

Planning Department

W240N3065 Pewaukee Road
Pewaukee, WI 53072
(262) 691-0770 Fax (262) 691-1798

PLAN COMMISSION MEETING NOTICE AND AGENDA Thursday, November 15, 2018 6:00 PM

Common Council Chambers
W240 N3065 Pewaukee Road, Pewaukee, WI 53072

-
1. Call to Order and Pledge of Allegiance
 2. Discussion and Action Regarding a Petition for a Rezoning Public Hearing for Dan & Nicole Ladwig to Rezone Property Located at N37 W26991 Kopmeier Drive From F-1 Floodplain District to Rs-7 Single-Family Residential for the Purpose of Properly Identifying Areas that Do Not Reside Within the 100 Year Floodplain (PWC 0894976)
 3. Discussion and Action Regarding a Petition for a Rezoning Public Hearing for WVRC/Dr. John Beltz, DVM, to Rezone Property Located on Pewaukee Road South of I-94 From Rs-4 Single-Family Residential to B-3 General Business District for the Purpose of Building a New 24 Hour Emergency Vet Clinic (PWC 0966999)
 4. Discussion and Action Regarding a Recommendation to the Common Council to Approve the Conditional Use for Stoneridge of Pewaukee Located at N16 W23390 Stoneridge Drive for the Purpose of Allowing Spancrete to Locate Within the Existing Tenant Space Primarily for Warehousing and Storage (PWC 0956999022)
 5. Discussion and Action Regarding a Certified Survey Map for Tom Mueller Located on Duplainville Road for the Purpose of Subdividing the Parcel Into Three Separate Lots (PWC 0867994003)
 6. Discussion and Action Regarding a Certified Survey Map for Christ Evangelical Lutheran Church Located at W240 N3103 Pewaukee Road for the Purpose of Combining Three Existing Properties (PWC 0904994001, PWC 0904994002, PWC 0904995)
 7. Discussion and Action Regarding a Condominium Development Conceptual Review on the Stenz Property Located at Golf Road and CTH G (PWC 0940999001)
 8. Discussion and Action Regarding a Site and Building Plan for NCL Graphics Located at N29 W22960 Marjean Lane (PWC 0914008)
 9. Discussion and Action Regarding the Site and Building Plans and Plan of Operation for Briohn Building Corporation for a Multi-Tenant Industrial Building Located at the North End of Northmound Drive (PWC 0962998005)
 10. Discussion and Action Regarding the Conceptual Site and Building Plans for Briohn Building Corporation for a Proposed Office/Industrial Building Located at W220 N1051 Springdale Road (PWC 0961998)
 11. Adjournment

Ami Hurd
Deputy Clerk

11/8/2018

NOTICE

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It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum. At the above stated meeting, no action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the City Planner, Harlan Clinkenbeard, at (262) 691-0770 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 2.**

DATE: November 15, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Petition for a Rezoning Public Hearing for Dan & Nicole Ladwig to Rezone Property Located at N37 W26991 Kopmeier Drive From F-1 Floodplain District to Rs-7 Single-Family Residential for the Purpose of Properly Identifying Areas that Do Not Reside Within the 100 Year Floodplain (PWC 0894976)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Ladwig Rezoning Petition

Ladwig Rezoning Map

Ladwig Rezoning Staff Report

Ladwig Rezoning LPSD Staff Report

CITY OF PEWAUKEE

STATE OF WISCONSIN

WAUKESHA COUNTY

- NOTICE OF ZONING MAP AMENDMENT PUBLIC HEARING -

**PLEASE TAKE NOTICE THAT THERE WILL BE A PUBLIC HEARING ON THE PETITION OF:
DAN & NICOLE LADWIG TO REZONE FROM: F-1 FLOODPLAIN DISTRICT TO:
RS-7 SINGLE-FAMILY RESIDENTIAL**

THE FOLLOWING PROPERTY IN THE CITY OF PEWAUKEE:

Legal description of the property to be rezoned:

PT NW1/4 SEC 8 T7N R19E; COM NW COR S 1125 FT; S82°52'E 100.4 FT THE BGN; S82°52'E 311.21 FT; S15°10'W 52.51 FT; N87°01'W 248.37 FT; N31°40'W 89.58 FT TO BGN :: DOC# 4268900

Common Description: N37 W26991 Kopmeier Drive

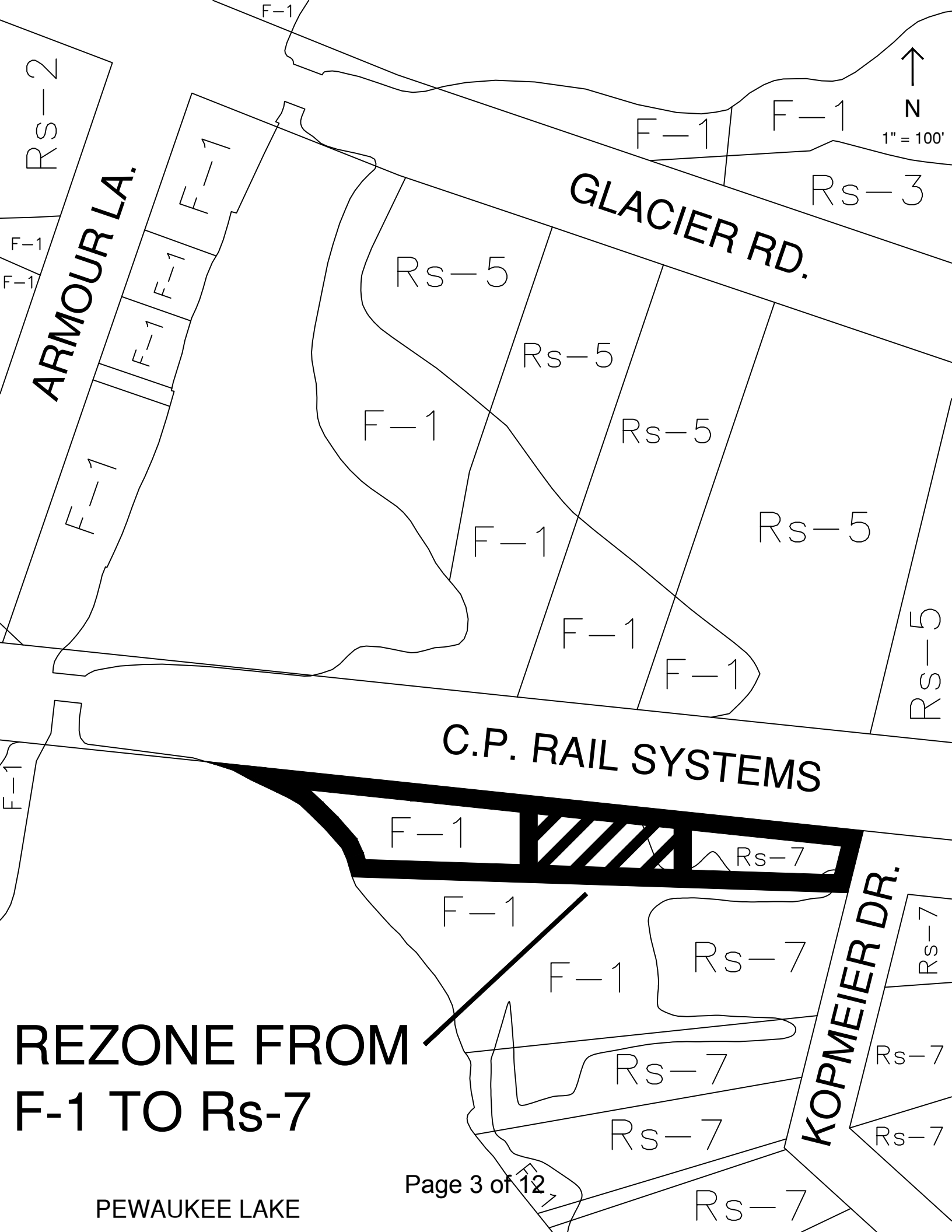
Tax Key Number: PWC 0894976

This Amendment to the Zoning Map (Change in zoning) is being proposed for the purpose of: properly identifying areas that do not reside within the 100 year floodplain.

THE PUBLIC HEARING will be held at a meeting of the City Plan Commission in the City Hall Common Council Chambers on **Thursday, November 15th, 2018** at or after **6:00 PM**.

Dated this 15th day of October, 2018.

Kelly Tarczewski,
Clerk/Treasurer, City of Pewaukee



↑
N
1" = 100'

ARMOUR LA.

GLACIER RD.

C.P. RAIL SYSTEMS

KOPMEIER DR.

REZONE FROM
F-1 TO Rs-7



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of November 15, 2018

Date: November 6, 2018

Project Name: Ladwig Rezoning Request

Project Address/Tax Key No.: N37W26991 Kopmeier Drive, Tax Key No. 0894976

Applicant: Daniel J. Ladwig and Nicole L. Ladwig

Property Owner: Daniel J. Ladwig and Nicole L. Ladwig

Current Zoning: Rs-7 Single-Family Residential District and F-1 Floodplain District (SO Shoreland Overlay District)

Proposed Zoning: Rs-7 Single-Family Residential District and F-1 Floodplain District (SO Shoreland Overlay District)

2050 Land Use Map Designation: Flood Plains, Lowland & Upland Conservancy, and Other Natural Areas

Use of Surrounding Properties: CP Rail System to the north, single-family residential to the south and east and Pewaukee Lake to the west

Project Description

The applicant filed a Rezoning Application requesting approval to rezone a portion of the property located at N37W26991 Kopmeier Drive to amend the F-1 Floodplain District boundary to match the field delineated boundary provided by the applicant's surveyor. *In addition to the rezoning, staff recommends that the applicant apply for a Letter of Map Amendment with FEMA to also amend the Flood Insurance Rate Map, prior to issuance of a Building Permit.*

The property is currently zoned F-1 Floodplain District and Rs-7 Single-Family Residential District and, if approved, will retain the same zoning; however, the F-1 District boundary will be changed and reduced in area per the boundary provided on the attached survey.

The property owner intends to amend the district boundary and construct a single-family home on the property. The proposed home is subject to Building Permit review and must meet all Rs-7 District, F-1 District, and SO Shoreland Overlay District standards.

Recommendation

On November 6, 2018, staff received a letter from the Lake Pewaukee Sanitary District indicating concerns with the rezoning. The Lake Pewaukee Sanitary District indicates that the floodplain boundary is mapped correctly and that wetlands exist over roughly 90% of the property. In addition, concerns are expressed related to potential encroachments within existing easements. The letter is attached for Plan Commission review.

Due to the concerns expressed by the Lake Pewaukee Sanitary District and questions surrounding the proper floodplain boundary and potential wetlands onsite, staff recommends that the item be tabled and brought back for review if and when these concerns have been addressed.

LAKE PEWAUKEE SANITARY DISTRICT

N25 W27534 Oak Street • P. O. Box 111 • Pewaukee, WI 53072

(262) 691-4485 • Fax (262) 691-8096 www.lakepewaukeesd.org



November 6th, 2018

City of Pewaukee Common Council

W240 N3065 Pewaukee Road

Pewaukee, WI 53072

Re: N37 W26991 Kopmeier drive (Tax Key PWC 0894976) Rezoning/Flood Plain Issue

Dear Common Council Members,

The property owned by Dan and Nicole Ladwig resides in the 100 year flood plain and it is currently zoned correctly. See the enclosed Flood Plain Map (exhibit "B"). The property was photographed in 2013 as the District was identifying properties for wetland protection. The photo was not during a high water level and as shown most of the property is inundated in water. It is enclosed for your reference (exhibit "C").

The Southeastern regional Planning Commission (SEWRPC) and the Lake Pewaukee Sanitary District (LPSD) identified the property to be put into government ownership to protect the wetlands and flood plain as part of the Pewaukee Lake Watershed and Protection Plan currently being finalized by the SEWRPC. (Exhibit "E and F" although they have it shown as already owned by the City of Pewaukee).

The request for the rezoning out of the flood zone cannot be considered without hiring a qualified engineering firm to complete a flood study and proving a portion of the property is out of the flood plain. If the engineering flood study proves a portion of the property is out of the flood plain the owners can apply for a LOMA (Letter of Map Amendment). If approved by the WDNR and FEMA only then can or should the City consider re-zoning out of the F-1 zone to Rs-7.

It should also be noted that the property has had a wetland delineation completed and approximately 90% of the property is in a wetland that the District wishes to protect to filter the pollutants, nutrients and heavy metals from draining into the lake. The District continuously watches carefully for any filling in of these important wetlands.

There is a storm water easement along the railroad tracks and there is a sanitary sewer easement from the lift station paralleling the storm water easement along the tracks. These easements can be seen on the enclosed exhibit "A". This encompasses the property from behind the lift station to the sewer manhole across the lake in Judy and Rick Welches property on Parkside road (see exhibit "D"). The sewer pipe is 42+/- years old. No structures of any sort should be allowed in a sanitary sewer easement (i.e.: piers, sheds, boardwalks) as the access to this critical pipe cannot be compromised. Should a failure occur sewage would run directly in the lake or the lake would drain into the sewer pipe. Under both circumstances any land owner obstructions could be detrimental to the lake and the sewer system.

