



Planning Department

W240N3065 Pewaukee Road
Pewaukee, WI 53072
(262) 691-0770 Fax (262) 691-1798

PLAN COMMISSION MEETING NOTICE AND AGENDA Thursday, November 21, 2019 7:00 PM

Common Council Chambers ~ Pewaukee City Hall
W240 N3065 Pewaukee Road, Pewaukee, WI 53072

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1. Call to Order and Pledge of Allegiance
 2. Discussion and Action Regarding a Kennel License Application for Darnel & Armand Villarreal to Keep Five Dogs as Pets on Their Property Located at W227 N2901 Duplainville Road (PWC 0914975)
 3. Discussion and Action Regarding a Mitigation Plan for the Tyler Pinter Residence Located at W267 N2965 Peterson Drive (PWC 0930026)
 4. Discussion and Action Regarding a Petition for a Rezoning Public Hearing for The Waters Senior Living Management, LLC (Applicant) and the Kopecky Family Irrevocable Trust, Stephen T. Hagedorn and Karen E. Polansky (Property Owners) to Rezone Property Located at W239 N2492 Pewaukee Road From Rs-4 Single-Family Residential, A-2 Agricultural, I-1 Urban Institutional & LC Lowland Conservancy to Rm-3 Multi-Family Residential (Except for Areas Zoned LC District Which Shall Remain LC) for the Purpose of Developing a Multi-Family Senior Living Facility (PWC 0919991 & PWC 0919995)
 5. Discussion and Action Regarding a Recommendation to the Common Council for a Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for The Waters Senior Living Management, LLC for Property Located at W239 N2492 Pewaukee Road From Medium Density Residential, Office/Commercial and Floodplains, Lowland & Upland Conservancy and Other Natural Areas to High Density Residential and Floodplains, Lowland & Upland Conservancy and Other Natural Areas (PWC 0919991 & PWC 0919995)
 6. Discussion and Action Regarding a Recommendation to the Common Council for the Conditional Use and Site and Building Plans for The Waters Senior Living Management, LLC for Property Located at W239 N2492 Pewaukee Road for the Purpose of Developing Housing for the Elderly or Assisted Living Housing Units Under Pewaukee Ordinance 17.0416(c)(2) (PWC 0919991 & PWC 0919995)
 7. Discussion and Action Regarding a Preliminary Certified Survey Map for The Waters Senior Living Management, LLC for Property Located at W239 N2492 Pewaukee Road for the Purpose of Creating Two Lots and Dedicating Public Rights-Of-Way (PWC 0919995)
 8. Discussion and Action Regarding a Certified Survey Map for The Waters Senior Living Management, LLC for Property Located at W239 N2492 Pewaukee Road for the Purpose of Creating Three Lots (PWC 0919991 & PWC 0919995)

9. Adjournment

Ami Hurd
Deputy Clerk

11/15/2019

NOTICE

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It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum. At the above stated meeting, no action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the City Planner, Nick Fuchs, at (262) 691-0770 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 2.**

DATE: November 21, 2019

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Kennel License Application for Darnel & Armand Villarreal to Keep Five Dogs as Pets on Their Property Located at W227 N2901 Duplainville Road (PWC 0914975)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Villarreal Kennel License Staff Report

Kennel License Application

Kennel License Plat of Survey



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of November 21, 2019

Date: November 13, 2019

Project Name: Villarreal Kennel License Application

Project Address/Tax Key No.: W227N2901 Duplainville Road/PWC 0914975

Applicant: Darnel and Armand Villarreal

Property Owner: CUTTINGEDGEPROPERTY, LLC

Current Zoning: Rs-5 Single-Family Residential District

2050 Land Use Map Designation: Manufacturing/Fabrication/Warehousing

Use of Surrounding Properties: Commercial/Industrial to the north and east and single-family residential zoned properties to the south and west

Project Description/Analysis:

The applicant has filed an application for a Kennel License for property located at W227N2901 Duplainville Road. The property owners are requesting approval to keep five dogs as household pets. The property is zoned Rs-5 Single-Family Residential District, which allows "Hobby Kennels" as a Permitted Accessory Use. The City's definition of a Hobby Kennel is below for review.

121 - Hobby Kennel (Rep. & Recr. 13-09)

Any premises with four (4) or more dogs five (5) or more months of age, 6 or more other animals, or a combination of 6 or more dogs and animals, as household pets or for non-commercial purposes such as raising, breeding, boarding, training, grooming, foster care and the occasional raising and selling of not more than two (2) litters of animals per year.

Chapter 11.05 Dog Licenses, Kennels and Regulation of Animals of the City's Municipal Code contains application requirements and regulations related to keeping and raising animals. Applications must contain the information below. In review of the applicant's request, staff has provided this information in bold where possible.

(c) Kennel License Application. Application forms are available from and must be filed with the Clerk containing the following information:

1. Type of kennel license requested (Hobby or Commercial). **Hobby Kennel**
2. Address of property on which the kennel is to be located. **W227N2901 Duplainville Road**
3. Size and zoning of premises. **The subject property is approximately 0.5181 acres or 22,568.436 square feet and zoned Rs-5 Single-Family Residential District.**
4. Type of animals. **Two German Shepherds and three Chihuahuas/Rat Terrier mutts**
5. Maximum number of animals to be kept at the kennel at any time. **Five**

6. Type and size of principal buildings. **The property contains a single-family dwelling, which is approximately 2,056 square feet.**
7. The type of kennel enclosure(s), if any, including: **It is staff's understanding that an area of the property is enclosed by a fence. Also, the applicant has indicated that they pick up dog waste weekly, either by plastic bag and placing it in the garbage for pickup or disposing it in a treed area of the property.**
 - i. Size of enclosure(s).
 - ii. Fenced area location and size, if any
 - iii. Source and location of water supply.
 - vi. Place for keeping of food/medicine.
 - v. Sanitary maintenance plan, including provision for collection, storage and disposal of excrement, food waste and other liquid or solid waste.
8. Noise suppression.
9. Methods of security.
10. Hours of operation, if commercial kennel. **NA**

Chapter 11.05(5)(e) requires an "animal-to-premises areas ratio" of a "minimum of 15,000 square feet for 4 animals plus 10,000 square feet for each additional animal." As such, 25,000 square feet is required to keep five dogs. The subject property is approximately 0.5181 acres or 22,568.44 square feet; therefore, this requirement is not met.

It should be noted that City staff received two complaints over the phone regarding the dogs at the subject property. Both complaints referenced continual barking, day and night. One complaint indicated that going near the property owner's fence will cause the dogs to bark and they will try to jump over the fence. The residents that called were instructed to submit a formal complaint or something in writing; however, the City did not receive anything further.

Finally, staff would just note that the application also does not indicate whether the dogs are primarily kept indoors or outdoors.

Recommendation

As there are apparent problems and concerns related to dogs barking, staff recommends denial of the Kennel License Application. Alternatively, the matter could be tabled to allow the applicant to either provide additional information and dispute the recent reports to the City or provide additional information and methods to address the current issues, primarily related to excessive barking.

If approved, staff recommends that the Kennel License be subject to compliance with all Kennel Regulations per Section 11.05 of the City's Municipal Code.

CITY OF PEWAUKEE

KENNEL LICENSE APPLICATION

RECEIVED
OCT 06 2019
CITY OF PEWAUKEE
CLERK'S OFFICE

PART 1: Purpose of License

☐ **Commercial Kennel** (Please check all that apply)

- | | | | |
|--|---|--|--|
| <input type="checkbox"/> Boarding Dogs | <input type="checkbox"/> Foster Care | <input type="checkbox"/> Day Care | <input type="checkbox"/> Grooming |
| <input type="checkbox"/> Training | <input type="checkbox"/> Buying & Selling of Dogs | <input type="checkbox"/> Breeding or Stud Purposes | <input type="checkbox"/> Raising Dogs for Sale (3) or more litters |

☒ **Hobby Kennel** (Please check all that apply)

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Household Pets | <input type="checkbox"/> Non-Commercial Foster Care | <input type="checkbox"/> Non-Commercial Grooming | <input type="checkbox"/> Non-Commercial Training |
| <input type="checkbox"/> Non-Commercial Boarding | <input type="checkbox"/> Non-Commercial Breeding or Stud Purposes | <input type="checkbox"/> Occasional Raising Dogs for Sale – No more than (2) litters | |

PART 2: Applicant Information

First Name: <i>Darnel & Armand</i>	Middle Initial:	Last Name: <i>Villarreal</i>
Address: <i>W227N2901 DuPlainville Rd</i>		
City: <i>Waukesha</i>	State: <i>WI</i>	Zip Code: <i>53186</i>
Home Phone: <i>Armand cell: 262-203-0655</i>		Cell Phone: <i>Darnel cell 408-572-0512 909-563-0404</i>
Email Address: <i>Armandvill@yahoo.com / Darnelvill@gmail.com</i>		

We moved to WI from NY - These are our family pets

PART 3: Kennel Information

Attach Sketch or survey with Dimensions of Kennel and Distance to Principal Structure and Any On-Site Water Supply Systems

Name of Kennel if Applicable:	
Physical Address of Kennel if Different from Above:	
Type of Principal Building: <i>Home</i>	Size of Principal Building: <i>~ 2,000 square feet</i>
Number of Acres: <i>3/4 acre</i>	Zoning of Property:
Months of Operation:	Hours of Operation:
Number of Dogs to be Boarded:	Number of Dogs Estimated to be Sold Annually:
Type of Kennel Enclosure:	Size of Enclosure:
Source and Location of Water Supply:	Place for Keeping Food & Medicine:
Fenced Area Location:	Fence Measurement & Height:
Security:	Noise Suppression:

PART 5: Type and Size of Dogs

Minimum Number of Dogs Proposed to Be on the Premises: <u>5</u>	Maximum Number of Dogs Proposed to Be on the Premises: <u>5</u>
List Type(s) and Size of Dogs to be Housed in Kennel: <u>2 German Shepherds , 3 Chihuahua / rat terrier mix (siblings)</u>	

PART 4: Sanitary Maintenance Plan

Provisions for <u>Collection</u> of Excrement, Food Waste, Food Waste and Other Liquid or Solid Waste: How Often? <u>We pick up dogs poo weekly, plastic bag & throw in garbage also throw in our back woods - We use ^{mud} buckets & small shovel</u>
Provisions for <u>Storage</u> of Excrement, Food Waste, Food Waste and Other Liquid or Solid Waste: Where?
Provisions for <u>Disposal</u> of Excrement, Food Waste, Food Waste and Other Liquid or Solid Waste: Where?

PART 6: Emergency Contact Information

Name: <u>Armand Villarreal</u> <u>Darnel Villarreal</u>	Phone: <u>262-203-0455</u> <u>909-543-0404</u>
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I hereby certify that the information given on this form is true and accurate to the best of my knowledge.

Signature of Applicant:  Date: 10/08/19

Action by the Plan Commission: ☐ Approve ☐ Deny Date: ____/____/____

Action by Common Council: ☐ Approve ☐ Deny Date: ____/____/____

Restrictions (if any): _____

Annual License Fee: \$35.00

RONALD H. ZIMMERMAN
REGISTERED LAND SURVEYOR

PLAT OF SURVEY
FOR MORTGAGE PURPOSES ONLY

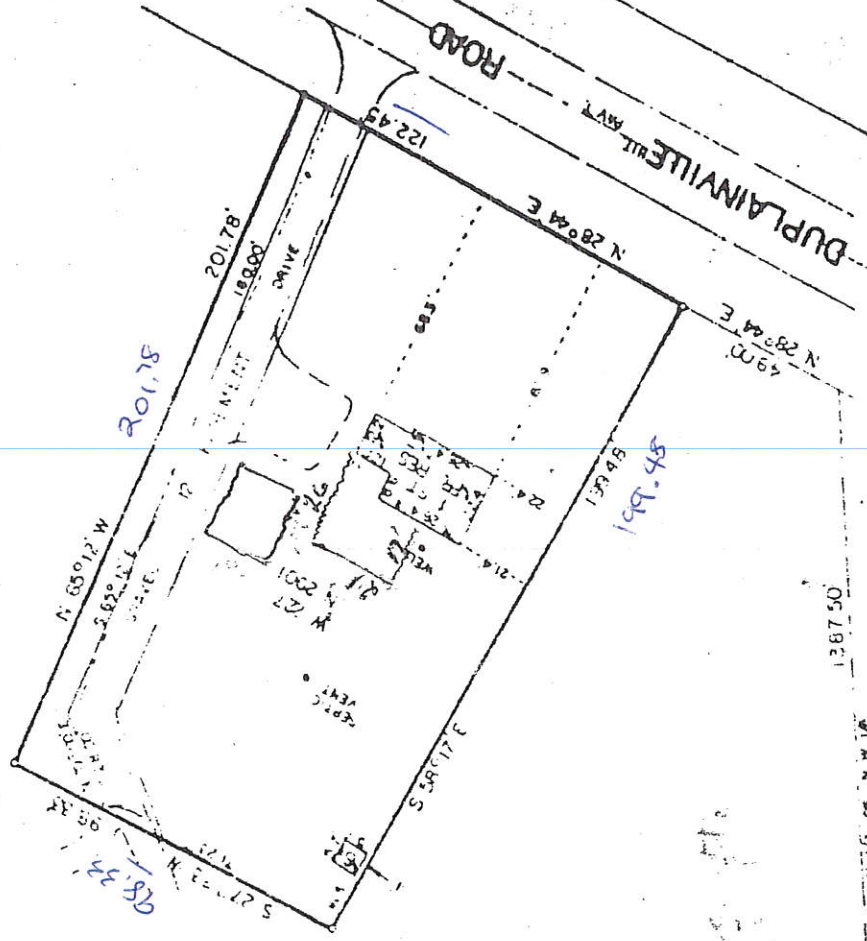
POLLOCK REALTY

TELEPHONE
542-5616

ZONE
ASS

1940

SCALE 1" = 50'
o - INDICATES IRON
PIPE, FOUND



All that part of the Northwest One-quarter (NW 1/4) of Section Thirteen (13), Township 13 North, Range Nine East, Town of Pewaukee, bounded and running as follows: Commencing at the Northwest corner of said Section Thirteen (13), and running thence North 88° 39' East along said line 199.48 feet to a point on the Northwest line of S.T.H. #164; thence North 88° 39' East along said line 122.45 feet to a point; thence South 88° 39' West 122.45 feet to a point; thence South 88° 39' West 199.48 feet to a point; thence North 88° 39' East 199.48 feet to the point of beginning, containing 6.00 acres of land, more or less.

Reserving therefrom an easement for ingress and egress over a strip of land 12.00 feet wide, the Northernly line of which is described as follows: Commencing at the Southwest corner of the above described parcel, running thence North 88° 39' East 71.23 feet to the point of beginning of said line; thence North 88° 39' East 28.00 feet to a point; thence South 88° 39' West 122.45 feet more or less to the point of termination on the Northwest line of S.T.H. #164.

CERTIFICATION

STATE OF WISCONSIN
COUNTY OF WAUKESHA

I, RONALD H. ZIMMERMAN, REGISTERED LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE MADE A SURVEY OF THE PROPERTY DESCRIBED ABOVE AND THE EXISTING BUILDING AND IMPROVEMENTS LOCATED THEREON AND THAT THE PLAT HEREWITH DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY

DATE OCT 19 1940

RONALD H. ZIMMERMAN



Digger Hot Lin
202-785-5300

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 3.**

DATE: November 21, 2019

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Mitigation Plan for the Tyler Pinter Residence Located at W267 N2965 Peterson Drive (PWC 0930026)

BACKGROUND:

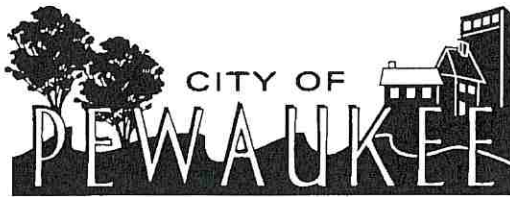
FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Pinter Mitigation Plan



Department of Public Works
Engineering Division
W240N3065 Pewaukee Road
Pewaukee, WI 53072
(262) 691-0804 Fax: (262) 691-5720

Memorandum

To: Plan Commission

From: Magdelene J. Wagner, P.E. *MDW*

Subject: Pinter Residence – W267N2965 Peterson Drive
Mitigation Plan

Date: November 8, 2019

Requested Action: Plan Commission to approve the mitigation plan contingent on the mitigation plan and Plan Commission minutes being recorded at Waukesha County and a recorded copy provided to the City for their records.

Background:

According to Ordinance 17.0436, any home within 300 feet of the lake has a maximum building coverage of permanent structures of 20% of the total parcel area. In addition, it has a maximum of 7.5% (lot is more than 10,000 sf) of permanent impervious surfaces outside of the structures. If a lot is proposing to be over this 27.5%, it will be allowed a maximum of 35% total impervious area with mitigation practices as approved by the Plan Commission. The Board of Review granted a variance to the 35% total impervious for this parcel and allowed approximately 44% total impervious.

The Pinter property located at W267N2965 Peterson Drive and has a lot size of 12,317 SF. The allowable permanent structure is 2,463 SF (20%) and the allowable permanent impervious surface is 924 SF (7.5%) for a total allowable impervious area of 3,387 SF. Pinter is requesting approval for 44.17% total impervious area which consists of 4,380 SF (35.6%) for permanent structures and 1,061 SF (8.6%) for permanent impervious surfaces.

The Pinter property is mitigating this additional impervious area with 1 – 12'x47.5'x1.9' stone infiltration trench which will receive drainage from the downspouts of the house. The calculations provided in the mitigation plan are correct. The size of the infiltration trench is adequately sized to provide the required mitigation.

We recommend approving the mitigation plan contingent on the following:

1. The mitigation plan narrative, plan, and the Plan Commission minutes are recorded at Waukesha County (City provided a recorded copy) as required in the ordinance using the Recording Template previously provided to the owner.

November 6, 2019

City of Pewaukee – City Assistant Engineer

W240 N3065 Pewaukee Road

Pewaukee, WI. 53072

Attn: Magdelene Wagner, P.E.

Re: Mitigation Plan Application for new residence construction home

Project at W267 N2965 Peterson Drive

Maggie,

Attached you will find our Mitigation plan application package for the property mentioned above.

Sincerely,

TYLER PINTER

W267 N2965 Peterson Drive, Pewaukee, WI. 53072

262-617-1632

Tpinter06@gmail.com

City of Pewaukee – Mitigation Plan Narrative

Pinter Residence

Site W267 N2965 Peterson Drive, Pewaukee, WI. 53072

November 6, 2019

I the owner of the property above, with the assistance from Chuck Meyer from MJS Landscaping, are proposing to remove the existing House, Detached Garage, asphalt drive and drive court. We will be building a 2 story Home with attached Garage. The new structure with the proposed drive and court, sidewalk and proposed wood deck exceeds the 27.5% lot coverage limit. The calculations are as follows:

Property/Lot size	12,317 SF
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IMPERVIOUS SURFACE CALCULATIONS

1. Footprint of New House and Garage	3152 SF
2. Footprint of Proposed Wood Deck	625 SF
3. Footprint of New Driveway and Walkway	1061 SF
4. Footprint of Existing Boathouse	603 SF

TOTAL OF IMPERVIOUS SURFACES	5441 SF
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In order to exceed the standard allowable coverage percentage of 27.5%, a mitigation plan must be prepared that accounts for the difference between the standard allowable coverage and the proposed larger amount. More specifically the plan must propose measures that hold storm-water on-site for a volume (based on a 2 year, 24 hour rain event) associated with the difference in square footage between the standard allowable coverage and the proposed larger amount. The following are specific mitigation calculations that apply to this project:

LOT = 12,317 Square Feet

5441 SF = 44.17 % proposed coverage of lot

3,387 SF = 27.5 % coverage allowed at normal standards

2054 SF = Difference

2054 SF x 2.69 inches rain event (or 2054 x 0.224') = 460.4 cubic feet

460.4 CUBIC Feet needed for mitigation, *also expressed as*

17.05 CUBIC Yards needed for mitigation, *also expressed as*

3444 Gallons Water of Storage needed for mitigation

The following mitigation measures are proposed for the site, to satisfy the requirements previously stated.

1. Installation of an Area Well at the location shown on the Storm-water Mitigation Plan. The depth will be approximately 28 Inches, filled with angular stone. Detail is shown on the plan. The proposed area of new roofing is shown that will drain to the area well. Drain tiles from the down spouts are shown that divert the water to the well. The well will be located at least 12 inches offset from the property line. An overflow pipe will be located as an outlet to the lake as shown on the detail. The total surface area of the system is 606 Square Feet. At the lowest level of the outlet pipe, the average depth would be 1.9 feet. 606 SF at 1.9' depth will yield a storage volume of 1151.4 cubic feet. Assuming a 40% void space in the stone used for retention, the resulting storage volume can be calculated to be 460.5 cubic feet.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 4.**

DATE: November 21, 2019

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Petition for a Rezoning Public Hearing for The Waters Senior Living Management, LLC (Applicant) and the Kopecky Family Irrevocable Trust, Stephen T. Hagedorn and Karen E. Polansky (Property Owners) to Rezone Property Located at W239 N2492 Pewaukee Road From Rs-4 Single-Family Residential, A-2 Agricultural, I-1 Urban Institutional & LC Lowland Conservancy to Rm-3 Multi-Family Residential (Except for Areas Zoned LC District Which Shall Remain LC) for the Purpose of Developing a Multi-Family Senior Living Facility (PWC 0919991 & PWC 0919995)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

The Waters Staff Report

The Waters Project Narrative 11.13.19

The Waters Rezoning Petition

The Waters Rezoning Maps 11.13.19

The Waters Bill Schwartz letter 11.11.19

The Waters Bill Schwartz attachment 11.11.19



Office of the Planning & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of November 21, 2019

Date: November 14, 2019

Project Name: The Waters Senior Living Community

Project Address/Tax Key No.: Approximately W239N2492 Pewaukee Road/PWC 0919991 & 0919995

Applicant: John Hunsicker, SVP – Development & Capital Markets

Property Owner: Kopecky Family Irrevocable Trust (PWC 0919995) and Stephen T. Hagedorn and Karen E. Polansky (PWC 0919991)

Current Zoning: Rs-4 Single-Family Residential District, A-2 Agricultural District, I-1 Urban Institutional District, and LC Lowland Conservancy District

2050 Land Use Map Designation: Medium Density Residential, Office Commercial, and Flood Plains, Lowland & Upland Conservancy, and Other Natural Areas

Use of Surrounding Properties: Crossroads Care Center of Pewaukee and Watertown Road to the north, Hawk's Meadow single-family residential subdivision to the south, Commercial Office (Argent) to the east, and multi-family residential to the west

Introduction

The applicant filed applications for a Rezoning, Comprehensive Master Plan Amendment, two Certified Survey Maps, a Conditional Use Permit, and Site and Building plans for a proposed 161 mixed use multi-family residential development for properties located at approximately W239N2492 Pewaukee Road.

The development consists of 115 units of multi-family senior living apartments within a three-story building with an attached 16-unit memory care facility. The development also includes 30 senior apartment units within 15 side by side two-family dwellings.

The applicant has previously presented Conceptual Review plans at the April 18th, June 20th, and July 18th Plan Commission meetings and has now submitted detailed plans for review. Below is a summary of the changes in density; however, significant changes to road layout, ingress/egress, and other elements of the plan have also changed throughout the review process.

- April 18th: 4-story 125-unit senior living facility with an attached one-story 20-unit memory care building, 42 senior cottage units
- June 20th: 3-story 115-unit senior living facility with an attached one-story 16-unit memory care building, 24 senior cottage units

- July 18th: 3-story 115 unit living facility with an attached one-story 16-unit memory care building, and 30 senior cottage units.

Project Description

Rezoning:

The subject properties are currently zoned Rs-4 Single-Family Residential District, A-2 Agricultural District, I-1 Urban Institutional District, and LC Lowland Conservancy District.

The applicant is requesting to rezone the properties to Rm-3 Multiple-Family Residential District and LC Lowland Conservancy District zoning to accommodate the development. The wetland areas would be zoned or remain zoned as LC District as presented by the applicant.

Comprehensive Master Plan Amendment:

This area is currently designated as Medium Density Residential, Office Commercial, and Flood Plains, Lowland & Upland Conservancy, and Other Natural Areas on the City's Year 2050 Land Use / Transportation Plan.

The applicant is proposing to amend the future land use to High Density Residential, Flood Plains, Lowland & Upland Conservancy, and Other Natural Areas, and Transportation to be consistent with the requested rezoning and development plans.

Certified Survey Map:

Currently the development encompasses two existing properties. Note that prior to finalizing and recording the proposed CSMs, the applicant will be recording a lot line adjustment to reconfigure the two existing parcels, which will allow for the two CSMs to proceed simultaneously.

The initial CSM creates two separate lots and dedicates the public rights-of-way for the development. The following CSM will subdivide the area of the property shown as unplatted lands on the initial CSM into three separate lots.

Conditional Use:

The Rm-3 District allows three to eight unit multiple-family structure(s) with one 2-car attached or detached garage per unit as defined in Section 17.1402 as well as foster homes and community living arrangements as set forth in Wisconsin Statutes. Note that the memory care use would be licensed as a Community Based Residential Facility with the State and the senior living facility is a Residential Care Apartment Complex.

The applicant is applying for a Conditional Use Permit under 17.0416c.(2) Housing for the Elderly or Assisted Living Housing units. This Conditional Use lists specific development standards; however, the applicant is not meeting several of these items. Below is a list of standards that are not met with staff comments underlined.

(d) The maximum number of dwelling units in an individual building shall not exceed 40.

The senior apartment facility is proposed with 115 units.

(h) There shall be a minimum of two (2) paved off-street parking spaces provided for each dwelling unit, of which one shall be inside a garage as defined in Sec 17.1402.

With a total of 161 units, 322 parking spaces are required per 17.0416c.(2)(h). The total proposed parking is 240 parking spaces, which does not meet this standard.

A further breakdown and analysis of the proposed parking can be found below.

The City's Zoning Code provides that zoning district requirements not being met may be approved by the Plan Commission per Section 17.0908 (below). Note that considering this project a mixed use development based upon the mix of different residential type living facilities, which are only allowed within separate zoning districts, is consistent with previous Plan Commission determinations.

SPECIFIC PLANNED PROJECT MODIFICATION

When a development project such as an industrial or office park, shopping center, or mixed use development is proposed which involves specific development proposals which meet the intent of the individual district regulation(s) but cannot meet a specific requirement, and when the approval of such development would not set a precedent that would be detrimental to the City if it is approved in like circumstances, the Plan Commission may, after thorough review, make such specific modification in their approval of the specific project.

The main building also exceeds the maximum building height of 35-feet per Section 17.0416e. In this case, Section 17.0901f. allows the Plan Commission to approve up to six stories if a sprinkler system is provided and approved by the Fire Chief.

Site and Building Plans:

Again, the Site Plan consists of a 3-story, 115-unit senior living facility with an attached one-story 16-unit memory care building and 30 apartment units contained within 15 townhomes.

The total development area, including both sites, is 22.79-acres. There are 3.40 acres of wetland onsite and approximately 1.26 acres of land that will be dedicated as public right-of-way, which results in a net acreage of 18.13 acres and a net density of 8.88 units per net acre, which is in compliance with the Rm-3 District.

The site plan includes sidewalks throughout, which are located on private property. As such, staff recommends that sidewalks shall be placed within a public access easement and maintenance agreement to be recorded with the Waukesha County Register of Deeds, prior to issuance of a Building Permit.

There are no dumpster enclosures proposed as dumpsters will be stored within the garage; however, there is an enclosure for the generator. Staff recommends that the enclosure for the generator be constructed of materials that match that of the principal building.

Other staff recommendations related to the site plan are as follows:

- Related to the senior cottages, staff recommends that all buildings shall be a minimum of 20-feet apart and constructed of noncombustible materials as approved by the Fire Chief.

- Staff also recommends that all rooftop and ground mechanicals shall be screened from public view. A mechanical plan shall be submitted and approved by City Staff, prior to the issuance of a Building Permit.
- Grading shall not encroach into the drip line of the existing tree line along the south property line.
- The applicant shall enter into an agreement with the City of Pewaukee providing that in the event the land and/or building to be developed here under be exempt from general property taxation at any time, that such property shall be subject to an annual payment in lieu of taxes to the City by the owner(s) of the property in an amount that would be equal to the amount that would be levied as the annual City general property tax upon the real and personal property were it not exempt from taxation. Such payments to the City shall be due and payable from time to time as and when general property taxes are due and payable. The agreement shall be recorded in the Office of the Register of Deeds for Waukesha County prior to the issuance of a Building Permit.

Ingress/egress

The current site plan now includes a proposed public street that would loop and connect to Hawks Meadow Drive and Talon Court (Road A). A second public street extends from Watertown Road and ends in a cul-de-sac (Road B). A private drive is proposed to extend from each road and connect through the parking lot of the senior facility. Note the cul-de-sac road will extend through and impact a wetland as well as existing woods onsite.

Staff recommends that Road B be eliminated and replaced with a private drive that would provide ingress/egress from Watertown Road (CTH M) to the senior facility.

The applicant is proposing that the connection to Talon Drive be a one-way only for northbound traffic (other than emergency vehicles). Based upon the amount of traffic anticipated from the proposed development, staff recommends that Talon Drive shall be a two-way through street.

The applicant has not yet proposed street names. Note that street names are subject to review and approval by the Common Council.

Natural Resources

The applicant had wetland delineations completed by Stantec in August of this year. The site also contains mature wooded areas.

The applicant is proposing to impact 6,678 square feet of wetlands. Staff recommends that the applicant shall obtain Wisconsin Department of Natural Resources approval of all impacts to wetlands and wetland setbacks, prior to the issuance of a Building Permit.

