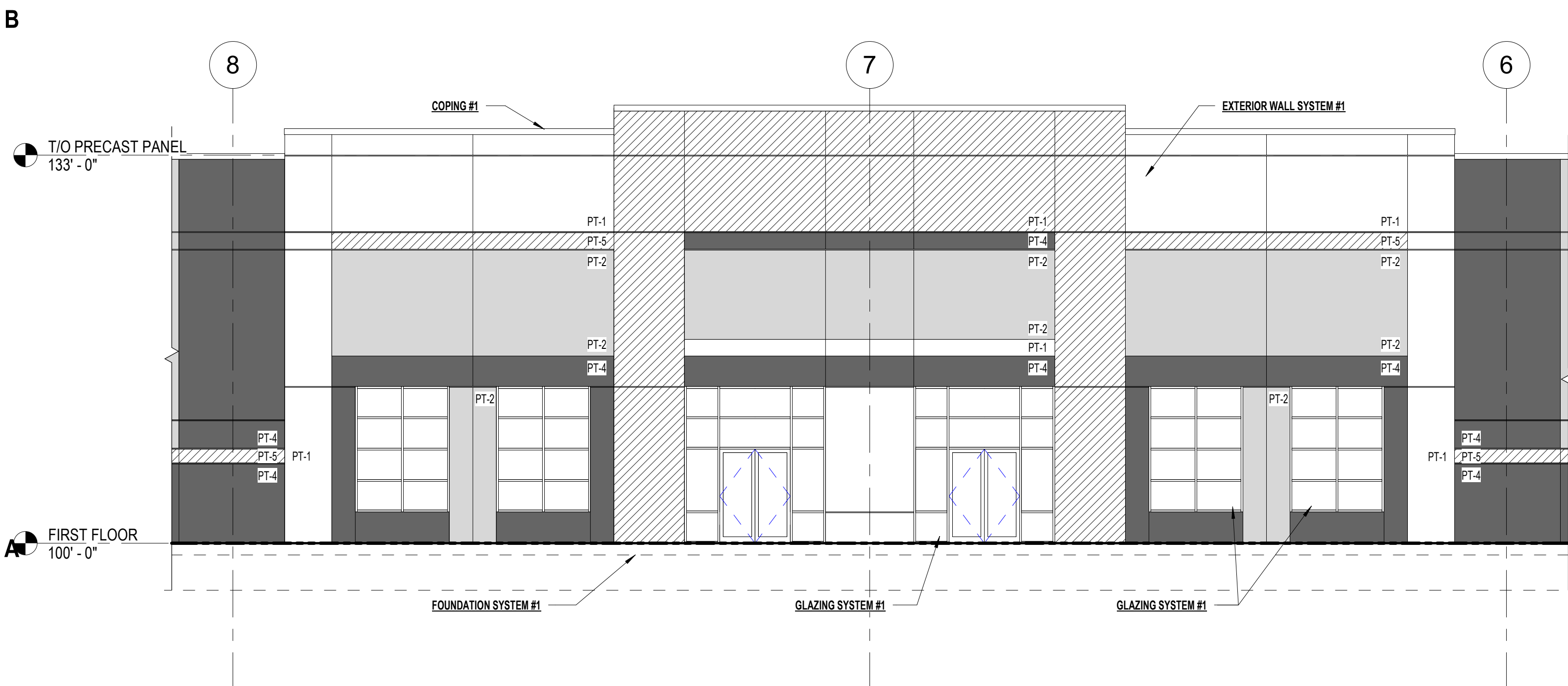
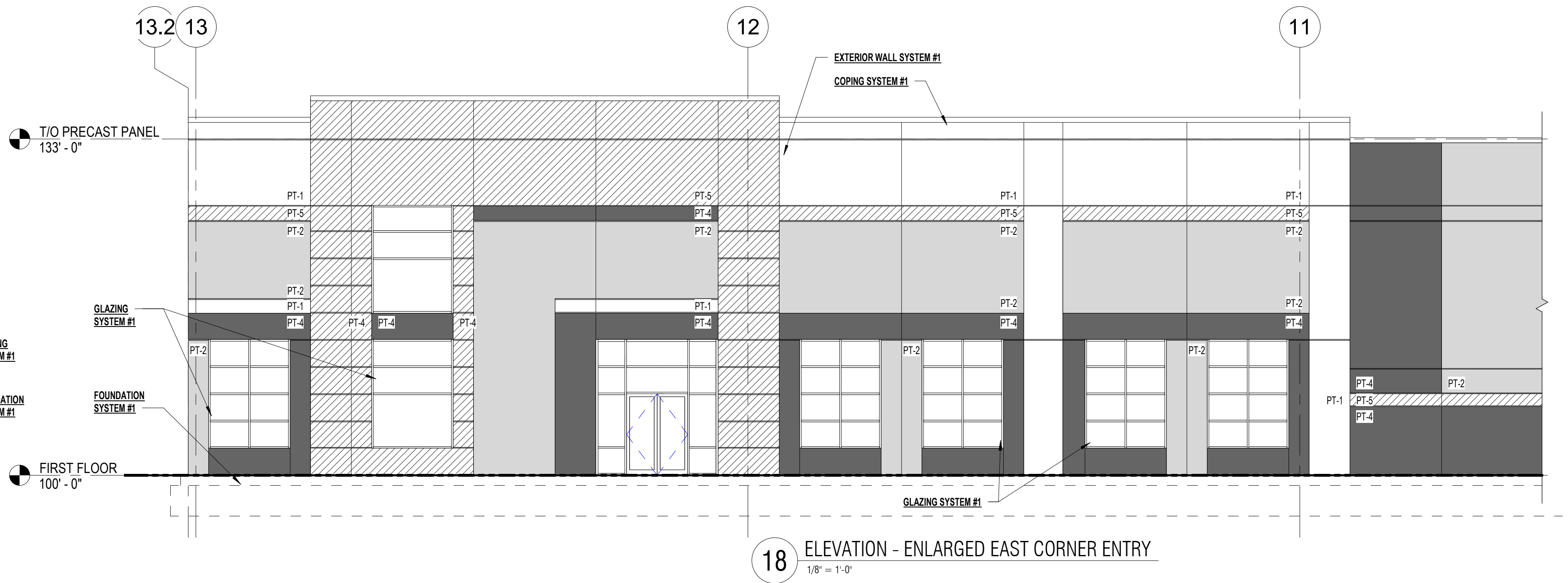
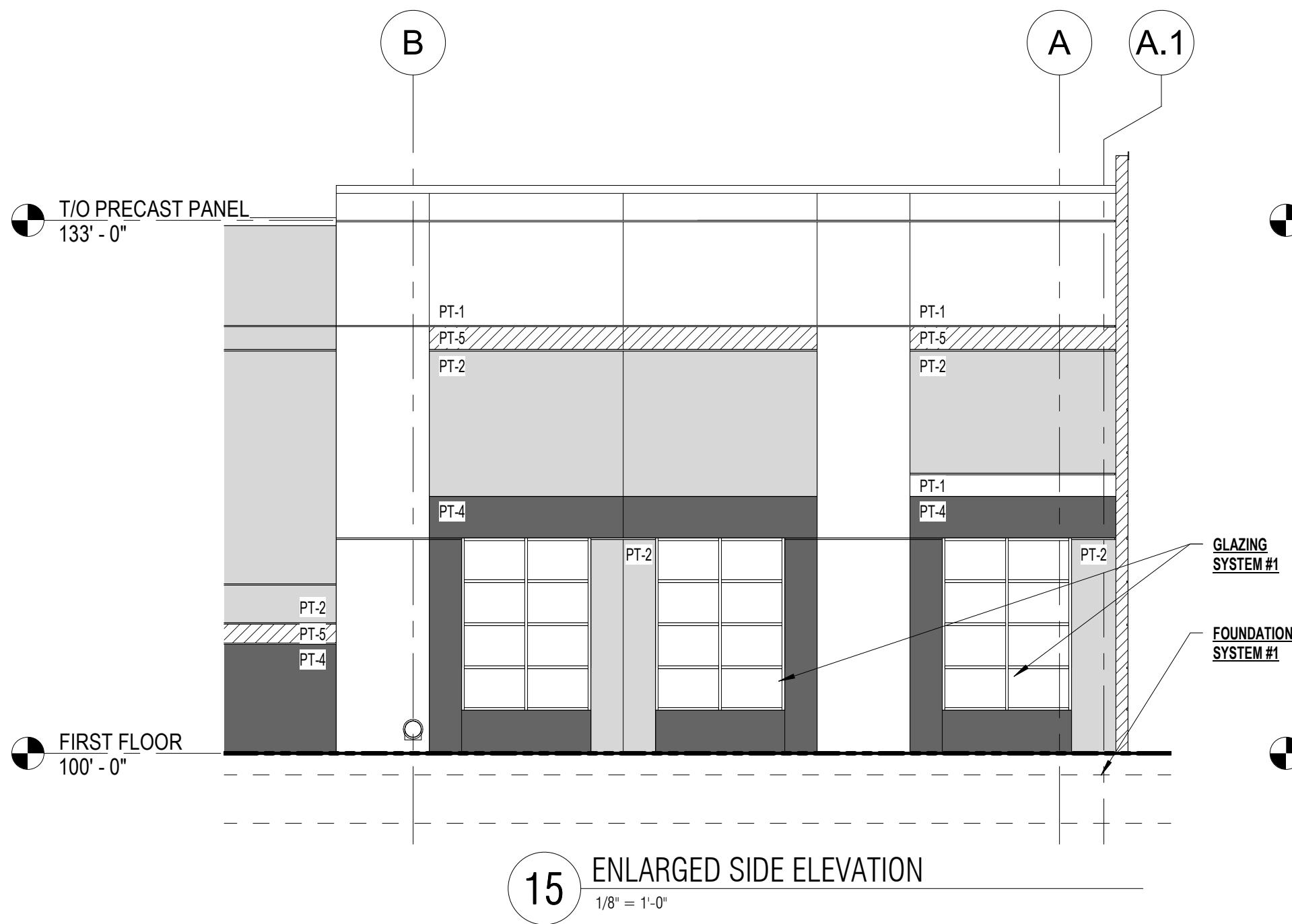
COLOR PERSPECTIVE