Under the circumstances perhaps this property is a potential candidate for eminent domain by the City or Lake Pewaukee Sanitary District to avoid future problems with the new land owner activity.

Please contact our office if you have any questions,

Sincerely,

A handwritten signature in blue ink, appearing to read "Thomas H. Koepp".

Thomas H. Koepp, P.E., LEED AP

Manager

Lake Pewaukee Sanitary District

Enclosures: Exhibit's A, B, C, D, E and F

Cc: LPSD Commissioners

EXHIBIT "A"

PERMANENT EASEMENT For Ingress and Egress, and Sanitary Sewerage Facilities

Being part of Government Lot 4 in the Northwest 1/4 of the Northwest Fractional 1/4 of Section 8, Town 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin.

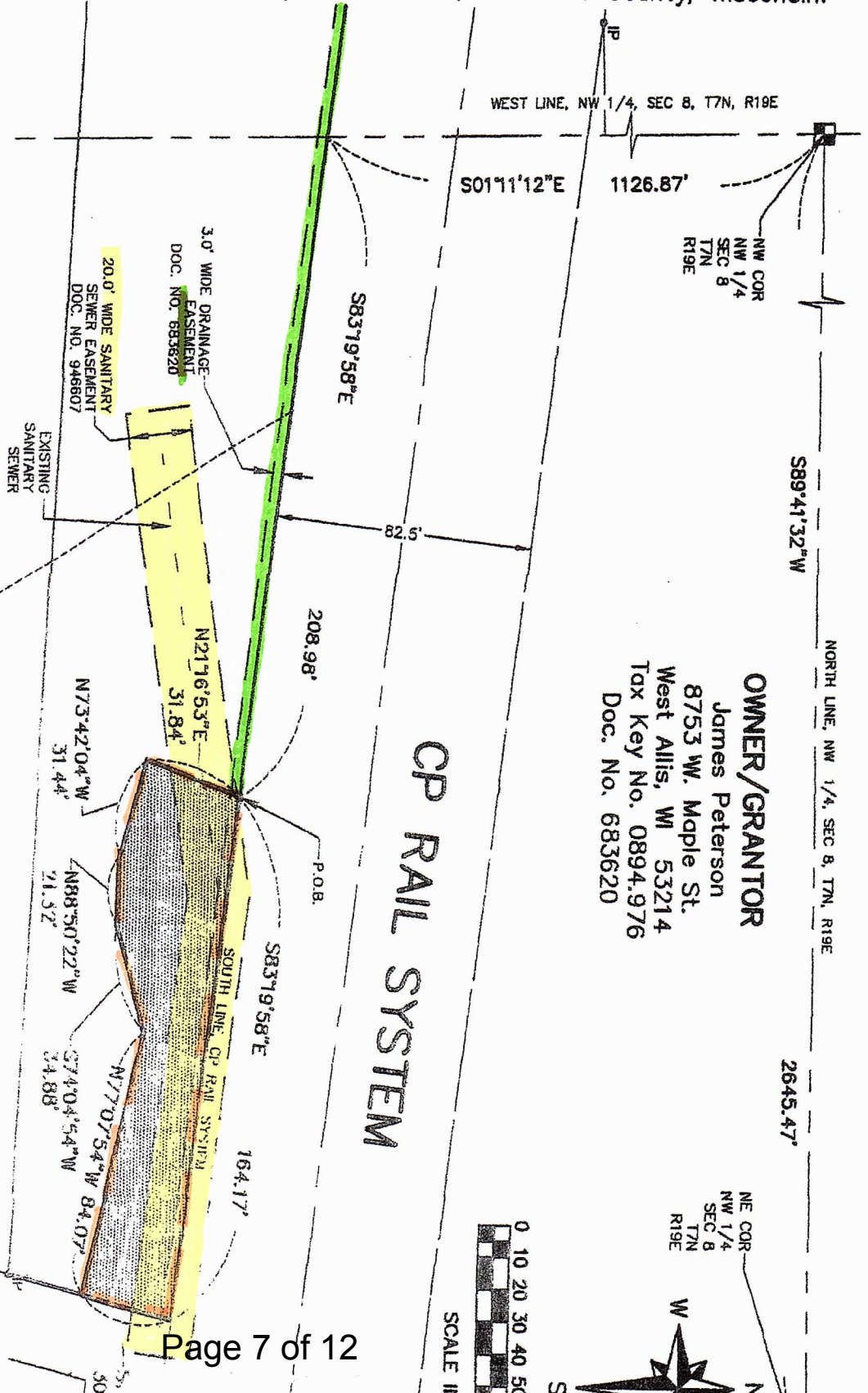
NOTE(S):
1) All bearings are referenced to the North line of the Trac. NW 1/4 of Sec. 8, T. 7 N., R. 19 E., assumed bearing of S89°41'32"W (Misc. State Plane Coordinate System, South Zone).



DENOTED EASEMENT AREA
0.1079 AC. / 4,100 sq. ft.

IRON PIPE FOUND (TTP)

KOPMEIER DRIVE



OWNER/GRANTOR
James Peterson
8753 W. Maple St.
West Allis, WI 53214
Tax Key No. 0894.976
Doc. No. 683620



EXHIBIT "A"

FEMA Flood Plain Map



Legend

- Parcels
- Plats
- Retired Parcels
- Retired Plats
- FEMA Floodplain
 - 0.2% Chance Flood
 - 1% Chance Flood (Zone A N)
 - 1% Chance Flood Area (Zon
 - AE Floodway
- Municipal Boundary_2K
- Waterbodies_2K_Labels
- Waterlines_2K_Labels
- FacilitySites_2K_Labels
- Lots_2K
- Lot
- Outlot
- SimultaneousConveyance
 - Assessor Plat
 - CSM
 - Condominium
 - Subdivision
 - Cartoline_2K
- <all other values>
 - EA-Easement_Line
 - PL-DA
 - PL-Extended_Tie_line
 - PL-Meander_Line
 - PL-Note
 - PL-Tie
 - PL-Tie_Line
 - Road Centerlines_2K
 - Railroad_2K
 - TaxParcel_2K
 - Waterbodies_2K_Labels
 - Waterlines_2K_Labels
 - Municipal Boundary_5K
 - FacilitySites_5K_Labels

Notes:

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

0 87.75 Feet

Printed: 11/6/2018



EXHIBIT "C"

EXHIBIT "D"
SANITARY SEWER EASEMENT
(PIPE IS 42" YEARS OLD)

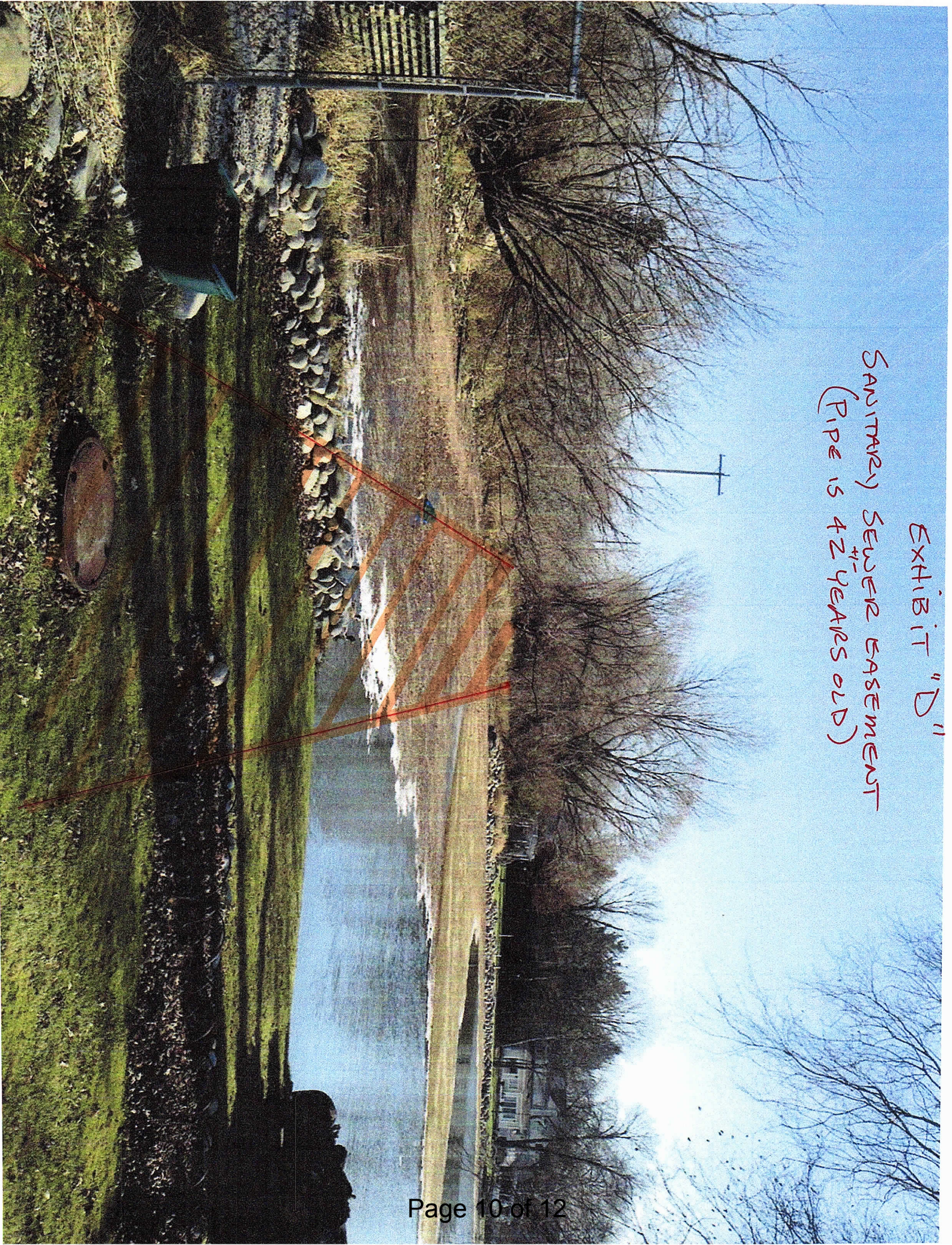


EXHIBIT "E"

Legend



Pewaukee Lake Watershed Boundary (15,878 Acres)



High Priority Stream Buffer/Environmental Easement Lands (131 Acres)



Proposed Government Ownership/Conservation Easement (185 Acres)



Existing LPSP Land (347 Acres)



Existing State Land (56 Acres)



Existing County Land (366 Acres)



Existing Village Land (3 Acres)



Existing Town Land (24 Acres)



Existing City Land (17 Acres)



Property Boundary

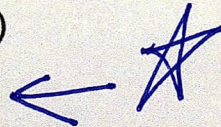


EXHIBIT "F"



**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 3.**

DATE: November 15, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Petition for a Rezoning Public Hearing for WVRC/Dr. John Beltz, DVM, to Rezone Property Located on Pewaukee Road South of I-94 From Rs-4 Single-Family Residential to B-3 General Business District for the Purpose of Building a New 24 Hour Emergency Vet Clinic (PWC 0966999)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

WVRC Rezoning Petition

WVRC Rezoning Map

STATE OF WISCONSIN

CITY OF PEWAUKEE

WAUKESHA COUNTY

- NOTICE OF ZONING MAP AMENDMENT PUBLIC HEARING -

**PLEASE TAKE NOTICE THAT THERE WILL BE A PUBLIC HEARING ON THE PETITION OF:
WVRC – DR. JOHN BELTZ, DVM TO REZONE FROM: RS-4 SINGLE-FAMILY RESIDENTIAL TO:
B-3 GENERAL BUSINESS DISTRICT**

THE FOLLOWING PROPERTY IN THE CITY OF PEWAUKEE:

Legal description of the property to be rezoned:

N1/2 NW1/4 SEC 26 T7N R19E EX VOL 255/16 DEEDS :: EX VOL 684/393 DEEDS :: EX
SHERWOOD FOREST :: EX SHERWOOD FOREST ADDITION NO 1 DOC# 4054595

Common Description: Pewaukee Road

Tax Key Number: PWC 0966999

This Amendment to the Zoning Map (Change in zoning) is being proposed for the purpose of: building a new 24
hour emergency vet clinic.

THE PUBLIC HEARING will be held at a meeting of the City Plan Commission in the City Hall Common
Council Chambers on **Thursday, November 15th, 2018** at or after **6:00 PM.**

Dated this 16th day of October, 2018.

Kelly Tarczewski,
Clerk/Treasurer, City of Pewaukee

I-94

LC&
F-1

↑
N
1" = 200'

LC&
F-1

REZONE FROM
Rs-4 TO B-3

A-2

LC&
F-1

PEWAUKEE RD.