Staff recommends that remaining wetland and wooded areas that are not being disturbed must be protected onsite by orange construction fencing or other means that ensures these areas will be protected throughout construction.

Parking

The main building comprising of the 115 senior apartments and 16 memory care units includes 88 underground parking spaces and 48 surface spaces for a total of 136 parking spaces. This include 6 surface ADA accessible spaces and 4 underground ADA accessible spaces.

Eleven of the side by side apartment buildings have two-car attached garages for each unit (44 spaces) and the remaining four side by sides have a one-car attached garage for each unit (8 spaces). In addition, a car may park on the driveway in front of the garage, which would be an additional 52 parking spaces. This totals 104 parking spaces for the side by side townhomes.

As noted above the parking standard is not met. According to the applicant, the parking provided is consistent with their other facilities.

Landscaping

The applicant has provided a general landscape plan for review. The plan does not indicate specific planting types or sizes and does not include proposed foundation plantings. Staff recommends that a detailed Landscape Plan shall be submitted to City staff for review and approval, prior to issuance of a Building Permit.

Lighting

Lighting is primarily within the surface parking lot of the main senior living building. Five light poles are located along the outer perimeter of the parking lot. Lights have a maximum height of 18-feet. Pedestrian scaled bollard lighting is located around the front of the building.

The senior townhomes will only consist of low level building lighting.

Storm Water Management

The site plan includes seven storm water management ponds. Final grading, erosion control, and storm water management plans shall be approved by the Engineering Department, prior to any land disturbing activities.

The storm water ponds will be placed within easements. Therefore, the applicant shall provide storm water access easements and enter into a storm water maintenance agreement with the City, to be recorded with the Waukesha County Register of Deeds. Further all easements shall be illustrated on the Site Plan and Certified Survey Maps.

Architecture

The main building is primarily comprised of multiple siding types and ACMV manufactured stone siding.

Two types of senior cottages are proposed. Eleven will have two car attached garages and four will have one car attached garages. Otherwise, design and building materials are similar between building types.

Staff recommends the Plan Commission review the architecture of the proposed buildings, particularly those elevations that will be seen from public rights-of-way. Staff would suggest consideration of additional stone siding or replacing one of the siding types with a high quality masonry veneer or other

quality building material. Staff would also suggest additional stone siding or other architectural features on the memory care wing of the main building.

Related to the senior cottages, staff suggests that several of the senior cottages be revised to have side entry garages, opposed to all garages oriented to the street. Additionally, more of the stone siding could be added to the senior cottages. Several elevations are primarily cement fiber board siding.

Signs

The applicant is proposing three monument signs throughout the development. One at the corner of Hawks Meadow Drive and Pewaukee Road, one at the Watertown Road entrance and another at the driveway entrance that extends from Road B. No building signage is proposed.

A sample rendering of the monument sign has been provided. Staff recommends that the development be allowed three monument signs to be reviewed and approved by City Staff and subject to issuance of a Sign Permit through the Building Services Department, prior to installation. The proposed signs shall comply with Section 17.0700 of the City's Zoning Code.

Recommendation

Staff recommends approval of the proposed Rezoning, Comprehensive Master Plan Amendment, two Certified Survey Maps, Conditional Use Permit and Site and Building Plans for The Waters senior living community for property located at approximately W239N2492 Pewaukee Road, subject to the conditions as outlined in this report and included in the draft Conditional Use Permit.

THE WATERS

November 12, 2019

Project Narrative for **Proposed Waters Senior Living Development** **at W239 N2492 Pewaukee Road**

Introduction: Baby boomers entering their formative years are the fastest growing demographic in the United States. The housing needs of this demographic have evolved, and housing products to meet the needs of this demographic are evolving as well. The housing needs of aging seniors are best served by smaller individual spaces, more shared spaces and rich on-site amenities and services. This housing model calls for renting versus owning to maintain financial flexibility and allow seniors to easily move within the complex as additional services become necessary or desirable. The housing model also calls for greater unit densities to support the rich on-site amenities that seniors crave.

While preferring to shed the burdens and isolation of single-family home ownership, seniors also want to stay in the community where they have worked and raised their families. So, communities with traditional large-scale single-family homes are exploring housing types better suited to the needs of their communities' seniors.

The Waters offers unique housing options for seniors. The organization currently owns and operates twelve senior living complexes in three states, most recently opening 136 apartment homes in Oak Creek's Drexel Town Square. Waters offers seniors options to rent either a cottage or an apartment in the building that houses all on-site amenities to provide that level of independence and on-site services that best suits them; all without a significant down payment or entrance fee.

Over the past two years, Waters has evaluated several sites for a proposed development of a senior living community in the Pewaukee market. Pewaukee is desirable because it is home to many seniors and their adult children (and grandchildren), has strong demographics, growth and a stable economy, and it is a place where seniors want to live and contribute after moving out of their family homes. Third-party studies and conversations with City residents confirm strong demand for more quality senior housing options in the area.

Name of Proposed Business: The Waters of Pewaukee

Name of Developer & Operator: The Waters Senior Living Management, LLC

Primary Business: Multi-family residential community offering a variety of living options for the elderly including independent living cottages, independent living apartments, assisted living apartments and memory care studios. The business operates 24/7/365 in three shifts to provide security and personal care services for its residents. Anticipated staffing (at stabilized occupancy) is between 8-30 full-time equivalent employees, depending on daytime vs. overnight and weekday vs. weekend shifts.

Ancillary Uses: The business also incorporates ancillary uses such as a restaurant, a café, a commercial kitchen, health & wellness facilities, salon/spa, common/living rooms, entertainment spaces, staff offices, underground parking, primarily for use by residents and their guests.

Development Description: The Waters community will be comprised of a senior living building with an attached memory care wing, and detached senior cottages clustered around and connected by a network of public streets and private walkways. Generally, the site plan is designed to create lower density, single-family-scale buildings along the southern side of the property as a buffer to the single-family residential development at Hawks Meadow. The plan locates the higher density senior living building at the northern edge of the property closest to a complementary use at the Crossroads Care Center (nursing home). Other clusters of senior cottages are in the SE and NE corners of the site to create smaller “neighborhoods”. The site plan incorporates multiple points of vehicle ingress/egress to reduce the impact of incremental traffic at any single location and to contain higher traffic uses in the northern half of the site.

The three-story senior living building contains 115 independent and assisted living apartments as well as the accessory uses and common area spaces for the broader community. The senior living building will be constructed as a fully sprinkled wood-frame structure over a pre-cast concrete podium housing the underground parking. The height of the senior living building is ~39 feet. The senior living apartments range from small one-bedroom apartments to larger two-bedroom two-bathroom units at a variety of price points. The senior living apartments contain large living spaces, private bathrooms, upgraded kitchen surfaces and appliances, washers and dryers, individually controlled HVAC units, and many apartments have balconies. The common areas in the building include a restaurant, pub/café, theater, wellness/fitness studio, creative arts room, living rooms, staff offices, storage, underground parking and a commercial kitchen. These common areas are designed to support the needs of all Waters residents. Upon completion, the senior living building will be licensed by the State of Wisconsin as a Residential Care Apartment Complex (RCAC).

Attached to and extending west from the senior living building will be a one-story wing which contains 16 studio apartments for residents with dementia and memory loss. The Memory Care wing also contains specialized common areas and workspaces for the care staff. The memory care wing will be built with non-combustible materials over slab-on-grade. The height of the memory care wing is ~17 feet. Memory care apartments contain generous living spaces, private bathrooms, kitchenettes and individually controlled HVAC units. Upon completion, the memory care wing will be licensed by the State of Wisconsin as a Community-Based Residential Facility (CBRF).

The community also includes 15 duplex-style senior cottage buildings (representing 30 residential dwelling units) clustered around the site and connected to the senior living building by roadways and sidewalks. Each building contains two senior cottages with a shared wall. The height of the senior cottages is ~15 feet. Each senior cottage contains two bedrooms, two bathrooms, walk-in closets, kitchen, dining/living room, laundry room, storage, mudroom, decks, one- or two-car garage, private driveway, and individually-controlled HVAC units. The senior cottages will be constructed as residential wood-frame structures over a slab-on-grade foundation, clad with non-combustible exterior siding materials. Residents in the senior cottages are expected to use the common areas and infrastructure in the senior living building. The senior cottages will not be licensed by the State of Wisconsin because Waters will not be providing personal care/assisted living services to residents in these units.

Current Comprehensive Plan/Land Use: The 22.8-acre site is currently planned for a combination of "Medium Density Residential (6,500 SQ. FT. - 1/2 AC. / D.U.)", "Office Commercial", "Mining" (for planned roadways), and "Flood Plains, Lowland & Upland Conservancy, and Other Natural Areas".

Current Zoning: The site is comprised of a combination of "Rs-4 Single-Family Residential", "A-2 Agricultural", "I-1 Urban Institutional", and "LC Lowland Conservancy" districts.

Proposed Comprehensive Plan/Land Use: Applicant is seeking an amendment to the Comprehensive Plan to change the land use to a combination of "High Density Residential (<6,500 SQ. FT. / D.U.)" in the developed part of the site, "Transportation/Utilities" in the new public roadways, and "Flood Plains, Lowland & Upland Conservancy, and Other Natural Areas" in the actual delineated wetland/LC areas.

Proposed Zoning: Applicant is seeking to rezone the property to "Rm-3 Multiple-Family Residential" for the developed part of the site and to retain "LC Lowland Conservancy" zoning for the actual delineated wetland/LC areas.

Proposed Conditional Use Permit and Requested Modifications: Applicant is seeking a Conditional Use Permit under 17.0416c.(2) *Housing for the Elderly or Assisted Living Housing*

Units. This Conditional Use lists specific standards that must be met. Applicant will not meet some of these standards and is seeking a modification for the following three items:

1. >40 residential units in a building available to Applicant by a Specific Planned Project Modification approved by the Plan Commission under 19.0908
2. <2 parking spaces/unit available to Applicant by a Specific Planned Project Modification approved by the Plan Commission under 19.0908
3. >35 ft. building height available to Applicant with evidence of adequate sprinkler system and Fire Chief and Plan Commission approval under 17.0901(f)

Certified Survey Map: The development site currently consists of two tax/legal parcels. The lot lines of the smallest parcel will be expanded consistent with Wis. Stat. sec. 236.45(2)(am)(3). Then, the expanded parcel will be divided into three lots and the other existing parcel will be divided into two lots. The CSM will reflect the Waters development on the site including the public roadways. One lot will contain the senior living building (including the memory care wing) and surrounding area while the remaining lots will contain clusters of senior cottage buildings.

Density: Rm-3 zoning permits up to 12 dwelling units per net acre. The overall density of the proposed development plan shows 161 units on 18.13 net acres (the 22.79 gross land acres *minus* 3.40 acres of delineated wetland area and *minus* 1.26 acres of proposed roadway ROW). This results in a proposed density of **8.88 units per net acre** for the development, or 74% of the maximum allowed density.

Site Access & Circulation: Overall, the property will have four points of access from area roads and neighborhood streets.

A new full access on Watertown Rd (County Trunk Highway M) will serve as the primary ingress/egress for deliveries, staff and residents traveling to/from the senior living building. A new interior roadway (labeled "Road B" on the site plan) will cross a wetland area at its narrowest point and connect the senior living building and the senior cottages neighborhood in the NE corner of the property to Watertown Road. Road B ends in a cul-de-sac/circle at the senior living building parking lot and is not a through road to other parts of the site.

A secondary point of ingress/egress is proposed at the NW corner of the site, sharing a private service driveway to Pewaukee Road on the Crossroad Care Center property. This right-in-right-out ingress/egress to Pewaukee Road, along with the primary entrance at Watertown Road, will keep much of the vehicle traffic on the northern half of the site. The shared access point is the subject of an easement arrangement with the owners of the neighboring site. Applicant has had several positive conversations and has shared a draft easement agreement

with the owners of the Crossroad Care Center. Applicant is optimistic that a satisfactory easement agreement will be reached to share this staff/service entrance.

At the SW corner of the site, a new road (labeled "Road A" on the site plan) will connect to an existing drive access at Hawks Meadow Drive. This will be a primary ingress/egress point for residential traffic to/from the senior cottages clustered along Road A on the southern half of the site. Residents will be able to access amenities in the senior living building through a private driveway off Road A. To address safety concerns raised by the neighbors, Applicant proposes installing signage and roadway improvements to direct southbound vehicles from the Waters property directly out to Pewaukee Rd (State Highway 164). Vehicles will NOT be able to turn south to "cut through" the Hawks Meadow neighborhood

At the SE corner of the site, "Road A" loops around and connects to an existing access point at Talon Drive. This is expected to be an infrequently used ingress/egress for the proposed development because it is furthest away from main roads and simply creates a continuation of a neighborhood road for some cottage residents. Applicant originally proposed to make the connection to Talon Drive a one-way street entering the Waters property (to prevent vehicles from exiting southbound into the Hawks Meadow subdivision, while still permitting full access to emergency vehicles). City staff rejected Applicant's proposal, determining that benefits of full access/neighborhood connectivity are meaningful while projected vehicle usage is negligible.

Applicant explored a new right-in-right-out access point at the existing gravel driveway location off Pewaukee Road (just north of Hawks Meadow Drive). This would have provided the most direct and convenient access to/from the senior living building. Unfortunately, that option was rejected by WisDOT because it is too close to alternate curb cuts and presents a safety hazard. Furthermore, WisDOT insisted that the main entrance to the subject parcel is intended (and constructed) to be at Hawks Meadow Drive.

Private Roads/Public Streets: The development plan incorporates a small private road around portions of the senior living building to provide emergency vehicles access and which connects to a shared driveway on the Crossroad Care Center property. There are also two private driveways connecting the senior living building parking lot to Roads A & B. The balance of new streets in the development (e.g. Roads A and B on the site plan) will be designed and built by applicant to appropriate standards and will be dedicated to the City as public streets.

Traffic: Applicant has commenced a traffic impact study and agreed with State/County regulators on its scope to determine the traffic impact of the development. According to this Initial Development Review, the proposed project "is expected to be a low traffic generator with approximately 35 new trips (15 in/20 out) during the weekday morning peak hour and

45 new trips (20 in/25 out) during the weekday evening peak hour. Accordingly, "[the] development is expected to generate approximately 600 new trips (300 in/300 out) over the course of a typical weekday". With four points of ingress/egress to the site, no single entrance is expected to experience more than 10-15 new trips per peak hour.

In aggregate, the proposed senior living use will contribute only 1.2% incremental traffic on the adjacent roadways. This is a low traffic use compared to almost any other type of development. For comparison purposes, the traffic generated by Applicant's proposed 161-unit senior living community is comparable to the traffic generated by 43 single-family residences or 102 multi-family apartments.

Property Taxes: At earlier Plan Commission meetings, Waters affirmed that it is willing to enter into an agreement with the City and record a deed restriction or covenant on the property to ensure that the property will not be sold to a tax-exempt entity in the future. This is viewed as a positive step by residents and City representatives to ensure that the significant property tax gains associated with this project remain in place to support Pewaukee's quality public infrastructure.

Process: Over the past two years, applicant has met with City staff and elected officials numerous times and has presented and discussed conceptual development plans to the Plan Commission on three occasions: April 18, June 20 and July 18. Applicant has also engaged with representatives of the Hawks Meadow Neighborhood Association on three occasions to apprise them of project status and solicit their input on our plans. The resulting site plan has evolved significantly over the past few months to address the concerns and needs of the City, the requirements of the state and county transportation authorities, and the traffic/safety concerns of the Hawks Meadow neighbors.

Summary: Applicant believes its project is a win-win proposal for the residents and the City of Pewaukee. Residents at The Waters of Pewaukee will get access to high-quality attractive senior living options without having to leave the City. The City will get a \$40+ million development project, 30+ good-paying jobs, and a strong contributor to the tax base without imposing a high burden on City infrastructure.



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770
Fax (262) 691-1798
fuchs@pewaukee.wi.us

PETITION FOR A REZONING DISTRICT MAP AMENDMENT

TO THE HONORABLE MAYOR AND COMMON COUNCIL OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned hereby petitions the Common Council of the City of Pewaukee, Waukesha County, Wisconsin to rezone the following property (#91) FROM Rs-4 Single Family Residential. (#95)FROM A-2 Agricultural District, I-1 Urban Institutional District and LC Lowland Conservancy District. TO: Rm-3 District MULTIPLE-FAMILY RESIDENTIAL DISTRICT except for the areas zoned LC District which shall remain LC District.

Legal description of property to be rezoned – Please attach.

Common property description or name: _____

Property Address: See attached

Tax Key Number(s): 0919991 & 0919995

Property owner(s) (Full Legal Name): Please See Attached

This amendment to the zoning map is being proposed in order to develop a multi-family senior living facility.

Applicant (Full Legal Name):

Name: The Waters Senior Living Management, LLC

Address: 1600 Hopkins, MN 55305

Phone: 952 358 5143

Email: jhunsicker@thewaters.com

Contact Person (Full Legal Name):

Name: John Q. Hunsicker Company: The Waters Senior Living, LLC

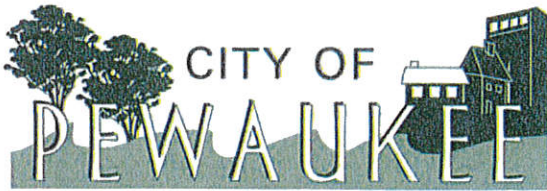
Address: 1600 Hopkins Crossroad, Minnetonka, MN

55305 Phone: 952 358 5143 Email:

jhunsicker@thewaters.com

Rezoning submittals must include and be accompanied by the following:

- ☐ This Application form accurately completed with original signatures.
- ☐ Application Filing Fee, payable to the City of Pewaukee:
 - o \$400.00, plus cost for publication, notice and all attorney fees related to Project
- ☐ Five (5) complete collated sets of Application materials to include:
 - o A written project narrative detailing the request and proposed zoning as well as any future development plans or any proposed site or building improvements.
 - o A Rezoning Exhibit that illustrates the property boundaries, areas to be rezoned and specifically notes the existing and proposed zoning.
 - o Building and Site Plans as may be applicable.
- ☐ All application materials provided in a digital format (Adobe PDF). Materials may be submitted on a USB Flash Drive or emailed to hurd@pewaukee.wi.us.
- ☐ Note twelve (12) additional sets of plans will be required for Plan Commission following staff review of the initial submittal. These plans should be revised in response to staff comments as may be necessary.



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770
Fax (262) 691-1798
fuchs@pewaukee.wi.us

The applicant and property owner(s) hereby certify that:

- 1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge;
- 2) the applicant and property owner(s) has/have read and understand all information in this application; and
- 3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval.

By execution of this application, the property owner(s) authorize the City of Pewaukee and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

APPLICANT'S SIGNATURE:  _____

NAME & TITLE (PRINT): John Q. Hunsicker, Sr. V.P. The Waters Senior Living Management, LLC

SIGN AND DATED this 9th day of October, 2019.

PROPERTY OWNER'S SIGNATURE: Please see attached

City Staff-

RECEIVED at City Hall by: _____ on _____

Fee paid: \$ _____

Date: _____

LEGAL DESCRIPTION OF
TAX KEY #0919991

Part of the Southwest Quarter of Section 14, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows:

Beginning at a point on the West line of the Southwest Quarter of Section 14, said point being due South of and 1022.57 feet distant from the West Quarter corner of said Section; thence continuing due South along said West line, 175.00 feet; thence due East, 278.58 feet; thence due North, 175.00 feet; thence due West 278.58 feet to the place of beginning.

Excepting Therefrom the West 50 feet for highway purposes.

Further Excepting Therefrom those lands conveyed in Warranty Deed filed February 25, 2003, as Document No. 2939466.

Tax Key Number: PWC 0919.991

LEGAL DESCRIPTION OF
TAX KEY #0919995

Parcel 1:

That part of the Southwest Quarter (1/4) of the Southwest Quarter (1/4) of Section Fourteen (14), Township Seven

(7) North of Range Nineteen (19) East, bounded and described as follows: to wit:

Beginning at the Northwest corner of the Southwest Quarter of the Southwest Quarter aforesaid, on the West line of said Section; thence East on Subdivision line of said Section, Twenty (20) chains to a post; thence South six (6) chains and twenty-five (25) links to a post on the division line; thence West twenty (20) chains to a post on the section line, thence North on said Section line six (6) chains and twenty-five (25) links to the place of beginning.

Pewaukee County, Wisconsin

Parcel 2:

That part of the Northwest Quarter (1/4) of the Southwest Quarter (1/4) of Section Fourteen (14), Township Seven

(7) North, Range Nineteen (19) East bounded and described as follows: to wit:

Commencing at a point eighteen (18) rods and ten and one-half (10 1/2) links North on the Section line from the Southwest corner of said Northwest Quarter (1/4) of the Southwest Quarter (1/4) of said Section Fourteen (14), running thence South eighteen (18) rods and ten and one-half (10 1/2) links to the last mentioned corner; thence East eighty (80) rods to the one-eighth (1/8th) line; thence North on the one-eighth (1/8th) line five (5) chains and ninety (90) links to the center of Old Plank Road; thence in a Northwesterly direction along the center of said Plank Road, nine (9) chains to a stake; thence South and parallel with the West line of said Section twenty-four (24) rods and four (4) links to a stake; thence West fifty (50) rods to the place of beginning.

Excepting that parcel conveyed to Libby M. Hagedorn by Quit Claim Deed filed May 1, 1968, as Document Nos. 711495 and 711496 being bounded and described as follows: Beginning at a point on the West line of the Southwest 1/4 of Section 14, said point being due South and 1,022.57 feet distant from the West 1/4 corner of said Section; thence continuing due South along said West line, 175.00 feet; thence due East 278.58 feet; thence due North 175.00 feet; thence due West 278.58 feet to the place of beginning. Excepting the West 50 feet thereof for highway purposes. Also excepting the land conveyed to Waukesha County by Warranty Deed filed June 25, 2003, as Document 3013002.

LESS AND EXCEPT that part of the Southwest Quarter of Section 14, Township 7 North, Range 19 East, more particularly described as follows:

Beginning at a point on the West line of said Section 14 that is 1197.57 feet South 0 degrees 10 minutes 12 seconds East of the West Quarter corner of said section; thence continuing South 0 degrees 10 minutes 12 seconds East 541.87 feet along said West line to a point on the owners Southerly property line; thence South 89 degrees 19 minutes 42 seconds East 50.01 feet along said Southerly property line to a point; thence North 0 degrees 10 minutes 12 seconds West 542.61 feet to a point on the South line of those lands described in Volume 1120 of Deeds, Page 580 of Waukesha County Records; thence South 89 degrees 49 minutes 48 seconds West 50.00 feet along said property line to the point of beginning.

Also all those lands described on Reel 177 of Records, as Image 454, Waukesha County Records, that lie between the following described centerline of relocated C.T.H. "SS" and a line 50.00 feet Southwesterly of said

centerline as measured normal to it. Said centerline is described as follows: Commencing at the East Quarter corner of Section 15, Township 7 North, Range 19 East, Town of Pewaukee; thence South 0 degrees 10 minutes 12 seconds East 71.08 feet to a point; thence North 56 degrees 7 minutes 12 seconds West 429.46 feet to the point of beginning of said centerline; thence South 61 degrees 36 minutes 16 seconds East 613.55 feet to a point of curve; thence along the arc of a 3 degrees 0 minutes 0 seconds curve 370.30 feet to a point, said curve having a center lying to the Southwest, a radius of 1909.86 feet and a long chord of 369.72 feet bearing South 55 degrees 03 minutes 00 seconds East; thence South 50 degrees 29 minutes 43 seconds East 399.43 feet to a point of curve; thence along the arc of a 3 degrees 0 minute 0 seconds curve 203.93 feet to a point, said curve having a center lying to the northeast, a radius of 1909.86 feet, and a long chord of 203.84 feet bearing South 53 degrees 33 minutes 15 seconds East; thence South 56 degrees 36 minutes 48 seconds East 600 feet to a point; said point being the end of said relocated centerline of C.T.H. "SS".

Pewaukee County, Wisconsin

Tax Key Number: PWC 0919.995

PROPERTY OWNER FULL LEGAL NAME AND ADDRESS

TAX KEY # 0919991 & 0919995

For Applicant

The Waters Senior Living Management, LLC

Tax Key # 0919991

Mapped Acreage: 0.8418

Property Address:

Owner and Mailing Address:

STEPHEN T. HAGEDORN (spouse Margaret A. Cabanski) AND KAREN E. POLANSKY (spouse Ric Polansky)

6927 FOUNTAIN DR

ANCHORAGE AK 99502

c/o Steve Hagedorn

Phone: (907) 350-7140

Email address: sthagedorn@hotmail.com

Tax Key #0919995

Mapped Acreage: 21.9516

Property Address: W239N2492 PEWAUKEE RD

Owner and Mailing Address:

KOPECKY FAMILY IRREVOCABLE TRUST

21450 CLARION LN

WAUKESHA WI 53186-5410

c/o Steve Kopecky

Phone: (262) 719-2497

Email address: Kopecky27@sbcglobal.net

CITY OF PEWAUKEE
PETITION FOR A REZONING DISTRICT MAP AMENDMENT
PROPERTY OWNER'S SIGNATURE
TAX KEY #0919991

S.T. Hagedorn
Stephen T. Hagedorn

Margaret A. Cabanski
Margaret A. Cabanski

Karen E. Polansky

Ric Polansky

Dated: October 12, 2019

CITY OF PEWAUKEE
PETITION FOR A REZONING DISTRICT MAP AMENDMENT
PROPERTY OWNER'S SIGNATURE
TAX KEY #0919991

Stephen T. Hagedorn

Margaret A. Cabanski

Karen E. Polansky

Karen E. Polansky

Ric Polansky

Ric Polansky

Dated: October 14, 2019

CITY OF PEWAUKEE
PETITION FOR A REZONING DISTRICT MAP AMENDMENT
PROPERTY OWNER'S SIGNATURE
TAX KEY #0919995

KOPECKY FAMILY IRREVOCABLE TRUST

Dated August 16, 2018

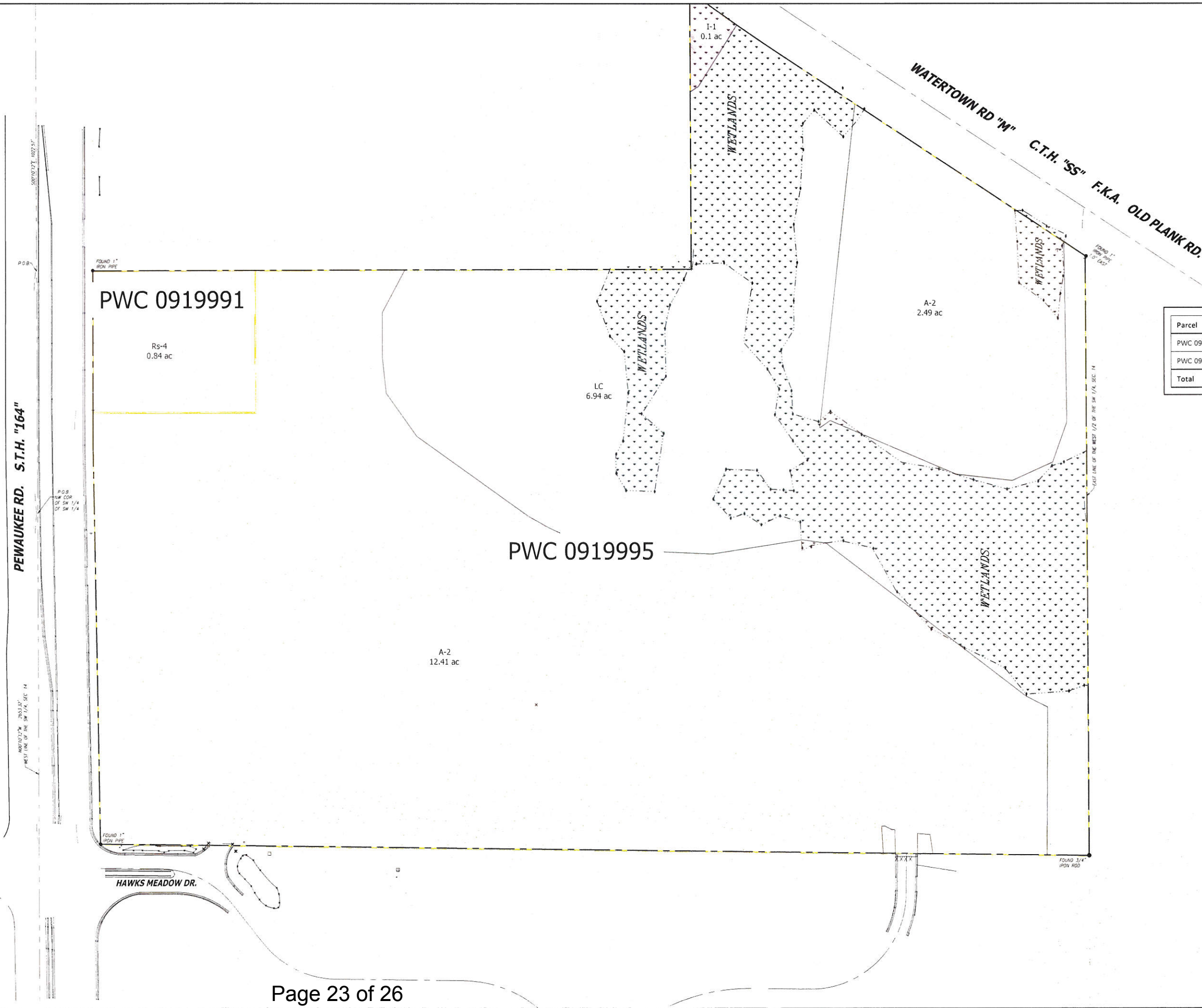
By:


Stephen Kopecky, as Trustee

Dated: October 11, 2019

#554000
013148-0036

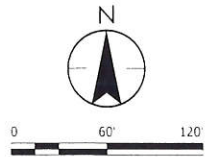
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	AGRICULTURE (A-2)
	SINGLE FAMILY RESIDENTIAL (R5-4)
	LOWLAND CONSERVANCY (LC)
	URBAN INSTITUTIONAL (I-1)

Zone	Area (\$F)	Area (ac)	Percentage
Rs-4	36749	0.84	3.7%
I-1	4374	0.10	0.4%
A-2	649381	14.91	65.4%
LC	302228	6.94	30.4%
Total	992,732	22.79	100%

Parcel	Wetlands (SF)	Area (SF)	Area (ac)	Percentage
PWC 0919995	154,859	956,142	21.95	16.2%
PWC 0919991	0	36,590	0.84	0.0%
Total	154,859	992,732	22.79	16.2%



NOT FOR
CONSTRUCTION
PLAN COMMISSION
REVIEW SET

EXISTING ZONING EXHIBIT

THE WATERS OF PEWAUKEE
THE WATERS SENIOR LIVING MANAGEMENT, LLC
PEWAUKEE, WISCONSIN

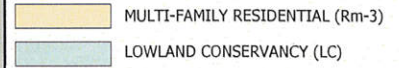
DATE OF ISSUANCE
October 22, 2019

REVISION	DATE
	NOVEMBER 13 2019

[illegible]

EX.ZONE

Plot Date: 11/12/2019 - 6:05pm
Drawing name: V:\1938\active\193805844\CAD\DWG\EXHIBITS\193805844_ZONING_11.12.2019.dwg
Labels: Border, 193805844_XST, 193805844_XSNO



Zone	Area (SF)	Area (ac)	Percentage
Rm-3	844551	19.39	85.1%
LC	148181	3.40	14.9%
Total	992,732	22.79	100%

Wetlands (SF)	Area (SF)	Area (ac)	Percentage
148,181	992,732	22.79	14.9%

NOT FOR
CONSTRUCTION
PLAN COMMISSION
REVIEW SET

PROPOSED ZONING EXHIBIT

THE WATERS OF PEWAUKEE
THE WATERS SENIOR LIVING MANAGEMENT, LLC
PEWAUKEE, WISCONSIN

DATE OF ISSUANCE
October 22, 2019

NO	REVISION	DATE
1		NOVEMBER 13, 2019

SURVEY	CHAPUT
DRAWN	COMM
DESIGNED	COMM
CHECKED	MAB
APPROVED	
PROJ. NO.	193805844

SHEET NUMBER
PR.ZONE





Interstate Partners LLC

N16 W23217 Stone Ridge Drive • Suite 120 • Waukesha, WI 53188 • Tel: 262.506.1000 • Fax: 262.506.1001 • interstatepartners.com

City of Pewaukee
W240N3065 Pewaukee Road
Pewaukee, WI 53072
Attn: Plan Commission

November 11, 2019

RE: Notice of Zoning Map Amendment Public Hearing on behalf of The Waters Senior Living Management, LLC (Applicant) and Kopecky Family Irrevocable Trust and Stephen T. Hagedorn and Karen E. Polansky (Property Owners) to rezone from: RS-4 Single Family Residential, A-2 Agricultural, I-1 Urban Institutional and LC Lowland Conservancy to RM-3 Multi-Family Residential (except for areas zoned LC district which shall remain LC).