A221

| EXTERIOR MATERIAL FINISH SCHEDULE | | |
|--|---|--|
| EXTERIOR ALUMINUM WINDOW / DOOR FINISH | BLACK ANODIZED ALUMINUM - THERMALLY BROKEN GLAZING SYSTEM W/ 1" INSULATED LOW-E GRAY ANNEALED TINTED GLASS. | COLOR 1 (PT-1): SHERWIN WILLIAMS 'PASSIVE' SW7084 |
| GLASS | 1" OPT/GRAY LOW-E GLASS BY PPG - REFER TO BUILDING ASSEMBLIES FOR MORE INFORMATION | COLOR 2 (PT-2): SHERWIN WILLIAMS 'ARGOS' SW7065 |
| PREFINISHED METAL FLASHING, COPING, ETC. | PREFINISHED METAL COPING. METAL ERA. COLOR: 'MATTIE BLACK' OR EQUAL | COLOR 3 (PT-3): SHERWIN WILLIAMS 'GRAY MATTERS' SW7066 |
| METAL TRIM / CANOPY | PREFINISHED METAL PANEL. COLOR: BLACK ANODIZED OR EQUAL COLOR TONE | COLOR 4 (PT-4): SHERWIN WILLIAMS 'CITYSCAPE' SW7067 |
| 1. PROVIDE SEALANT COLOR SAMPLES TO ARCHITECT FOR APPROVAL. 2. PROVIDE COPING, BREAK METAL, PAINT DRAW DOWNS, ETC. SAMPLES TO ARCHITECT FOR APPROVAL. | | COLOR 5 (PT-5): SHERWIN WILLIAMS 'EARTHEN JUG' SW7703 |

| BUILDING ASSEMBLIES | |
|-------------------------|---|
| FOUNDATION SYSTEM #1 | |
| FLOOR #1 | POURED-IN-PLACE 6" THICK CONCRETE SLAB ON GRADE WITH STEEL REINFORCING AS SPECIFIED IN STRUCTURAL DRAWINGS. PROVIDE CONTINUOUS 10-MIL POLYETHYLENE VAPOR BARRIER OVER 6" COMPACTED STONE BASE PRIOR TO PLACING CONCRETE SLAB IN ENTIRE BUILDING. PROVIDE VERSA FLEX JOINT FILL OVER BOND BREAKER FILLER AT COLUMNS AND CONCRETE SLAB SAWCUT CONTROL JOINTS. (SEE STRUCTURAL DRAWINGS FOR FLOOR SLAB REINFORCING, CONTROL JOINT LOCATIONS AND SPECIFIC INFORMATION.) |
| EXTERIOR WALL SYSTEM #1 | 9" NOMINAL OR PRECASTER ENGINEER PREFERENCE. INSULATED (3/12/3) R-12 MIN., LOAD-BEARING ARCHITECTURAL PRECAST CONCRETE PANELS WITH REVEALS AND FINISH AS DEPICTED IN EXTERIOR ELEVATIONS. EXTERIOR FACE OF PANELS TO BE PAINTED WITH LIXION MASONRY / CONCRETE PAINT BY SHERWIN WILLIAMS - 100% ACRYLIC LATEX. ALL DOOR AND WINDOW OPENINGS TO BE FORMED WITH INTEGRAL DRIP AT THE HEAD OF THE OPENING AND POSITIVE SLOPED SILL. PROVIDE SEALANT AND BACKER ROD AT ALL VERTICAL PANEL JOINTS (INTERIOR AND EXTERIOR). (SEE ELEVATIONS AND WALL SECTIONS FOR LOCATIONS OF REVEALS, PANEL ARTICULATIONS, AND WALL PANEL LAYOUT.) REFER TO EXTERIOR MATERIAL FINISH SCHEDULE FOR PAINT COLOR SELECTIONS. |
| GLAZING SYSTEM #1 | VISION GLASS: 1" INSULATED LIGHT GRAY TINTED LOW-E GLASS. ALUMINUM GLAZING SYSTEM: 'TRIFAB 451UT SYSTEM' BY KAWNEER OR EQUAL. THIS IS A CENTER GLAZED STOREFRONT SYSTEM. 2" WIDE x 4 1/2" DEEP IN BLACK ANODIZED ALUMINUM FINISH. 1" INSULATED LOW-E TINTED GLASS UNITS WITH THERMAL BREAK. SILL FLASHING, EXTERIOR METAL CLOSURES AND SINGS ATTACHED TO EXTERIOR PRECAST WALL PANEL. 2" WIDE MULLION COVERS TYPICAL UNLESS NOTED OTHERWISE. ALL DOORS TO BE MEDIUM STYLE FRAMES. |
| GLASS COMPOSITION | INSULATED GLASS: 1" GRAY TINTED INSULATED GLASS UNIT IN THERMALLY BROKEN BLACK ANODIZED ALUMINUM FRAME. 1/4" CLEAR, 1/2" AIR SPACE, 1/4" LOW-E COATING ON GRAY TINTED. PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL. |
| ROOF SYSTEM #1 | 45-MIL SINGLE-PLY EPDM BALLASTED MEMBRANE ON ONE (1) LAYER OF 2 1/2" POLYISOCYANURATE INSULATION WITH INTEGRAL BARRIER BOARD AND ONE (1) LAYER OF 2 1/2" POLYISOCYANURATE INSULATION WITH STAGGERED JOINTS AND MINIMUM R-26 VALUE. PROVIDE TAPERING OF ROOF INSULATION AS REQUIRED FOR SADDLES AND FLAT STRUCTURE AREAS TO ROOF DRAINS. 20 GA. MINIMUM METAL DECK OVER STRUCTURAL STEEL JOISTS. STRUCTURAL STEEL TO PITCH TO ROOF DRAINS. - SEE STRUCTURAL DRAWINGS. |
| ROOF ACCESS LADDER #1 | PROVIDE AND INSTALL CAGED INTERIOR STEEL ROOF ACCESS LADDER WITH INTERMEDIATE PLATFORM FOR ROOF ACCESS PER OSHA REQUIREMENTS INSIDE MECHANICAL ROOM. PRIME AND PAINT GRAY. |
| ROOF HATCH #1 | PROVIDE TYPE US SIZE 2'-6" WIDE x 3'-6" LONG ROOF ACCESS HATCH BY BILCO ON STRUCTURALLY FRAMED OPENING. - SEE STRUCTURAL DRAWINGS. HATCH TO BE FINISH PAINTED W/ SKYLIGHT. |
| SOFFIT SYSTEM #1 | DENS GLASS GOLD SHEATHING SOFFIT WITH BASE AND FINISH COAT APPLIED. SHEATHING TO BE APPLIED TO UNDERSIDE OF COLD FORMED METAL FRAMING W/ 6" BATT INSULATION OVER VAPOR BARRIER. |

| BUILDING ASSEMBLIES | |
|-------------------------------------|---|
| WALL COPING / GRAVEL STOP SYSTEM #1 | PREFINISHED 2-Piece METAL WALL COPING WITH 6" FACE ON 2x4 WOOD ROOF BLOCKING, ANCHORED SECURELY TO TOP OF PRECAST WALL @ 4'-0" O.C. WITH 3/8" DIAMETER ANCHORS. EXTEND ROOF MEMBRANE OVER WALL AND TERMINATE UNDER COPING SYSTEM. COLOR TBD. PROVIDE GRAVEL STOP ROOF COPING AT A MAJORITY OF ROOF AREA. |
| EXIT MAN DOOR #1 | 14 GA. GALVANIZED INSULATED LAMINATED CORE HOLLOW METAL DOOR (FLUSH), PRIMED AND PAINTED, COLOR TBD. INSULATED HOLLOW METAL FRAMES W/ THRESHOLD, WEATHERSTRIPPING AND DRIP CAP HEAD. |
| OVERHEAD DOOR #1 | 14'-0"x16'-0" INSULATED PREFINISHED STEEL OVERHEAD DOOR WITH (2) VISION PANELS AND ELECTRIC OPERATOR. VERTICAL TRACK AND FRAME ASSEMBLY TO BE GALVANIZED STEEL. EXTERIOR FACE OF DOOR TO BE PREFINISHED WHITE. |
| OVERHEAD DOOR DOOR #1 | 9'-0" x 10'-0" HEAVY DUTY INSULATED (R12) PREFINISHED STEEL OVERHEAD DOOR WITH (2) VISION PANELS AND WEATHERSTRIPPING. VERTICAL TRACK ASSEMBLY AND FRAME TO HAVE GALVANIZED FINISH. ELECTRIC OPERATOR WITH 40" SWING ARM DOCK LIGHT. PROVIDE DOCK SEAL WITH 40 OZ. VINYL HYPALON ARMOR PLEATS WITH 8" EXPOSURE AND FULLY ADJUSTABLE HEAD CURTAINS. VERIFY SEAL AND OTHER REQUIREMENTS WITH MANUFACTURER. PROVIDE 7'x8" 35,000PSI MECHANICAL DOCK LEVELER (SERCO OR EQUAL) AT RECESSED DOOR DOOR LOCATIONS-VERIFY PRT DIMENSIONS WITH DOCK LEVELER MFG. PROVIDE WEATHER SEALS, RUBBER DOCK BUMPERS WITH 3/4" DIA. GALVANIZED EXPANSION BOLTS FOR ANCHORING. EXTERIOR FACE OF DOOR TO BE PREFINISHED WHITE. |