SHERWOOD DR.

KINGS DR.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 4.**

DATE: November 15, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Recommendation to the Common Council to Approve the Conditional Use for Stoneridge of Pewaukee Located at N16 W23390 Stoneridge Drive for the Purpose of Allowing Spancrete to Locate Within the Existing Tenant Space Primarily for Warehousing and Storage (PWC 0956999022)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Stoneridge of Pewaukee Conditional Use Petition

Stoneridge of Pewaukee Conditional Use Staff Report

STATE OF WISCONSIN

CITY OF PEWAUKEE

WAUKESHA COUNTY

- NOTICE OF CONDITIONAL USE PUBLIC HEARING -

PLEASE TAKE NOTICE THAT THERE WILL BE A PUBLIC HEARING ON THE PETITION OF STONERIDGE OF PEWAUKEE LLC FOR A **CONDITIONAL USE PERMIT ON THE FOLLOWING PROPERTY IN THE CITY OF PEWAUKEE:**

Legal description of property:

PARCEL 11 CERT SURV 7949 VOL 68/309 PT SE1/4 & NE1/4 SEC 23 T7N R19E
R2165/659

Common Description or name: N16 W23390 Stoneridge Drive

Tax Key Number(s): PWC 0956999022 **Current zoning:** M-4 Industrial Park District

This conditional use permit is requested in order to allow a M-1, M-2, or M-3 permitted accessory or conditional use in a M-4 zoning district for the purpose of the storage of equipment and/or vehicles used in conjunction with the operation of the business along with administrative offices.

THE PUBLIC HEARING will be held at a meeting of the Common Council in the City Hall Common Council Chambers on **Monday, December 3rd, 2018** at or after **7:00 PM**.

Dated this 23rd day of October, 2018.

Kelly Tarczewski
Clerk/Treasurer



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of November 15, 2018

Date: November 6, 2018

Project Name: Spancrete Conditional Use

Project Address/Tax Key No.: N16W23390 Stone Ridge Drive/Tax Key No. 0956999022

Applicant: Stoneridge of Pewaukee, LLC

Property Owner: Stoneridge of Pewaukee, LLC

Current Zoning: M-4 Industrial Park District

Proposed Zoning: Same

2050 Land Use Map Designation: Manufacturing / Fabrication / Warehousing

Use of Surrounding Properties: M-4 zoned properties to the north, east and west and B-4 zoned properties to the south

Project Description

The applicant filed a Petition for a Conditional Use Permit requesting approval for Spancrete to locate within an existing tenant space at N16W23390 Stone Ridge Drive. Spancrete plans to utilize the space primarily for warehousing and storage as part of their wholesale distribution business use. Note that no outdoor storage is proposed.

The subject property is zoned M-4 Industrial District, which allows B-4 and M-2 permitted uses and M-1, M-2 and M-3 uses as Conditional Uses. Generally, the B-4 District allows office type uses and the M-2 District allows uses involved in the manufacturing of goods or fabrication of materials.

The proposed use is most appropriately allowed within the M-1 District as the M-1 District permits wholesaling and storage. Therefore, a Conditional Use Permit is required along with the Business Plan of Operation Application.

Recommendation

A motion recommending approval of the Conditional Use for Spancrete to locate within existing tenant space at N16W23390 Stone Ridge Drive.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 5.**

DATE: November 15, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Certified Survey Map for Tom Mueller Located on Duplainville Road for the Purpose of Subdividing the Parcel Into Three Separate Lots (PWC 0867994003)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Mueller CSM

Mueller CSM Staff Report

CERTIFIED SURVEY MAP NO. _____

Sheet 1 of 4

Being a redivision of Outlot 2 of Certified Survey Map No. 10777 and being part
of the NE 1/4 of the SW 1/4 of Section 1, Town 7 North, Range 19 East
CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN



SCALE IN FEET



LEGEND:

- -IRON PIPE 18" x 1" DIA.
(PLACED)
1.13+ LBS. PER LIN. FT.
- -IRON PIPE (FOUND)
- CONC. MON. (FOUND)

SURVEYOR/ENGINEER:

JOHN R. STIGLER, RLS
JAHNKE & JAHNKE ASSOC., INC.
711 WEST MORELAND BLVD.
WAUKESHA, WI. 53188-2479
PHONE: (262) 542-5797

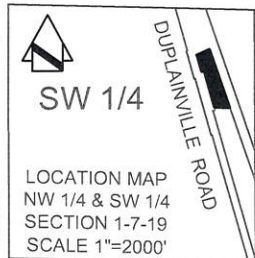
OWNER:

MAPLE CREEK FARMS, LLC
C/O TOM MUELLER
W225 N4226 DUPLAINVILLE ROAD
PEWAUKEE, WI. 53072-2809
PHONE: (262) 691-1780

REFERENCE BEARING: THE EAST
LINE OF THE SOUTHWEST (SW 1/4) OF
SECTION 1, T7N, R19E WAS USED AS
THE REFERENCE BEARING AND HAS A
BEARING OF SOUTH 00°18'38" EAST
BASED ON WISCONSIN STATE PLANE
COORDINATE SYSTEM (SOUTH ZONE).

OUTLOT 1
C.S.M. No. 10777

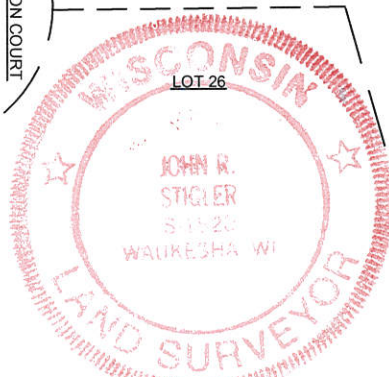
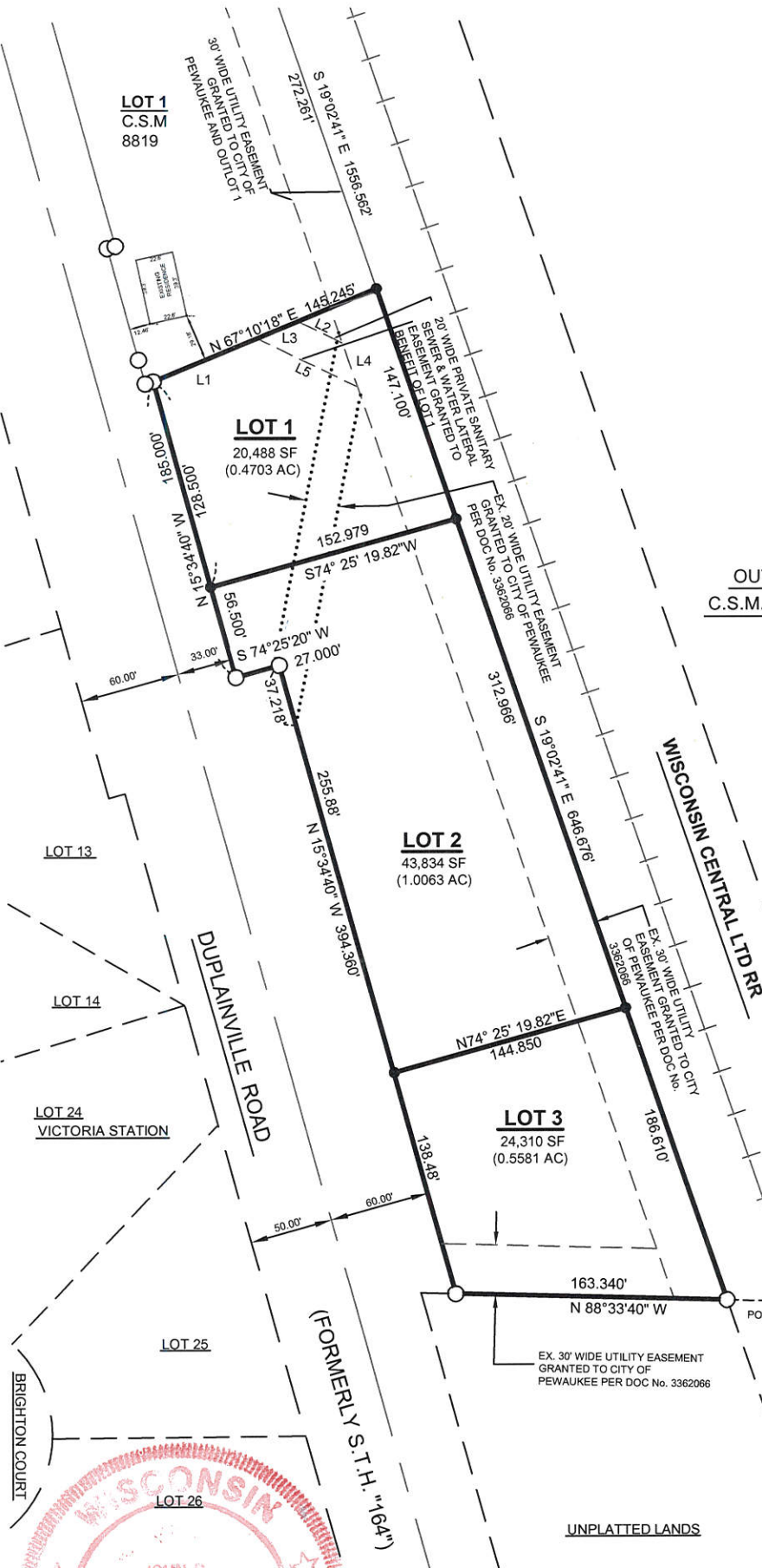
CEN SEC.
1-7-19
CONC. MON.
W/BRASS CAP



EASEMENT LINE TABLE		
LINE	LENGTH	BEARING
L1	67.661'	N 67°10'18" E
L2	26.588'	N 67°10'18" E
L3	29.536'	S 64°02'41" E
L4	28.284'	S 19°02'41" E
L5	67.055'	N 64°02'41" W

SE. COR.
SW 1/4 OF
SEC. 1-7-19
CONC. MON.
W/BRASS CAP

JOHN R. STIGLER - Wis. Reg. No. S-1820
DATED this 12th DAY of OCTOBER, 2016



CERTIFIED SURVEY MAP NO. _____

Sheet 2 of 4

Being a redivision of Outlot 2 of Certified Survey Map No. 10777 and being part
of the NE 1/4 of the SW 1/4 of Section 1, Town 7 North, Range 19 East
CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, John R. Stigler, professional land surveyor, being duly sworn on oath, hereby depose and say that I have surveyed, divided and mapped the following land bounded and described as follows:

A redivision of Outlot 2 of Certified Survey Map No. 10777 as recorded in Volume 104 of Certified Survey Maps on Pages 166 - 169 inclusive as Document No. 3742775 and being part of the Northeast Quarter (NE 1/4) of the Southwest Quarter (SW 1/4) of Section 1, Town 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin further described as follows: Beginning at the southeast corner of Outlot 2 Certified Survey Map No. 10777; thence North 88°33'40" West along the south line of said Outlot 2, 163.340 feet to the east right-of-way line of Duplainville Road; thence North 15°34'40" West along said right-of-way line 394.360 feet; thence South 74°25'20" West along said right-of-way line 27.000 feet; thence North 15°34'40" West 185.000 feet; thence North 67°10'18" East 145.245 feet to the west right-of-way line of the Wisconsin Central Ltd Railroad; thence South 19°02'41" East along the west line of said Wisconsin Central Ltd Railroad right-of-way line 646.676 to the place of beginning. Containing a net area of 88,634 square feet or 2.0348 acres of land.

I further certify that I have made such survey, land division and map by the direction of the owners of said land; that such map is a correct representation of the exterior boundaries of the land surveyed and map thereof made; and that I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes pertaining to Certified Survey Maps (Section 236.34) and the regulations of the City of Pewaukee in surveying, dividing and mapping the same.



John R. Stigler
JOHN R. STIGLER – Wis. Reg. No. S-1820

STATE OF WISCONSIN)ss
WAUKESHA COUNTY)

The above certificate subscribed and sworn to me this 12th day of DECEMBER, 2018.

My commission expires July 05, 2019.