Dear Plan Commission:

RidgeView Office IV LLC is the owner of the property immediately to the East of the property referenced in the petition described above. In June, 2015, Interstate Partners LLC, on behalf of the ownership group, completed construction of a new 25,700 square foot office building for Argent, a division of West Bend Insurance Company. City of Pewaukee documents often referred to this project as the County Highway M Office Building. As part of our approvals from the City, we were required by the Department of Public Works to construct the north end of our entry drive as a storm water overflow weir with a specific engineered cross slope from West to East. In the past four years, the weir has performed as designed though the amount of surface water crossing the drive has been rather substantial during several large rain events. RidgeView Office IV LLC is not opposed to the rezoning request nor the Conditional Use Request that will be before the Common Council on December 2nd. What we are requesting is that the Department of Public Works request from the petitioner hydraulic calculations of their site as it currently exists. Our preference is that any and all storm water be funneled to the West toward State Highway 164. If that is not possible, then we must be assured that any future flows to the East toward our property do not exceed current flow rates. This is critically important because our tenant has a single means of ingress and egress to their facility. If their access is blocked due to excessive water ponding or flow, they will be shut down and the Owner could be subject to a contractual default and severe monetary penalties. I am available at 262-506-1003 if you have any questions or comments.

Sincerely,
Interstate Partners LLC

William J. Schwartz
Director of Real Estate Development

CERTIFIED SURVEY MAP NO.

BEING A PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 14, TOWNSHIP 7 NORTH, RANGE 19 EAST, CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

PREPARED FOR:

RIDGEVIEW LLC
N16W23217 STONE RIDGE DR
WAUKESHA WI 53188

PREPARED BY:

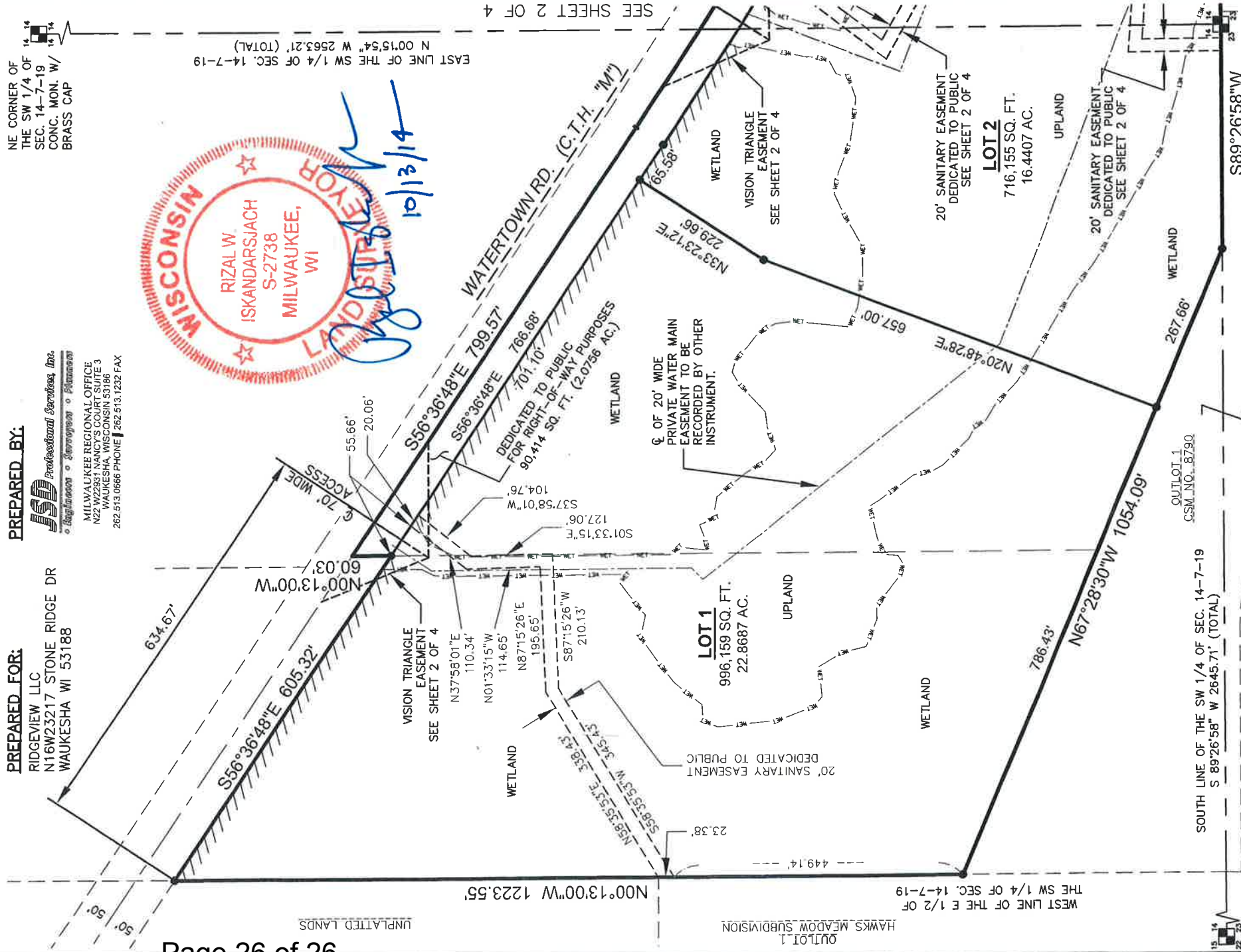
ISD Professional Services, Inc.
a Equal Opportunity & Affirmative Action Employer
MILWAUKEE REGIONAL OFFICE
N22 W22931 NANCY'S COURT SUITE 3
WAUKESHA, WISCONSIN 53186
262.513.0666 PHONE 262.513.1232 FAX



NE CORNER OF
THE SW 1/4 OF
SEC. 14-7-19
CONC. MON. W/
BRASS CAP

EAST LINE OF THE SW 1/4 OF SEC. 14-7-19
N 00°15'54" W 2563.21' (TOTAL)

SEE SHEET 2 OF 4

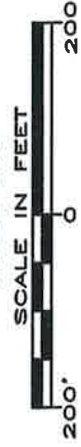


LEGEND:

- 1" IRON PIPE FOUND AND ACCEPTED
- 1"X18" IRON PIPE SET WEIGHING 1.13 LBS/FT
- /// NO DIRECT VEHICULAR ACCESS TO C.T.M "M"

SW CORNER OF
THE SW 1/4 OF
SEC. 14-7-19
CONC. MON. W/
BRASS CAP

SE CORNER OF
THE SW 1/4 OF
SEC. 14-7-19
CONC. MON. W/
BRASS CAP



DATED THIS ____ DAY OF OCTOBER, 2014
THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 5.**

DATE: November 21, 2019

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Recommendation to the Common Council for a Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for The Waters Senior Living Management, LLC for Property Located at W239 N2492 Pewaukee Road From Medium Density Residential, Office/Commercial and Floodplains, Lowland & Upland Conservancy and Other Natural Areas to High Density Residential and Floodplains, Lowland & Upland Conservancy and Other Natural Areas (PWC 0919991 & PWC 0919995)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

The Waters Comp Plan Amendment Maps 11.13.19

The Waters Comp Plan Amendment

Plot Date: 11/12/2019 - 5:51pm
Drawing name: V:\1938\active\193805844\CAD\DWG\EXHIBITS\193805844_COMPLAN_LANDUSE_11.12.2019.dwg
kels, Border, 193805844_XSXT, 193805844_XSNO



HAWKS MEADOW DR.

Page 2 of 8



Land Use	Area (SF)	Area (ac)	Percentage
Office Commercial	99099	2.275	10.0%
Flood Plains, Lowland & Upland Conservancy, and other Natural Areas	276867	6.356	27.9%
Mining	97574	2.240	9.8%
Medium Density Residential	519192	11.919	52.3%
Total	992,732	22.790	100%

NOT FOR
CONSTRUCTION
PLAN COMMISSION
REVIEW SET

EXISTING LAND USE EXHIBIT

THE WATERS OF PEWAUKEE
THE WATERS SENIOR LIVING MANAGEMENT, LLC
PEWAUKEE, WISCONSIN

DATE OF ISSUANCE	October 22, 2019
------------------	------------------

NO	REVISION	DATE
1		NOVEMBER 13, 2019

SURVEY	CHAR
DRAWN	CM
DESIGNED	CM
CHECKED	M
APPROVED	
PROJ. NO.	1938056

SHEET NUMBER
EX.LAND



THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

3rd Date: 11/13/2019 - 8:27am
Drawing Name: V:\1938\active\193805844\CADD\DWG\EXHIBITS\193805844_COMPLAN_LANDUSE_11.12.2019.dwg
User: Borden, 193805844.XXX, 193805844.XXX

PEWAUKEE RD. S.T.H. "164"

1420'12" 265.12'
WEST LINE OF THE SW 1/4 SEC. 14

500'10" 102.25'

P.O.B.
NW COR.
OF SW 1/4
OF SW 1/4

HAWKS MEADOW DR.

FOUND 1" IRON PIPE

HIGH DENSITY RESIDENTIAL (< 6,500 SQ. FT. / D.U.)
18.134 ac

TRANSPORTATION / UTILITIES
1.263 ac

FLOOD PLAINS, LOWLAND & UPLAND CONSERVANCY, AND OTHER NATURAL AREAS
3.393 ac

WETLANDS

WETLANDS

WETLANDS

WETLANDS

WATERTOWN RD "M" C.T.H. "SS" F.K.A. OLD PLANK RD.



- FLOOD PLAINS, CONSERVANCY, & OTHER NATURAL AREAS
- TRANSPORTATION / UTILITIES
- HIGH DENSITY RESIDENTIAL (< 6,500 SQ. FT. / D.U.)

Land Use	Area (SF)	Area (ac)	Percentage
Flood Plains, Lowland & Upland Conservancy, and other Natural Areas	147800	3.393	14.9%
Transportation / Utilities	55022	1.263	5.5%
Medium Density Residential	789910	18.134	79.6%
Total	992,732	22.790	100%

PROPOSED LAND USE EXHIBIT
THE WATERS OF PEWAUKEE
THE WATERS SENIOR LIVING MANAGEMENT, LLC
PEWAUKEE, WISCONSIN

DATE OF ISSUANCE
October 22, 2019

NO REVISION DATE
1 NOVEMBER 13, 2019

SURVEY CHAPUT
DRAWN CMM
DESIGNED CMM
CHECKED MAB
APPROVED

PROJ. NO. 193805844

SHEET NUMBER

PR.LAND

Stantec
12075 N. Corporate Parkway, Suite 200
Mequon, WI 53092
www.stantec.com

NOT FOR
CONSTRUCTION
PLAN COMMISSION
REVIEW SET



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770
Fax (262) 691-1798
fuchs@pewaukee.wi.us

PETITION FOR AN AMENDMENT TO THE COMPREHENSIVE MASTER PLAN

TO THE HONORABLE MAYOR AND COMMON COUNCIL OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned hereby petitions the Common Council of the City of Pewaukee, Waukesha County, Wisconsin to amend the City's Year 2050 Land Use/Transportation Plan land use designation for the following property (#91) **FROM Medium Density Residential** (#95) **FROM: Office Commercial and Flood Plains, Lowland & Upland Conservancy District and other natural areas, and Medium Density Residential. TO High Density Residential.**

Legal description of property to be rezoned – Please attach.

Common property description or name: _____

Property Address: See Attached

Tax Key Number(s): 0919991 & 0919995

Property owner(s) (Full Legal Name): See Attached

Owner's Address: See Attached

This amendment to the zoning map is being proposed in order to develop a multi-family senior living facility.

Applicant (Full Legal Name):

Name: The Waters Senior Living Management, LLC

Address: 1600 Hopkins Crossroad, Minnetonka MN 55305

Phone: 952 358 5143

Email: jhunsicker@thewaters.com

Contact Person (Full Legal Name):

Name: John Q. Hunsicker Company: The Waters Senior Living Management, LLC

Address: 1600 Hopkins Crossroad, Minnetonka MN 55305

Phone: 952 358 5143

Email: jhunsicker@thewaters.com

Comprehensive Master Plan Amendment submittals must include and be accompanied by the following:

- ☐ This Application form accurately completed with original signatures.
- ☐ Application Filing Fee, payable to the City of Pewaukee:
 - o \$400.00, plus cost for publication, notice and all attorney fees related to Project
- ☐ Five (5) complete collated sets of Application materials to include:
 - o A written project narrative detailing the request and proposed amendment as well as any future development plans or any proposed site or building improvements.
 - o A Comprehensive Master Plan Amendment Exhibit that illustrates the property boundaries, areas to be changed and specifically notes the existing and proposed future land use designation.
 - o Building and Site Plans as may be applicable.
- ☐ All application materials provided in a digital format (Adobe PDF). Materials may be submitted on a USB Flash Drive or emailed to hurd@pewaukee.wi.us.
- ☐ Note twelve (12) additional sets of plans will be required for Plan Commission following staff review of the initial submittal. These plans should be revised in response to staff comments as may be necessary.



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770
Fax (262) 691-1798
fuchs@pewaukee.wi.us

The applicant and property owner(s) hereby certify that:

- 1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge;
- 2) the applicant and property owner(s) has/have read and understand all information in this application; and
- 3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval.

By execution of this application, the property owner(s) authorize the City of Pewaukee and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

APPLICANT'S SIGNATURE:  _____

NAME & TITLE (PRINT): John Q. Hunsicker, Sr. V.P. The Waters Senior Living Management, LLC

SIGN AND DATED this 9th **day of** October, 2019.

PROPERTY OWNER'S SIGNATURE: Please See Attached Signature Pages

City Staff-

RECEIVED at City Hall by: _____ on _____

Fee paid: \$ _____ Date: _____

LEGAL DESCRIPTION OF
TAX KEY #0919991

Part of the Southwest Quarter of Section 14, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows:

Beginning at a point on the West line of the Southwest Quarter of Section 14, said point being due South of and 1022.57 feet distant from the West Quarter corner of said Section; thence continuing due South along said West line, 175.00 feet; thence due East, 278.58 feet; thence due North, 175.00 feet; thence due West 278.58 feet to the place of beginning.

Excepting Therefrom the West 50 feet for highway purposes.

Further Excepting Therefrom those lands conveyed in Warranty Deed filed February 25, 2003, as Document No. 2939466.

Tax Key Number: PWC 0919.991

LEGAL DESCRIPTION OF
TAX KEY #0919995

Parcel 1:

That part of the Southwest Quarter (1/4) of the Southwest Quarter (1/4) of Section Fourteen (14), Township Seven
(7) North of Range Nineteen (19) East, bounded and described as follows: to wit:

Beginning at the Northwest corner of the Southwest Quarter of the Southwest Quarter aforesaid, on the West line of said Section; thence East on Subdivision line of said Section, Twenty (20) chains to a post; thence South six (6) chains and twenty-five (25) links to a post on the division line; thence West twenty (20) chains to a post on the section line, thence North on said Section line six (6) chains and twenty-five (25) links to the place of beginning.

Pewaukee County, Wisconsin

Parcel 2:

That part of the Northwest Quarter (1/4) of the Southwest Quarter (1/4) of Section Fourteen (14), Township Seven
(7) North, Range Nineteen (19) East bounded and described as follows: to wit:

Commencing at a point eighteen (18) rods and ten and one-half (10 1/2) links North on the Section line from the Southwest corner of said Northwest Quarter (1/4) of the Southwest Quarter (1/4) of said Section Fourteen (14), running thence South eighteen (18) rods and ten and one-half (10 1/2) links to the last mentioned corner; thence East eighty (80) rods to the one-eighth (1/8th) line; thence North on the one-eighth (1/8th) line five (5) chains and ninety (90) links to the center of Old Plank Road; thence in a Northwesterly direction along the center of said Plank Road, nine (9) chains to a stake; thence South and parallel with the West line of said Section twenty-four (24) rods and four (4) links to a stake; thence West fifty (50) rods to the place of beginning.

Excepting that parcel conveyed to Libby M. Hagedorn by Quit Claim Deed filed May 1, 1968, as Document Nos. 711495 and 711496 being bounded and described as follows: Beginning at a point on the West line of the Southwest 1/4 of Section 14, said point being due South and 1,022.57 feet distant from the West 1/4 corner of said Section; thence continuing due South along said West line, 175.00 feet; thence due East 278.58 feet; thence due North 175.00 feet; thence due West 278.58 feet to the place of beginning. Excepting the West 50 feet thereof for highway purposes. Also excepting the land conveyed to Waukesha County by Warranty Deed filed June 25, 2003, as Document 3013002.

LESS AND EXCEPT that part of the Southwest Quarter of Section 14, Township 7 North, Range 19 East, more particularly described as follows:

Beginning at a point on the West line of said Section 14 that is 1197.57 feet South 0 degrees 10 minutes 12 seconds East of the West Quarter corner of said section; thence continuing South 0 degrees 10 minutes 12 seconds East 541.87 feet along said West line to a point on the owners Southerly property line; thence South 89 degrees 19 minutes 42 seconds East 50.01 feet along said Southerly property line to a point; thence North 0 degrees 10 minutes 12 seconds West 542.61 feet to a point on the South line of those lands described in Volume 1120 of Deeds, Page 580 of Waukesha County Records; thence South 89 degrees 49 minutes 48 seconds West 50.00 feet along said property line to the point of beginning.

Also all those lands described on Reel 177 of Records, as Image 454, Waukesha County Records, that lie between the following described centerline of relocated C.T.H. "SS" and a line 50.00 feet Southwesterly of said

centerline as measured normal to it. Said centerline is described as follows: Commencing at the East Quarter corner of Section 15, Township 7 North, Range 19 East, Town of Pewaukee; thence South 0 degrees 10 minutes 12 seconds East 71.08 feet to a point; thence North 56 degrees 7 minutes 12 seconds West 429.46 feet to the point of beginning of said centerline; thence South 61 degrees 36 minutes 16 seconds East 613.55 feet to a point of curve; thence along the arc of a 3 degrees 0 minutes 0 seconds curve 370.30 feet to a point, said curve having a center lying to the Southwest, a radius of 1909.86 feet and a long chord of 369.72 feet bearing South 55 degrees 03 minutes 00 seconds East; thence South 50 degrees 29 minutes 43 seconds East 399.43 feet to a point of curve; thence along the arc of a 3 degrees 0 minute 0 seconds curve 203.93 feet to a point, said curve having a center lying to the northeast, a radius of 1909.86 feet, and a long chord of 203.84 feet bearing South 53 degrees 33 minutes 15 seconds East; thence South 56 degrees 36 minutes 48 seconds East 600 feet to a point; said point being the end of said relocated centerline of C.T.H. "SS".

Pewaukee County, Wisconsin

Tax Key Number: PWC 0919.995

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 6.**

DATE: November 21, 2019

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Recommendation to the Common Council for the Conditional Use and Site and Building Plans for The Waters Senior Living Management, LLC for Property Located at W239 N2492 Pewaukee Road for the Purpose of Developing Housing for the Elderly or Assisted Living Housing Units Under Pewaukee Ordinance 17.0416(c)(2) (PWC 0919991 & PWC 0919995)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

The Waters Conditional Use Petition

The Waters Draft CUP

The Waters Sign Plan

The Waters Civil Drawings

The Waters Cottages Elevations 11.14.19

The Waters Senior Building Elevations 11.14.19



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770
Fax (262) 691-1798
fuchs@pewaukee.wi.us

PETITION FOR CONDITIONAL USE

TO THE HONORABLE MAYOR AND COMMON COUNCIL OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned hereby petitions the Common Council of the City of Pewaukee, Waukesha County, Wisconsin for a Conditional Use Permit for the purpose of: Housing for Elderly or Assisted Living Housing Units under Pewaukee Ordinance 17.0416(c)(2).

Legal description of property to be rezoned – Please attach.

Common property description or name: _____

Property Address: See Attached

Tax Key Number(s): 0919991 & 0919995

Property owner(s) (Full Legal Name): Please See Attached

Owner's Address: Please See Attached

Applicant (Full Legal Name):

Name: The Waters Senior Living Management, LLC

Address: 1600 Hopkins Crossroad, Minnetonka, MN 55305

Phone: 952 358 5143

Email: jhunsicker@thewaters.com

Contact Person (Full Legal Name):

Name: John Q. Hunsicker

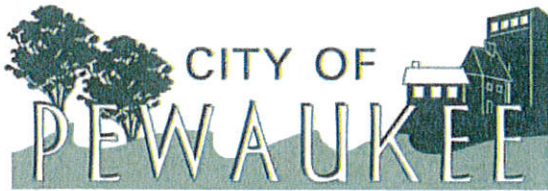
Company: The Waters Senior Living Management, LLC
Address: 1600 Hopkins Crossroad, Minnetonka, MN 55305

Phone: 952 358 5143

Email: jhunsicker@thewaters.com

Conditional Use submittals must include and be accompanied by the following:

- ☐ This Application form accurately completed with original signatures.
- ☐ Application Filing Fee, payable to the City of Pewaukee:
 - o \$400.00, plus cost for publication, notice and all attorney fees related to project
- ☐ Five (5) complete collated sets of Application materials to include:
 - o A written project narrative detailing the request, business/use operational information, future development plans, site and building improvements, tentative development schedule, and estimated project value.
 - o Scaled drawings, as may be applicable, including, but not limited to; a site plan, grading/erosion control plan, preliminary storm water management plan, landscape plan, lighting plan, building elevations, colored renderings, sign details and natural resource delineations.
- ☐ All application materials provided in a digital format (Adobe PDF). Materials may be submitted on a USB Flash Drive or emailed to hurd@pewaukee.wi.us.
- ☐ Note twelve (12) additional sets of plans will be required for Plan Commission following staff review of the initial submittal. These plans should be revised in response to staff comments as may be necessary.



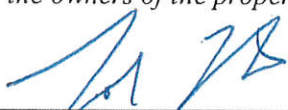
Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770
Fax (262) 691-1798
fuchs@pewaukee.wi.us

The applicant and property owner(s) hereby certify that:

- 1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge;
- 2) the applicant and property owner(s) has/have read and understand all information in this application; and
- 3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval.

By execution of this application, the property owner(s) authorize the City of Pewaukee and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

APPLICANT'S SIGNATURE: 

NAME & TITLE (PRINT): John Q. Hunsicker, Sr. V.P. The Waters Senior Living Management, LLC

SIGN AND DATED this 9th day of October, 2019 .

PROPERTY OWNER'S SIGNATURE: Please see attached

City Staff-

RECEIVED at City Hall by: _____ on _____

Fee paid: \$ _____ Date: _____

LEGAL DESCRIPTION OF
TAX KEY #0919991

Part of the Southwest Quarter of Section 14, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows:

Beginning at a point on the West line of the Southwest Quarter of Section 14, said point being due South of and 1022.57 feet distant from the West Quarter corner of said Section; thence continuing due South along said West line, 175.00 feet; thence due East, 278.58 feet; thence due North, 175.00 feet; thence due West 278.58 feet to the place of beginning.

Excepting Therefrom the West 50 feet for highway purposes.

Further Excepting Therefrom those lands conveyed in Warranty Deed filed February 25, 2003, as Document No. 2939466.

Tax Key Number: PWC 0919.991

LEGAL DESCRIPTION OF
TAX KEY #0919995

Parcel 1:

That part of the Southwest Quarter (1/4) of the Southwest Quarter (1/4) of Section Fourteen (14), Township Seven
(7) North of Range Nineteen (19) East, bounded and described as follows: to wit:

Beginning at the Northwest corner of the Southwest Quarter of the Southwest Quarter aforesaid, on the West line of said Section; thence East on Subdivision line of said Section, Twenty (20) chains to a post; thence South six (6) chains and twenty-five (25) links to a post on the division line; thence West twenty (20) chains to a post on the section line, thence North on said Section line six (6) chains and twenty-five (25) links to the place of beginning.

Pewaukee County, Wisconsin

Parcel 2:

That part of the Northwest Quarter (1/4) of the Southwest Quarter (1/4) of Section Fourteen (14), Township Seven
(7) North, Range Nineteen (19) East bounded and described as follows: to wit:

Commencing at a point eighteen (18) rods and ten and one-half (10 1/2) links North on the Section line from the Southwest corner of said Northwest Quarter (1/4) of the Southwest Quarter (1/4) of said Section Fourteen (14), running thence South eighteen (18) rods and ten and one-half (10 1/2) links to the last mentioned corner; thence East eighty (80) rods to the one-eighth (1/8th) line; thence North on the one-eighth (1/8th) line five (5) chains and ninety (90) links to the center of Old Plank Road; thence in a Northwesterly direction along the center of said Plank Road, nine (9) chains to a stake; thence South and parallel with the West line of said Section twenty-four (24) rods and four (4) links to a stake; thence West fifty (50) rods to the place of beginning.

Excepting that parcel conveyed to Libby M. Hagedorn by Quit Claim Deed filed May 1, 1968, as Document Nos. 711495 and 711496 being bounded and described as follows: Beginning at a point on the West line of the Southwest 1/4 of Section 14, said point being due South and 1,022.57 feet distant from the West 1/4 corner of said Section; thence continuing due South along said West line, 175.00 feet; thence due East 278.58 feet; thence due North 175.00 feet; thence due West 278.58 feet to the place of beginning. Excepting the West 50 feet thereof for highway purposes. Also excepting the land conveyed to Waukesha County by Warranty Deed filed June 25, 2003, as Document 3013002.

LESS AND EXCEPT that part of the Southwest Quarter of Section 14, Township 7 North, Range 19 East, more particularly described as follows:

Beginning at a point on the West line of said Section 14 that is 1197.57 feet South 0 degrees 10 minutes 12 seconds East of the West Quarter corner of said section; thence continuing South 0 degrees 10 minutes 12 seconds East 541.87 feet along said West line to a point on the owners Southerly property line; thence South 89 degrees 19 minutes 42 seconds East 50.01 feet along said Southerly property line to a point; thence North 0 degrees 10 minutes 12 seconds West 542.61 feet to a point on the South line of those lands described in Volume 1120 of Deeds, Page 580 of Waukesha County Records; thence South 89 degrees 49 minutes 48 seconds West 50.00 feet along said property line to the point of beginning.