N16 W23217 STONE RIDGE DRIVE, SUITE 300
WAUKESHA, WI 53188 | www.jaknetter.com
office 262 513 9800 | fax 262 513 9815

PROJECT INFORMATION:



GREEN ROAD SPEC
INDUSTRIAL BUILDING

N30 W22805 GREEN RD
GREEN ROAD COMMERCE
CENTER
PEWAUKEE, WI 53072

DRAWING ISSUANCE:

PLAN COMMISSION
SUBMITTAL

| REVISIONS | | |
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| # | DATE | DESCRIPTION |

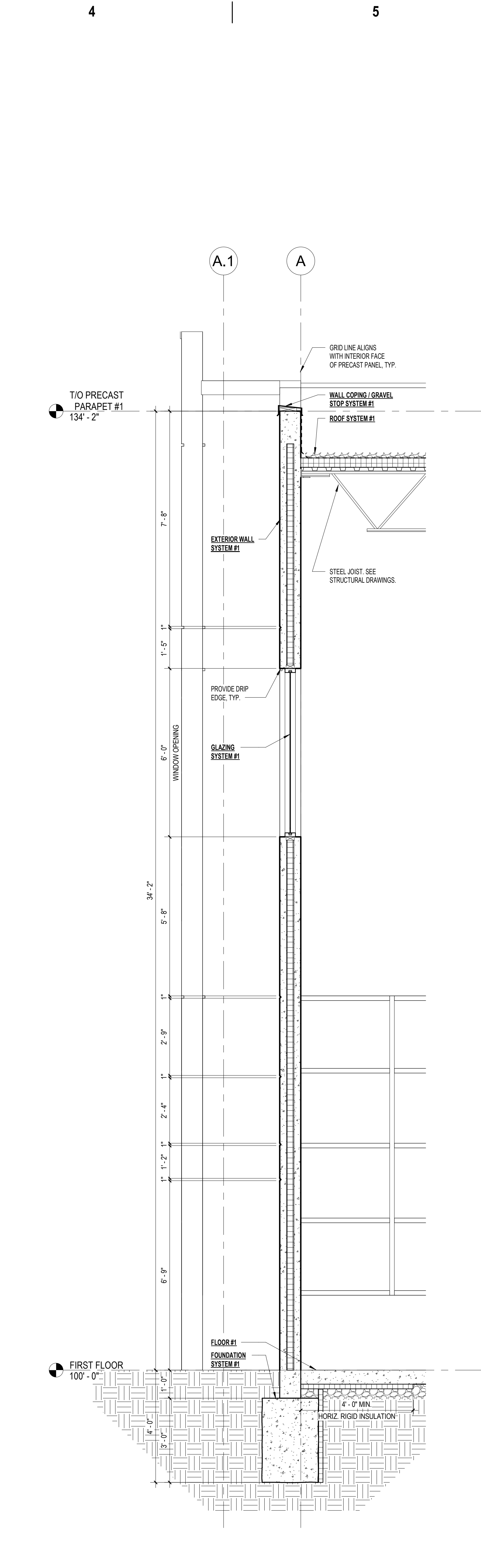
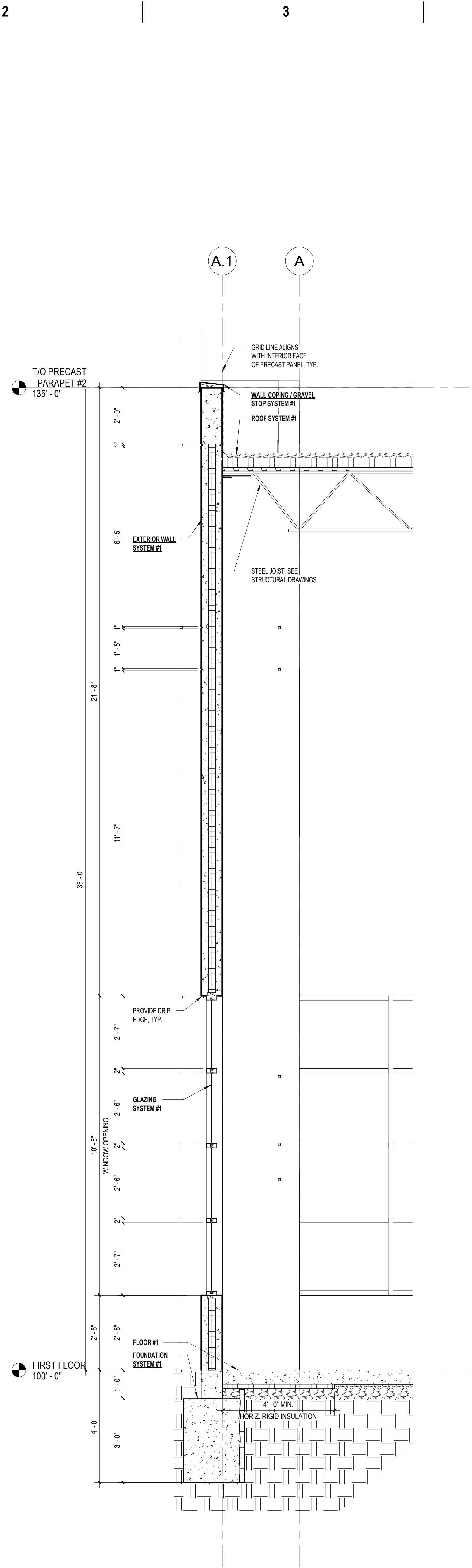
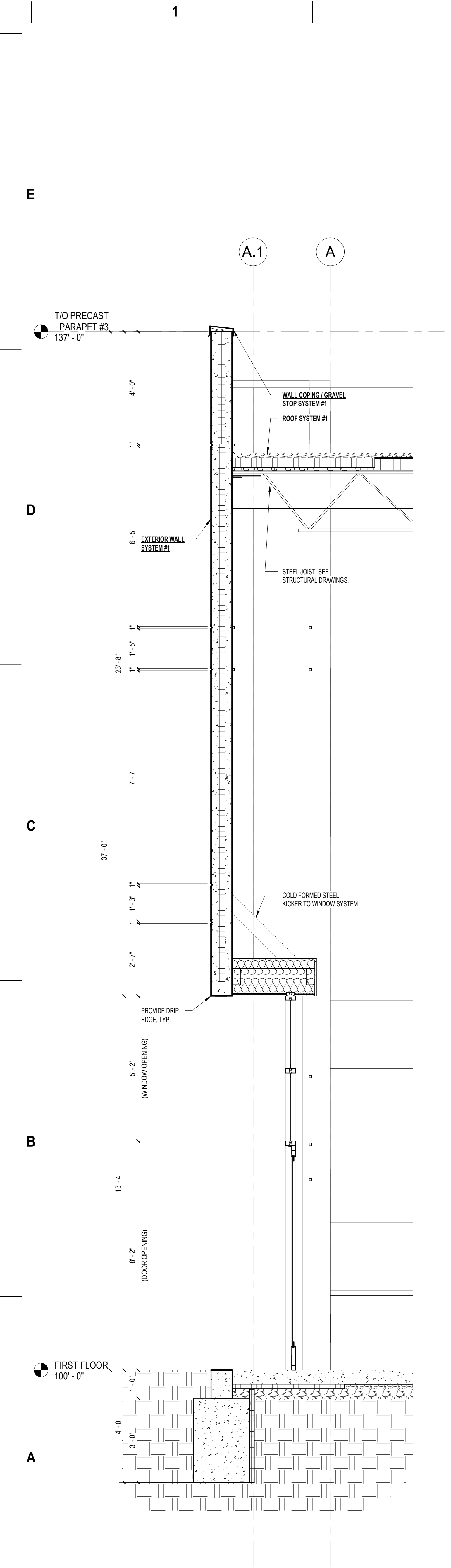
11 DECEMBER 2019