Peter A. Muehl
PETER A. MUEHL – NOTARY PUBLIC



OWNER: MAPLE CREEK FARMS, LLC

Instrument drafted by John R. Stigler

P.S. Pewaukee 3532

CERTIFIED SURVEY MAP NO. _____

Sheet 3 of 4

Being a redivision of Outlot 2 of Certified Survey Map No. 10777 and being part
of the NE 1/4 of the SW 1/4 of Section 1, Town 7 North, Range 19 East
CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

OWNER'S CERTIFICATE:

MAPLE CREEK FARMS, LLC, duly organized and existing under and by virtue of the laws of the State of Wisconsin, does hereby certify that it caused the land described on this map to be surveyed, divided and mapped as represented on this map. It also certifies that this Certified Survey Map is required to be submitted to the following for approval: City of Pewaukee

MAPLE CREEK FARMS, LLC

THOMAS E. MUELLER – MEMBER

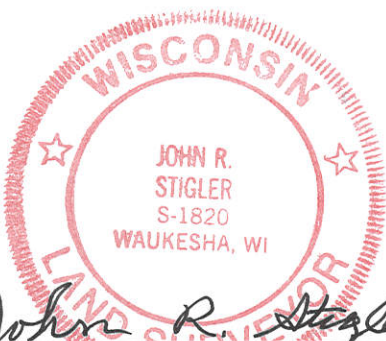
MARCIA K. MUELLER - MEMBER

STATE OF WISCONSIN)^{ss}
WAUKESHA COUNTY)

Personally came before me this _____ day of _____, 2018, the above named THOMAS E. MUELLER and MARCIA K. MUELLER, of the above named Limited Liability Company, to me known to be the persons who executed the foregoing instrument and to me known to be such Member, and acknowledged that they executed the foregoing instrument as such member as the deed of said Limited Liability Company, by its authority.

My commission expires _____

NOTARY PUBLIC -



JOHN R. STIGLER - Wis. Reg. No. S-1820

Dated this 12TH day of OCTOBER, 2018

OWNER: MAPLE CREEK FARMS, LLC

Instrument drafted by John R. Stigler

P.S. Pewaukee 3532

CERTIFIED SURVEY MAP NO. _____

Sheet 4 of 4

Being a redivision of Outlot 2 of Certified Survey Map No. 10777 and being part
of the NE 1/4 of the SW 1/4 of Section 1, Town 7 North, Range 19 East
CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

PLAN COMMISSION APPROVAL:

Approved by the Plan Commission, City of Pewaukee, this _____ day of _____, 2018.

STEVE BIERCE – CHAIRMAN

MICHAEL HASSLINGER – SECRETARY

COMMON COUNCIL APPROVAL:

Approved by the Common Council, City of Pewaukee, this _____ day of _____, 2018.

STEVE BIERCE – MAYOR

KELLY TARCZEWSKI – CLERK/TREASURER



John R. Stigler
JOHN R. STIGLER - Wis. Reg. No. S-1820
Dated this 12TH day of OCTOBER, 2018

OWNER: MAPLE CREEK FARMS, LLC

Instrument drafted by John R. Stigler

P.S. Pewaukee 3532



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of November 15, 2018

Date: November 6, 2018

Project Name: Maple Creek Farms, LLC Certified Survey Map

Project Address/Tax Key No.: Not Assigned/PWC0867994003

Applicant: Tom Mueller and Chris Hansen

Property Owner: Maple Creek Farms, LLC

Current Zoning: Rs-4 Single-Family Residential District

Proposed Zoning: Same

2050 Land Use Map Designation: Low Density Residential (1/2 AC. – 2AC. / DU) and Flood Plains, Lowland & Upland Conservancy, and Other Natural Areas

Use of Surrounding Properties: Single-family residential to the north, south and west and Canadian National Railroad to the west

Project Description

The applicant recently submitted a Certified Survey Map requesting to subdivide the subject parcel into three separate lots. The existing property is Outlot 2 of CSM No. 10777. If approved and recorded, the CSM will remove the outlot designation and create three potentially buildable lots.

Lot one has an area of 20,488 square feet, Lot 2 has an area of 43,834 square feet and Lot 3 has an area of 24,310 square feet. It is anticipated that single-family homes will be constructed upon Lot 1 and Lot 2. Lot 3 will be retained by the current property owner. It is staff's understanding that there are no present development plans for Lot 3.

The Rs-4 District requires a minimum lot area of 20,000 square feet and a minimum lot width of 110 feet at the building setback line, which are both met by all three lots. Any proposed homes must comply with Rs-4 District development standards. The development will also be subject to compliance with any applicable storm water management regulations. Also see recommended Condition No. 2 below.

Potential ROW Vacation

The applicant has discussed with staff the potential of acquiring a portion of Duplainville Road right-of-way to attach to the existing parcel. The properties to the north and south extend approximately 27-feet and 25-feet further west, respectively. The area of right-of-way between these points is the land that would be requested to be vacated.

A formal request has not yet been received for the proposed acquisition. If now or in the future, any right-of-way is requested to be vacated, the applicant must make a formal request to the City and the

required process to vacate right-of-way must be completed by the City. If this is done prior to recording of the CSM, the CSM must be revised accordingly.

Staff has preliminary reviewed the right-of-way width of Duplainville Road at this located and finds that, if vacated, Duplainville Road would continue to have sufficient right-of-way for an arterial street.

Recommendation

A motion recommending approval of a 3 Lot Certified Survey Map subdividing Outlot 2 of CSM No. 10777, subject to addressing the following conditions prior to recording with the Waukesha County Register of Deeds:

1. Per Section 18.0603, the information below shall be shown on Sheet 1 of the proposed certified survey map.
 - Setbacks or Building Setback Lines required by the Plan Commission or other City or County Ordinances;
 - A Required Preliminary CSM shall include existing and proposed contours as set forth in Section 18.0601.
 - The Elevation at each lot; and.
2. Lot 1, Lot 2 and Lot 3 shall each be limited to no more than 0.33 acres of land disturbance. This requirement shall be noted on the face of the CSM and recorded as a deed restriction for each lot. Alternatively, storm water management facilities may be provided to accommodate development of all three parcels.
3. Any wetlands on the property shall be shown on the CSM and include the date of delineation and the name of the person that completed the delineation.
4. Brighton Court shall be revised to "Cabot Court."
5. The applicant shall verify that existing property lines to the south are shown correctly.

There is currently an adjacent property boundary to the south of the subject parcel that may not be shown. Per the Waukesha County GIS mapping, an approximately 40-foot wide parcel exists to the south, which is currently shown as all unplatted lands. The parcel not shown is 0.1625 acres and owned by H & F Properties LLC, which also owns an over 120-acre parcel on the east side of the railroad tracks (PWC0868994).

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 6.**

DATE: November 15, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Certified Survey Map for Christ Evangelical Lutheran Church Located at W240 N3103 Pewaukee Road for the Purpose of Combining Three Existing Properties (PWC 0904994001, PWC 0904994002, PWC 0904995)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Christ Evangelical CSM

Christ Evangelical CSM Staff Report

CERTIFIED SURVEY MAP

Sheet 1 of 4

A COMPILATION OF CERTIFIED SURVEY MAP 8673 RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE IN VOLUME 76 OF RECORDS AT PAGE 316 AS DOCUMENT 2387749 AND PARCEL NO. 0904995 LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

LEGEND

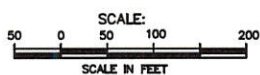
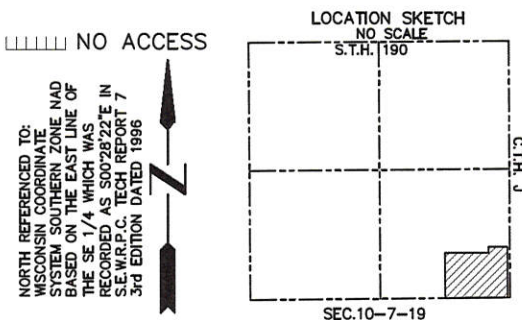
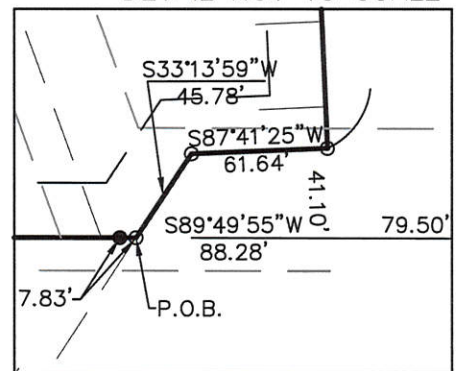
- DENOTES 1"(O.D.) IRON PIPE FOUND
- DENOTES 1" (O.D.) IRON PIPE SET weighing 1.13 lbs/linear foot
- ALUM CAP/CONC.

ZONE I-1

TAX ID: PWC 0904994001
& PWC 0904994002

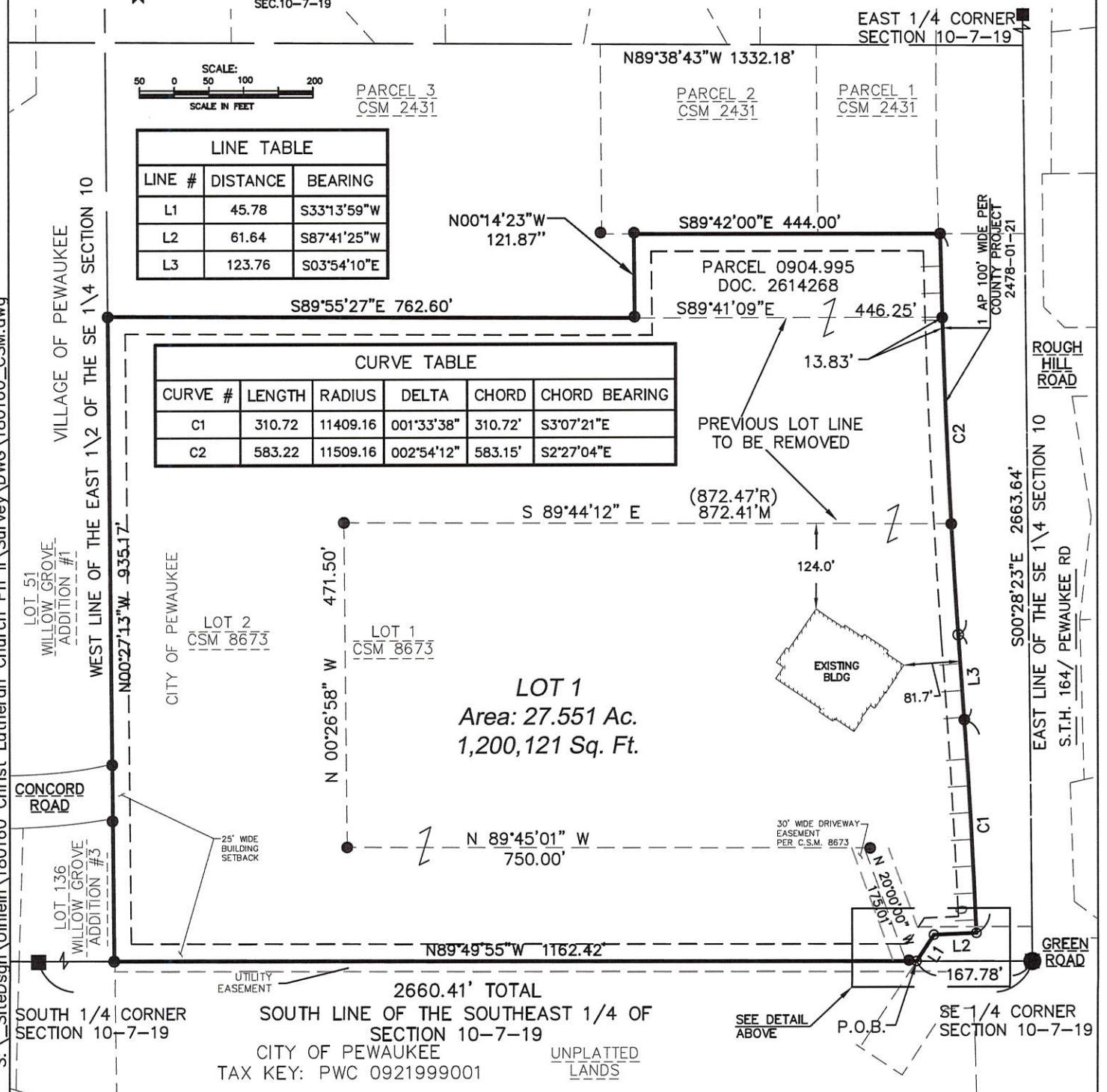


DETAIL NOT TO SCALE



LINE TABLE		
LINE #	DISTANCE	BEARING
L1	45.78	S33°13'59"W
L2	61.64	S87°41'25"W
L3	123.76	S03°54'10"E

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	310.72	11409.16	001°33'38"	310.72'	S3°07'21"E
C2	583.22	11509.16	002°54'12"	583.15'	S2°27'04"E