Also all those lands described on Reel 177 of Records, as Image 454, Waukesha County Records, that lie between the following described centerline of relocated C.T.H. "SS" and a line 50.00 feet Southwesterly of said

centerline as measured normal to it. Said centerline is described as follows: Commencing at the East Quarter corner of Section 15, Township 7 North, Range 19 East, Town of Pewaukee; thence South 0 degrees 10 minutes 12 seconds East 71.08 feet to a point; thence North 56 degrees 7 minutes 12 seconds West 429.46 feet to the point of beginning of said centerline; thence South 61 degrees 36 minutes 16 seconds East 613.55 feet to a point of curve; thence along the arc of a 3 degrees 0 minutes 0 seconds curve 370.30 feet to a point, said curve having a center lying to the Southwest, a radius of 1909.86 feet and a long chord of 369.72 feet bearing South 55 degrees 03 minutes 00 seconds East; thence South 50 degrees 29 minutes 43 seconds East 399.43 feet to a point of curve; thence along the arc of a 3 degrees 0 minute 0 seconds curve 203.93 feet to a point, said curve having a center lying to the northeast, a radius of 1909.86 feet, and a long chord of 203.84 feet bearing South 53 degrees 33 minutes 15 seconds East; thence South 56 degrees 36 minutes 48 seconds East 600 feet to a point; said point being the end of said relocated centerline of C.T.H. "SS".

Pewaukee County, Wisconsin

Tax Key Number: PWC 0919.995

**A COVENANT
REGARDING THE ISSUANCE OF A
CONDITIONAL USE PERMIT
BY THE
CITY OF PEWAUKEE**

TAX KEY NUMBER(S) OR PARCEL(S) INVOLVED: **CONDITIONAL USE PERMIT:**
NO. CUP-19-12-1

PWC 0919991 & PWC 0919995

LEGAL DESCRIPTION:

0919991

Part of the Southwest Quarter of Section 14, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows: Beginning at a point on the West line of the Southwest Quarter of Section 14, said point being due South of an 1022.57 feet distant from the West Quarter corner of said Section; thence continuing due South along said West line, 175.00 feet; thence due East, 278.58 feet; thence due North, 175.00 feet; thence due West 278.58 feet to the place of beginning. Excepting Therefrom the West 50 feet for highway purposes. Further Excepting Therefrom those lands conveyed in Warranty Deed filed February 25, 2003, as Document No. 2939466.

0919995

Parcel 1: That part of the Southwest Quarter (1/4) of the Southwest Quarter (1/4) of Section Fourteen (14), Township Seven (7) North of Range Nineteen (19) East, bounded and described as follows to wit: Beginning at the Northwest corner of the Southwest Quarter of the Southwest Quarter aforesaid, on the West line of said Section; thence East on Subdivision line of said Section, Twenty (20) chains to a post; thence South six (6) chains and twenty-five (25) links to a post on the division line; thence West twenty (20) chains to a post on the section line, thence North on said Section line six (6) chains and twenty-five (25) links to the place of beginning.

Parcel 2: That part of the Northwest Quarter (1/4) of the Southwest Quarter (1/4) of Section Fourteen (14), Township Seven (7) North of Range Nineteen (19) East, bounded and described as follows to wit: Commencing at a point eighteen (18) rods and ten and one-half (10 ½) links North on the Section line from the Southwest corner of said Northwest Quarter (1/4) of the Southwest Quarter (1/4) of said Section Fourteen (14), running thence South eighteen (18) rods and ten and one-half (10 ½) links to the last mentioned corner; thence East eighty (80) rods to the one-eighth (1/8th) line; thence North on the one-eighth (1/8th) line five (5) chains and ninety (90) links to the center of Old Plank Road; thence in a Northwesterly direction along the center of said plank Road, nine (9) chains to a stake; thence South and parallel with the West line of said Section twenty-four (24) rods and four (4) links to a stake; thence West fifty (50) rods to the place of beginning. Excepting that parcel conveyed to Libby M. Hagedorn by Quit Claim Deed filed May 1, 1968, as Document Nos. 711495 and 711496 being bounded and described as follows: Beginning at a point on the West line of the Southwest 1/4 of Section 14, said point being due South and

Recording area

Name & Return Address

City of Pewaukee
W240N3065 Pewaukee Rd
Pewaukee, WI 53072

1022.57 feet distant from the West 1/4 corner of said Section; thence continuing due South along said West line, 175.00 feet; thence due East 278.58 feet; thence due North 175.00 feet; thence due West 278.58 feet to the place of beginning. Excepting the West 50 feet thereof for highway purposes. Also excepting the land conveyed to Waukesha County by Warranty Deed filed June 25, 2003, as Document 3013002. Less and except that part of the Southwest Quarter of Section 14, Township 7 North, Range 19 East, more particularly described as follows: Beginning at a point on the West line of said Section 14 that is 1197.57 feet South 0 degrees 10 minutes 12 seconds East of the West Quarter corner of said section; thence continuing South 0 degrees 10 minutes 12 seconds East 541.87 feet along said West line to a point on the owners Southerly property line; thence South 89 degrees 19 minutes 42 seconds East 50.01 feet along said Southerly property line to a point; thence North 0 degrees 10 minutes 12 seconds West 542.61 feet to a point on the South line of those lands described in Volume 1120 of Deeds, Page 580 of Waukesha County records; thence South 89 degrees 49 minutes 48 seconds West 50.00 feet along said property line to the point of beginning. Also those lands described on Reel 177 of Records, as Image 454, Waukesha County Records, that lie between the following described centerline of relocated CTH "SS" and a line 50.00 feet Southwesterly of said centerline as measured normal to it. Said centerline is described as follows: Commencing at the East Quarter corner of Section 15, Township 7 North, Range 19 East, Town of Pewaukee; thence South 0 degrees 10 minutes 12 seconds East 71.08 feet to a point; thence North 56 degrees 7 minutes 12 seconds West 429.46 feet to the point of beginning of said centerline; thence South 61 degrees 36 minutes 16 seconds East 613.55 feet to a point of curve; thence along the arc of a 3 degrees 0 minutes 0 seconds curve 370.30 feet to a point, said curve having a center lying to the Southwest, a radius of 1909.86 feet and a long chord of 369.72 feet bearing South 55 degrees 09 minutes 00 seconds East; thence South 50 degrees 29 minutes 43 seconds East 399.43 feet to a point of curve; thence along the arc of a 3 degree 0 minute 0 seconds curve 203.93 feet to a point, said curve having a center lying to the northeast, a radius of 1909.86 feet, and a long chord of 203.84 feet bearing South 53 degrees 33 minutes 15 seconds East; thence South 56 degrees 36 minutes 48 seconds East 600 feet to a point; said point being the end of said relocated centerline of CTH "SS".

PERSON(S), AGENT(S) OR CORPORATION(S) PETITIONING FOR PERMIT:

The Waters Senior Living Management, LLC

WHEREAS, It is understood by all parties to this covenant that Section 62.23 of WIS. Statutes prescribes the legal basis for the granting of a conditional use permit by a City and Chapter 17 of the City Codes and Ordinances provides for the issuance of such permits as well as the standards by which all such uses will be measured; and,

WHEREAS, The City Plan Commission has held a meeting on November 21st, 2019; has reviewed the various elements of the petitioners proposal; and has recommended that a Conditional Use Permit be granted to the above named petitioner for the property/parcel identified above; and,

WHEREAS, The City Common Council, held a public hearing meeting held on December 2nd, 2019.

NOW, THEREFORE, let it be known that the City Common Council by its action on December 2nd, 2019 has, hereby, granted a Conditional Use Permit for the following use(s):

Housing for elderly or assisted living housing units under Pewaukee Ordinance 17.0416(c)(2).

FURTHER, such approved use of the above designated parcel(s) are hereby allowed based on the following conditions being continually met:

1. Sidewalks shall be placed within a public access easement and maintenance agreement to be recorded with the Waukesha County Register of Deeds, prior to issuance of a Building Permit.
2. The enclosure for the generator shall be constructed of materials that matches that of the principal building.
3. All buildings shall be a minimum of 20-feet apart and constructed of noncombustible materials as approved by the Fire Chief.
4. All rooftop and ground mechanicals shall be screened from public view. A mechanical plan shall be submitted and approved by City Staff, prior to the issuance of a Building Permit.
5. Grading shall not encroach into the drip line of the existing tree line along the south property line.
6. Applicant shall enter into an agreement with the City of Pewaukee providing that in the event the land and/or building to be developed here under be exempt from general property taxation at any time, that such property shall be subject to an annual payment in lieu of taxes to the City by the owner(s) of the property in an amount that would be equal to the amount that would be levied as the annual City general property tax upon the real and personal property were it not exempt from taxation. Such payments to the City shall be due and payable from time to time as and when general property taxes are due and payable. The agreement shall be recorded in the Office of the Register of Deeds for Waukesha County prior to the issuance of a Building Permit.
7. Road B on the Site Plan shall be eliminated and replaced with a private drive that provides ingress/egress from Watertown Road (CTH M) to the senior facility.
8. Talon Drive shall be a two-way through street.
9. Street names shall be reviewed and approval by the Common Council.
10. Wisconsin Department of Natural Resources approval shall be granted for all impacts to wetlands and wetland setbacks prior to the issuance of a Building Permit.
11. All remaining wetland and wooded areas that are not being disturbed must be protected onsite by orange construction fencing or other means that ensures these areas will be protected throughout construction.
12. A detailed Landscape Plan shall be submitted to City staff for review and approval, prior to issuance of a Building Permit.
13. Final grading, erosion control, and storm water management plans shall be approved by the Engineering Department, prior to any land disturbing activities.
14. Applicant shall provide, for Engineering Department review and approval, storm water pond access easements and shall enter into a storm water maintenance agreement with the City. All easements and agreements shall be recorded with the Waukesha County Register of Deeds prior to the issuance of a Building Permit. Further all easements shall be illustrated on the Site Plan and Certified Survey Maps.
15. The development shall be allowed three monument signs as illustrated on the Site Plan, to be reviewed and approved by City Staff, and subject to issuance of a Sign Permit through the Building Services Department, prior to installation. The proposed signs shall comply with Section 17.0700 of the City's Zoning Code.

The parties hereto, namely the City of Pewaukee and the Equitable Owner of the property for which this conditional use has been sought, set their signatures or the signatures of their representatives below, thereby agreeing to the provisions and conditions set forth in this covenant.

Attest:

Signature of equitable owner

Date

Kelly Tarczewski
City Clerk

Steve Bierce
Mayor, City of Pewaukee

Date

State of Wisconsin
County of Waukesha

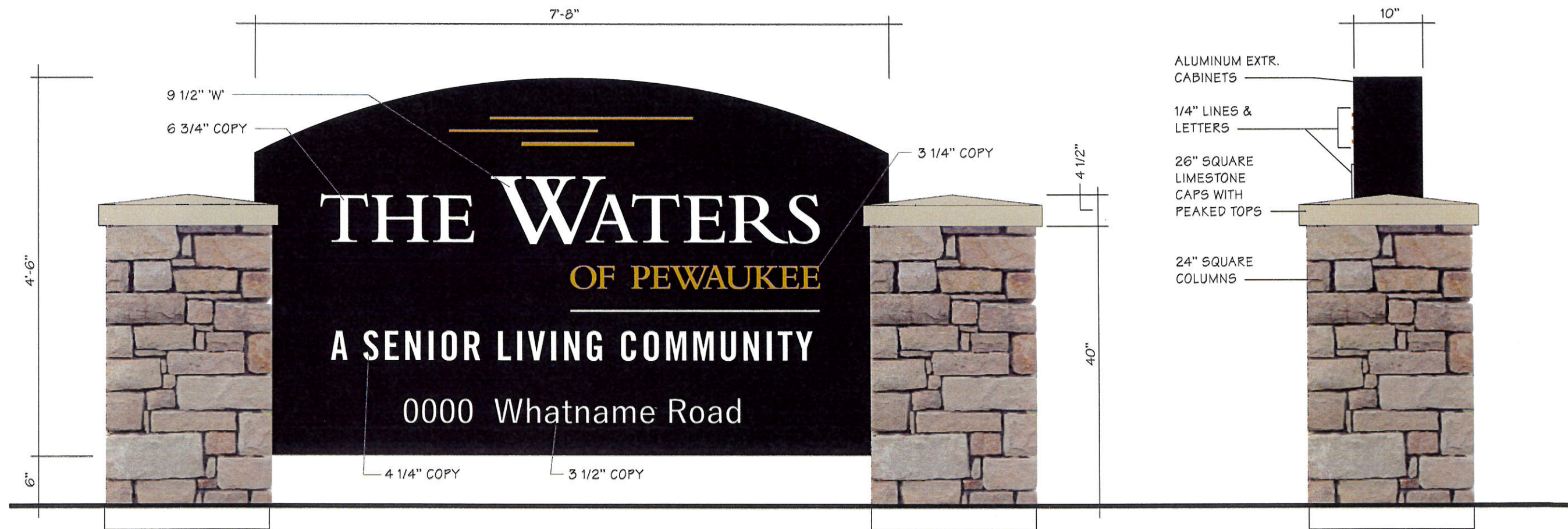
Signed or attested before me on _____, 2019 by Steve Bierce, Mayor and Kelly Tarczewski, Clerk.

(Seal)

Ami Hurd

My Commission expires _____

This instrument was drafted by Ami Hurd, Deputy Clerk



SIGN ELEVATION
SCALE: 3/4" = 1'-0"

SIDE VIEW
SCALE: 3/4" = 1'-0"

ONE S/F NON-ILLUMINATED SIGN. CABINET TO BE 10" DEEP ALUMINUM EXTRUSION MOUNTED BETWEEN STONE COLUMNS. SIGN FACE TO BE 1/8" ALUMINUM. 'THE WATERS' AND LINES TO BE 1/4" THICK ALUMINUM. ALL OTHER GRAPHICS TO BE PRESSURE SENSITIVE VINYL. SIGN BACK TO HAVE ACCESS FOR MOUNTING. COLUMNS TO BE STONE VENEER ON AN ALUMINUM TUBE FRAME WITH STEEL SUPPORT TUBES AND LIMESTONE CAPS. STEEL TUBES TO BE SET IN CONCRETE FOOTINGS.

CABINET, FACE BACKGROUND - BLACK
LOGO LINES, 'OF PEWAUKEE' - PMS 1245 GOLD
ALL OTHER COPY, LOWER RULE LINE - WHITE
STONE - COUNTRY LEDGE GLACIER BUFF (BOULDER CREEK STONE)
CAPS - BUFF LIMESTONE



1/4" THICK ALUMINUM
PLATE LETTERS

PSV COPY

NOT FOR PRODUCTION

Approval _____
Proofed _____

Job Number: Proposal Date: 11/11/2019

Revision # / Date: _____

Drawn By: GRM

File: House/Waters of Marshall Twp/PewaukeeWI-Monument

Client Information:

THE WATERS OF PEWAUKEE

PEWAUKEE, WI

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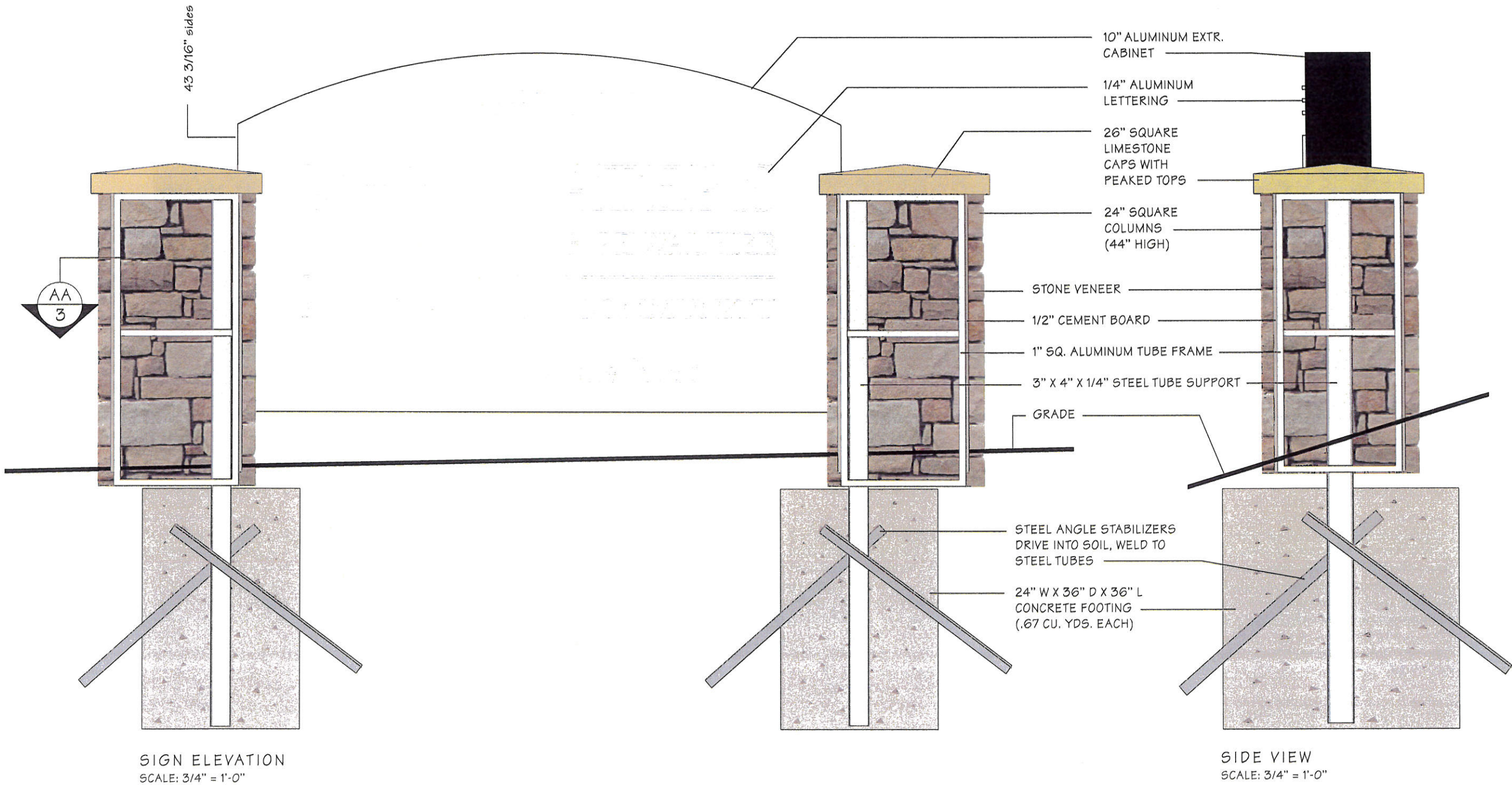
CUSTOMER RESPONSE

☐ APPROVED
☐ APPROVED AS NOTED
☐ REVISE & RESUBMIT

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Signed _____

Date _____



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Approval _____
Proofed _____

Job Number: Proposal Date: 11/11/2019
Revision # / Date: _____
Drawn By: GRM
File: House/Waters of Marshall Twp/PewaukeeWI-Monument

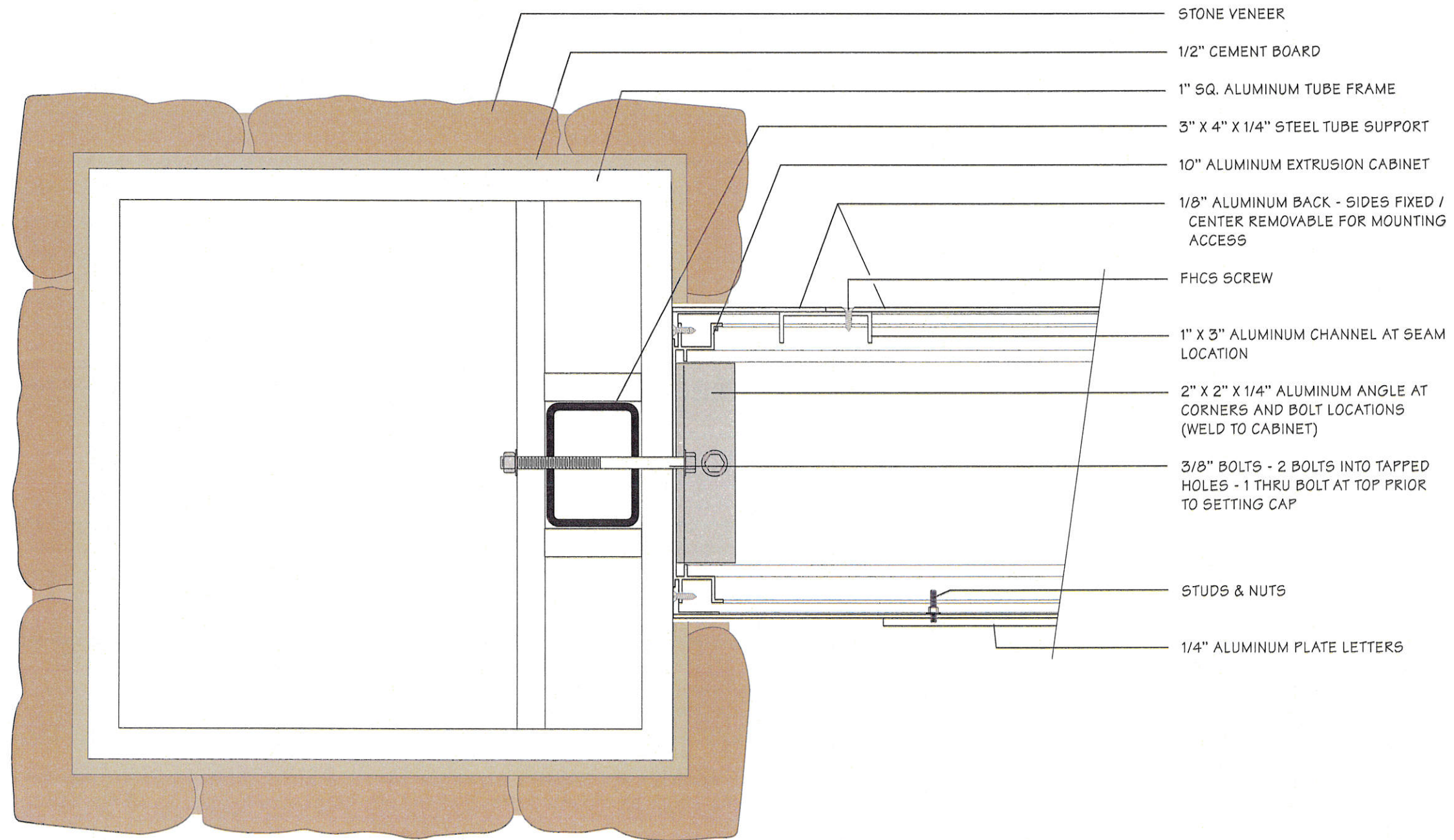
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Signed _____
Date _____



SIGN ELEVATION AA
SCALE: 3" = 1'-0"

NOT FOR PRODUCTION

Approval _____
Proofed _____

Job Number: Proposal Date: 11/11/2019
Revision # / Date: _____
Drawn By: GRM
File: House/Waters of Marshall Twp/PewaukeeWI-Monument

Client Information:
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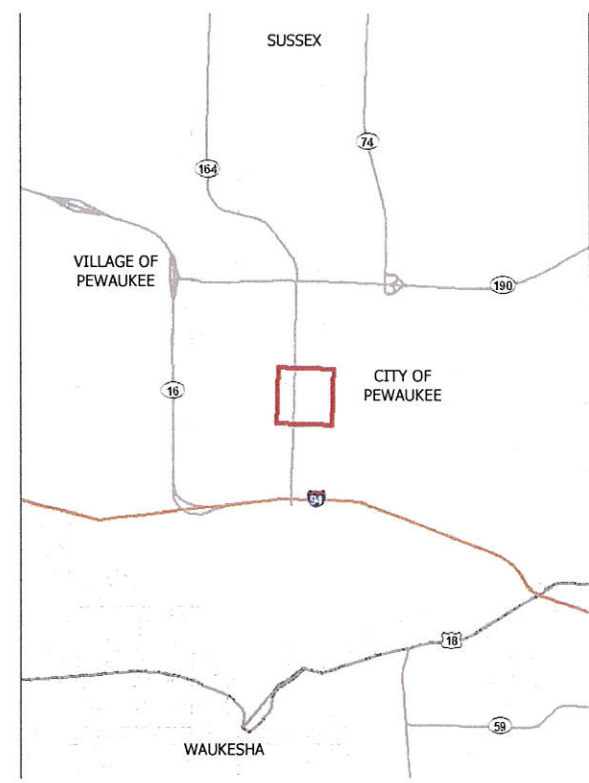
CUSTOMER RESPONSE

☐ APPROVED
☐ APPROVED AS NOTED
☐ REVISE & RESUBMIT

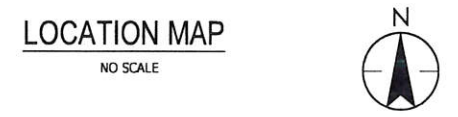
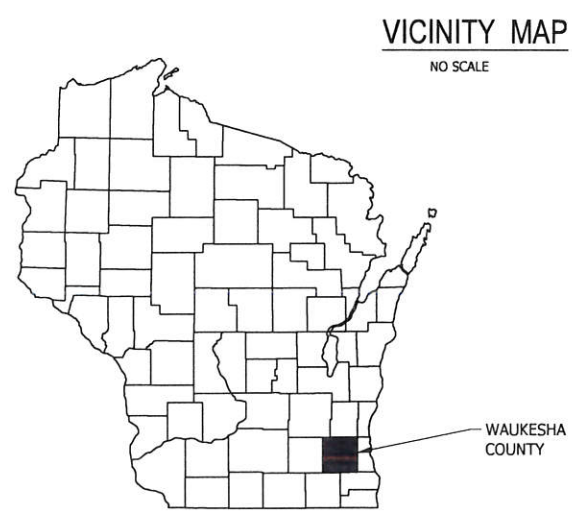
Please review all details to assure they are correct. Information on this page is used in the production of signs.
Signed _____
Date _____

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THE WATERS OF PEWAUKEE
CITY OF PEWAUKEE
WAUKESHA COUNTY, WISCONSIN



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G0.02	LEGEND
C0.01	EXISTING SITE CONDITIONS AND REMOVAL
C1.01	EROSION CONTROL PLAN
C2.00	OVERALL SITE PLAN
C3.00	OVERALL GRADING PLAN
C4.00	OVERALL UTILITY PLAN
C5.00	OVERALL STORM SEWER PLAN
C5.05	PROPOSED POND SUMMARIES
C6.00	OVERALL STORM SEWER AND ROAD PLAN
L1.01	LANDSCAPE PLAN
E1.01	SITE PHOTOMETRIC PLAN
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FT	FIRE TRUCK EXHIBIT
EX9	HATCHED SITE PLAN EXHIBIT
EX10	HATCHED SITE PLAN SURROUNDINGS EXHIBIT



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1301 AMERICAN BLVD E,
BLOOMINGTON, MN 55425

MINDY MICHAEL
TEL. 612-279-8875
mindym@kaaswilson.com

CITY OF PEWAUKEE PLANNING DEPARTMENT
NICK FUCHS
PLANNER & COMMUNITY DEVELOPMENT DIRECTOR
TEL. 262-691-9107
W240 N3065 PEWAUKEE ROAD
PEWAUKEE, WI 53072

DEPARTMENT OF PUBLIC WORKS
JEFF WEIGEL, P.E.
DPW DIRECTOR
TEL. 262-691-0804
W240 N3065 PEWAUKEE ROAD
PEWAUKEE, WI 53072

OWNER:
THE WATERS
JOHN HUNSICKER
TEL. 952-358-5143
1600 HOPKINS CROSSROAD
MINNETONKA, MN 55305

CIVIL ENGINEER:
STANTEC CONSULTING SERVICES, INC.
12075 CORPORATE PARKWAY,
SUITE 200
MEQUON, WI

Contact:
MICHAEL BACH
TEL. 262-643-9150
michael.bach@stantec.com

MICHAEL A. BACH, P.E.
NO. 43356-6

The locations of existing utility installations as shown on this plan are approximate. There may be other underground utility installations within the project area that are not shown.

Stantec assumes no responsibility for damages, liability or costs resulting from changes or alterations made to this plan without written consent of Stantec.

These drawings have been prepared based on information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result.