PROJECT NUMBER PROJECT MANAGER
16004-00 NZ/JK

ENLARGED ELEVATIONS

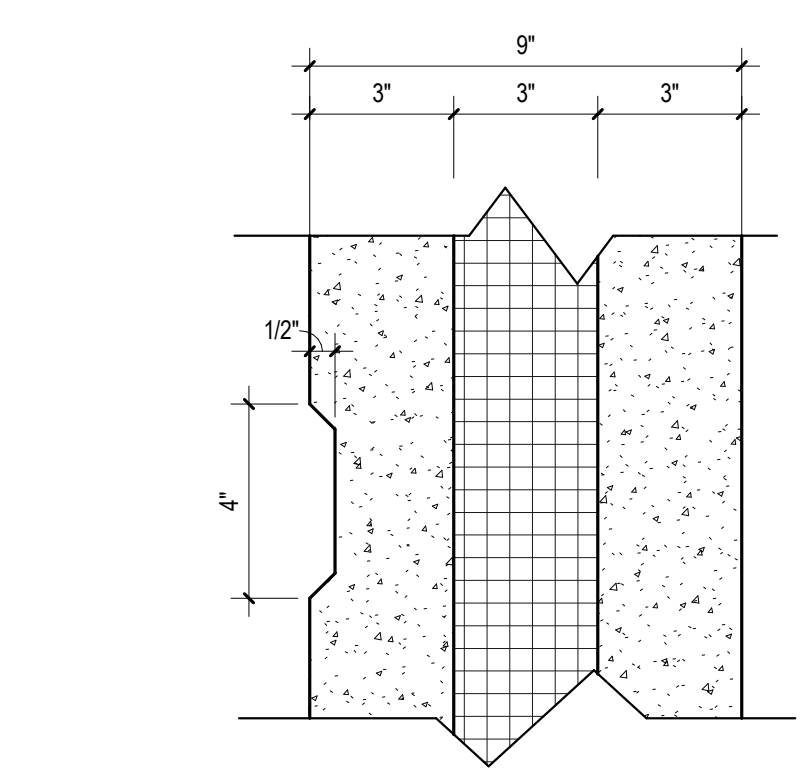
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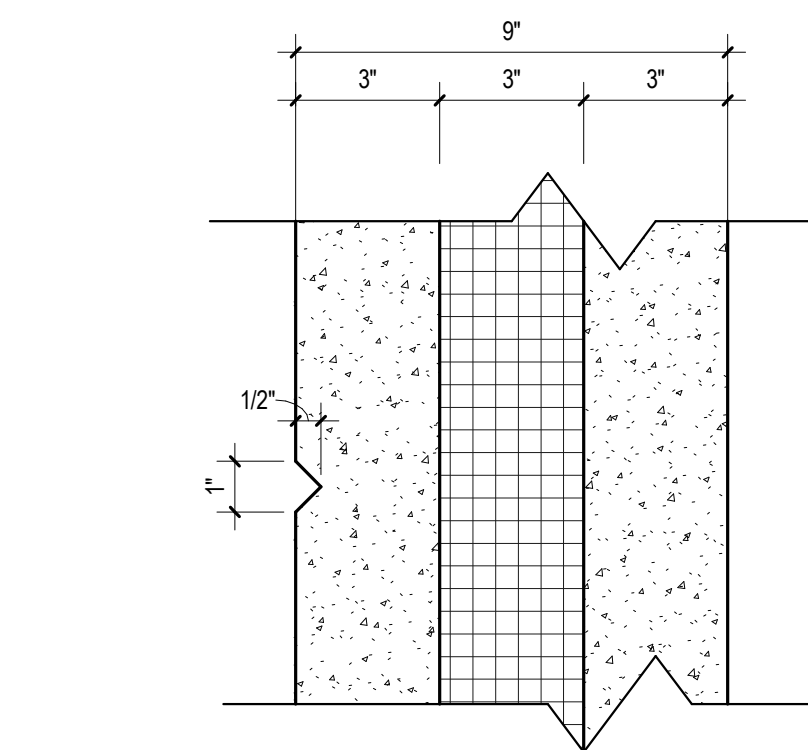


| BUILDING ASSEMBLIES |
|--------------------------------|
| FOUNDATION SYSTEM #1 |
| FLOOR #1 |
| EXTERIOR WALL SYSTEM #1 |
| GLAZING SYSTEM #1 |
| GLASS COMPOSITION |
| ROOF SYSTEM #1 |
| ROOF ACCESS LADDER #1 |
| ROOF HATCH #1 |
| SOFFIT SYSTEM #1 |

| BUILDING ASSEMBLIES |
|--|
| WALL COPING / GRAVEL STOP SYSTEM #1 |
| EXIT MAIN DOOR #1 |
| OVERHEAD DOOR #1 |
| OVERHEAD DOCK DOOR #1 |



21 TYPICAL 14" PRECAST REVEAL
3" = 1'-0"



35 TYPICAL 1" PRECAST DETAIL
3" = 1'-0"



N16 W23217 STONE RIDGE DRIVE, SUITE 300
WAUKESHA, WI 53188 | www.jaknetter.com
office 262 513 9800 | fax 262 513 9815

PROJECT INFORMATION:



GREEN ROAD SPEC INDUSTRIAL BUILDING

N30 W22805 GREEN RD
GREEN ROAD COMMERCE CENTER
PEWAUKEE, WI 53072

DRAWING ISSUANCE:

PLAN COMMISSION SUBMITTAL

| # | DATE | DESCRIPTION |
|---|------|-------------|
|---|------|-------------|

| | |
|------------------|-----------------|
| 11 DECEMBER 2019 | |
| PROJECT NUMBER | PROJECT MANAGER |
| 16004-00 | NZ/JK |

WALL SECTIONS

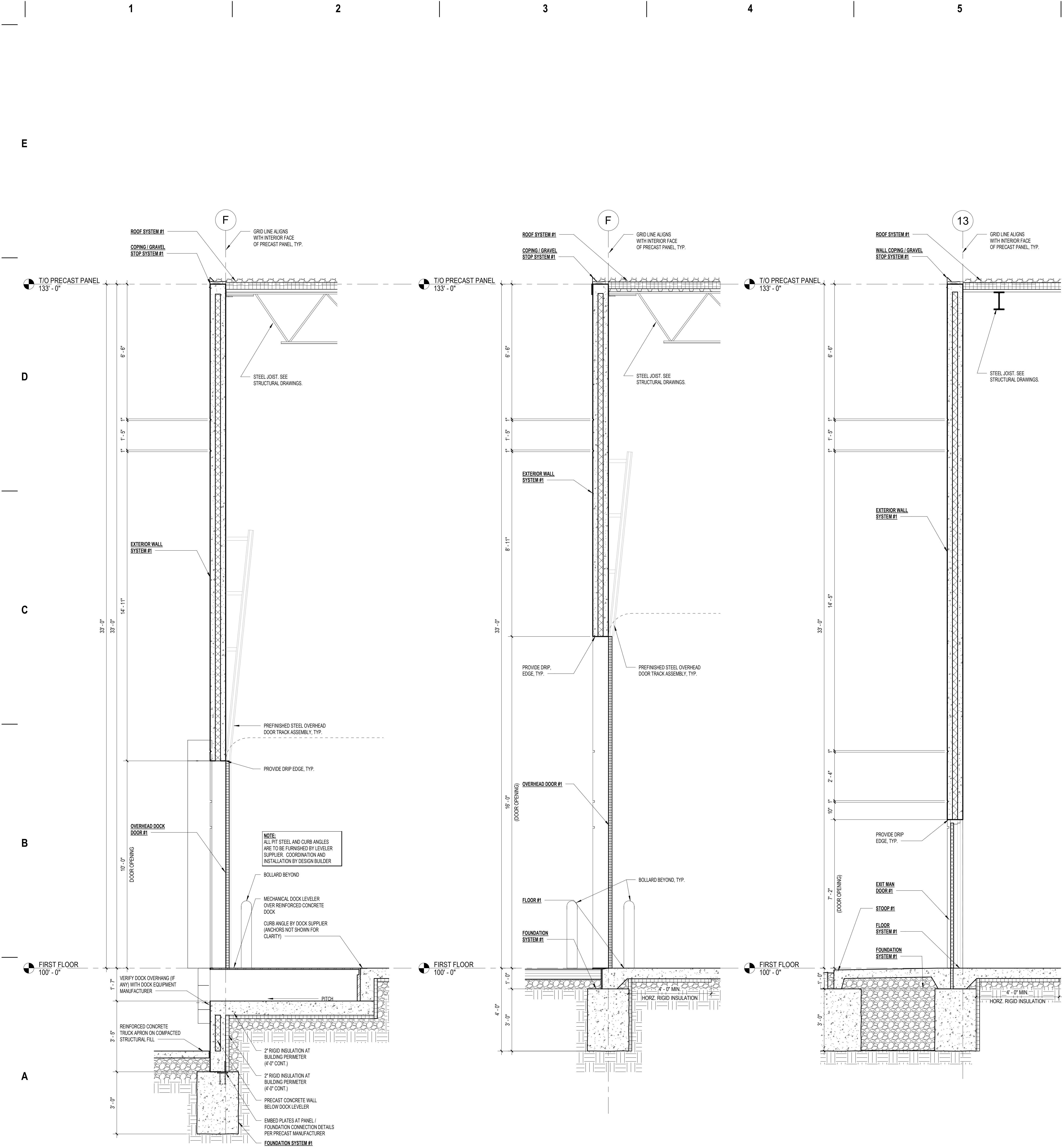
A300

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29 WALL SECTION
1/2" = 1'-0"