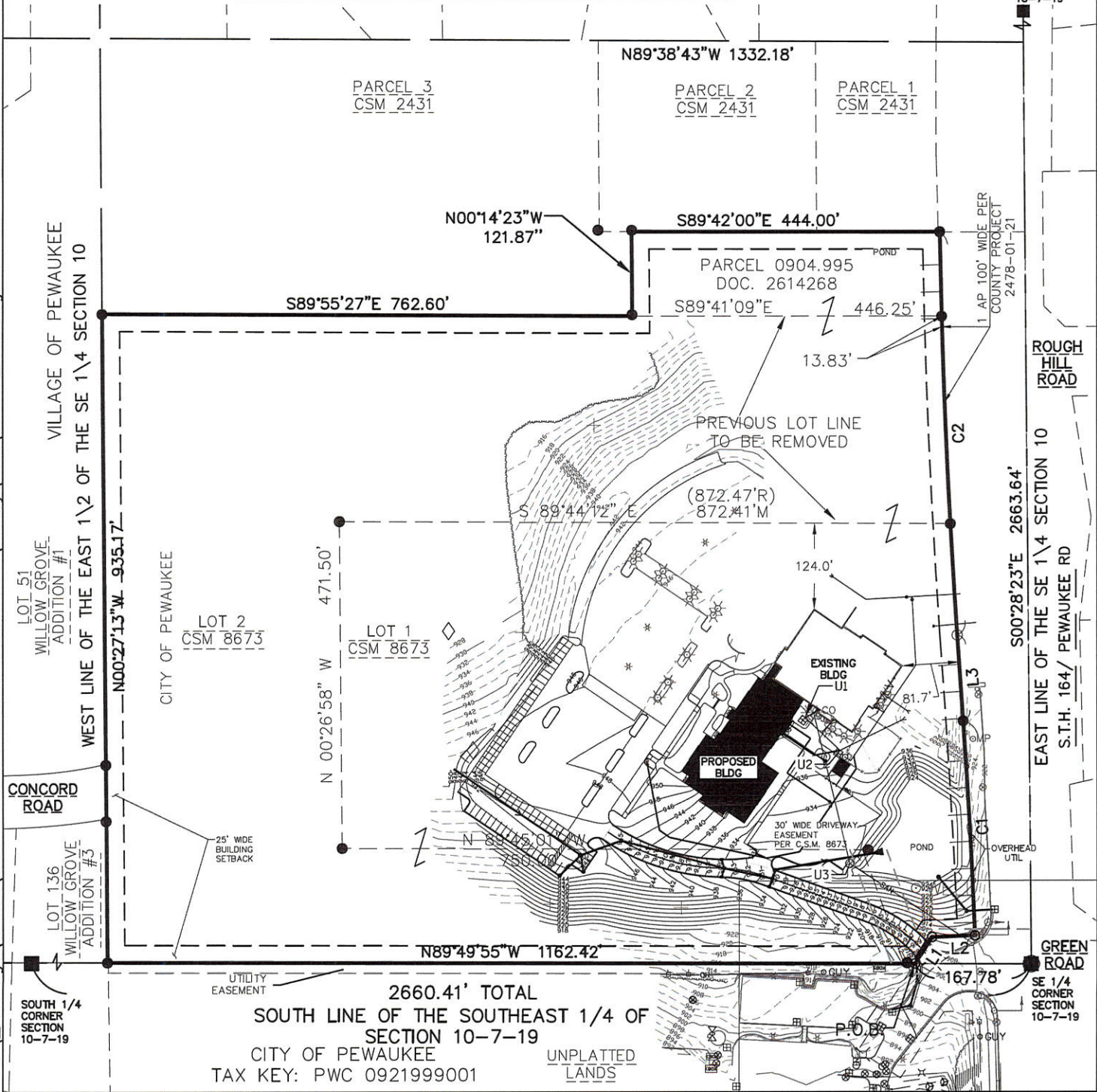
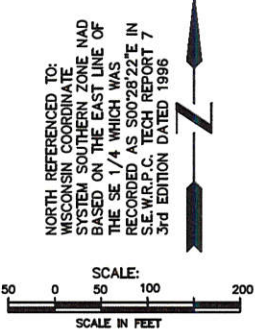
CERTIFIED SURVEY MAP

Sheet 2 of 4

A COMPILATION OF CERTIFIED SURVEY MAP 8673 RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE IN VOLUME 76 OF RECORDS AT PAGE 316 AS DOCUMENT 2387749 AND PARCEL NO. 0904995 LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

- NOTES
- BUILDINGS SHOWN ON THIS PAGE ARE PROPOSED.
 - PARCEL IS IN ZONE X PER FEMA MAP 55133C0203G EFFECTIVE DATE: 11/05/2014

UTILITY INFORMATION					
STRUC #	RIM EL.	PIPE SIZE	PIPE IE	PIPE MATL	PIPE DIR.
U1 - STRM	937.42	4"	934.62	PVC	NE
		6"	934.42	PVC	E
			933.02		BOTTOM
U2 - STRM	936.51	6"	936.51	PVC	W
		18"	933.36	PVC	NNE
U3 - SAN	935.66	6"	925.8		NW
		6"	925.70		SE



A COMPILATION OF CERTIFIED SURVEY MAP 8673 RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE IN VOLUME 76 OF RECORDS AT PAGE 316 AS DOCUMENT 2387749 AND PARCEL NO. 0904995 LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, Brian Sandberg, a Wisconsin professional land surveyor, do hereby certify:

That I have surveyed, divided and mapped a parcel of land being part of the Southeast 1/4 of the Southeast 1/4 of Section 10, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows:

Lots 1 & 2 of Certified Survey Map 8673 recorded in Waukesha County Register of Deeds Office in Volume 76 of records, at Page 316 as Document 2387749 and a portion of unplatted land located in the Southeast 1/4 of the Southeast 1/4 of Section 10, Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin, being more particularly described as:

That part of the Southeast 1/4 of the Southeast 1/4 of Section 10, in Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin, more particularly described as follows:
Commencing at the Southeast corner of said Section 10; thence N 89°49'55" W along the South line of the Southeast 1/4 of said Section 10, 167.78 feet to the point of beginning; thence continuing N 89°49'55" W along said south line 1162.42 feet to the West line of the East half of the Southeast 1/4 of said Section 10; thence N 00°27'13" W along said West line 935.59 feet to the Northwest corner of Certified Survey Map 8673 recorded in the Waukesha County Register of Deeds office in Volume 76 of records, at Page 316 as Document 2387749; thence S 89°45'01" E along the North line of said Certified Survey Map 762.90 feet to the east line of Parcel 3 Certified Survey Map 2431 recorded in the Waukesha County Register of Deeds office in Volume 17 of records, at Page 279 as Document 930108; thence N 00°28'22" W along said east line 121.76 feet to the South line of Parcel 2 of said Certified Survey Map 2431; thence S 89°57'51" E along said South line 444.33 feet to the Westerly right of way line of S.T.H. "164" and being a point of a non-tangent curve to the left having a radius of 11,509.16 feet and a chord of 583.15 feet bearing S 02°27'04" E; thence Southeasterly along said west line and the arc of said curve 583.22 feet; thence S 03°54'10" E along said west line 123.76 feet to a point on a curve to the left having a radius of 11,409.16 feet and a chord of 310.72 feet bearing S 03°07'21" E; thence Southeasterly along said west line and the arc of said curve 310.72 feet; thence S 87°41'25" W 61.64 feet; thence S 33°13'59" W 45.78 feet to the point of beginning.

Said Parcel contains 27.551 acres 1,200,121 S.F.

I have made this survey, land division and map by the direction of the land owners of said land.

That such map is a correct representation of all exterior boundaries of the land surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes pertaining to Certified Survey Maps (Section 236.34) and the Regulations of the Town of Pewaukee in surveying, dividing and mapping the same.

Date

Brian Sandberg,
Wisconsin Land Surveyor (S-2500)



A COMPILATION OF CERTIFIED SURVEY MAP 8673 RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE IN VOLUME 76 OF RECORDS AT PAGE 316 AS DOCUMENT 2387749 AND PARCEL NO. 0904995 LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

OWNER’S CERTIFICATE

As owner, I hereby certify that we caused said lands to be certified, divided, mapped and dedicated, as shown on this map.

WITNESS the hand and seal of said Christ Lutheran Church, Owners, this ____ day of _____, 20____.

In the presence of:

Rod Winter, President



State of Wisconsin)

Waukesha County)

PERSONALLY came before me this ____ day of _____, 20____, the above named Rod Winter, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public:

County, Wisconsin
My commission expires: _____

CITY OF PEWAUKEE PLAN COMMISSION APPROVAL

APPROVED by the City of Pewaukee Planning Commission this ____ day of _____, 20____.

Steve Bierce, Chairman

Brandon Bergman, Secretary

CITY OF PEWAUKEE COMMON COUNCIL APPROVAL:

APPROVED, by the City of Pewaukee Common Council on this ____ day of _____, 20____.

Steve Bierce, Mayor

Kelly Tarczewski, Clerk

S:_SiteDsgn\Uihlein\180160 Christ Lutheran Church Ph II\Survey\DWG\180160_CSM.dwg



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of November 15, 2018

Date: November 6, 2018

Project Name: Christ Evangelical Lutheran Church Certified Survey Map

Project Address/Tax Key No.: Approximately W240N3103 Pewaukee Road, Tax Key Nos. 0904994001, 0904994002 and 0904995

Applicant: Christ Evangelical Lutheran Church of Pewaukee Inc.

Property Owner: Christ Evangelical Lutheran Church of Pewaukee Inc.

Current Zoning: I-1 Urban Institutional District

Proposed Zoning: Same

2050 Land Use Map Designation: Governmental / Institutional

Use of Surrounding Properties: Single-family residential to the north, east and west and City Hall to the south

Project Description

At their July 19, 2018 meeting, the Plan Commission passed a motion “to approve the site and building plans and business plan of operation for Christ Evangelical Lutheran Church subject to staff comments and engineering review and approval of their plans and review of the secondary exit based on the slope and closeness to the intersection.”

As staff recommended that the three existing properties owned by the church and part of the subject development be combined, the applicant has submitted the attached Certified Survey Map for City review and approval.

With approval of the CSM, the church development will exist on one 27.551-acre site. The land combination will eliminate existing parking lot and building setback issues.

All three properties are zoned I-1 Urban Institutional District and designated as Governmental / Institutional on the City’s 2050 future land use map.

Recommendation

A motion recommending approval of a 1 Lot Certified Survey Map combining the three existing properties located at approximately W240N3103 Pewaukee Road and bearing Tax Key Nos. 0904994001, 0904994002 and 0904995.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 7.**

DATE: November 15, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Condominium Development Conceptual Review on the Stenz Property Located at Golf Road and CTH G (PWC 0940999001)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

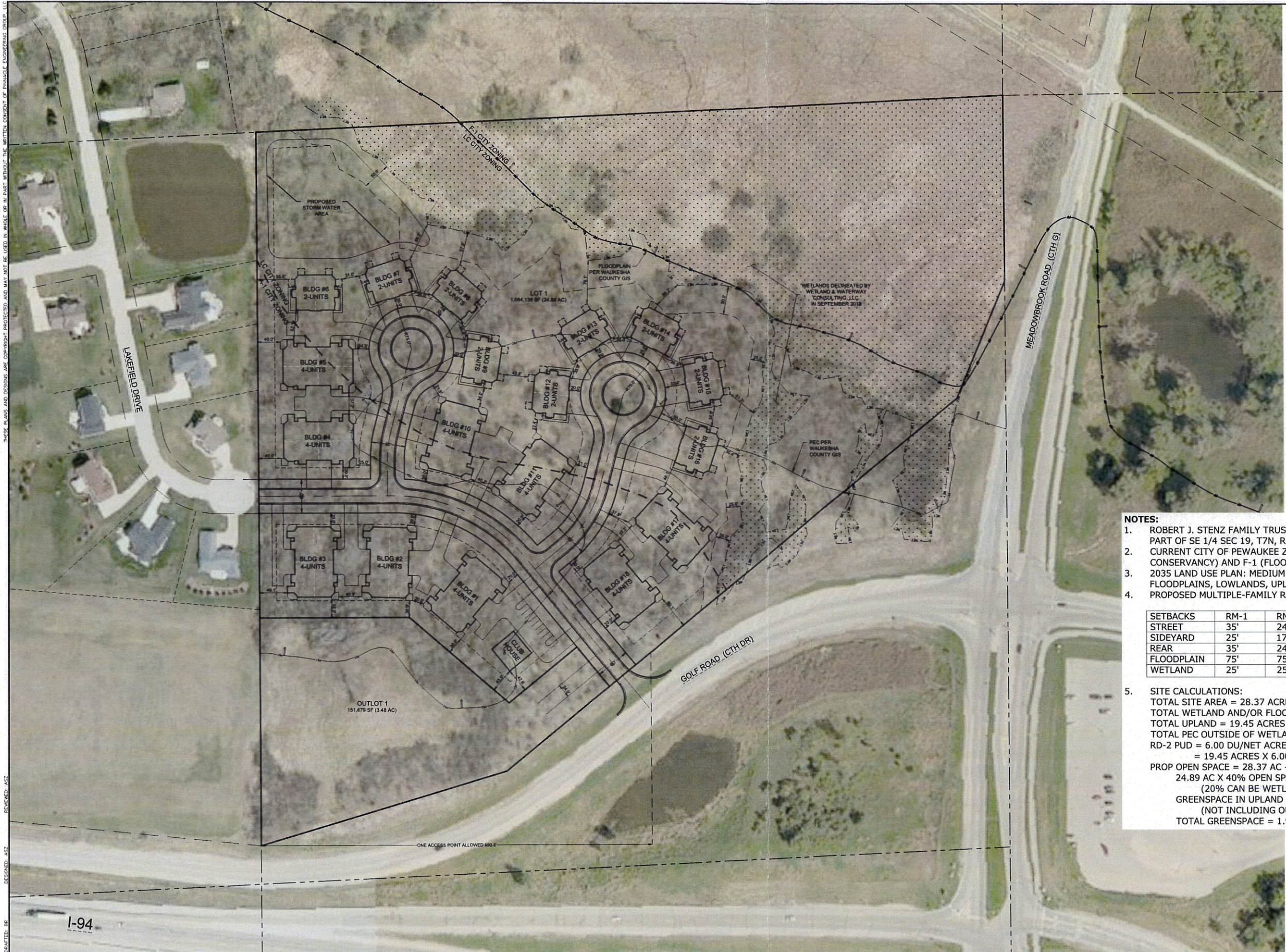
Description

Stenz Property Site Plan

Stenz Property Site Plan #2

Stenz Property Staff Report

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC.
DESIGNED: ASZ
DRAFTED: BR
REVIEWED: ASZ