12075 N. Corporate Parkway, Suite 200
Mequon, WI 53092
www.stantec.com

NOT FOR
CONSTRUCTION
PLAN COMMISSION
REVIEW SET

TITLE SHEET AND PROJECT INFORMATION
THE WATERS OF PEWAUKEE
THE WATERS SENIOR LIVING MANAGEMENT, LLC
PEWAUKEE, WISCONSIN

DATE OF ISSUANCE	
October 22, 2019	
NO. REVISION	DATE
1	NOVEMBER 13, 2019
SURVEY	CHAPUT
DRAWN	JMV
DESIGNED	JMV
CHECKED	MAC
APPROVED	MA8
PROJ. NO.	193805844
SHEET NUMBER	
G0.01	

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LEGEND

●	INDICATES FOUND 1" IRON PIPE
○	INDICATES SET 1" IRON PIPE
+	INDICATES FOUND CHISELED CROSS
○	SANITARY MANHOLE
⊕	SANITARY CLEANOUT OR VENT
⊗	M.I.S. MANHOLE
⊙	UNKNOWN MANHOLE
○	STORM MANHOLE
⊖	INLET (ROUND)
⊖	INLET (SQUARE)
⊖	CURB INLET
⊖	STORM SEWER END SECTION
⊕	GAS VALVE
⊕	GAS METER
⊕	WATER VALVE
⊕	HYDRANT
⊕	WATER MANHOLE
⊕	WATER SERVICE CURB STOP
⊕	WELL HEAD
⊕	STAND PIPE
⊕	WALL INDICATOR VALVE
⊕	POST INDICATOR VALVE
⊕	LIGHT POLE
⊕	SPOT/YARD LIGHT
⊕	UTILITY POLE
⊕	GUY POLE
⊕	GUY WIRE
⊕	ELECTRIC MANHOLE
⊕	ELECTRIC PEDESTAL
⊕	ELECTRIC METER
⊕	TELEPHONE MANHOLE
⊕	TELEPHONE PEDESTAL
⊕	CABLE PEDESTAL
⊕	CONTROL BOX
⊕	FIBER OPTIC SIGN
⊕	TRAFFIC LIGHT
⊕	COMMUNICATION MANHOLE
⊕	BOLLARD
⊕	SOIL BORING/MONITORING WELL
⊕	WATER SURFACE
⊕	WETLANDS FLAG
⊕	MARSH
⊕	FLAGPOLE
⊕	PARKING METER
⊕	SIGN
⊕	MAILBOX
⊕	RAILROAD CROSSING SIGNAL
⊕	HANDICAP SPACE
⊕	CONIFEROUS TREE
⊕	DECIDUOUS TREE

S	SANITARY SEWER
FM	FORCE MAIN
STO	STORM SEWER
W	WATERLINE
G	MARKED GAS MAIN
E	MARKED ELECTRIC
OHW	OVERHEAD WIRES
T	MARKED TELEPHONE
TV	MARKED CABLE TV LINE
FO	MARKED FIBER OPTIC
X	FENCE

NEW TOPOGRAPHIC SYMBOLS

○	BOLLARD
●	SANITARY CLEANOUT
●	MANHOLE
●	SANITARY OR STORM LIFT STATION
⊖	STORM SEWER BEEHIVE CATCH BASIN
■	STORM SEWER CATCH BASIN
▶	STORM SEWER FLARED END SECTION
■	STORM SEWER OUTLET STRUCTURE
⊖	STORM SEWER OVERFLOW STRUCTURE
●	CURB BOX
⊕	FIRE HYDRANT
▶	WATER REDUCER
⊕	VALVE
⊕	RIP RAP
▶	DRAINAGE FLOW
⊕	PEDESTRIAN RAMP

EXISTING TOPOGRAPHIC LINES

	RETAINING WALL
	FENCE - BARBED WIRE
	FENCE - CHAIN LINK
	FENCE - DECORATIVE
	FENCE - STOCKADE
	FENCE - WOOD
	FENCE - ELECTRIC
	GUARD RAIL
	TREE LINE
	WETLAND

SURVEY LINES

	BOUNDARY
	NEW CENTERLINE
	EXISTING CENTERLINE
	EXISTING EASEMENT LINE
	NEW EASEMENT LINE
	FLOOD PLAIN BOUNDARY
	EXISTING LOT LINE
	NEW LOT LINE
	EXISTING RIGHT-OF-WAY
	NEW RIGHT-OF-WAY
	SETBACK LINE

NEW UTILITY LINES

	FORCE MAIN
	SANITARY SEWER
	SANITARY SERVICE
	STORM SEWER DRAINTILE
	STORM SEWER
	WATER MAIN
	WATER SERVICE
	PIPE CASING

FUTURE UTILITY LINES

	FORCE MAIN
	SANITARY SEWER
	SANITARY SERVICE
	STORM SEWER DRAINTILE
	STORM SEWER
	WATER MAIN
	WATER SERVICE
	PIPE CASING

CONCRETE CURB AND GUTTER

	EXISTING
	NEW
	FUTURE
	DEMOLITION

GRADING INFORMATION

	EXISTING CONTOUR MINOR
	EXISTING CONTOUR MAJOR
	NEW CONTOUR MINOR
	NEW CONTOUR MAJOR
	NEW GRADING LIMITS / SLOPE LIMITS
	NEW SPOT ELEVATION
	EXISTING SPOT ELEVATION
	RUN:RISE (SLOPE)

ABBREVIATIONS

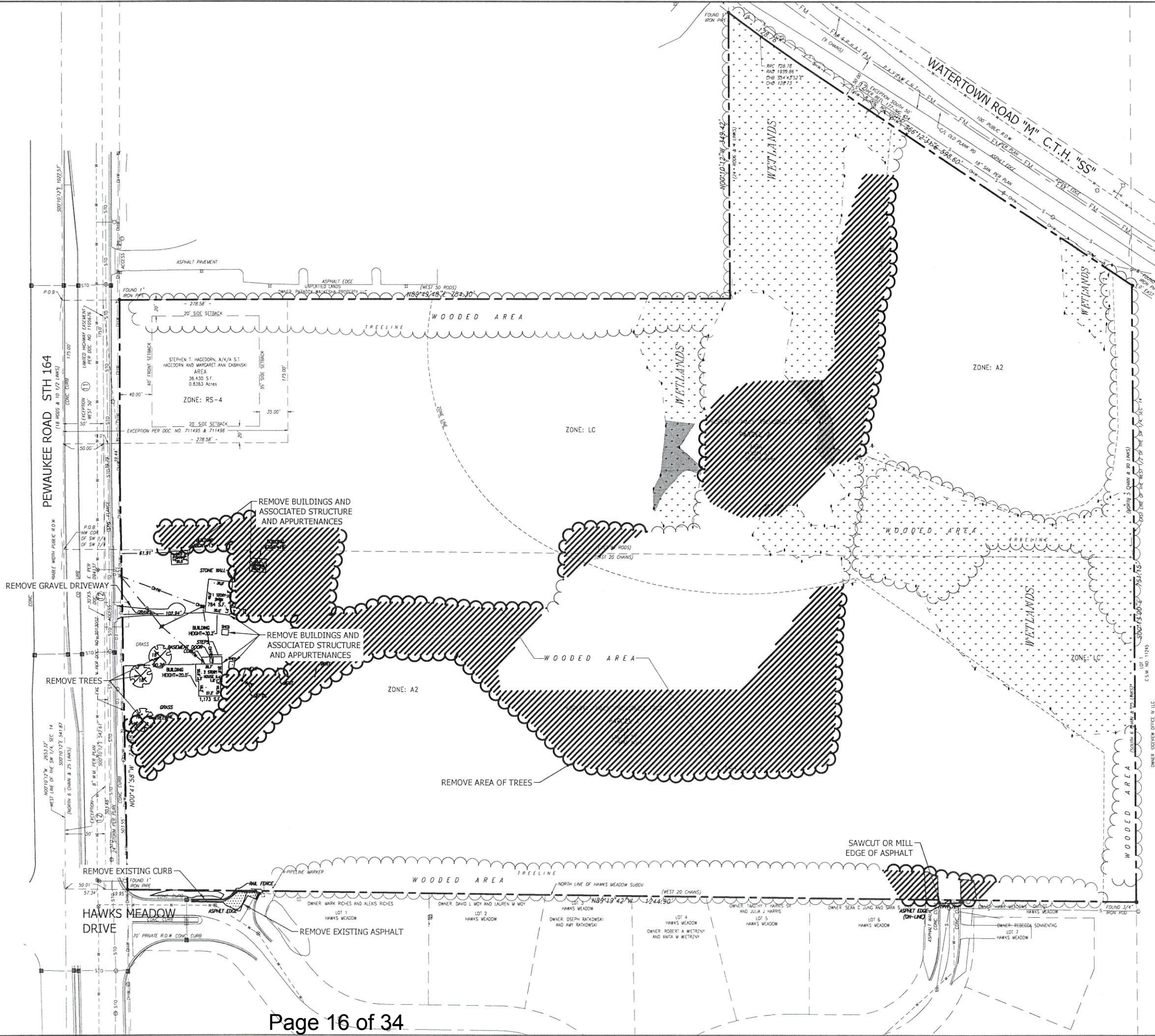
AD	ALGEBRAIC DIFFERENCE
BV	BUTTERFLY VALVE
BVCE	BEGIN VERTICAL CURVE ELEVATION
BVCS	BEGIN VERTICAL CURVE STATION
CL	CENTER LINE
CL	CLASS
CMP	CORRUGATED METAL PIPE
C.O.	CHANGE ORDER
DIP	DUCTILE IRON PIPE
EL/ELEV	ELEVATION
EVCE	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
EX	EXISTING
FES	FLARED END SECTION
F/F	FACE TO FACE
FM	FORCE MAIN
F.O.	FIELD ORDER
GV	GATE VALVE
HP	HIGH POINT
HWL	HIGH WATER LEVEL
INV	INVERT
K	CURVE COEFFICIENT
LP	LOW POINT
MH	MANHOLE (SANITARY)
NTS	NOT TO SCALE
NWL	NORMAL WATER LEVEL
PC	POINT OF CURVE
PCC	COMPOUND CURVE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PPVC	PERFORATED POLYVINYL CHLORIDE PIPE
PRC	POINT OF REVERSE CURVE
PT	POINT OF TANGENT
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
SS	STORM SEWER STRUCTURE
STA	STATION
TCE	TEMPORARY CONSTRUCTION EASEMENT
TNH	TOP NUT HYDRANT
TYP	TYPICAL
VC	VERTICAL CURVE
WM	WATER MAIN

HATCH PATTERNS

EXISTING	NEW	DEMOLITION	SECTION

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C:\Users\stancan\OneDrive\Documents\193805844\Drawings\193805844.dwg
User: stancan
Plot Date: 11/13/2019 9:48am
Plot User: stancan
Plot Device: HP DesignJet T1100e
Plot Scale: 1"=60'



REMOVAL LEGEND

- WETLAND (COLLECTED BY STANTEC AUGUST 2019)
- WETLAND FILL
- TREE AREA REMOVAL
- TREE REMOVAL
- BUILDING REMOVAL
- ASPHALT REMOVAL
- SAWCUT OR MILL

EXISTING SITE CONDITIONS AND REMOVALS

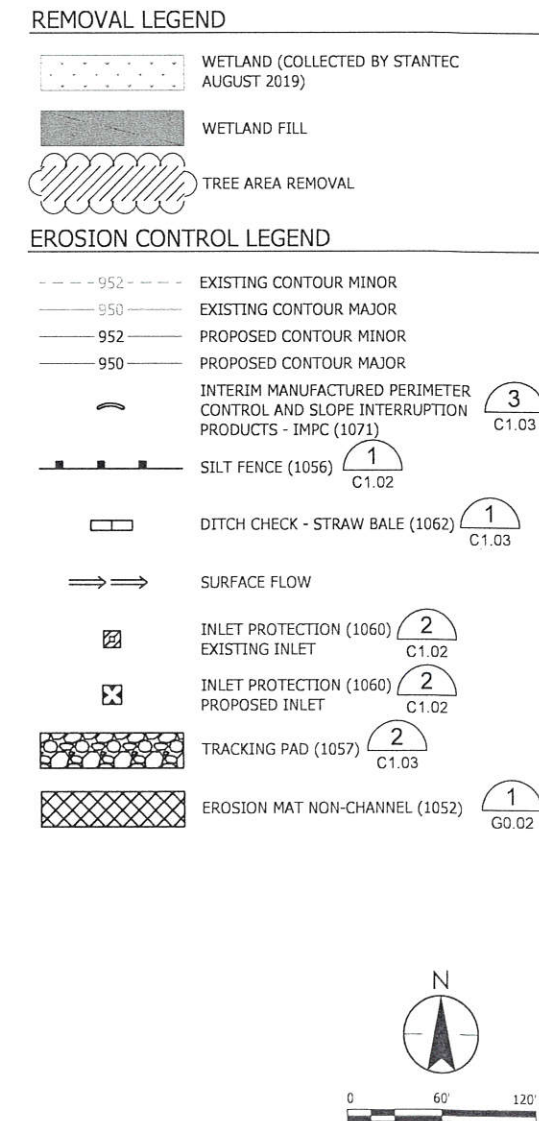
THE WATERS OF PEWAUKEE
THE WATERS SENIOR LIVING MANAGEMENT, LLC
PEWAUKEE, WISCONSIN

NOT FOR
CONSTRUCTION
PLAN COMMISSION
REVIEW SET

DATE OF ISSUANCE	October 22, 2019
NO. REVISION	DATE
1	NOVEMBER 13, 2019
SURVEY	CHAPUT
DRAWN	AJR
DESIGNED	JMV
CHECKED	MAC
APPROVED	MAB
PROJ. NO.	193805844
SHEET NUMBER	C0.01



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User: jwheeler
Title: 193805844, X3NO, Sil Fence [1056], [Inl Protection] (060), [193805844, X3SS, Ditch Check Straw Bale (1062), WPC (1071), Tracking Pad Stone (1057)]



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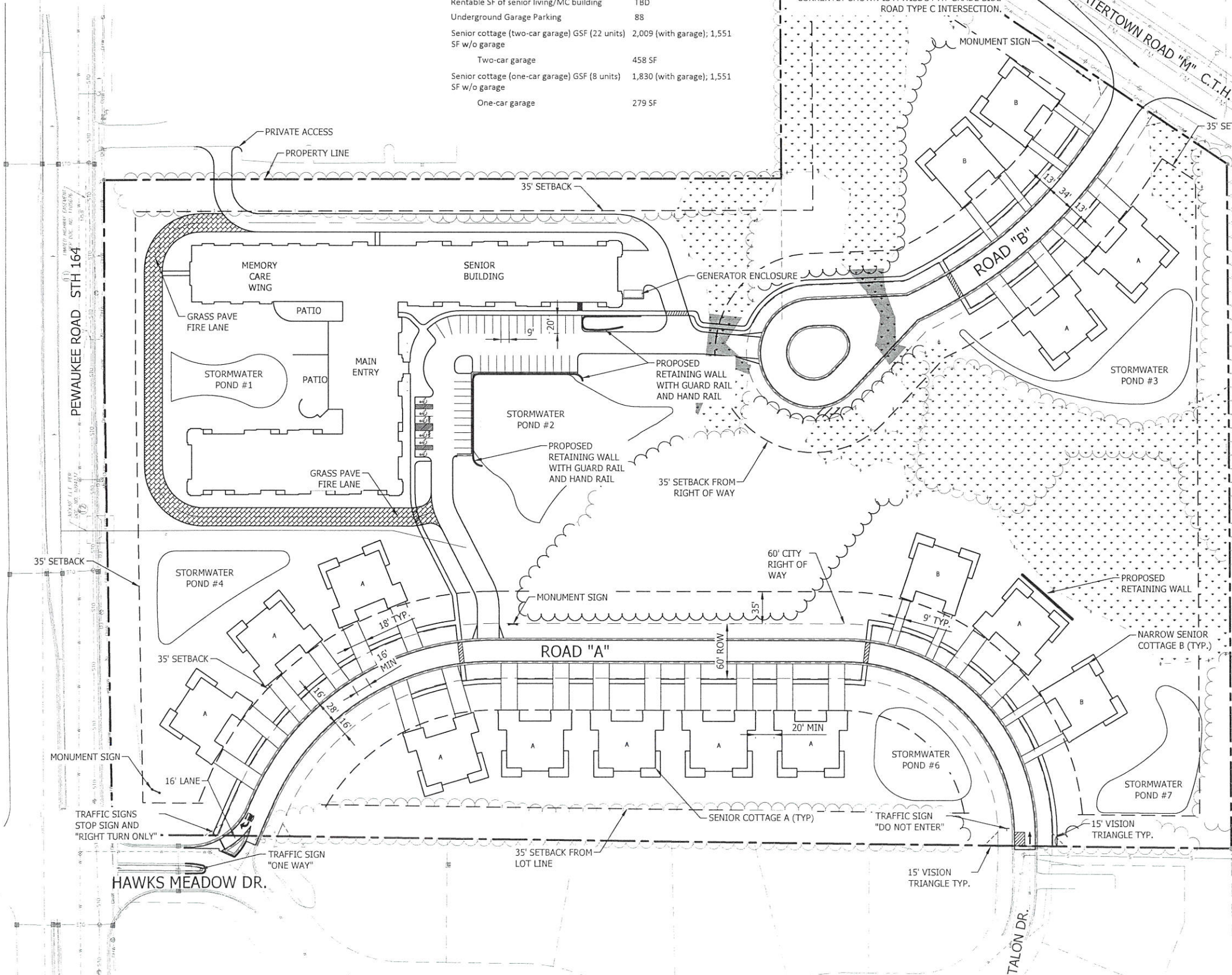
SENIOR BUILDING

Underground Garage	Gross Square Footage (SF)
Building (Floor 1)	33,437 SF
Building (Floor 2)	56,211 SF
Building (Floor 3)	44,324 SF
Building (Floor 3)	44,324 SF

MC Wing GSF

Gross Square Footage of	Square Footage (SF)
senior living/MC building	10,592 SF
Underground Garage common areas	TBD
Senior living common areas	17,908 SF
Hallways/loss	17,615 SF
MC common areas	1,786 SF
Rentable SF of senior living/MC building	TBD
Underground Garage Parking	88
Senior cottage (two-car garage) GSF (22 units) SF w/o garage	2,009 (with garage); 1,551
Two-car garage	458 SF
Senior cottage (one-car garage) GSF (8 units) SF w/o garage	1,830 (with garage); 1,551
One-car garage	279 SF

WAUKESHA COUNTY IS REVIEWING SUBMITTED TRAFFIC DATA, BUT HAS NOT RECOMMENDED SPECIFIC INTERSECTION DETAILS. THE ROADWAY CONNECTION AT WATERTOWN ROAD WILL BE REVISED BASED ON COUNTY RECOMMENDATIONS. CURRENTLY SHOWN IS A WISDOT AT GRADE SIDE ROAD TYPE C INTERSECTION.



GENERAL NOTES

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF PEWAUKEE EROSION CONTROL ORDINANCE AND WISCONSIN DNR TECHNICAL STANDARDS.

ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

CONTRACTOR TO CONFIRM SITE LIGHTING WITH ARCHITECT AND/OR MEP DESIGNER.

PARCEL PARKING CALCULATIONS

SENIOR BUILDING	
GARAGE SPACES	88
STANDARD SURFACE SPACES	42
ACCESSIBLE SURFACE SPACES	6
TOTAL PARKING SPACES	136

SENIOR COTTAGE (TWO DWELLINGS PER COTTAGE)

GARAGE SPACES PER COTTAGE	4
DRIVEWAY SPACES PER COTTAGE	4
TOTAL SPACES PER COTTAGE	8
TOTAL SPACES (11 COTTAGES)	88

NARROW SENIOR COTTAGE (2 DWELLINGS PER COTTAGE)

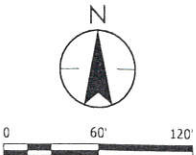
GARAGE SPACES PER COTTAGE	2
DRIVEWAY SPACES PER COTTAGE	2
TOTAL SPACES PER COTTAGE	4
TOTAL SPACES (4 COTTAGES)	16

SITE CALCULATIONS

	SQ FT	AC
PARCEL AREA	1,072,404	24.62
EXISTING IMPERVIOUS AREA	31,817	0.730
EXISTING PERVIOUS AREA	1,040,605	24.619
PROPOSED IMPERVIOUS AREA	334,955	7.690
PROPOSED PERVIOUS AREA	737,449	16.929
COVERAGE	31.2%	

SITE OVERVIEW:

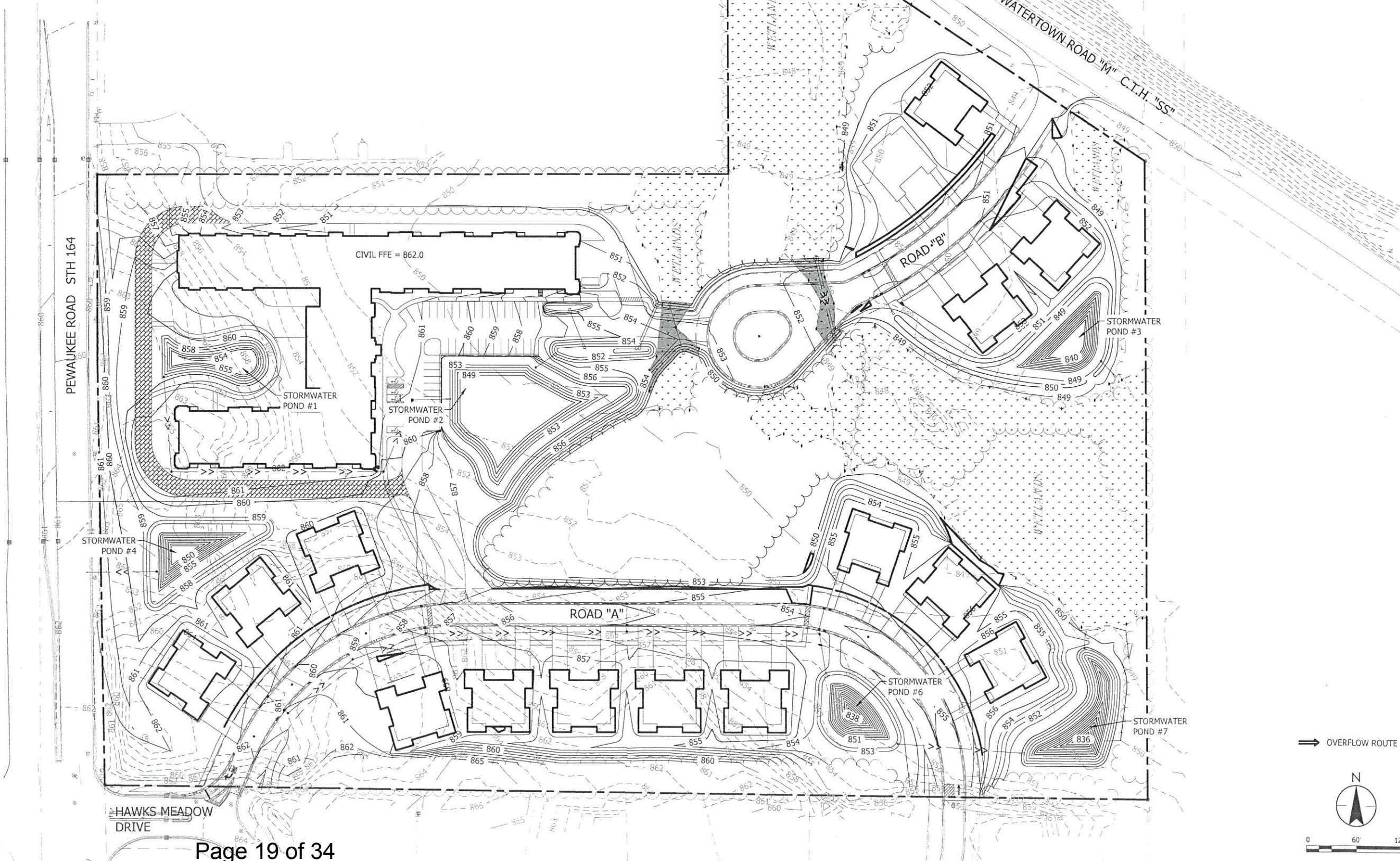
- 28' WIDE ROAD TO BACK OF CURB (FIRE ACCESS IS ONLY 12')
- 60' RIGHT OF WAY (SAME AS SUBDIVISION TO THE SOUTH)
- 30' BUILDING SETBACK FROM RIGHT OF WAY SHOWN
- 35' BUILDING SETBACK FROM BACK OF LOT SHOWN
- TWIN UNIT LOCATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE.
- WETLANDS DELINEATED BY STANTEC AUGUST 22, 2019



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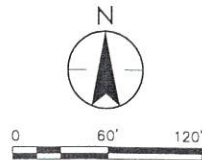
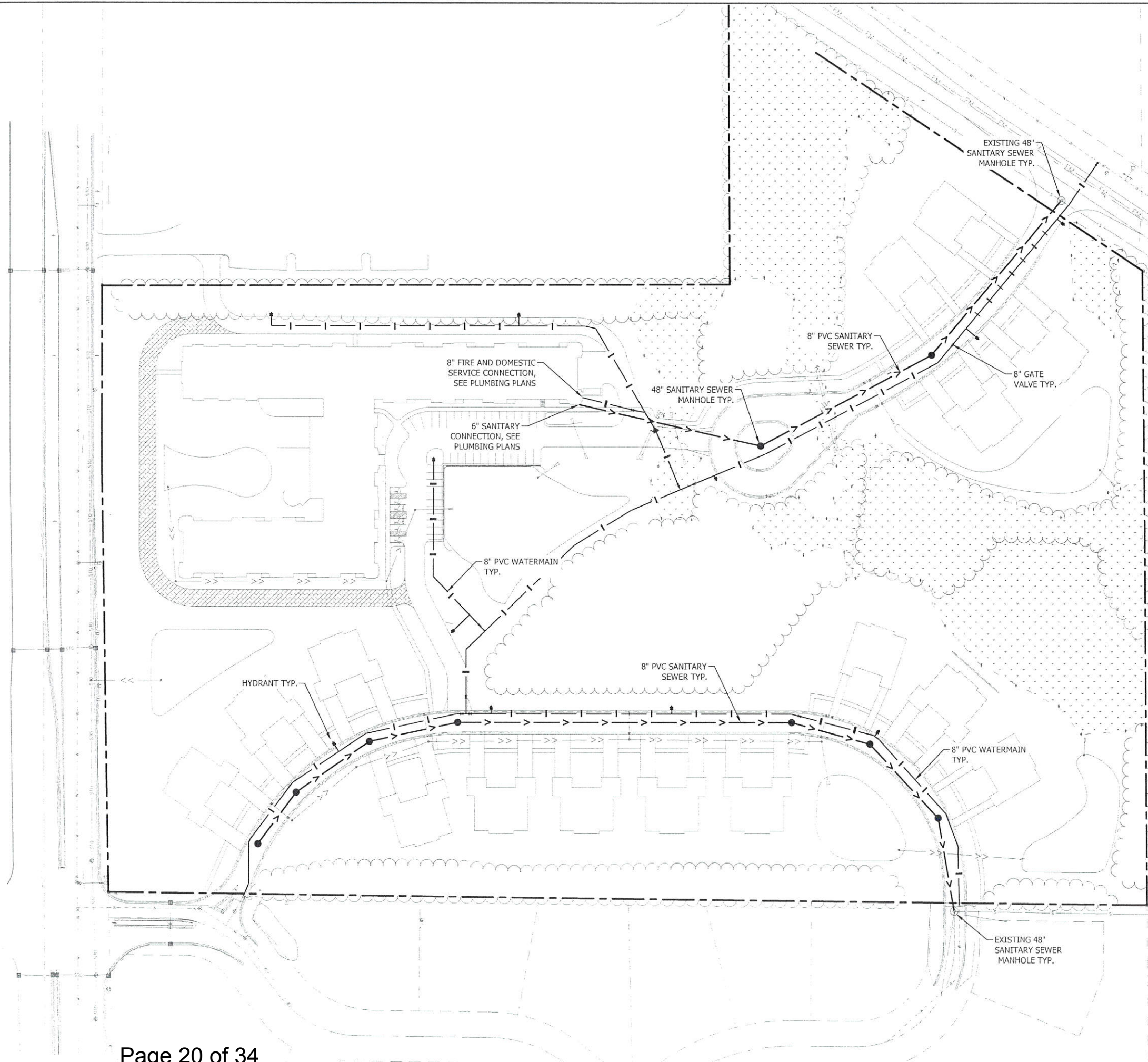
GRADING NOTES:

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS, LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
2. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
3. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
4. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
5. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF THE EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AN ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
7. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
8. ALL SIDEWALKS SHALL HAVE A MAXIMUM 2.0% CROSS SLOPE. SEE TYPICAL DETAIL.