30 WALL SECTION
1/2" = 1'-0"

32 WALL SECTION
1/2" = 1'-0"



| BUILDING ASSEMBLIES | BUILDING ASSEMBLIES |
|---|---|
| <p>FOUNDATION SYSTEM #1</p> <p>FLOOR #1</p> <p>POURED-IN-PLACE 6" THICK CONCRETE SLAB ON GRADE WITH STEEL REINFORCING AS SPECIFIED IN STRUCTURAL DRAWINGS. PROVIDE CONTINUOUS 10-MIL POLYETHYLENE VAPOR BARRIER OVER 6" COMPACTED STONE BASE PRIOR TO PLACING CONCRETE SLAB IN ENTIRE BUILDING. PROVIDE VERSA FLEX JOINT FILL OVER BOND BREAKER FILLER AT COLUMNS AND CONCRETE SLAB SAWCUT CONTROL JOINTS. (SEE STRUCTURAL DRAWINGS FOR FLOOR SLAB REINFORCING, CONTROL JOINT LOCATIONS AND SPECIFIC INFORMATION.)</p> <p>EXTERIOR WALL SYSTEM #1</p> <p>9" NOMINAL OR PRECASTER ENGINEER PREFERENCE, INSULATED (3/32") R-12 MIN., LOAD-BEARING ARCHITECTURAL PRECAST CONCRETE PANELS WITH REVEALS AND FINISH AS DEPICTED IN EXTERIOR ELEVATIONS. EXTERIOR FACE OF PANELS TO BE PAINTED WITH COLORED MASONRY / CONCRETE PAINT BY SHERWIN WILLIAMS - 100% ACRYLIC LATEX. ALL DOOR AND WINDOW OPENINGS TO BE FORMED WITH INTEGRAL DRIP AT THE HEAD OF THE OPENING AND POSITIVE SLOPED SILL. PROVIDE SEALANT AND BACKER ROD AT ALL VERTICAL PANEL JOINTS (INTERIOR AND EXTERIOR). (SEE ELEVATIONS AND WALL SECTIONS FOR LOCATIONS OF REVEALS, PANEL ARTICULATIONS, AND WALL PANEL LAYOUT.) REFER TO EXTERIOR MATERIAL FINISH SCHEDULE FOR PAINT COLOR SELECTIONS.</p> <p>GLAZING SYSTEM #1</p> <p>VISION GLASS: 1" INSULATED LIGHT GRAY TINTED LOW-E GLASS. ALUMINUM GLAZING SYSTEM: "TRIFAB 451UT SYSTEM" BY KAWNEER OR EQUAL. THIS IS A CENTER GLAZED STOREFRONT SYSTEM - 2" WIDE x 4 1/2" DEEP IN BLACK ANODIZED ALUMINUM FINISH. 1" INSULATED LOW-E, TINTED GLASS UNITS WITH THERMAL BREAK, GILL FLASHING, EXTERIOR METAL CLOSURES AND SINGS ATTACHED TO EXTERIOR PRECAST WALL PANEL. 2" WIDE MULLION COVERS TYPICAL UNLESS NOTED OTHERWISE. ALL DOORS TO BE MEDIUM STYLE FRAMES.</p> <p>GLASS COMPOSITION</p> <p>INSULATED GLASS: 1" GRAY TINTED INSULATED GLASS UNIT IN THERMALLY BROKEN BLACK ANODIZED ALUMINUM FRAME, 1/4" CLEAR, 1/2" AIR SPACE, 1/4" LOW-E COATING ON GRAY TINTED. PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL.</p> <p>ROOF SYSTEM #1</p> <p>45-MIL SINGLE-PLY EPDM BALLASTED MEMBRANE ON ONE (1) LAYER OF 2 3/8" POLYISOCYANURATE INSULATION WITH INTEGRAL BARRIER BOARD AND ONE (1) LAYER OF 2 3/8" POLYISOCYANURATE INSULATION WITH STAGGERED JOINTS AND MINIMUM R-25 VALUE. PROVIDE TAPERING OF ROOF INSULATION AS REQUIRED FOR SLOPES AND FLAT STRUCTURE AREAS TO ROOF DRAINS. 30 GA. MINIMUM METAL DECK OVER STRUCTURAL STEEL JOISTS. STRUCTURAL STEEL TO PITCH TO ROOF DRAINS. SEE STRUCTURAL DRAWINGS.</p> <p>ROOF ACCESS LADDER #1</p> <p>PROVIDE AND INSTALL CAGED INTERIOR STEEL ROOF ACCESS LADDER WITH INTERMEDIATE PLATFORM FOR ROOF ACCESS PER OSHA REQUIREMENTS INSIDE MECHANICAL ROOM. PRIME AND PAINT GRAY.</p> <p>ROOF HATCH #1</p> <p>PROVIDE TYPE US SIZE 2'-6" WIDE x 3'-6" LONG ROOF ACCESS HATCH BY BILCO ON STRUCTURALLY FRAMED OPENING - SEE STRUCTURAL DRAWINGS. HATCH TO BE FINISH PAINTED W/ SKYLIGHT.</p> <p>SOFFIT SYSTEM #1</p> <p>DENS GLASS GOLD SHEATHING SOFFIT WITH BASE AND FINISH COAT APPLIED. SHEATHING TO BE APPLIED TO UNDERSIDE OF COLD FORMED METAL FRAMING W/ 6" BATT INSULATION OVER VAPOR BARRIER.</p> | <p>WALL COPING / GRAVEL STOP SYSTEM #1</p> <p>PREFINISHED 2-PIECE METAL WALL COPING WITH 6" FACE ON 2x WOOD ROOF BLOCKING, ANCHORED SECURELY TO TOP OF PRECAST WALL @ 4'-0" O.C. WITH 3/8" DIAMETER ANCHORS. EXTEND ROOF MEMBRANE OVER WALL AND TERMINATE UNDER COPING SYSTEM. COLOR TBD. PROVIDE GRAVEL STOP ROOF COPING AT A MAJORITY OF ROOF AREA.</p> <p>EXIT MAN DOOR #1</p> <p>14 GA. GALVANIZED INSULATED LAMINATED CORE HOLLOW METAL DOOR (FLUSH), PRIMED AND PAINTED, COLOR TBD. INSULATED HOLLOW METAL FRAMES W/ THRESHOLD, WEATHERSTRIPPING AND DRIP CAP HEAD.</p> <p>OVERHEAD DOOR #1</p> <p>14'-0"x16'-0" INSULATED PREFINISHED STEEL OVERHEAD DOOR WITH (2) VISION PANELS AND ELECTRIC OPERATOR. VERTICAL TRACK AND FRAME ASSEMBLY TO BE GALVANIZED STEEL. EXTERIOR FACE OF DOOR TO BE PREFINISHED WHITE.</p> <p>OVERHEAD DOCK DOOR #1</p> <p>9'-0" x 10'-0" HEAVY DUTY INSULATED (R12) PREFINISHED STEEL OVERHEAD DOOR WITH (2) VISION PANELS AND WEATHERSTRIPPING. VERTICAL TRACK ASSEMBLY AND FRAME TO HAVE GALVANIZED FINISH. ELECTRIC OPERATOR WITH 40" SWING ARM DOCK LIGHT. PROVIDE DOCK SEAL WITH 40 1/2" VINYL HYPALON ARMOR PLEATS WITH 8" EXPOSURE AND FULLY ADJUSTABLE HEAD CURTAINS. VERIFY SEAL AND OTHER REQUIREMENTS WITH MANUFACTURER. PROVIDE 7'x8" 35.00MP MECHANICAL DOCK LEVELER (SEAL OR EQUAL) AT RECESSED DOCK DOOR LOCATIONS - VERIFY FIT DIMENSIONS WITH DOCK LEVELER MFG. PROVIDE WEATHER SEALS, RUBBER DOCK BUMPERS WITH 1/4" DIA. GALVANIZED EXPANSION BOLTS FOR ANCHORING. EXTERIOR FACE OF DOOR TO BE PREFINISHED WHITE.</p> |

JAK
architecture +
interior design
JAKnetter Architects

N16 W23217 STONE RIDGE DRIVE, SUITE 300
WAUKESHA, WI 53188 | www.jaknetter.com
office 262 513 9800 | fax 262 513 9815

PROJECT INFORMATION:

Interstate Partners LLC
Real Estate Development

GREEN ROAD SPEC
INDUSTRIAL BUILDING

N30 W22805 GREEN RD
GREEN ROAD COMMERCE
CENTER
PEWAUKEE, WI 53072

DRAWING ISSUANCE:

PLAN COMMISSION
SUBMITTAL

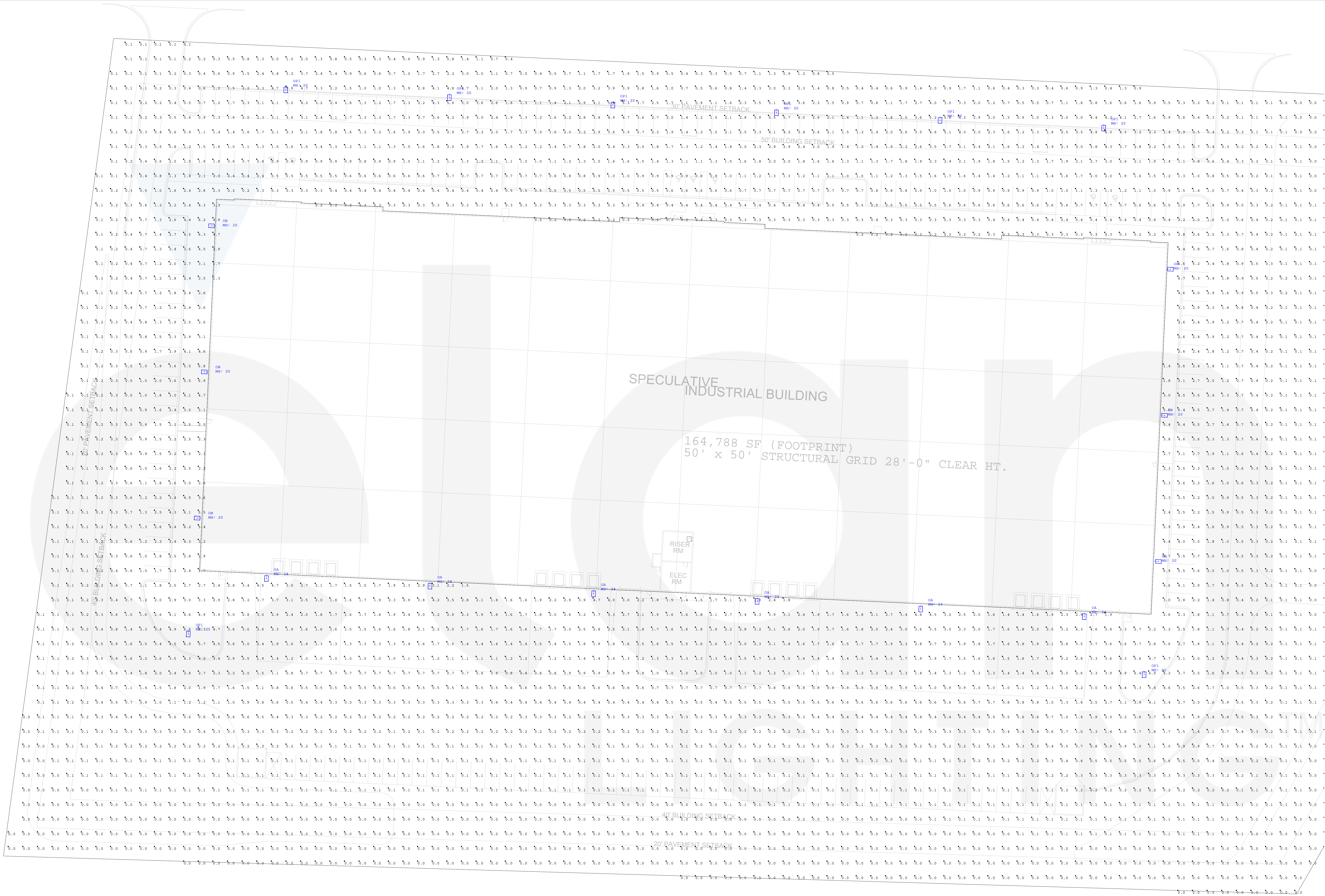
| REVISIONS | | |
|-----------|------|-------------|
| # | DATE | DESCRIPTION |

| | |
|------------------|-----------------|
| 11 DECEMBER 2019 | |
| PROJECT NUMBER | PROJECT MANAGER |
| 16004-00 | NZ/JK |

WALL SECTIONS

A301

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Scale: 1 inch= 24 Ft.

| Luminaire Schedule | | | | | | |
|--------------------|-------|----------|-------------------------|----------------------------------|--------|-------------|
| Symbol | Label | Quantity | Manufacturer | Catalog Number | Lumens | LLF Watts |
| | OP1 | 8 | Visionaire Lighting LLC | VSX-1 T4L 25L 4K | 22225 | 0.900 167.1 |
| | OA | 6 | Visionaire Lighting LLC | VSX-1 T4L 25L 4K WM (NEEDS BAWP) | 22225 | 0.900 167.1 |
| | OB | 6 | Visionaire Lighting LLC | VSX-1 T3L 25L 4K WM (NEEDS BAWP) | 22458 | 0.900 167.1 |

| Calculation Summary | | | | | | |
|---------------------|------|-----|-----|---------|---------|-------|
| Label | Avg | Max | Min | Avg/Min | Max/Min | Units |
| SITE_Planar | 0.89 | 6.9 | 0.0 | N.A. | N.A. | Fc |

Milwaukee Main Office
16350 W. Glendale Dr.
New Berlin, WI 53151
Phone: 262-785-0144
layouts@elanlighting.com

elan
LIGHTING SYSTEMS™

THESE CALCULATIONS ARE ESTIMATES
BASED ON INFORMATION AVAILABLE
AT TIME OF LAYOUT REQUEST AND
DO NOT REPRESENT ON-SITE
CONDITIONS WITH 100% ACCURACY.

Date:12/10/2019

Paper Size: ARCH E1 - 30x42

GREEN ROAD INDUSTRIAL SITE

SE100 SITE ELECTRICAL PHOTOMETRIC

overall dimensions: 96w x 120h - total square feet: 80



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APPROVED: _____

DATE: _____

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DATE: 11/11/2019

DESIGNED BY: Kat

FILE NAME: Bluemound

PROJECT DESCRIPTION: Monument

PROOF NUMBER: vs-1-1

Please Note: All Goods Remain The Property of Wisconsin Signs & Neon, LLC Until Paid For In Full.

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| | |
|----------------------|------------|
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| DESIGNED BY: | Kat |
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**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 8.**

DATE: December 19, 2019

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Possible Action Regarding a Potential Land Use Change for Properties Generally Located South of Capitol Drive (State Highway 190)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Redford Capitol CMP Review Staff Report



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of December 19, 2019

Date: December 11, 2019

Project Name: Discussion of potential land use change for properties generally located south of Capitol Drive (State Highway 190), north of Green Road, east of Redford Boulevard (County Highway F), and west of Duplainville Road

Project Address/Tax Key No.: Multiple Properties (see attached maps)

Current Zoning: See attached zoning map

2050 Land Use Map Designation: See attached future land use map

Introduction

Staff continually reviews the City's Year 2050 Land Use / Transportation Plan and has recently identified a large area that staff recommends be discussed further to determine the City's preferred and desired land use.

The subject area is generally located south of Capitol Drive (State Highway 190), north of Green Road, east of Redford Boulevard (County Highway F), and west of Duplainville Road. Surrounding land uses include single-family and two-family residential to the north, single-family residential and industrial to the south, commercial and industrial to the east and single-family and multi-family residential to the west.

The area consists of 18 properties, some that are developed, and total approximately 150 acres. The most significant developable parcel is a 61.66-acre agricultural property located at the southeast corner of Capitol Drive and Redford Boulevard.

The majority of this area is currently designated as Medium Density Residential. Additionally, there are Government/Institutional, Manufacturing/Fabrication/Warehousing, Transportation/Utilities, and Flood Plains, Lowland & Upland Conservancy and Other Natural Areas designations.

Supporting information is attached including a boundary map, an aerial, existing 2050 land use, existing zoning, a WDNR Map, and SEWRPC map for review and consideration.

Analysis

Considering the location of this area, surrounding land uses, zoning, and access staff finds that there are multiple potential land use options. It is reasonable that this area develop into single-family subdivisions as currently planned. However, it is also feasible that the area could support multi-family residential, nonresidential uses, or a mix of residential and nonresidential development.

As such, staff is bringing forward this area for discussion purposes to identify preferred land use options. If and when a development proposal is contemplated, this will allow staff to better direct property owners and applicants. Further, staff may better promote the development of this site if a desired land use is known and planned.

Recommendation

Discussion and direction related to the potential land uses for properties located south of Capitol Drive (State Highway 190), north of Green Road, east of Redford Boulevard (County Highway F), and west of Duplainville Road.

Next Steps

If the Plan Commission determines a change to the Comprehensive Master Plan is desired, staff would prepare a Comprehensive Master Plan Amendment Application and notice it for an upcoming meeting.

Note that amending the future land use designation does not change the zoning of these properties; however, will dictate future zoning changes and will allow staff to promote this area for the planned future land use.



Legend

- Civil Division Boundary
- Parks
- Assessment Data
- FEMA Floodplain
 - 0.2% Chance Flood
 - 1% Chance Flood (Zone A N
 - 1% Chance Flood Area (Zon
 - AE, Floodway
- Environmental Corridors
 - Water
 - Isolated Natural Resource A
 - Isolated Natural Resource A
 - Primary Env. Corridor
 - Primary Env. Corridor Water
 - Secondary Env. Corridor
 - Secondary Env. Corridor Wa
- Parcels
- Plats
- Retired Parcels
- Retired Plats
- Municipal Boundary_2K
- FacilitySites_2K_Labels
- Lots_2K
 - Lot
 - Outlot
- SimultaneousConveyance
 - Assessor Plat
 - CSM
 - Condominium
 - Subdivision
- Cartoline_2K
 - <all other values>
 - EA-Easement_Line
 - PL-DA
 - PL-Extended_Tie_line
 - PL-Meander_Line
 - PL-Note
 - PL-Tie
 - PL-Tie_Line
- Road_Centerlines_2K