GRAPHICAL SCALE (FEET)

0 1" = 80' 160'

- NOTES:**
- ROBERT J. STENZ FAMILY TRUST PROPERTY, TAK KEY NUMBER PWC 0940999001 PART OF SE 1/4 SEC 19, T7N, R19E.
 - CURRENT CITY OF PEWAUKEE ZONING: A-1 (AGRICULTURAL), L-C (LOWLAND CONSERVANCY) AND F-1 (FLOODLAND)
 - 2035 LAND USE PLAN: MEDIUM DENSITY RESIDENTIAL (6,500 SF - 1/2 AC/DU), FLOODPLAINS, LOWLANDS, UPLAND CONSERVANCY AND NATURAL AREAS.
 - PROPOSED MULTIPLE-FAMILY RESIDENTIAL DEVELOPMENT (RM-1 PUD)

SETBACKS	RM-1	RM-1 PUD	PROPOSED
STREET	35'	24.5'	20'
SIDEYARD	25'	17.5'	20' BETWEEN BUILDINGS
REAR	35'	24.5'	30'
FLOODPLAIN	75'	75'	75'
WETLAND	25'	25'	50' (DNR NR 151) & 25' (CITY)

5. SITE CALCULATIONS:
TOTAL SITE AREA = 28.37 ACRES
TOTAL WETLAND AND/OR FLOODPLAIN = 8.92 ACRES
TOTAL UPLAND = 19.45 ACRES
TOTAL PEC OUTSIDE OF WETLAND AND/OR FLOODPLAIN = 11.41 ACRES
RD-2 PUD = 6.00 DU/NET ACRE
= 19.45 ACRES X 6.00 DU/ACRE = 116 DU (PROPOSED 54 DU)
PROP OPEN SPACE = 28.37 AC - 3.48 AC OUTLOT = 24.89 AC
24.89 AC X 40% OPEN SPACE REQUIRED = 9.96 AC REQUIRED
(20% CAN BE WETLAND/FLOODPLAIN = 1.99 AC)
GREENSPACE IN UPLAND DEVELOPMENT AREA = 9.45 AC
(NOT INCLUDING OUTLOT AREA OR WETLAND/FLOODPLAIN)
TOTAL GREENSPACE = 1.99 AC + 9.45 AC = 11.44 AC (PROPOSED)



NOTE: The location and size of the underground structures and utilities shown herein have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
Contact Diggers Hotline, Inc., Etc.

CALL DIGGERS HOTLINE
TOLL FREE
1-800-242-8511
VET. STATUTE: MICHIGAN
REGULATORY: 3-10-18
MILWAUKEE: 259-1181



PINNACLE ENGINEERING GROUP

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

WISCONSIN OFFICE:
15850 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
(262) 754-8888

ENGINEERING | NATURAL RESOURCES | SURVEYING | GIS | MILWAUKEE, NATIONWIDE

STENZ PROPERTY
CITY OF PEWAUKEE, WAUKESHA CO., WISCONSIN

CONCEPTUAL SITE PLAN

REVISIONS

PEG JOB NO. 1338-00-WT
ASZ
START DATE 10-15-18
SCALE 1" = 80'

SHEET
C-1
C-1



GRAPHICAL SCALE (FEET)
0 1" = 80' 160'

- NOTES:**
1. ROBERT J. STENZ FAMILY TRUST PROPERTY, TAK KEY NUMBER PWC 0940999001 PART OF SE 1/4 SEC 19, T7N, R19E.
 2. CURRENT CITY OF PEWAUKEE ZONING: A-1 (AGRICULTURAL), L-C (LOWLAND CONSERVANCY) AND F-1 (FLOODLAND)
 3. 2035 LAND USE PLAN: MEDIUM DENSITY RESIDENTIAL (6,500 SF - 1/2 AC/DU), FLOODPLAINS, LOWLANDS, UPLAND CONSERVANCY AND NATURAL AREAS.
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5. SITE CALCULATIONS:
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TOTAL UPLAND = 19.45 ACRES
TOTAL PEC OUTSIDE OF WETLAND AND/OR FLOODPLAIN = 11.41 ACRES
RD-2 PUD = 6.00 DU/NET ACRE
= 19.45 ACRES X 6.00 DU/ACRE = 116 DU (PROPOSED 54 DU)
PROP OPEN SPACE = 28.37 AC - 3.48 AC OUTLOT = 24.89 AC
24.89 AC X 40% OPEN SPACE REQUIRED = 9.96 AC REQUIRED
(20% CAN BE WETLAND/FLOODPLAIN = 1.99 AC)
GREENSPACE IN UPLAND DEVELOPMENT AREA = 9.45 AC
(NOT INCLUDING OUTLOT AREA OR WETLAND/FLOODPLAIN)
TOTAL GREENSPACE = 1.99 AC + 9.45 AC = 11.44 AC (PROPOSED)

NOTE: The location and size of the underground structures and utilities shown herein have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
Contact Diggers Hotline, Inc., Etc.

TO OBTAIN LOCATIONS OF NEARBY UNDERGROUND FACILITIES, CALL DIGGERS HOTLINE 1-800-242-8811 TOLL FREE.

CALL DIGGERS HOTLINE 1-800-242-8811 TOLL FREE.

FOR STATUTE REQUIREMENTS, SEE THE CITY OF PEWAUKEE ZONING ORDINANCE.

WILM. AREA 259-1191

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WISCONSIN OFFICE:
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BROOKFIELD, WI 53005
(262) 754-8888
WWW.PINNACLE-ENGR.COM

STENZ PROPERTY
CITY OF PEWAUKEE, WAUKESHA CO., WISCONSIN

CONCEPTUAL SITE PLAN

REVISIONS	

PROJECT NO. 2018-001	DATE 10-15-18	SHEET C-1
SCALE 1" = 80'		C-1



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of November 15, 2018

Date: November 6, 2018

Project Name: Stenz Property Condominium Development

Project Address/Tax Key No.: Not Assigned/Tax Key No. 0940999001

Applicant: Jim Forester

Property Owner: Robert J. Stenz Family Trust

Current Zoning: A-1 Agricultural District, LC Lowland Conservancy District and F-1 Floodplain District

Proposed Zoning: Rm-1 Multiple-Family District Planned Unit Development

2050 Land Use Map Designation: Low – Medium Density Residential (1/2 AC. – 2 AC. / D.U.)

Use of Surrounding Properties: Vacant land zoned F-1 and LC districts to the north, I-94 and single-family residential to the south, Meadowbrook Park & Ride and other WisDOT land zoned F-1, LC and I-2 districts to the east and single-family residential and vacant I-1 zoned land to the west

Project Description

Mr. Jim Forester submitted a revised concept plan for property located at the northwest corner of Golf Road and CTH G. The development consists of 9 two-family and 9 four-family residential buildings for a total of 54 units.

The applicant previously presented a concept plan to the Plan Commission at their August 16, 2018 meeting. That plan included 29 two-family residential buildings for a total of 58 units. The plan also included a gated emergency access drive to Lakefield Drive, which is now shown as a through street. Other changes include replacing the circle drive with two cul-de-sacs and the addition of a club house.

The subject property is currently vacant and has a total site area of approximately 28.37 acres. The property is zoned A-1 Agricultural District, LC Lowland Conservancy District and F-1 Floodplain District. The properties are designated as Low - Medium Density Residential (1/2 AC. – 2 AC. / DU) and Flood Plains, Lowland & Upland Conservancy and other Natural Areas on the City's 2050 Future Land Use Map.

The site plan includes one lot (24.89 acres) and one outlot (3.48 acres). The applicant has indicated that the future use of the outlot is not known at this time. A storm water pond is anticipated in the northwest corner of the site, adjacent to an existing pond serving the abutting single-family residential subdivision.

The applicant is proposing Rm-1 District zoning to accommodate the multi-family development. The Rm-1 District permits three to eight unit structures; however, the district also allows two-story

townhouses and condominiums as a Conditional Use. Note that the Zoning Code defines “townhouse” as follows:

A linear series of single family dwelling units, usually two (2) or more stories, attached on one or both sides by party walls to other single family units of similar type in the series and having direct outside access and individual street and rear yards, the end units only having a single side yard on the unattached side.

The site plan does not meet the front yard setback and building separation requirements of the Rm-1 District. The Rm-1 District requires a minimum front yard setback of 24.5-feet (as a PUD) and a minimum of 40-feet between principal structures. The applicant is proposing 20-foot front yard setbacks throughout the development. The building separation varies. The nearest two buildings are 20-feet apart.

Section 17.0908 of the Zoning Code allows the Plan Commission to make modifications to district standards for mixed use developments. Note that a previous project was considered mixed use as it included two-family and four-family buildings, which are allowed within separate zoning districts.

17.0908 SPECIFIC PLANNED PROJECT MODIFICATION

When a development project such as an industrial or office park, shopping center, or mixed use development is proposed which involves specific development proposals which meet the intent of the individual district regulation(s) but cannot meet a specific requirement, and when the approval of such development would not set a precedent that would be detrimental to the City if it is approved in like circumstances, the Plan Commission may, after thorough review, make such specific modification in their approval of the specific project.

It is anticipated that a rezoning, conditional use, and condominium plat will be necessary to move forward with the proposed development. Note that per Section 17.0104, if a rezoning is approved the Future Land Use designation is amended accordingly.

“...An officially adopted change in the zoning classification which provides for uses that are not reflected on the City’s long-range land use plans will, however, automatically constitute a change to the long-range land use plan.”

Natural Resources

There are protected natural resources onsite, including floodplain and wetlands. The property is also wooded and much of the site is mapped as a SEWRPC Primary Environmental Corridor.

The development does not encroach into the F-1 District zoning; however, development is located within the LC District. Since the previous concept plan, the applicant has completed wetland delineations for the site and revised the site plan to avoid any impacts to those wetlands and wetland setbacks. As the LC District is intended to protect wetlands, waterways and those areas subject to periodic flooding, the City may consider rezoning the LC District portion of the property to match the field delineations and wetland setbacks identified by Wetland & Waterway Consulting, LLC.

Staff recommended to the applicant that a tree survey or analysis be completed by the applicant to determine impacts to trees onsite. Staff has discussed with the applicant the desire to preserve as many

trees as possible and that a tree survey would assist in determining the quality and health of existing trees.

Staff also suggested that a multi-family or senior multi-family development within one or two larger buildings could be considered at this location, presuming more trees and natural resources could be protected and more of the site left undisturbed.

Recommended Motion

No action required.