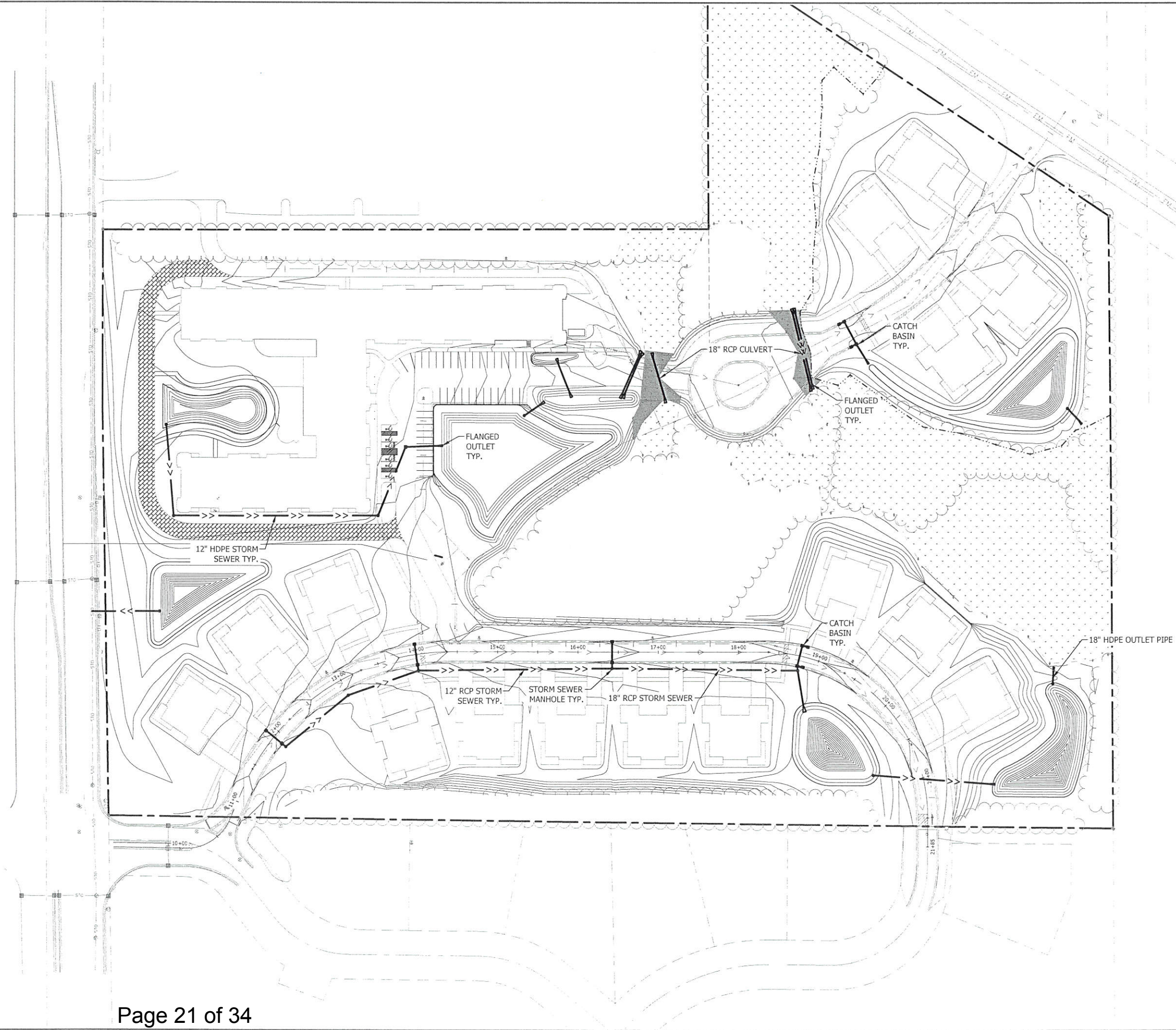


THESE DRAWINGS SHALL BE USED FOR CONSTRUCTION PURPOSES ONLY. ANY CHANGES TO THE DRAWING SHALL BE REPORTED TO STANTEC WITHOUT DELAY. THE COPYRIGHT TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF STANTEC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

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User: jbradley
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Plot Date: 11/13/2019 - 9:50am
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NOT FOR
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PLAN COMMISSION
REVIEW SET

OVERALL STORM SEWER PLAN

THE WATERS OF PEWAUKEE
THE WATERS SENIOR LIVING MANAGEMENT, LLC
PEWAUKEE, WISCONSIN

DATE OF ISSUANCE
October 22, 2019

REVISION	DATE
	NOVEMBER 13, 2019

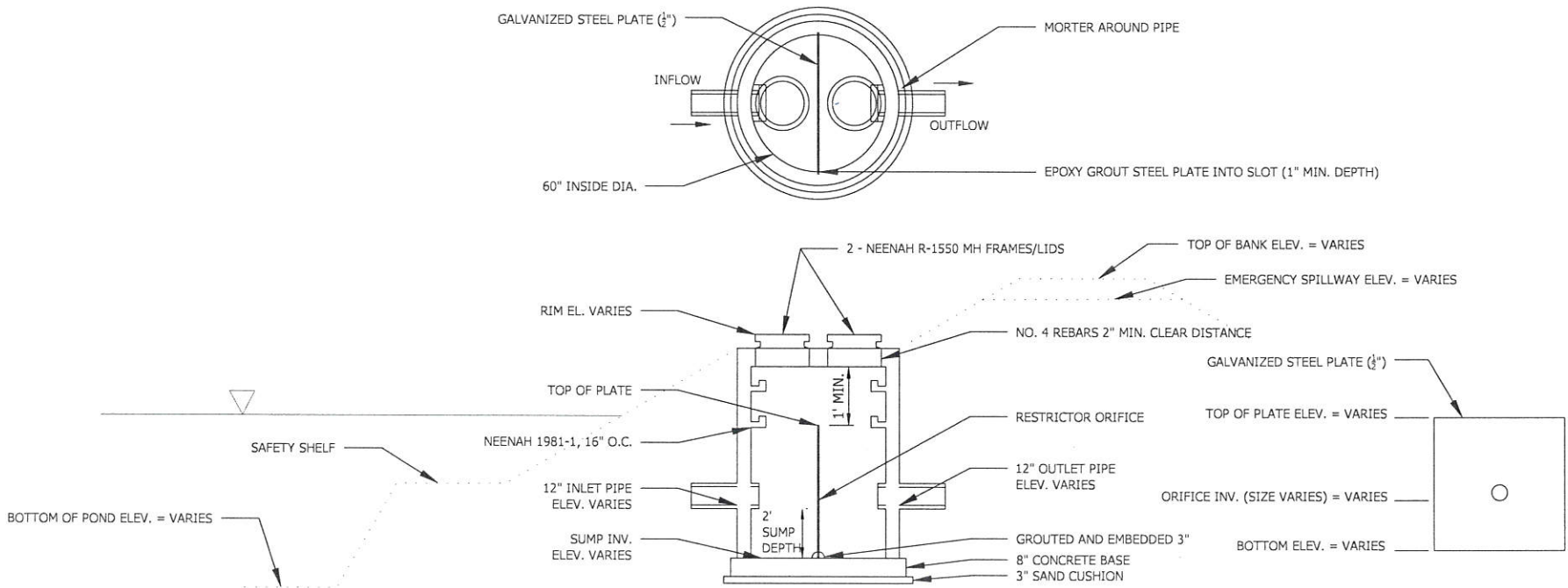
SURVEY	CHAPUT
DRAWN	MP5
DESIGNED	MP5/CMM
CHECKED	MAC
APPROVED	MAB
OBJ. NO.	193805844

SHEET NUMBER
C5.00

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\\01\cadd\11\11\2019 - 9.51am
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User: J. Borden, 193805844.XSXL, 193805844.XSNO, Waters of Pewaukee - site plan 190727, 193805844.XSXL

PROPOSED STORMWATER PONDS - SUMMARY															
POND #	PROPOSED STORAGE (AC-FT)	INLET ELEV.	ORIFICE SIZE	ORIFICE INV.	TOP OF WEIR PLATE	EMERGENCY-SPILL ELEV.	TOP OF BANK ELEV.	PERMANENT POOL ELEV.	BOTTOM OF POND	2YR HWL	2YR RELEASE RATE (CFS)	10YR HWL	10YR RELEASE RATE (CFS)	100YR HWL	100YR RELEASE RATE (CFS)
POND_1	0.464	860.00	4"	858.40	859.40	859.90	861.00	858.40	854.00	858.88	0.23	859.40	0.38	859.88	4.96
POND_2	0.334	853.00	4"	854.50	855.20	855.90	856.00	854.50	849.00	854.92	0.21	855.25	0.55	855.78	7.97
POND_3	0.384	847.82	4"	848.50	849.25	849.75	850.00	848.50	840.00	848.77	0.13	849.11	0.28	849.57	3.14
POND_4	0.677	860.00	4"	857.00	858.10	858.50	859.50	857.00	848.00	857.53	0.25	857.99	0.38	858.43	3.63
POND_5	0.038	859.00	-	-	-	858.50	859.00	858.50	856.00	858.50	0.04	858.54	0.74	858.57	1.52
POND_6	0.822	850.33	4"	850.20	853.00	854.50	855.00	850.20	838.00	853.03	0.81	853.51	7.05	854.48	14.36
POND_7	0.424	849.50	12"	848.70	849.75	850.85	851.00	848.70	836.00	849.12	0.70	849.88	3.86	850.84	11.36

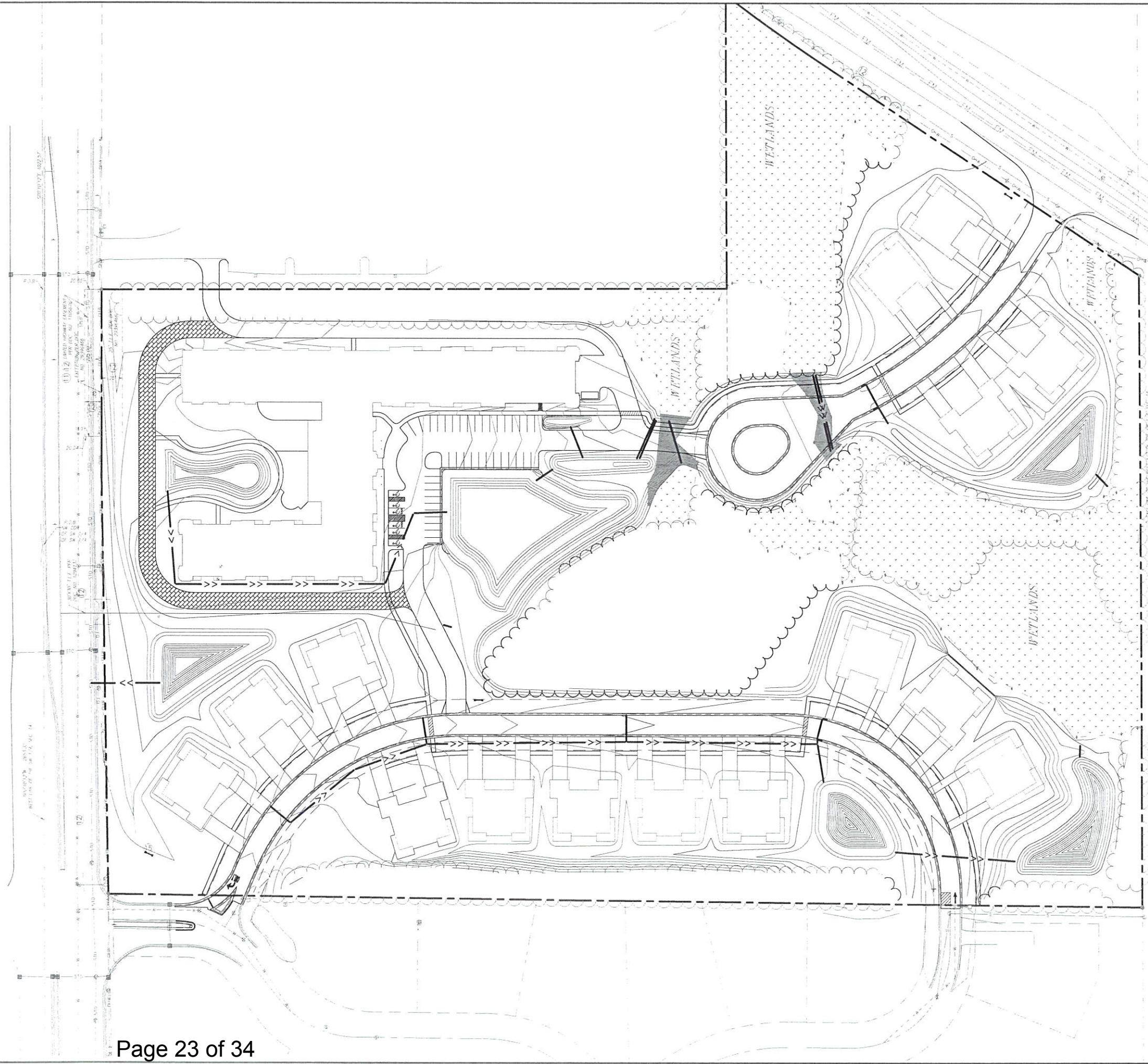


- NOTES:**
- STRUCTURE SHALL BE CONSTRUCTED CONFORMING TO THE REQUIREMENTS OF ASTM C-478.
 - REINFORCING STEEL NOT SHOWN.
 - STEPS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION.

TYPICAL POND OUTLET STRUCTURE 1
NOT TO SCALE

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Plot Date: 11/13/2019 9:51 am
Drawing Name: 193805844.dwg
User: 193805844
Project: 193805844
Sheet: 193805844



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OVERALL STORM SEWER AND ROAD PLAN
THE WATERS OF PEWAUKEE
THE WATERS SENIOR LIVING MANAGEMENT, LLC
PEWAUKEE, WISCONSIN

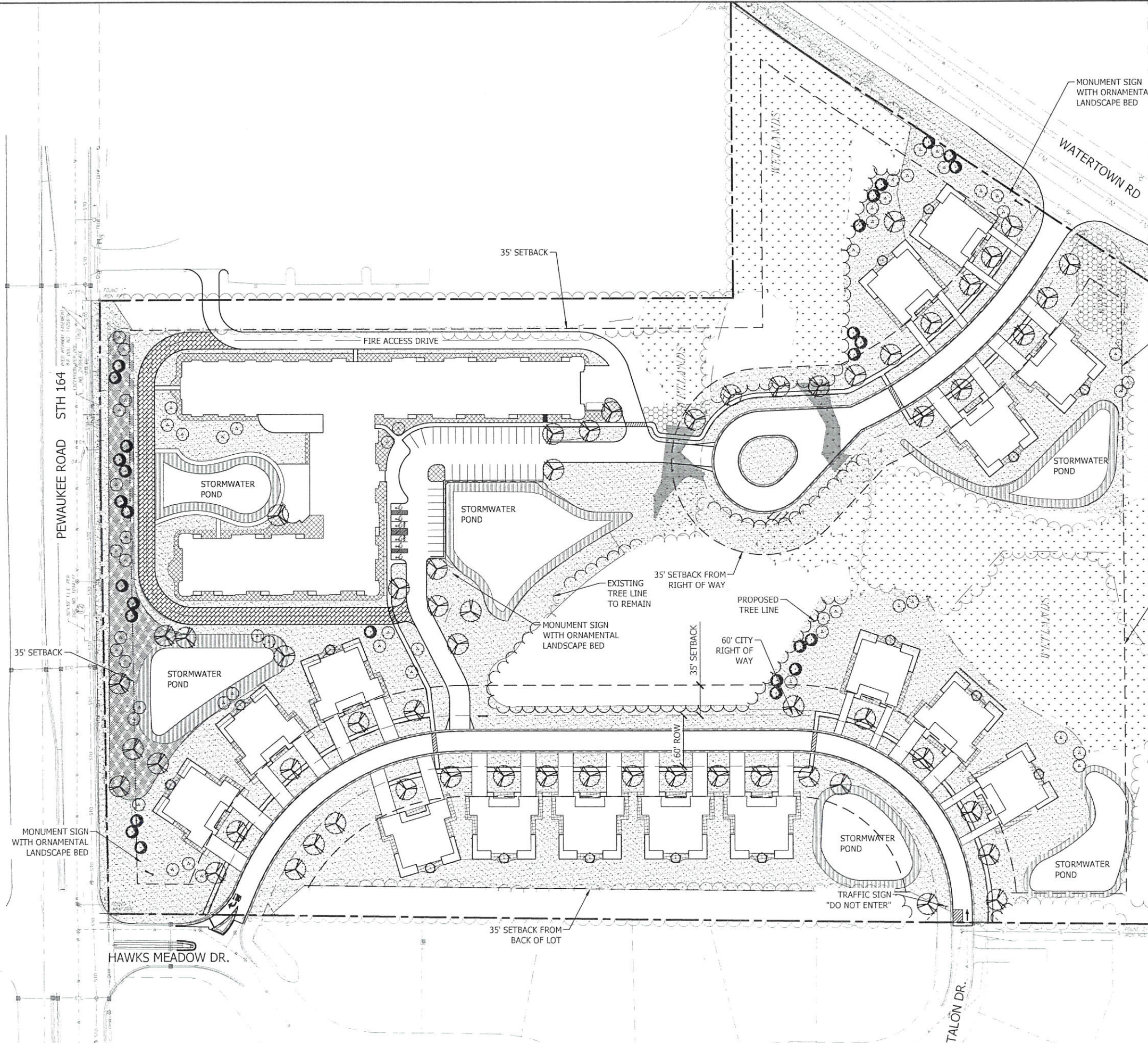
DATE OF ISSUANCE	October 22, 2019
NO REVISION	DATE
1	NOVEMBER 13, 2019

SURVEY	CHAPUT
DRAWN	MPF
DESIGNED	MPF
CHECKED	MAC
APPROVED	MAB
PROJ. NO.	193805844

SHEET NUMBER
C6.00

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LANDSCAPE CALCULATIONS

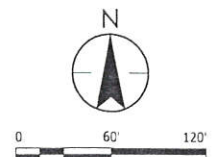
DECIDUOUS STREET TREES	44
DECIDUOUS TREES	15
CONIFER TREES	28
ORNAMENTAL TREES	59
LARGE ORNAMENTAL SHRUBS	15
ENTRY SIGN ORNAMENTAL PLANTING BED AREA	300 SF/EA
SENIOR BUILDING ORNAMENTAL PLANTING BED AREA	14,610SF
SENIOR COTTAGE (2 CAR GARAGE)	1,025 SF/EA
SENIOR COTTAGE (1 CAR GARAGE)	990 SF/EA
RETENTION POND SEED MIX	29,301 SF
PRAIRIE SEED MIX	21,140 SF
MOIST MEADOW RAIN GARDEN MIX FOR WETLANDS	9,192 SF

LEGEND

	ORNAMENTAL PLANTING BEDS: MIX OF DECIDUOUS AND EVERGREEN SHRUBS, GRASSES AND PERENNIALS
	RETENTION POND SEED MIX
	MOIST MEADOW RAIN GARDEN MIX FOR WETLANDS
	PRAIRIE SEED MIX
	TURF
	SHADE TREE
	CONIFER TREE
	ORNAMENTAL TREE
	LARGE ORNAMENTAL SHRUB

PEWAUKEE LANDSCAPE CODE:

UNDER CHAPTER 17 ZONING OF THE PEWAUKEE MUNICIPAL CODE, 17.0210 PRINCIPLES AND STANDARDS FOR THE AESTHETIC EVALUATION OF SITE AND BUILDING PROJECTS, B. (7) SITE PLANNING AND DESIGN PRINCIPLES AND C. BUILDING, DESIGN, LAYOUT AND CONSTRUCTION PRINCIPLES DESCRIBE QUALITATIVE BUT NOT QUANTITATIVE EXPECTATIONS FOR LANDSCAPING OF RM-3.



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LANDSCAPE PLAN
THE WATERS OF PEWAUKEE
THE WATERS SENIOR LIVING MANAGEMENT, LLC
PEWAUKEE, WISCONSIN

DATE OF ISSUANCE
October 22, 2019

NO. REVISION DATE
1 NOVEMBER 13, 2019

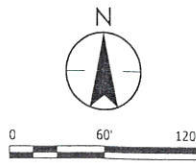
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DRAWN	SMM
DESIGNED	SMM
CHECKED	MAC
APPROVED	MAB

PROJECT NO. 193805844

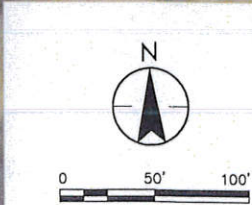
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Plot Date: 11/13/2019 - 9:52am
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References: 193805844_XSVL, 193805844_XSXT, 199093-Site Plan, Waters of Pewaukee - site plan 190927, 193805844_XSST, Border



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Refs: 193803844_XSD, 193803844_XSD, 10202019 Site Plan, Waters of Pewaukee - site plan 102027, 193803844_XSD, Border



DESIGN SHOWN CORRESPONDS TO SURVEYED EDGES OF PAVEMENT. AERIAL IS NOT ACCURATE NOR USED FOR DESIGN. SHOWN FOR OBSERVATION PURPOSES

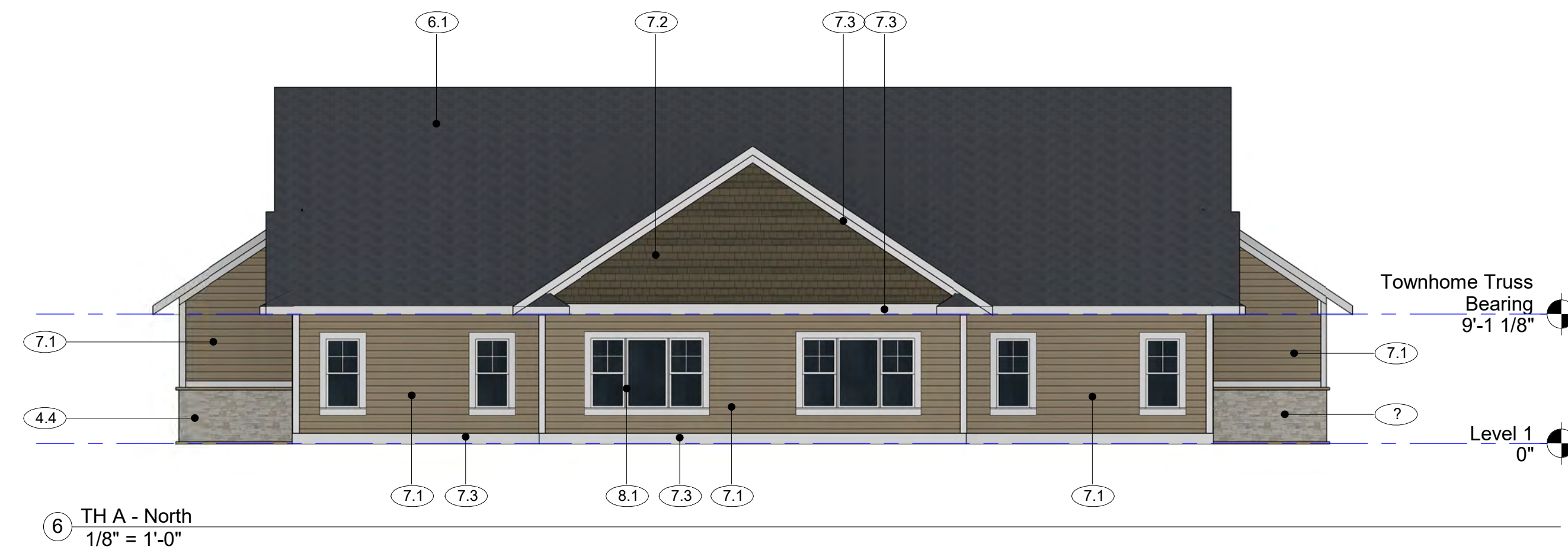


HATCHED SITE PLAN SURROUNDINGS EXHIBIT

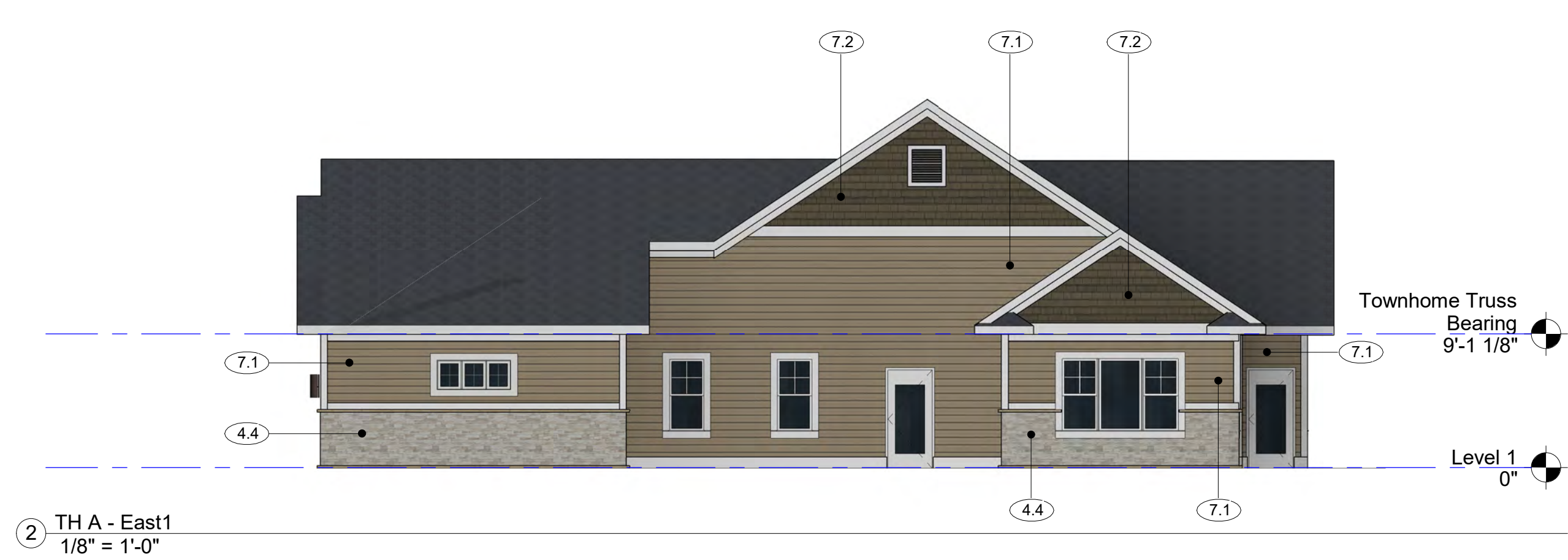
THE WATERS OF PEWAUKEE
THE WATERS SENIOR LIVING MANAGEMENT, LLC
PEWAUKEE, WISCONSIN

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REVIEW SET

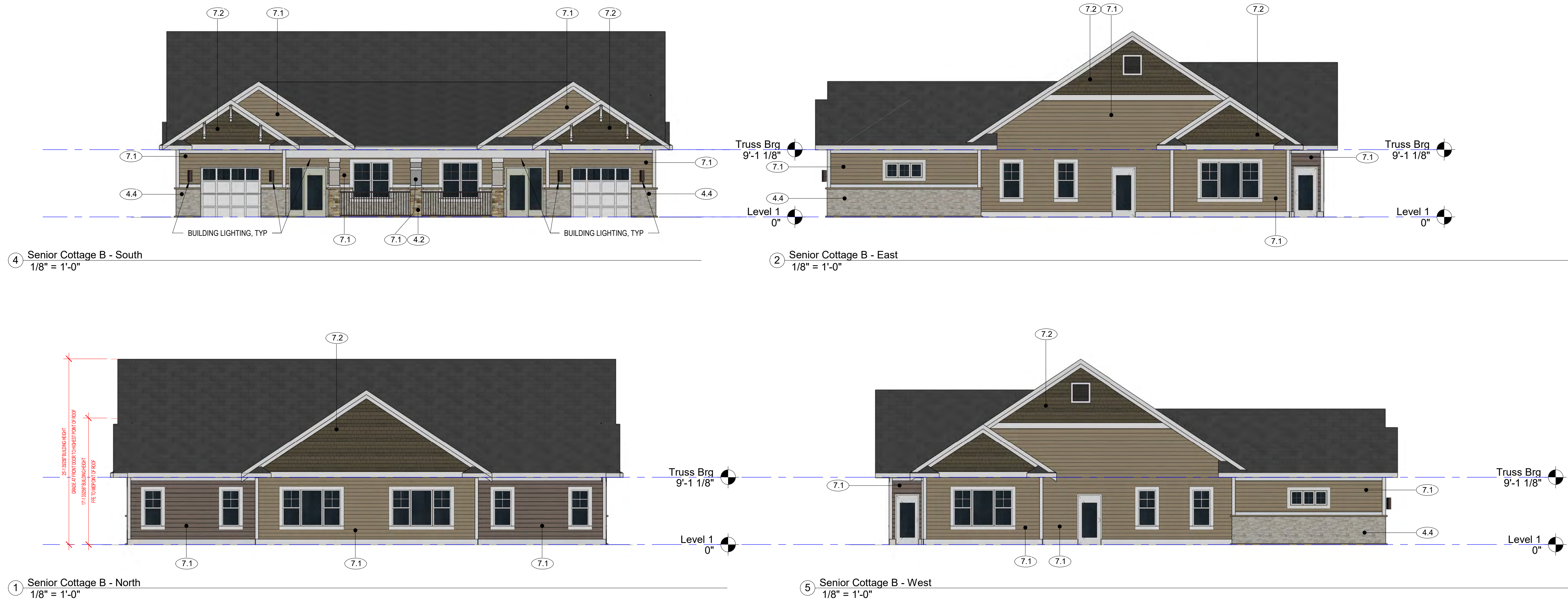
NO	REVISION	DATE	DRAWN
			DESIGNED
			APPROVED
			PROJ. NO. 193803844
			SHEET NUMBER
			EX.10



Exterior Material Tag Key	
(4.2)	ACMV - Color: Boulder Creek - Jaffa Beige
(4.3)	Stone Sill - Color: TBD
(5.1)	Prefinished Aluminum Balcony Rail - Color: Dark Bronze
(5.2)	Prefinished Aluminum Soffit and Fascia - Color - White
(5.3)	Prefinished Aluminum Gutters and Downspouts - Color: White
(6.1)	Architectural Asphalt Shingles - Certaineed, Color: TBD
(7.1)	CFB Lap Siding - Color: Khaki Brown
(7.2)	CFB Shake Siding - Color: Timber Bark
(7.3)	CFB Trim - Color: White ***Sizes Vary. See Details***
(8.1)	Window - Color: White
(8.2)	Prefinished Metal Louver - White