0 644.34 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

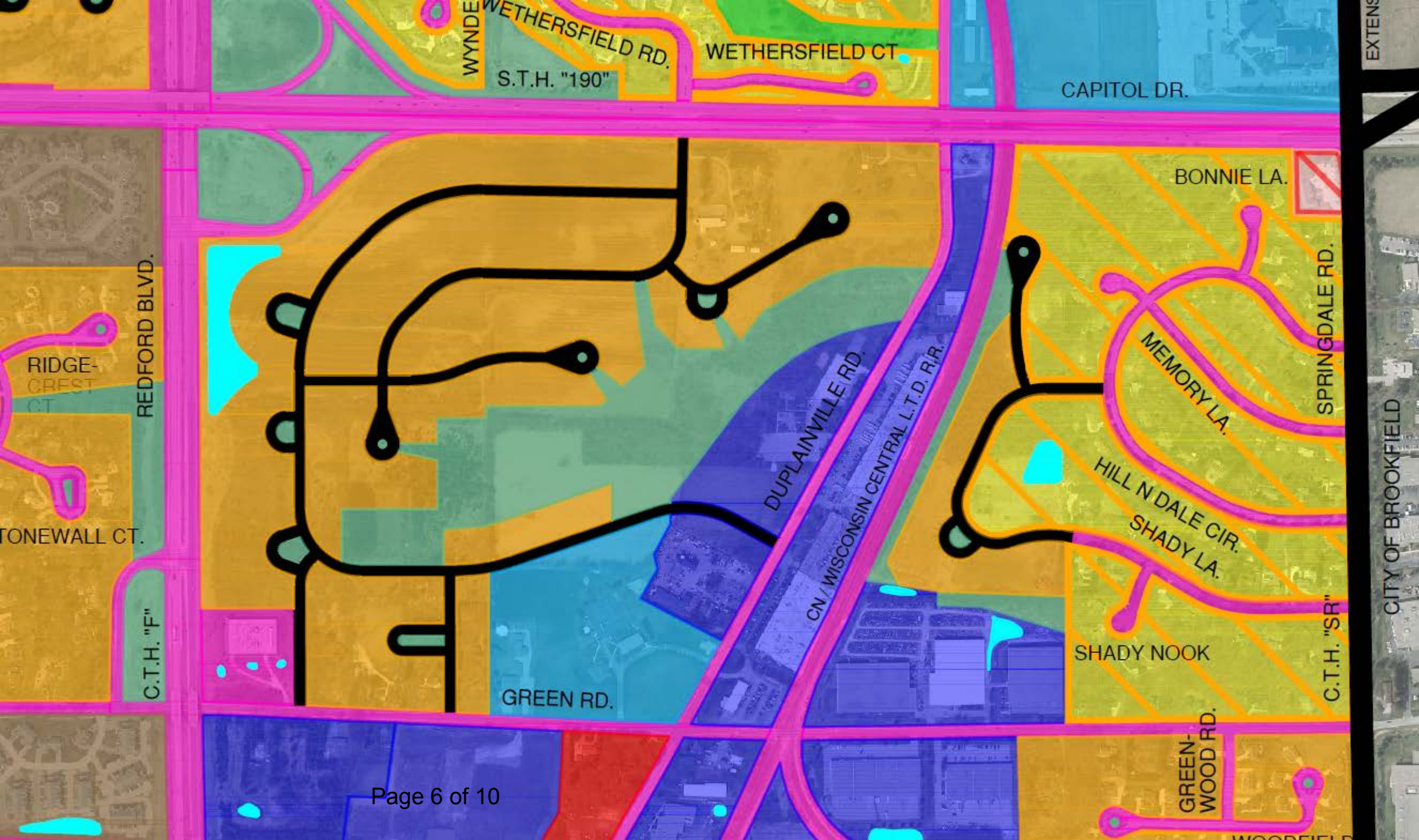
Notes:

Printed: 6/14/2019



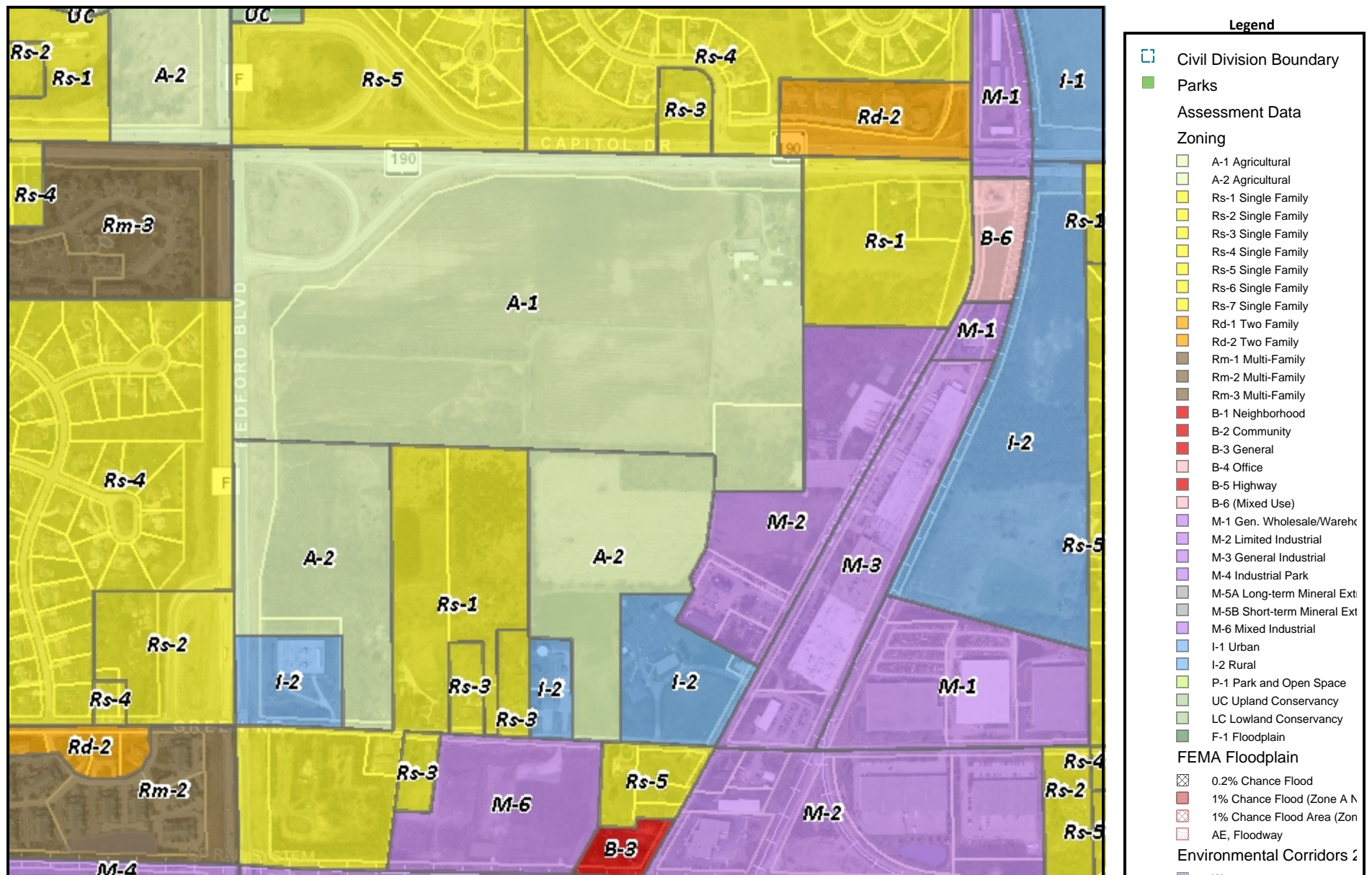
Property Information

| Property Address | Tax Key No. | Acreage | Property Owner | Owner Mailing Address | Current Zoning | Current Future Land Use Designation |
|-----------------------------|--------------|---------|---|--|--|--|
| Not Assigned | 0911 988 | 0.167 | CITY OF PEWAUKEE | W240N3065 PEWAUKEE RD, PEWAUKEE, WI 53072 | I-2 Rural Institutional District | Governmental/Institutional |
| W224N3297 Duplainville Road | 0911 989 | 15.6862 | QUAD GRAPHICS INC | N61W23044 HARRYS WAY, SUSSEX, WI 53089-3995 | M-2 Limited Industrial District and A-1 Agricultural District | Manufacturing/Fabrication/Warehousing and Floodplains, Lowland & Upland Conservancy and Other Natural Areas |
| N31W22788 Green Road | 0911 990 001 | 0.7531 | THOMAS W & SHARON L LINDNER REVOCABLE TRUST | N31W22788 GREEN RD | Rs-3 Single-Family Residence District | Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac./D.U.) |
| Not Assigned | 0911 990 002 | 0.6952 | THOMAS W & SHARON L LINDNER REVOCABLE TRUST | N31W22788 GREEN RD | Rs-3 Single-Family Residence District | Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac./D.U.) |
| W225N3178 Duplainville Road | 0911 992 | 2.1943 | SALVADORE BALISTRERI AND TED BALISTRERI | W225N3178 DUPLAINVILLE RD, PEWAUKEE, WI 53072 | M-2 Limited Industrial District | Manufacturing/Fabrication/Warehousing |
| W225N3193 Duplainville Road | 0911 992 001 | 0.8127 | SALVADORE BALISTRERI AND TED BALISTRERI | W225N3178 DUPLAINVILLE RD, PEWAUKEE, WI 53072 | M-2 Limited Industrial District | Manufacturing/Fabrication/Warehousing |
| N31W22622 Green Road | 0911 993 001 | 1.0524 | CITY OF PEWAUKEE | W240N3065 PEWAUKEE RD, PEWAUKEE, WI 53072 | I-2 Rural Institutional District | Governmental/Institutional |
| N31W22610 Green Road | 0911 993 002 | 1.0942 | SANITARY DISTRICT NO 3 | W240N3065 PEWAUKEE RD, PEWAUKEE, WI 53072-4044 | I-2 Rural Institutional District | Governmental/Institutional |
| Not Assigned | 0911 993 003 | 0.5528 | SALVADORE BALISTRERI AND TED BALISTRERI | W225N3178 DUPLAINVILLE RD, PEWAUKEE, WI 53072 | M-2 Limited Industrial District | Manufacturing/Fabrication/Warehousing |
| W225N3131 Duplainville Road | 0911 993 006 | 24.0177 | TRINITY ACADEMY INC | W225N3131 DUPLAINVILLE RD, PEWAUKEE, WI 53072-4155 | A-2 Agricultural District and I-2 Rural Institutional District | Governmental/Institutional |
| N31W22756 Green Road | 0911 995 | 9.6446 | NETTESHEIM REVOCABLE MARITAL TRUST | N31W22756 GREEN RD, PEWAUKEE WI 53072 | Rs-1 Single-Family Residential District | Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac./D.U.) and Floodplains, Lowland & Upland Conservancy and Other Natural Areas |
| N31W22828 Green Road | 0911 997 | 8.0616 | SCOTT T AUGUSTINE AND LESLEY M AUGUSTINE | N31W22828 GREEN RD, PEWAUKEE WI 53072-4005 | Rs-1 Single-Family Residential District | Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac./D.U.) and Floodplains, Lowland & Upland Conservancy and Other Natural Areas |
| Not Assigned | 0911 998 001 | 4.0619 | DBA WE ENERGIES WISCONSIN ELECTRIC POWER CO | 231 MICHICGAN RM A-252, MILWAUKEE, WI 53203 | I-2 Rural Institutional District and A-2 Agricultural District | Transportation/Utilities and Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac./D.U.) |
| Not Assigned | 0911 998 002 | 13.3549 | DBA WE ENERGIES WISCONSIN ELECTRIC POWER CO | 231 W MICHIGAN RM A-252, MILWAUKEE WI 53203 | A-2 Agricultural District | Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac./D.U.) |
| N34W22535-37 Capitol Drive | 0911 999 | 61.6674 | RICHARD L BORENITSCH AND BARBARA A BORENITSCH | N34W22535 CAPITOL DR, PEWAUKEE WI 53072 | A-1 Agricultural District | Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac./D.U.) and Floodplains, Lowland & Upland Conservancy and Other Natural Areas, and Water |
| Not Assigned | 0912 983 | 8.188 | DUPLAINVILLE LLC | 3055 N BROOKFIELD RD, BROOKFIELD WI 53045-3336 | Rs-1 Single-Family Residential District | Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac./D.U.) and Floodplains, Lowland & Upland Conservancy and Other Natural Areas |
| W223N3481 Duplainville Road | 0912 984 | 1.3062 | THOMAS P ALBERT | W223N3481 DUPLAINVILLE RD, PEWAUKEE WI 53072 | Rs-1 Single-Family Residential District | Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac./D.U.) |
| N34W22407 Capitol Drive | 0912 985 | 1.2244 | OSCAR E PICADO DIAZ AND LILLIAN R BATISTA | N34W22407 CAPITOL DR, PEWAUKEE WI 53072 | Rs-1 Single-Family Residential District | Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac./D.U.) |



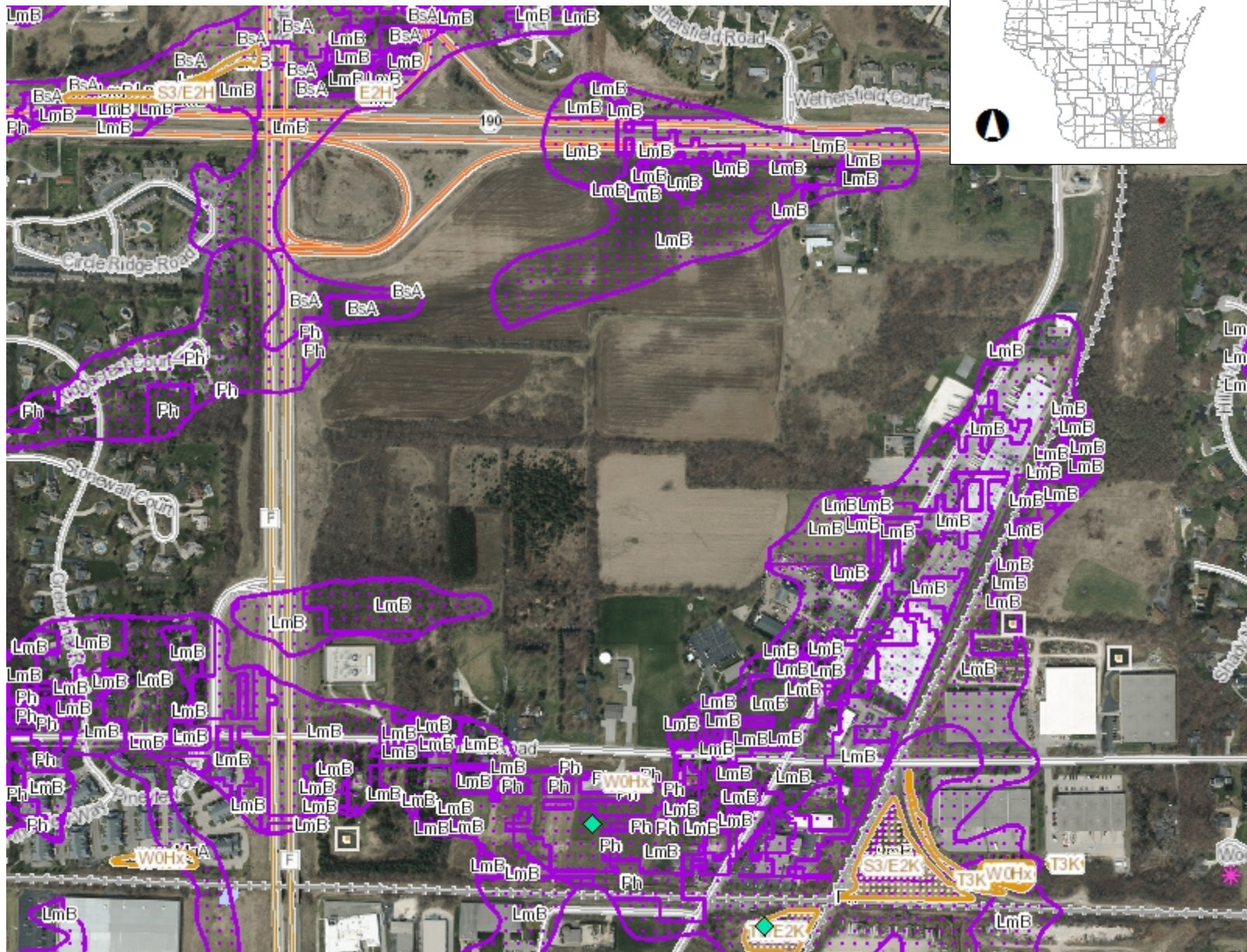


Waukesha County GIS Map





Surface Water Data Viewer Map



Legend

- Wetland Identifications and Confirmations
 - Wetland Class Points
 - Dammed pond
 - Excavated pond
 - Filled excavated pond
 - Filled/draind wetland
 - Wetland too small to delineate
 - Filled Points
 - Wetland Class Areas
 - Wetland
 - Upland
 - Filled Areas
 - Wetland Class Points
 - Dammed pond
 - Excavated pond
 - Filled excavated pond
 - Filled/draind wetland
 - Wetland too small to delineate
 - Filled Points
 - Wetland Class Areas
 - Wetland
 - Upland
 - Filled Areas
 - NRCS Wetspots
 - Maximum Extent Wetland Indicators
 - Municipality
 - State Boundaries
 - County Boundaries
 - Major Roads
 - Interstate Highway
 - State Highway
 - US Highway
 - County and Local Roads

0.3 0 0.13 0.3 Miles

NAD_1983_HARN_Wisconsin_TM

1: 7,920

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DISCLAIMER: The information shown on these maps has been obtained from various sources, and are of varying age, reliability and resolution. These maps are not intended to be used for navigation, nor are these maps an authoritative source of information about legal land ownership or public access. No warranty, expressed or implied, is made regarding accuracy, applicability for a particular use, completeness, or legality of the information depicted on this map. For more information, see the DNR Legal Notices web page: <http://dnr.wi.gov/legal/>

Notes

This aerial map displays the surrounding area of the proposed site, with various land parcels and their zoning designations. The map includes labels such as T3K, E2K, WOHx, and S3/E2K. A scale bar at the bottom right indicates 0 to 733 Feet.



Legend

- Civil Division Boundary
- Parks
- Assessment Data
- FEMA Floodplain
 - 0.2% Chance Flood
 - 1% Chance Flood (Zone A N
 - 1% Chance Flood Area (Zon
 - AE, Floodway
- Environmental Corridors
 - Water
 - Isolated Natural Resource A
 - Isolated Natural Resource A
 - Primary Env. Corridor
 - Primary Env. Corridor Water
 - Secondary Env. Corridor
 - Secondary Env. Corridor Wa
- Parcels
- Plats
- Retired Parcels
- Retired Plats
- Municipal Boundary_2K
- FacilitySites_2K_Labels
- Lots_2K
 - Lot
 - Outlot
- SimultaneousConveyance
 - Assessor Plat
 - CSM
 - Condominium
 - Subdivision
- Cartoline_2K
 - <all other values>
 - EA-Easement_Line
 - PL-DA
 - PL-Extended_Tie_line
 - PL-Meander_Line
 - PL-Note
 - PL-Tie
 - PL-Tie_Line
- Road_Centerlines_2K

0 644.34 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes:

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