It is recommended that sufficient feedback be provided to allow the applicant to determine whether to proceed or not with a rezoning and the detailed site and building plans.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 8.**

DATE: November 15, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Site and Building Plan for NCL Graphics Located at N29 W22960 Marjean Lane (PWC 0914008)

BACKGROUND:

FINANCIAL IMPACT:

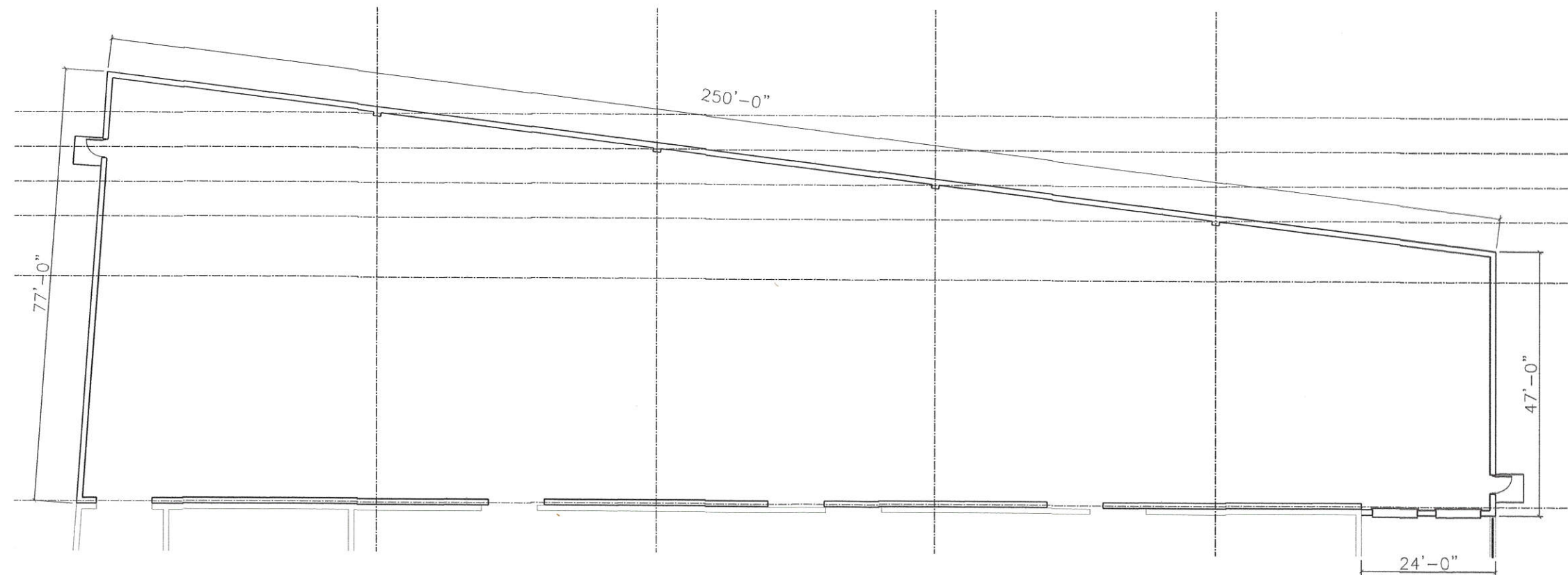
RECOMMENDED MOTION:


ATTACHMENTS:

Description

NCL Graphics Site & Building Plans

NCL Graphics Staff Report




PROPOSED FLOOR PLAN
 SCALE: 3/32" = 1'-0"

PRELIMINARY
Not for Construction
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be utilized for final bidding or construction related purposes.

allume architects
 13500 Watertown Plank Rd., Suite 205
 Elm Grove, WI 53122

McGUIRE
 CONTRACTORS, INC.

PROJECT DESCRIPTION:
 NCL GRAPHICS
 BUILDING EXPANSION /
 REBUILD
 N29 W22960 MARJEAN LANE
 PEWAUKEE, WISCONSIN 53186

DRAWING DESCRIPTION:
 PROPOSED FLOOR PLAN

OWNERSHIP OF DOCUMENTS:
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 EXPRESSED WRITTEN AUTHORIZATION OF
 ALLUME ARCHITECTS, LLC.

REVISIONS:	ITEMS REVISED:
DATE	
XX-XX-XX	
APPROVED:	
DRAWN BY:	NJM
DATE:	11-02-2018
PROJECT NUMBER:	201869
SHEET NUMBER:	

A-100
 1 OF 2



PRELIMINARY
Not for Construction
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be utilized for final bidding or construction related purposes.

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XX-XX-XX		
APPROVED:		
DRAWN BY: NJM		
DATE: 11-02-2018		
PROJECT NUMBER: 201869		
SHEET NUMBER: A-200		
2 OF 2		



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of November 15, 2018

Date: November 6, 2018

Project Name: NCL Graphic Specialties Inc. Building and Site Plan (rebuild)

Project Address/Tax Key No.: N29W22960 Marjean Lane/PWC 0914008

Applicant: Steve McGuire, McGuire Contractors, Inc.

Property Owner: W22960 Marjean Lane LLC

Current Zoning: M-2 Limited Industrial District

Proposed Zoning: Same

2050 Land Use Map Designation: Manufacturing / Fabrication / Warehousing

Use of Surrounding Properties: CP Rail System and single-family residential to the north and industrial to the south, east and west

Project Description

The applicant submitted plans proposing to reconstruct a portion of the building located at N29W22960 Marjean Lane, which was recently damaged by fire. The applicant intends to utilize the same footprint of the building, which encroaches upon the M-2 District east side yard setback; however, a variance and Plan Commission approval was received for the encroachment in 1992 at the time that portion of the building was originally constructed.

According to the applicant, the building materials will be consistent with the previous and remainder of the existing building. The only change proposed is to the building height. The addition will now match the existing building height of 18'-4".

It should be noted that the existing building and associated parking are developed across five separate parcels. This results in property lines extending through the building and parking lot. *As such, staff recommends that the five existing parcels be combined into a single lot per Section 18.0602 of the City's Land Division Ordinance, prior to issuance of an Occupancy Permit.*

Recommendation

Staff recommends a motion to approve the proposed building and site plan for NCL Graphic Specialties, Inc. to rebuild a portion of the existing building, subject to combining the five existing parcels into a single lot per Section 18.0602 of the City's Land Division Ordinance, prior to issuance of an Occupancy Permit.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 9.**

DATE: November 15, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding the Site and Building Plans and Plan of Operation for Briohn Building Corporation for a Multi-Tenant Industrial Building Located at the North End of Northmound Drive (PWC 0962998005)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Briohn Northmound Site & Building Plans

Briohn Northmound Site Staff Report

W240 N3065 Pewaukee Rd Pewaukee, WI 53072 Building Services Office - 262-691-9107 City Hall Main Office - 262-691-0770 Fax - 262-691-1798		BUSINESS PLAN OF OPERATION APPLICATION CITY OF PEWAUKEE		Permit No. Parcel/Tax Key No.	
NAME OF PROPOSED BUSINESS: <u>BBC NORTHMOUND LLC</u>				SUITE#:	
SITE ADDRESS:				City	State
				Zip	
Business / Operator's Name (Please Print) ***IF SOLE PROPRIETOR-PLEASE SEE page 2 of 4 pages*** <u>NELSON WILLIAMS</u> <u>MANAGING PARTNER</u>		Mailing Address <u>3025 N. BROOKFIELD RD, STE 200, BROOKFIELD, WI 53005</u>		City <u>BROOKFIELD</u>	State <u>WI</u>
		Zip <u>53005</u>		Phone# <u>262/790-0900</u>	
		Email Address <u>nwilliams@briohn.com</u>		FEIN#	
Tenant's Name: (Please Print) <u>N/A</u>		Mailing Address City State Zip Email Address 		Phone# FEIN#	
DESCRIPTION OF BUSINESS OPERATION:					
TYPE of BUSINESS: Please Check the appropriate Box for type: <input type="checkbox"/> Retail <input checked="" type="checkbox"/> Office <input checked="" type="checkbox"/> Warehouse/Storage <input type="checkbox"/> Industrial <input type="checkbox"/> Wholesale <input type="checkbox"/> Institutional <input type="checkbox"/> Other?				Description <u>GENERAL CONTRACTOR</u>	
NEW USE?: <u>Yes</u> or No?		or EXPANSION OF EXISTING USE?: Yes or <u>No</u>		or OTHER?	
HOURS of OPERATION: From: <u>7 AM</u> to <u>11:30 PM</u>		DAYS of OPERATION: <u>MON. - SAT.</u>			
MAXIMUM NUMBER OF EMPLOYEES		How many Full Time? <u>90-120</u>		CURRENT ZONING: <u>M-2</u>	
		How many Part Time? <u>15</u>			
Expected Customers per day: <u>12 AVERAGE OF VISITORS PER DAY</u> <u>TIMES OF EVENTS HAVE 20-100 EXTRA PEOPLE</u>		Number of Trucks per day: <u>60 - USUALLY NOT ALL AT THE SAME TIME (VAN TRAFFIC - TYP.)</u> Number of Autos per day: <u>60</u>			
PARKING Available Parking/Parking Lot Spaces # _____ Loading Spaces # _____ Is there Overnight Parking? <u>Yes</u> or No Where? <u>PARKING LOT FOR COMPANY VEHICLES AND WHEN EMPLOYEES HAVE OUT OF TOWN JOBS</u>		STORAGE Any Outside Storage? <u>Yes</u> or No Please list type of Storage? <u>STORAGE PODS AND COMPANY VEHICLES</u>			
SEWAGE DISPOSAL BY: Public Sewer <u>X</u> Septic Tank _____ Holding Tank _____ Storm Water Retention/Detention: Yes? or No?		WATER SUPPLY BY: Public Water Main <u>X</u> Private Well _____ Other _____		SOLID WASTE (trash) DISPOSAL BY: Contract: Self: Any flammable substances? Yes or No If Yes, where Stored?	
Any Special Equipment/Facilities/Requirements? Yes or No What?					
APPLICANT'S SIGNATURE <u>[Signature]</u>		APPLICANT'S PRINTED NAME <u>BBC NORTHMOUND LLC</u>		DATE SIGNED <u>10/15/18</u>	
PROPERTY OWNER'S SIGNATURE _____		PROPERTY OWNER'S PRINTED NAME _____		DATE SIGNED _____	
APPROVAL CONDITIONS Applicant is responsible to obtain any licenses, permits, certificates or other documents from other agencies of City Departments. For example: Cigarette and Alcoholic Beverage Licenses must be obtained from the City Clerk and Building Permits from the Building Inspector. Also, Occupancy of the premises requires approval of this application.					
For City Staff ONLY Submitted for Review on: _____ Date: _____ Approval by Zoning Administrator: _____ Date: _____ Approval by City Planner: _____ Date: _____ SPECIAL REQUIREMENTS/COMMENTS: _____					

PROPOSED NEW MULTI-TENANT INDUSTRIAL / WAREHOUSE BUILDING FOR:

NORTHMOUND INDUSTRIAL

NORTHMOUND DRIVE
PEWAUKEE, WISCONSIN



SHEET INDEX	
Sheet Number	Sheet Name
T1.1	TITLE SHEET
C-1	EXISTING SURVEY
C-2	PROPOSED PLAT OF SURVEY
C-3	GRADING & EROSION CONTROL PLAN
C-4	UTILITY PLAN
C-5	CONSTRUCTION DETAILS
C-6	CONSTRUCTION DETAILS
C-7	CONSTRUCTION DETAILS
E1.0	PHOTOMETRIC SITE PLAN
L-1	TREE PLANTING/RESEEDING PLAN
L-2	ENLARGED FOUNDATION PLAN
L-3	PLANTING NOTES & DETAILS
A1.1	GROUND FLOOR PLAN OVERALL
A1.2	SECOND FLOOR PLAN OVERALL
A4.1	ROOF PLAN
AS.1	EXTERIOR ELEVATIONS
AS.2	RENDERING

PROJECT INFORMATION:

TOTAL SITE AREA:	10.71 AC.
TOTAL DISTURBED AREA (THIS PROJECT):	3.79 AC.
TOTAL SITE EXISTING IMPERVIOUS AREA:	0.00 AC.
TOTAL SITE PROPOSED IMPERVIOUS AREA:	6.33 AC.
TOTAL GREENSPACE PROPOSED:	4.38 AC. = 40.9%
TOTAL BUILDING FOOTPRINT:	131,400 SF
ZONING:	M-2 LIMITED INDUSTRIAL
SETBACKS:	SEE CIVIL
PARKING (REGULAR):	165
PARKING (HANDICAP):	6
TOTAL PARKING STALLS:	171



TITLE SHEET

PROPOSED NEW BUILDING FOR:
NORTHMOUND INDUSTRIAL
Northmound Drive
Pewaukee, Wisconsin

PLAN COMMISSION REVIEW SET
SEPTEMBER 16, 2018

OWNER :	GENERAL CONTRACTOR :	ARCHITECT :	STRUCTURAL ENGINEER:	CIVIL ENGINEER:	PROJECT LOCATION:
BRIHN BUILDING CORPORATION NELSON WILLIAMS	BRIHN BUILDING CORPORATION CARY BLICK	BRIHN DESIGN GROUP LLC DOMENIC FERRANTE, AIA PAUL GRZESZCZAK, AIA	BRIHN DESIGN GROUP LLC KEVIN JANKOWSKI, PE	JSD ENGINEERING, INC. RIZ Iskandarsyah, P.E., P.L.S	
3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	N22 W22931 Nancy Ct., Suite 3 Waukesha, WI 53186 (414) 262.513.0666 PHONE (414) 262.513.1232 FAX	