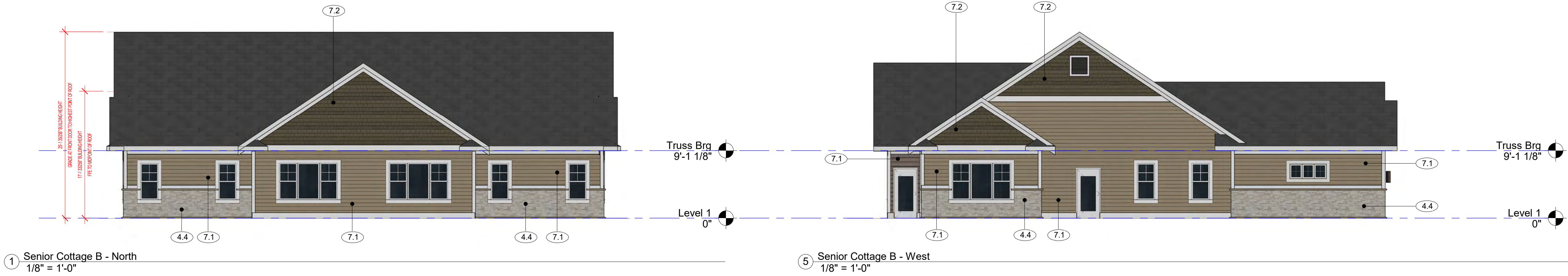
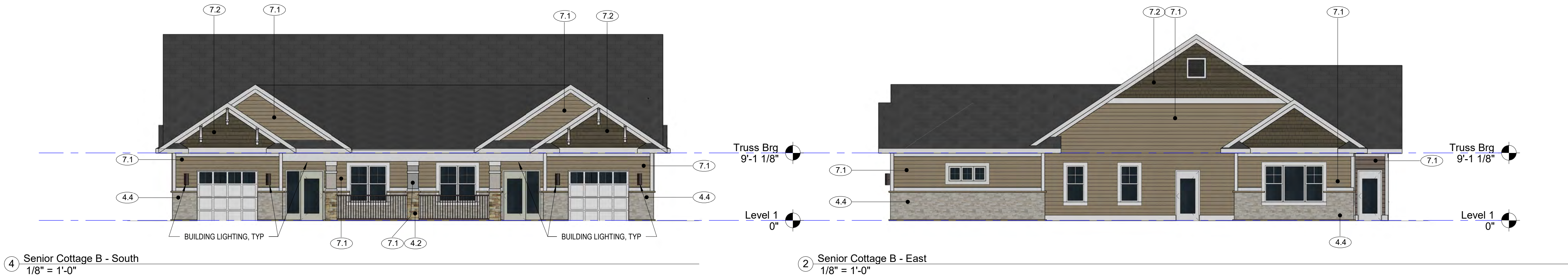


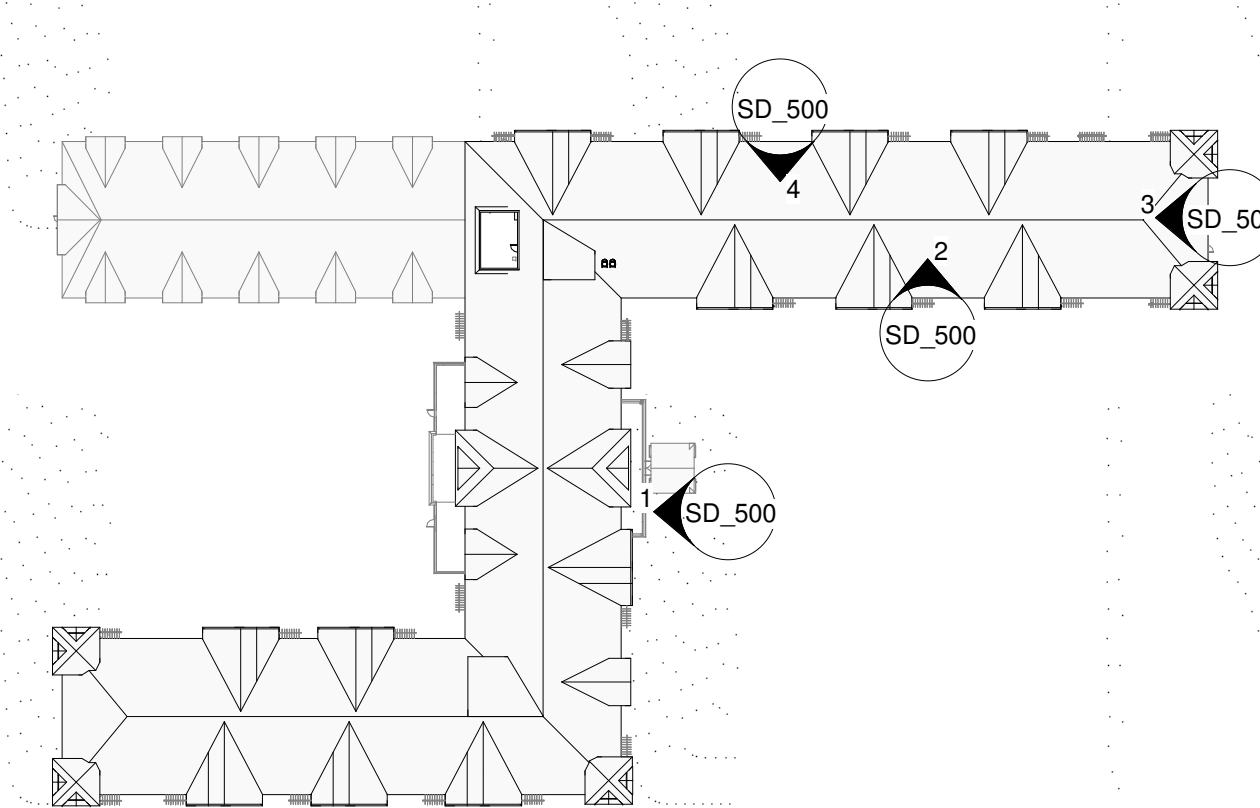
Exterior Material Tag Key	
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4.2	ACMV - Color: Boulder Creek Jaffa Beige
4.3	Stone Sill - Color: TBD
5.1	Prefinished Aluminum Balcony Rail - Color: Dark Bronze
5.2	Prefinished Aluminum Soffit and Fascia - Color - White
5.3	Prefinished Aluminum Gutters and Downspouts - Color: White
6.1	Architectural Asphalt Shingles - Certaineed, Color: TBD
7.1	CFB Lap Siding - Color: Khaki Brown
7.2	CFB Shake Siding - Color: Timber Bark
7.3	CFB Trim - Color: White ***Sizes Vary. See Details***
8.1	Window - Color: White
8.2	Prefinished Metal Louver - Color: White



Exterior Material Tag Key	
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4.2	ACMV - Color: Boulder Creek Jaffa Beige
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5.1	Prefinished Aluminum Balcony Rail - Color: Dark Bronze
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5.3	Prefinished Aluminum Gutters and Downspouts - Color: White
6.1	Architectural Asphalt Shingles - Certainteed, Color: TBD
7.1	CFB Lap Siding - Color: Khaki Brown
7.2	CFB Shake Siding - Color: Timber Bark
7.3	CFB Trim - Color: White ***Sizes Vary. See Details***
8.1	Windows - Color: White
8.2	Prefinished Metal Louver - Color: White

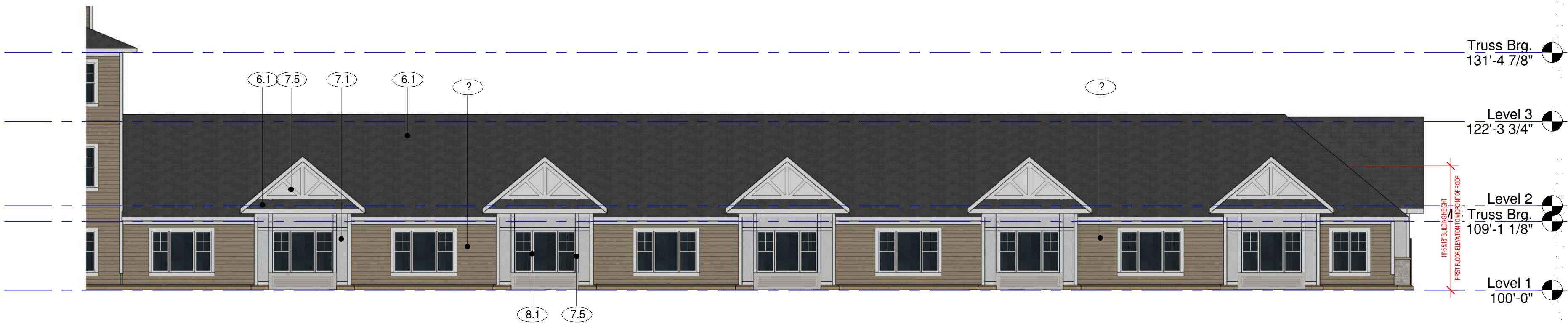
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(5.2)	Prefinished Aluminum Soffit and Fascia - Color - White
(5.3)	Prefinished Aluminum Gutters and Downspouts - Color: White
(6.1)	Architectural Asphalt Shingles - Certaineed, Color: TBD
(7.1)	CFB Lap Siding - Color: Khaki Brown
(7.2)	CFB Shake Siding - Color: Timber Bark
(7.3)	CFB Trim - Color: White ***Sizes Vary. See Details***
(8.1)	Windows - Color: White
(8.2)	Prefinished Metal Louver - Color: White



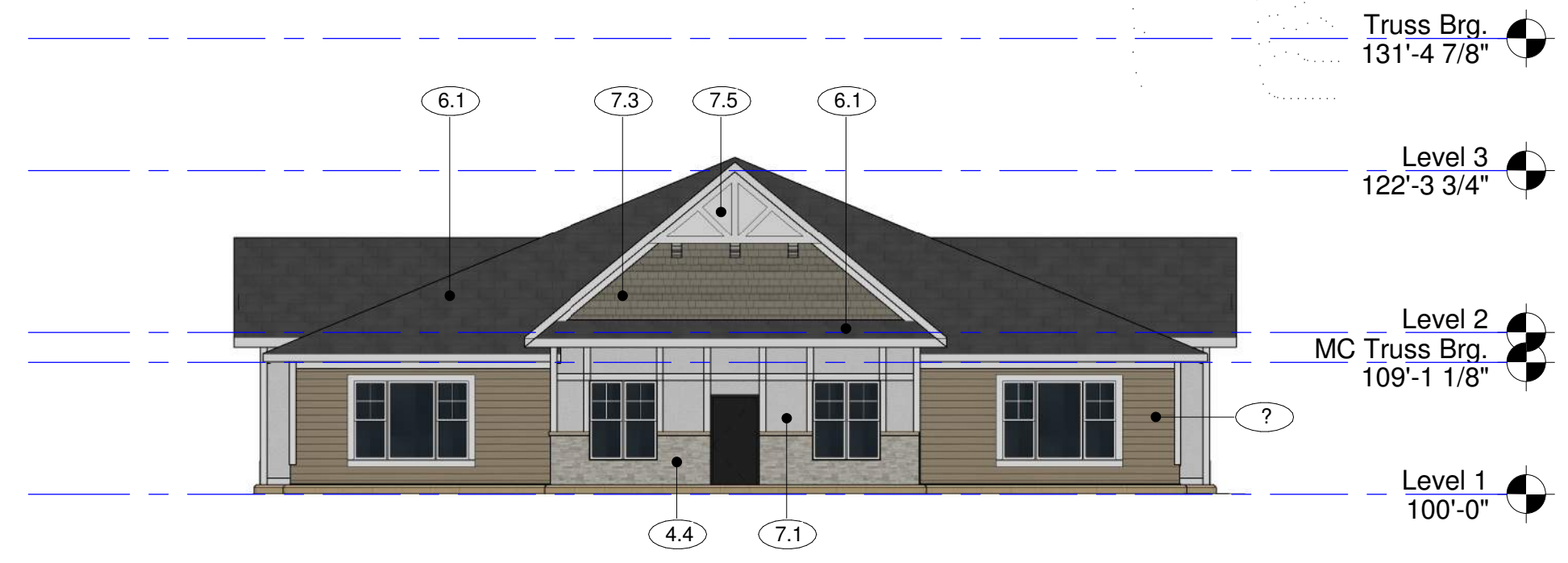


Exterior Material Tag Key	
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4.5	Stone Sill - Color: TBD
5.1	Prefinished Aluminum Balcony Rail - Color: Dark Bronze
5.2	Prefinished Aluminum Soffit and Fascia - Color - White
5.3	Prefinished Aluminum Gutters and Downspouts - Color: White
6.1	Architectural Asphalt Shingles - Certainteed, Color: TBD
6.2	Wood Framed Deck with Trex Decking, Color: TBD
6.3	Metal Roof - Color: TBD
7.1	CFB Panel Siding - Color: White
7.2	CFB Lap Siding - Color: Khaki Brown
7.3	CFB Shake Siding - Color: Timber Bark
7.4	CFB Board & Batten Siding - Color: White
7.5	CFB Trim - Color: White ***Sizes Vary. See Details***
8.1	Vinyl Windows - Color: White
8.2	PTAC Grille - Color: match adjacent siding material
8.3	Prefinished Metal MagicPak Grille - Color: match adjacent siding material
8.4	Prefinished Metal Louver - Color: match adjacent siding material
8.5	Prefinished Aluminum Trellis - Color: White





① Memory Care Wing - North
3/32" = 1'-0"



② Memory Care Wing - West
3/32" = 1'-0"

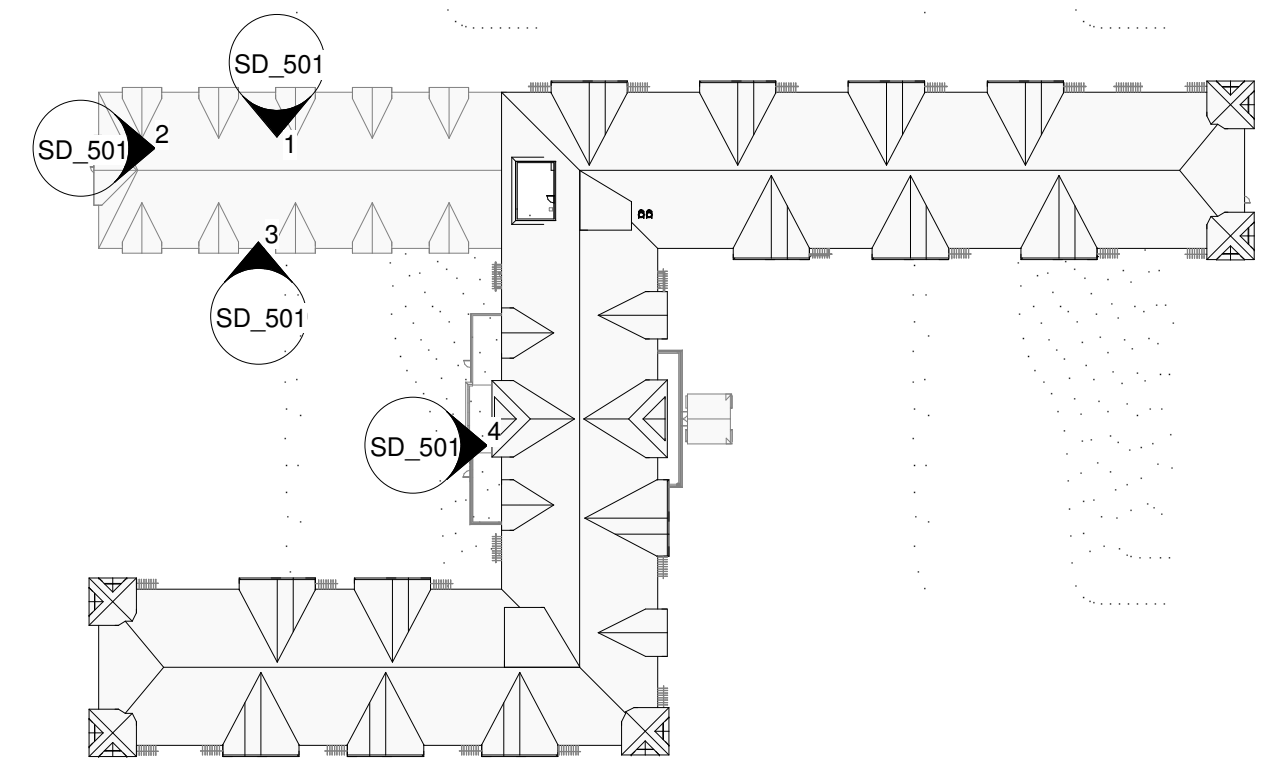


③ Memory Care Wing - South
3/32" = 1'-0"



④ West - Courtyard
3/32" = 1'-0"

Exterior Material Tag Key	
④.1	Rock Faced CMU - Color: TBD
④.2	CMU Sill - Color - TBD
④.4	ACMV - Color: Boulder Creek Jaffa Beige
④.5	Stone Sill - Color: TBD
⑤.1	Prefinished Aluminum Balcony Rail - Color: Dark Bronze
⑤.2	Prefinished Aluminum Soffit and Fascia - Color - White
⑤.3	Prefinished Aluminum Gutters and Downspouts - Color: White
⑥.1	Architectural Asphalt Shingles - Certainteed, Color: TBD
⑥.2	Wood Framed Deck with Trex Decking, Color: TBD
⑥.3	Metal Roof - Color: TBD
⑦.1	CFB Panel Siding - Color: White
⑦.2	CFB Lap Siding - Color: Khaki Brown
⑦.3	CFB Shake Siding - Color: Timber Bark
⑦.4	CFB Board & Batten Siding - Color: White
⑦.5	CFB Trim - Color: White *** Sizes Vary. See Details***
⑧.1	Vinyl Windows - Color: White
⑧.2	PTAC Grille - Color: match adjacent siding material
⑧.3	Prefinished Metal MagicPak Grille - Color: match adjacent siding material
⑧.4	Prefinished Metal Louver - Color: match adjacent siding material
⑧.5	Prefinished Aluminum Trellis - Color: White





① North - Courtyard
3/32" = 1'-0"

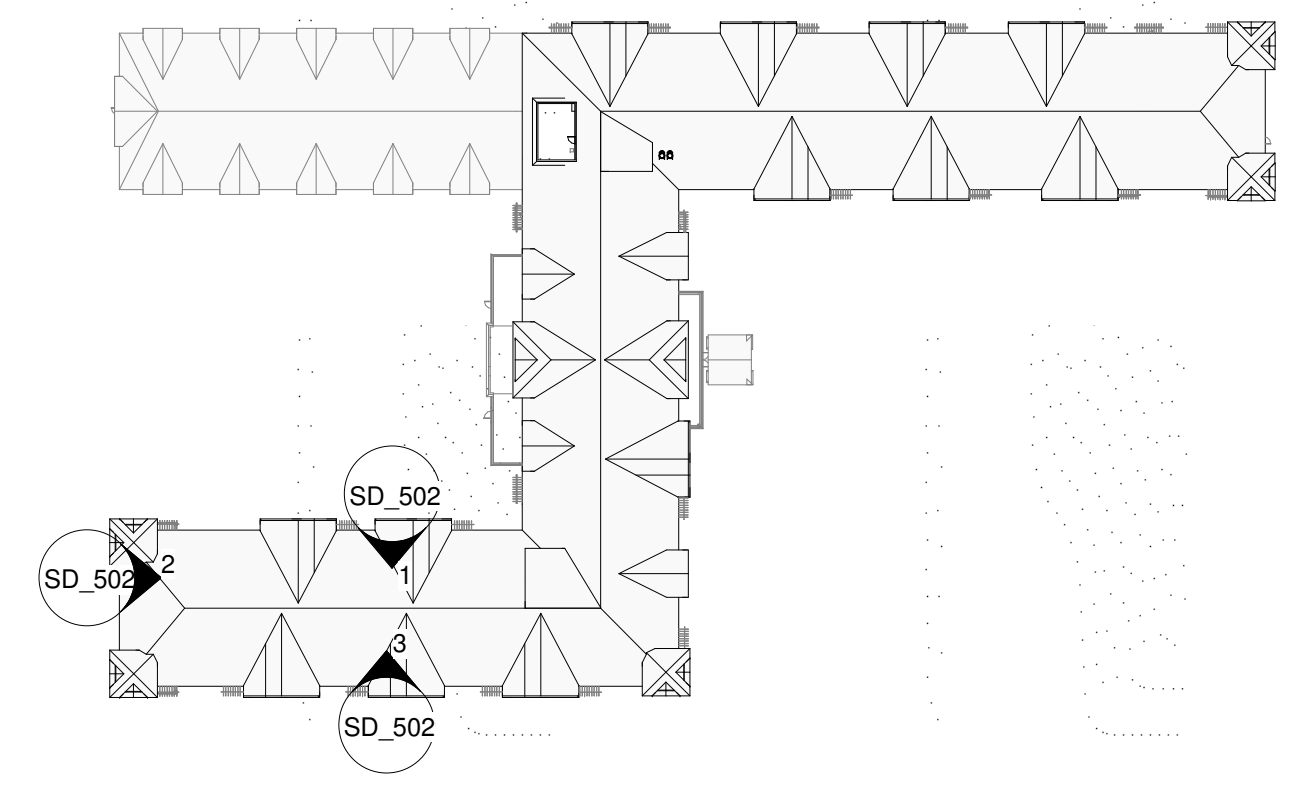


② West - building end
3/32" = 1'-0"



③ South 1
3/32" = 1'-0"

Exterior Material Tag Key	
④.1	Rock Faced CMU - Color: TBD
④.2	CMU Sill - Color - TBD
④.4	ACMV - Color: Boulder Creek Jaffa Beige
④.5	Stone Sill - Color: TBD
⑤.1	Prefinished Aluminum Balcony Rail - Color: Dark Bronze
⑤.2	Prefinished Aluminum Soffit and Facia - Color - White
⑤.3	Prefinished Aluminum Gutters and Downspouts - Color: White
⑥.1	Architectural Asphalt Shingles - Certaineed, Color: TBD
⑥.2	Wood Framed Deck with Trex Decking, Color: TBD
⑥.3	Metal Roof - Color: TBD
⑦.1	CFB Panel Siding - Color: White
⑦.2	CFB Lap Siding - Color: Khaki Brown
⑦.3	CFB Shake Siding - Color: Timber Bark
⑦.4	CFB Board & Batten Siding - Color: White
⑦.5	CFB Trim - Color: White ***Sizes Vary. See Details***
⑧.1	Vinyl Windows - Color: White
⑧.2	PTAC Grille - Color: match adjacent siding material
⑧.3	Prefinished Metal MagicPak Grille - Color: match adjacent siding material
⑧.4	Prefinished Metal Louver - Color: match adjacent siding material
⑧.5	Prefinished Aluminum Trellis - Color: White



**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 7.**

DATE: November 21, 2019

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Preliminary Certified Survey Map for The Waters Senior Living Management, LLC for Property Located at W239 N2492 Pewaukee Road for the Purpose of Creating Two Lots and Dedicating Public Rights-Of-Way (PWC 0919995)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

The Waters Preliminary CSM 11.14.19

PRELIMINARY CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 14, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin.

Wetlands were delineated by Stantec and were located on August 22, 2019

Owner: Kopecky Family Irrevocable Trust
21450 CLARION LN, WAUKESHA WI 53186-5410

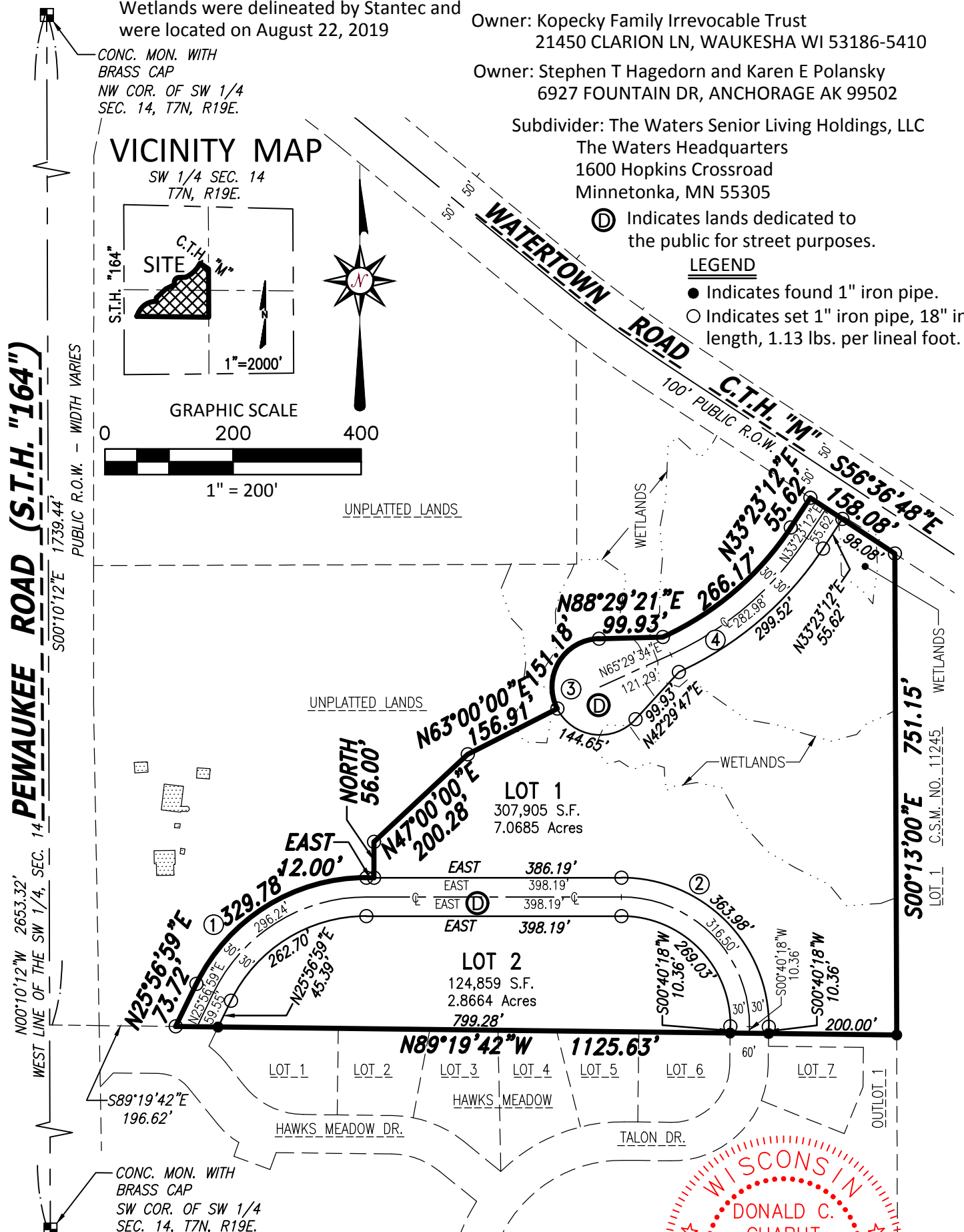
Owner: Stephen T Hagedorn and Karen E Polansky
6927 FOUNTAIN DR, ANCHORAGE AK 99502

Subdivider: The Waters Senior Living Holdings, LLC
The Waters Headquarters
1600 Hopkins Crossroad
Minnetonka, MN 55305

Ⓓ Indicates lands dedicated to the public for street purposes.

LEGEND

- Indicates found 1" iron pipe.
- Indicates set 1" iron pipe, 18" in length, 1.13 lbs. per lineal foot.



Bearings are referenced to grid North of the Wisconsin State Plane Coordinate System (South Zone), dated Dec, 2014, in which the West line of the Southwest 1/4 of Section 14, Town 7 North, Range 19 East, bears N00°10'12"W.

CHAPUT
LAND SURVEYS

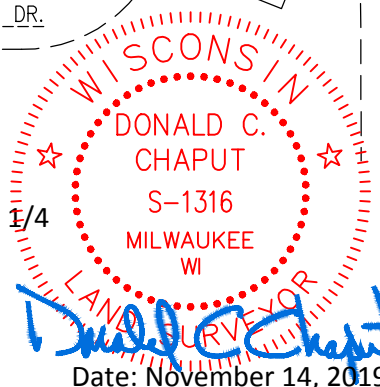
234 W. Florida Street
Milwaukee, WI 53204

414-224-8068
www.chaputlandsurveys.com

See sheet 4 for curve data.

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Page 2 of 6



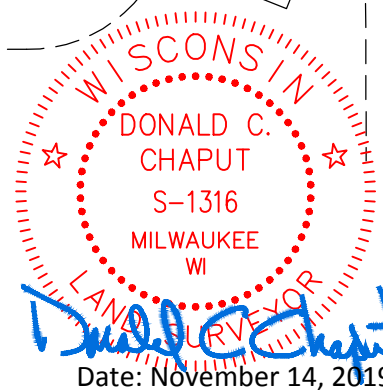
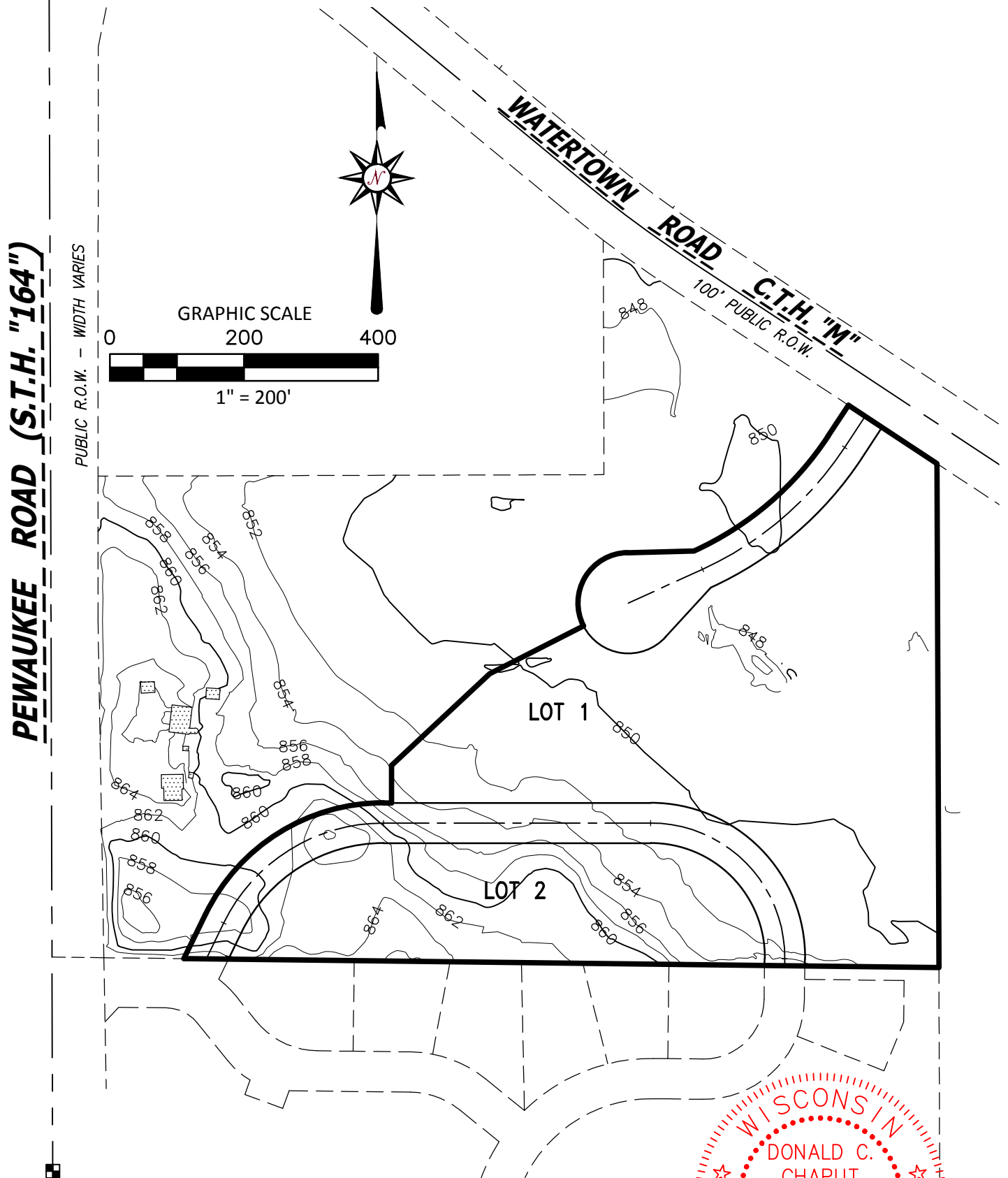
Date: November 14, 2019

Drawing No. 3308-grb
Sheet 1 of 5 Sheets

PRELIMINARY CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 14, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin.

Bearings are referenced to grid North of the Wisconsin State Plane Coordinate System (South Zone), dated Dec, 2014, in which the West line of the Southwest 1/4 of Section 14, Town 7 North, Range 19 East, bears N00°10'12"W.



Date: November 14, 2019

CHAPUT
LAND SURVEYS

234 W. Florida Street
Milwaukee, WI 53204

414-224-8068
www.chaputlandsurveys.com

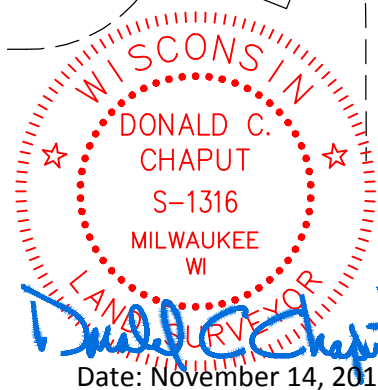
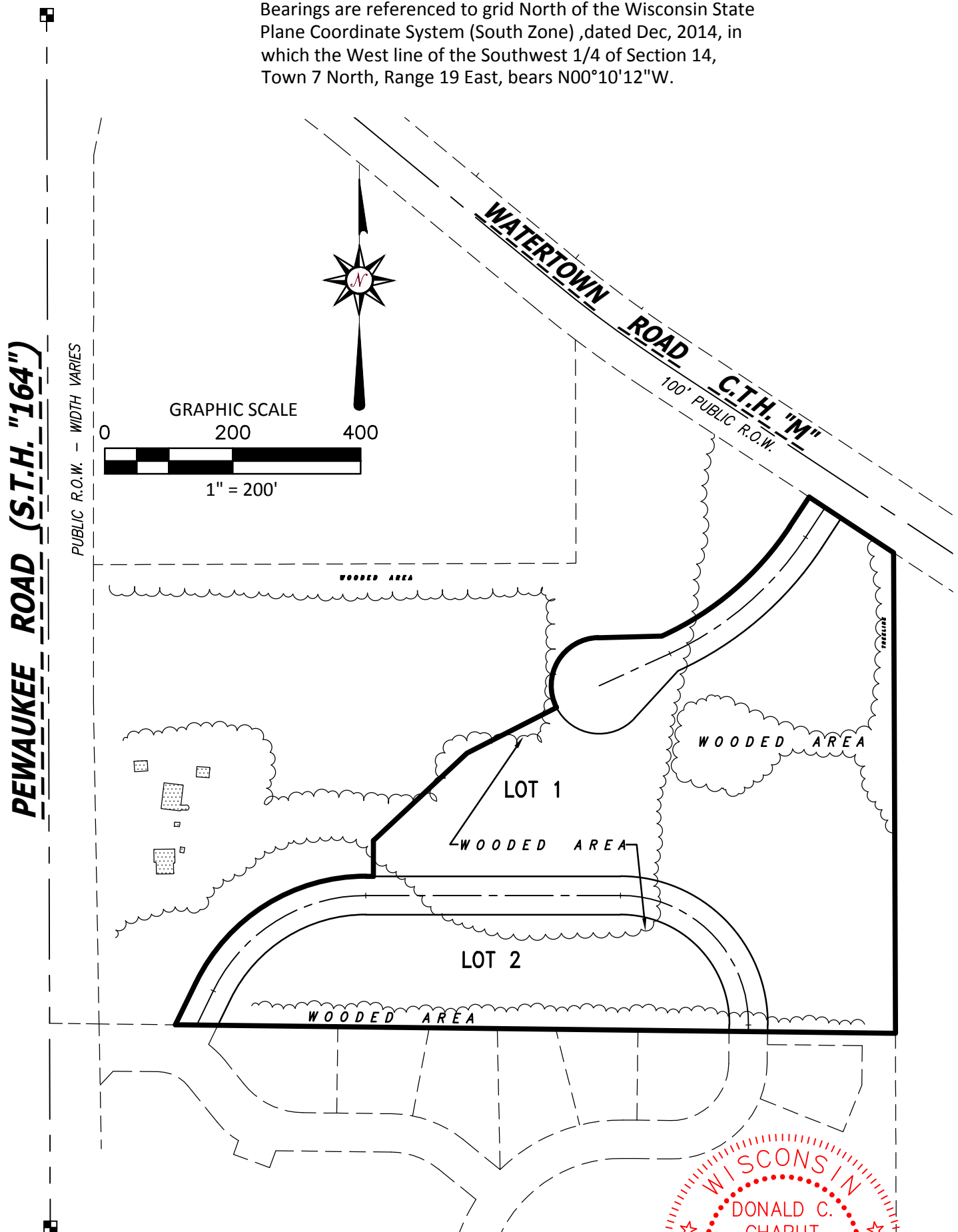
This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Drawing No. 3308-grb
Sheet 2 of 5 Sheets

PRELIMINARY CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 14, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin.

Bearings are referenced to grid North of the Wisconsin State Plane Coordinate System (South Zone), dated Dec, 2014, in which the West line of the Southwest 1/4 of Section 14, Town 7 North, Range 19 East, bears N00°10'12"W.



Date: November 14, 2019

CHAPUT
LAND SURVEYS

234 W. Florida Street
Milwaukee, WI 53204

414-224-8068
www.chaputlandsurveys.com

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Drawing No. 3308-grb
Sheet 3 of 5 Sheets

PRELIMINARY CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 14, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN}
:SS
WAUKESHA COUNTY}

I, DONALD C. CHAPUT, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 14, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin, which is bounded and described as follows:

Commencing at the Northwest corner of said Southwest 1/4 Section, thence South 00°10'12" East along the West line of said 1/4 Section 1739.44 feet to a point on the North line of Hawk's Landing, a recorded subdivision and its extension; thence South 89°19'42" East along said North line 196.62 feet to the point of beginning of the lands hereinafter described; thence North 25°56'59" East 73.72 feet to a point; thence Northeasterly 329.78 feet along an arc of a curve, whose center lies to the Southeast, whose radius is 295.00 feet, and whose chord bears North 57°58'29.5" East 312.87 feet to a point; thence East 12.00 feet to a point; thence North 56.00 feet to a point; thence North 47°00'00" East 200.28 feet to a point; thence North 63°00'00" East 156.91 feet to a point; thence Northeasterly 151.18 feet along an arc of a curve, whose center lies to the Southeast, whose radius is 75.00 feet, and whose chord bears North 30°44'41" East 126.85 feet to a point; thence North 88°29'21" East 99.93 feet to a point; thence Northeasterly 266.17 feet along an arc of a curve, whose center lies to the Northwest, whose radius is 475.00 feet, and whose chord bears North 49°26'23" East 262.70 feet to a point; thence North 33°23'12" East 55.62 feet to a point on the South line of Watertown Road (C.T.H. "M"); thence South 56°36'48" East along said South line 158.08 feet to a point on the West line of Lot 1 in Certified Survey Map No. 11245; thence South 00°13'00" East along said West line 751.15 feet to a point marking the Northeast corner of Hawk's Meadow; thence North 89°19'42" West along the North line of Hawk's Meadow 1125.63 feet to the point of beginning.

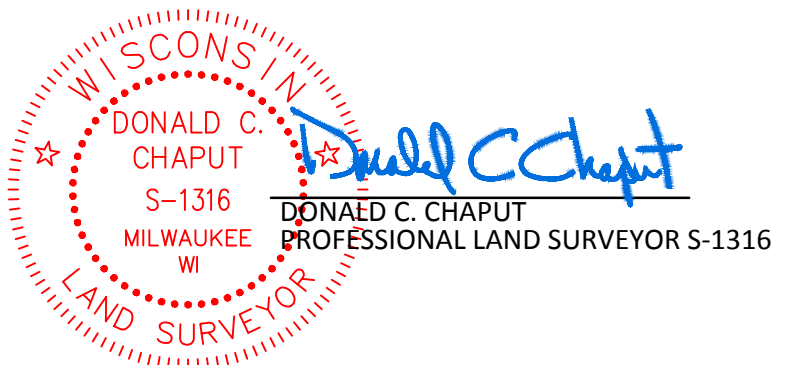
Said lands contain 540,157 square feet, or 12.4003 acres.

THAT I have made the survey, land division and map by the direction of The Waters Senior Living Holdings, LLC, Subdivider.

THAT the map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Land Division and Ordinances of the City of Pewaukee in surveying, dividing and mapping the same.

November 14, 2019
DATE



PRELIMINARY CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 14, Township 7 North,
Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

The Waters Senior Living Holdings, LLC, a Delaware limited liability company, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as Subdivider, hereby certifies that said limited liability company caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the requirements of the City of Pewaukee.

The Waters Senior Living Holdings, LLC, as Subdivider, does further certify that this map is required by S.236.20 or 236.12 to be submitted to the following for approval or objection: City of Pewaukee.

IN WITNESS WHEREOF, The Waters Senior Living Holdings, LLC, has caused these presents to be signed by the hand of _____, on this _____ day of _____, 2019

In the presence of:

The Waters Senior Living Holdings, LLC

STATE OF _____ }
:SS
COUNTY }

Personally came before me this ____ day of _____, 2019, _____, to me known as the person who executed the foregoing instrument and acknowledged that he executed the foregoing instrument as such officer as the deed of said limited liability company, by its authority.

Notary Public
State of Wisconsin
My commission expires. _____
My commission is permanent.

PLANNING COMMISSION CERTIFICATE OF APPROVAL

APPROVED by the Planning Commission of the City of Pewaukee on this ____ day of _____, 2019.

Steve Bierce, Chairperson

Ami Hurd, Deputy Clerk - Recording Secretary

COMMON COUNCIL CERTIFICATE OF APPROVAL

Approved and Dedication accepted by the Common Council of the City of Pewaukee in accordance with the Resolution adopted on, this ____ day of _____, 2019

Steve Bierce, Mayor

Ami Hurd, Deputy Clerk - Recording Secretary



This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Drawing No. 3308-grb
Sheet 5 of 5 Sheets

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 8.**

DATE: November 21, 2019

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Certified Survey Map for The Waters Senior Living Management, LLC for Property Located at W239 N2492 Pewaukee Road for the Purpose of Creating Three Lots (PWC 0919991 & PWC 0919995)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

The Waters CSM 11.14.19

PRELIMINARY
CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 14, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin.

Wetlands were delineated by Stantec and were located on August 22, 2019

Owner: Kopecky Family Irrevocable Trust
21450 CLARION LN, WAUKESHA WI 53186-5410

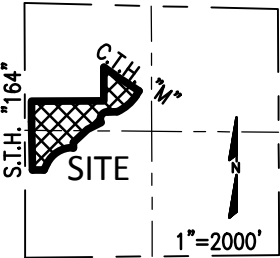
Owner: Stephen T Hagedorn and Karen E Polansky
6927 FOUNTAIN DR, ANCHORAGE AK 99502

Subdivider: The Waters Senior Living Holdings, LLC
The Waters Headquarters
1600 Hopkins Crossroad
Minnetonka, MN 55305

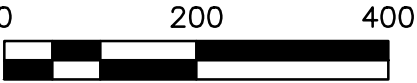
CONC. MON. WITH
BRASS CAP
NW COR. OF SW 1/4
SEC. 14, T7N, R19E.

VICINITY MAP

SW 1/4 SEC. 14
T7N, R19E.



GRAPHIC SCALE



UNPLATTED LANDS

LEGEND

- Indicates found 1" iron pipe.
- Indicates set 1" iron pipe, 18" in length, 1.13 lbs. per lineal foot.

Arc=128.76'
Radius=1959.86'
CB=S54°43'52"E
Chord=128.73'
Delta=3°45'51"

LOT 1
101,794 S.F.
2.3369 Acres

LOT 2
268,297 S.F.
6.1593 Acres

ALL BUILDINGS
TO BE RAZED
EAST
341.67'
LOT 3
87,210 S.F.
2.0021 Acres

LOT 1
C.S.M. NO. _____

LOT 2
C.S.M. NO. _____

LOT 1

LOT 2

LOT 3

LOT 4

LOT 5

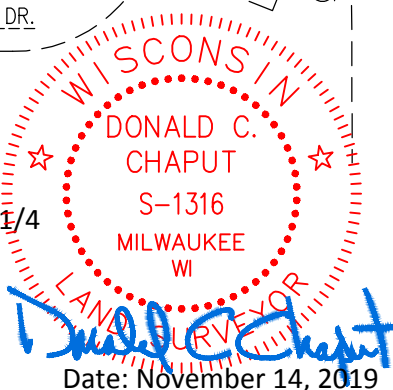
LOT 6

LOT 7

OUTLOT 1

HAWKS MEADOW

TALON DR.



Date: November 14, 2019

Bearings are referenced to grid North of the Wisconsin State Plane Coordinate System (South Zone), dated Dec, 2014, in which the West line of the Southwest 1/4 of Section 14, Town 7 North, Range 19 East, bears N00°10'12"W.

CHAPUT
LAND SURVEYS

234 W. Florida Street
Milwaukee, WI 53204

414-224-8068
www.chaputlandsurveys.com

See sheet 4 for curve data.

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

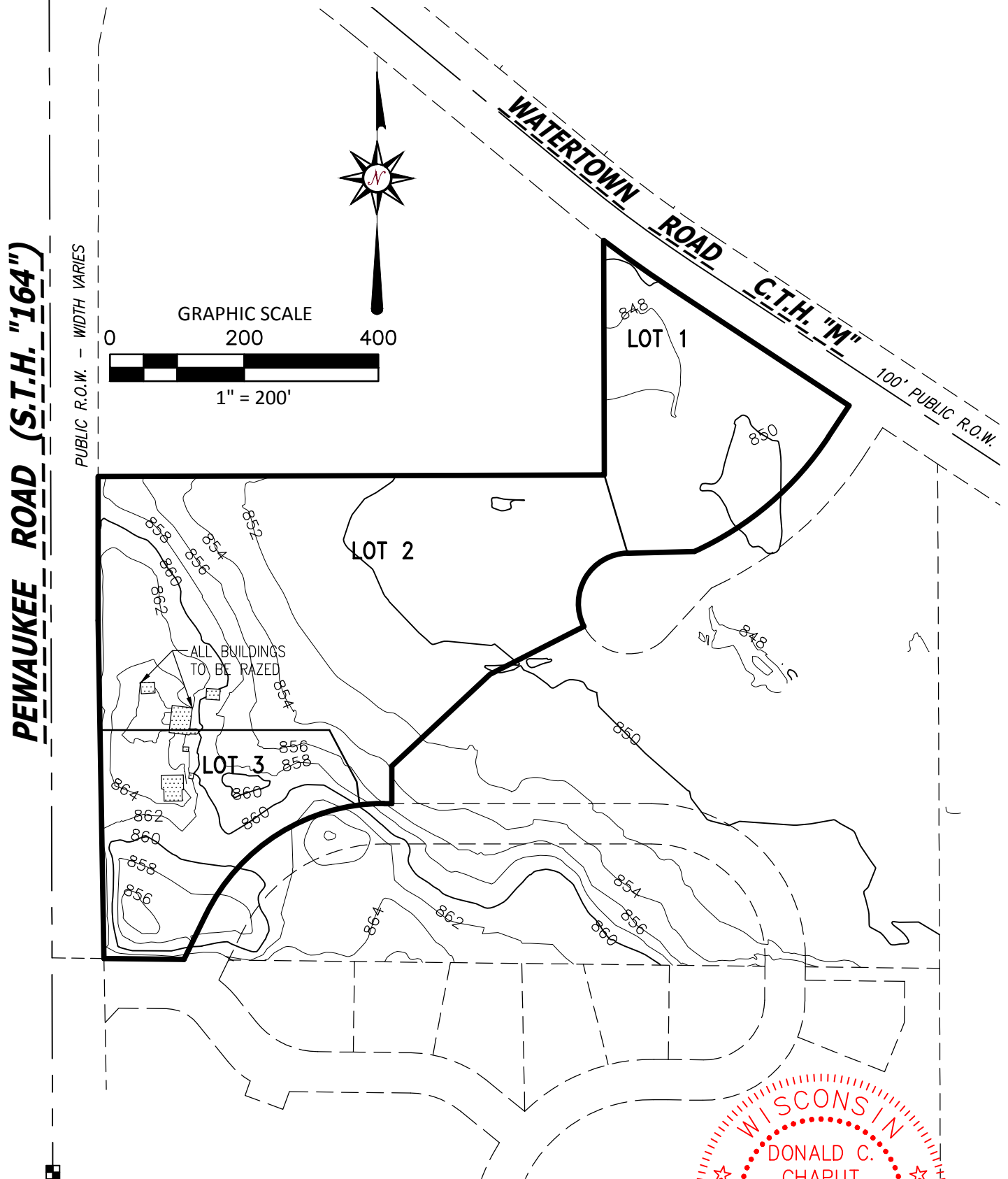
Page 2 of 6

Drawing No. 3308-grb
Sheet 1 of 5 Sheets

PRELIMINARY CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 14, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin.

Bearings are referenced to grid North of the Wisconsin State Plane Coordinate System (South Zone), dated Dec, 2014, in which the West line of the Southwest 1/4 of Section 14, Town 7 North, Range 19 East, bears N00°10'12"W.



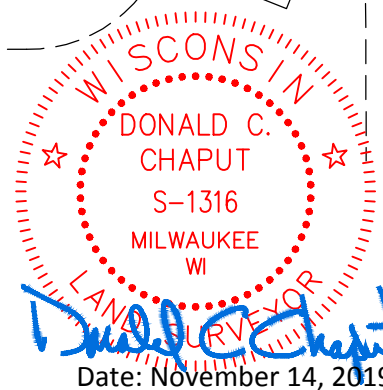
CHAPUT
LAND SURVEYS

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Milwaukee, WI 53204

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This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Page 3 of 6

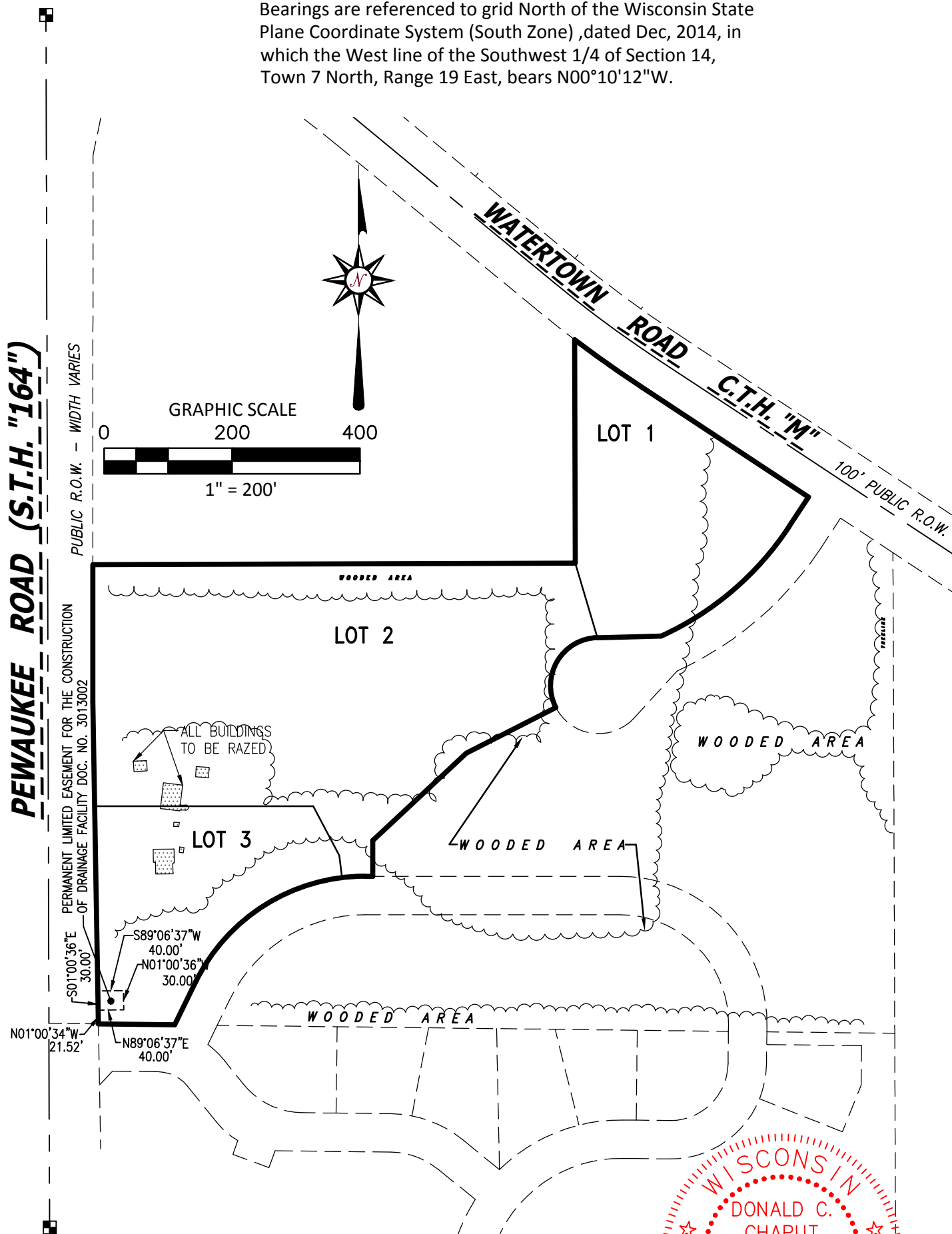


Drawing No. 3308-grb
Sheet 2 of 5 Sheets

PRELIMINARY CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 14, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin.

Bearings are referenced to grid North of the Wisconsin State Plane Coordinate System (South Zone), dated Dec, 2014, in which the West line of the Southwest 1/4 of Section 14, Town 7 North, Range 19 East, bears N00°10'12"W.



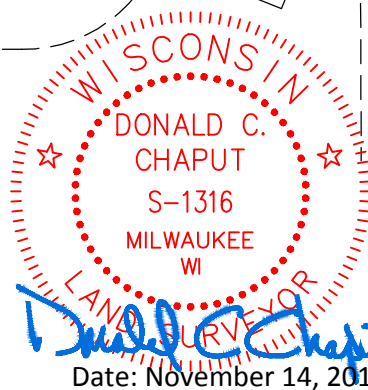
CHAPUT
LAND SURVEYS

234 W. Florida Street
Milwaukee, WI 53204

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This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Page 4 of 6



Date: November 14, 2019

Drawing No. 3308-grb
Sheet 3 of 5 Sheets

PRELIMINARY CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 14, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN}
:SS
WAUKESHA COUNTY}

I, DONALD C. CHAPUT, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 14, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin, which is bounded and described as follows:

Commencing at the Northwest corner of said Southwest 1/4 Section, thence South 00°10'12" East along the West line of said 1/4 Section 1739.44 feet to a point; thence South 89°19'42" East 77.35 feet to a point on the East line of Pewaukee Road (S.T.H. "164") and the Northwest corner of Hawk's Landing, a recorded subdivision and the point of beginning of lands hereinafter described; thence North 01°00'35" West along said East line 503.56 feet to a point; thence North 00°01'48" East along said East line 214.34 feet to a point; thence North 89°49'48" East 754.30 feet to a point; thence North 00°10'12" West 349.42 feet to a point on the South line of Watertown Road (C.T.H. "M"); thence Southeasterly 128.76 feet along said South line and arc of a curve, whose center lies to the Northeast, whose radius is 1959.86 feet, and whose chord bears South 54°43'52" East 128.76 feet to a point; thence South 56°36'48" East along said South line 311.85 feet to a point on the West line of a public street; thence South 33°23'12" West along said West line 55.62 feet to a point; thence Southwesterly 266.17 feet along said West line and arc of a curve, whose center lies to the Northwest, whose radius is 475.00 feet, and whose chord bears South 49°26'23" West 262.70 feet to a point; thence South 88°29'21" West along said West line 99.93 feet to a point; thence Southwesterly 151.18 feet along said West line and arc of a curve, whose center lies to the Southeast, whose radius is 75.00 feet, and whose chord bears South 30°44'41" West 126.85 feet to a point; thence South 63°00'00" West 156.91 feet to a point; thence South 47°00'00" West 200.28 feet to a point; thence South 56.00 feet to a point on the North line of a public street; thence West along said North line 12.00 feet to a point; thence Southwesterly 329.78 feet along said North line and arc of a curve, whose center lies to the Southeast, whose radius is 295.00 feet, and whose chord bears South 57°58'29.5" West 312.87 feet to a point; thence South 25°56'59" West along said North line 73.72 feet to a point on the North line of Hawk's Meadow; thence North 89°19'42" West along said North line 119.27 feet to the point of beginning.

Said lands contain 457,301 square feet, or 10.4982 acres.

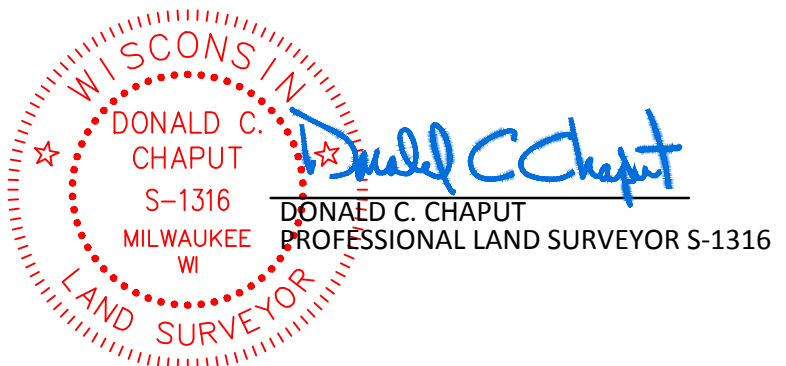
THAT I have made the survey, land division and map by the direction of The Waters Senior Living Holdings, LLC, Subdivider.

THAT the map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Land Division and Ordinances of the City of Pewaukee in surveying, dividing and mapping the same.

November 14, 2019

DATE



PRELIMINARY CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 14, Township 7 North,
Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

The Waters Senior Living Holdings, LLC, a Delaware limited liability company, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as Subdivider, hereby certifies that said limited liability company caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the requirements of the City of Pewaukee.

The Waters Senior Living Holdings, LLC, as Subdivider, does further certify that this map is required by S.236.20 or 236.12 to be submitted to the following for approval or objection: City of Pewaukee.

IN WITNESS WHEREOF, The Waters Senior Living Holdings, LLC, has caused these presents to be signed by the hand of _____, on this _____ day of _____, 2019

In the presence of:

The Waters Senior Living Holdings, LLC

STATE OF _____ }
:SS
COUNTY }

Personally came before me this ____ day of _____, 2019, _____, to me known as the person who executed the foregoing instrument and acknowledged that he executed the foregoing instrument as such officer as the deed of said limited liability company, by its authority.

Notary Public
State of Wisconsin
My commission expires. _____
My commission is permanent.

PLANNING COMMISSION CERTIFICATE OF APPROVAL

APPROVED by the Planning Commission of the City of Pewaukee on this ____ day of _____, 2019.

Steve Bierce, Chairperson

Ami Hurd, Deputy Clerk - Recording Secretary

COMMON COUNCIL CERTIFICATE OF APPROVAL

Approved and Dedication accepted by the Common Council of the City of Pewaukee in accordance with the Resolution adopted on, this ____ day of _____, 2019

Steve Bierce, Mayor

Ami Hurd, Deputy Clerk - Recording Secretary



This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Drawing No. 3308-grb
Sheet 5 of 5 Sheets