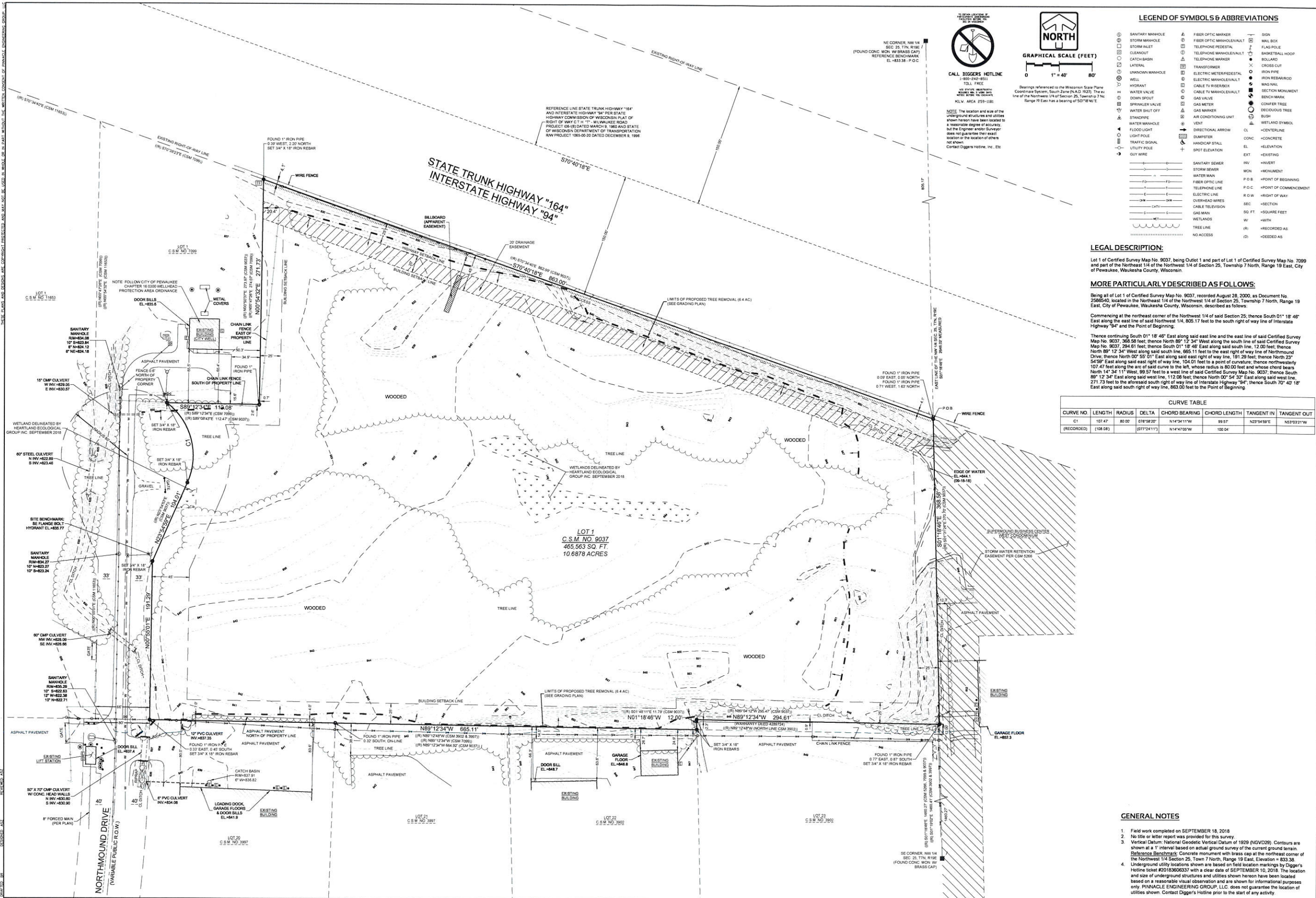
PROJECT INFORMATION:

CODE:	SPS 360-366 WISCONSIN COMMERCIAL BUILDING CODE (IBC 2015, IECC 2015, IEBC 2015, IMC 2015 AND IFGC 2009) SPS 314 FIRE PREVENTION SPS 316 ELECTRICAL SPS 381-387 PLUMBING
OCCUPANCY:	PRIMARY F-1 (MODERATE HAZARD OCCUPANCY) SECONDARY B (OFFICE/BUSINESS) SECONDARY S-1 (MODERATE HAZARD STORAGE)
CLASS OF CONSTRUCTION:	TYPE 2B
SPRINKLER SYSTEM:	FULL - NFPA 13
FLOOR LEVELS:	1
NUMBER OF STORIES	1
TOTAL SITE AREA:	466,092 SF 10.7 ACRES
TOTAL BUILDING AREA:	131,400 SF

NOTES:
ALL MECHANICAL, ELECTRICAL,
PLUMBING AND FIRE SPRINKLER
ENGINEERING BY DESIGN-BUILD
CONTRACTORS

JOB:	3030
DRAWN:	CK
CHECKED:	DF/JH
DATE:	10/15/18
SHEET:	

T1.1



PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING
CHICAGO, ILL. | MILWAUKEE, WI | MADISON, WI

PLAN | DESIGN | DELIVER
WWW.PINNACLE-ENG.COM

NORTHMOUND DRIVE
LOT 1 OF C.S.M. NO. 9037, PART OF THE NE 1/4 OF THE NW 1/4 SEC. 25,
T7N, R19E, CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

EXISTING SURVEY

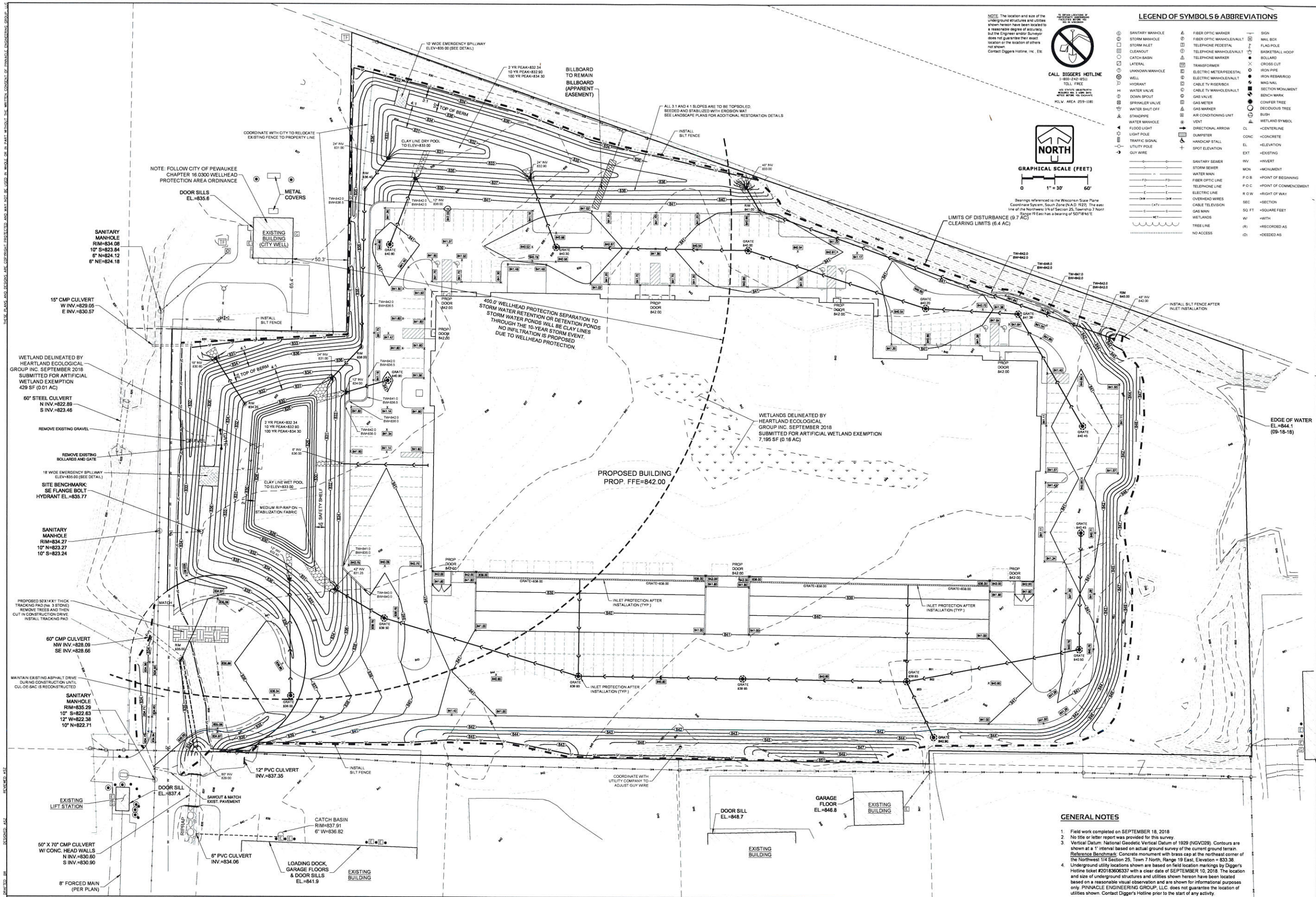
REVISIONS

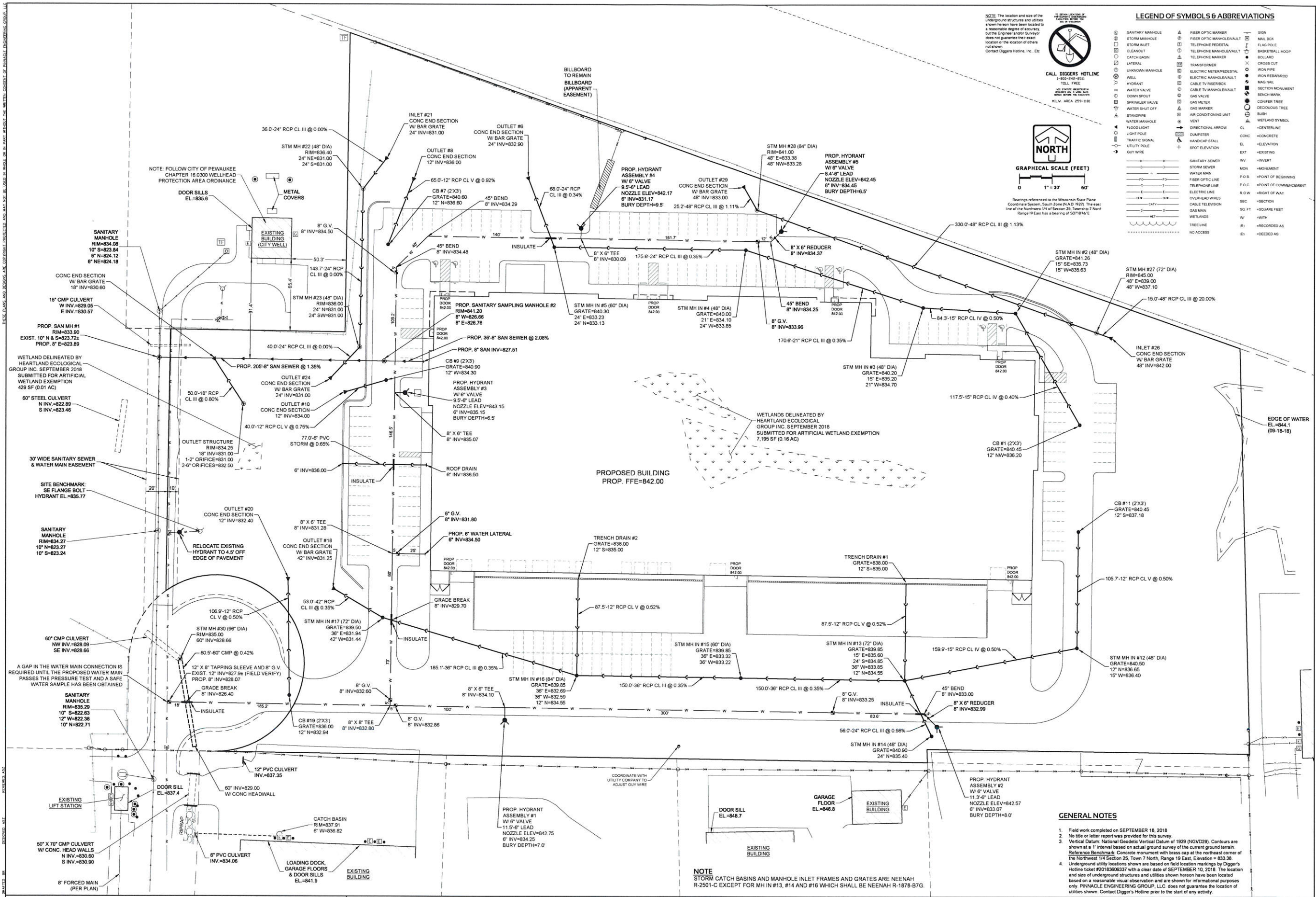
NO.	DATE	DESCRIPTION
1	11/26/09	AS-BUILT
2	10/15/18	1"=40'
3	11/26/18	1"=40'

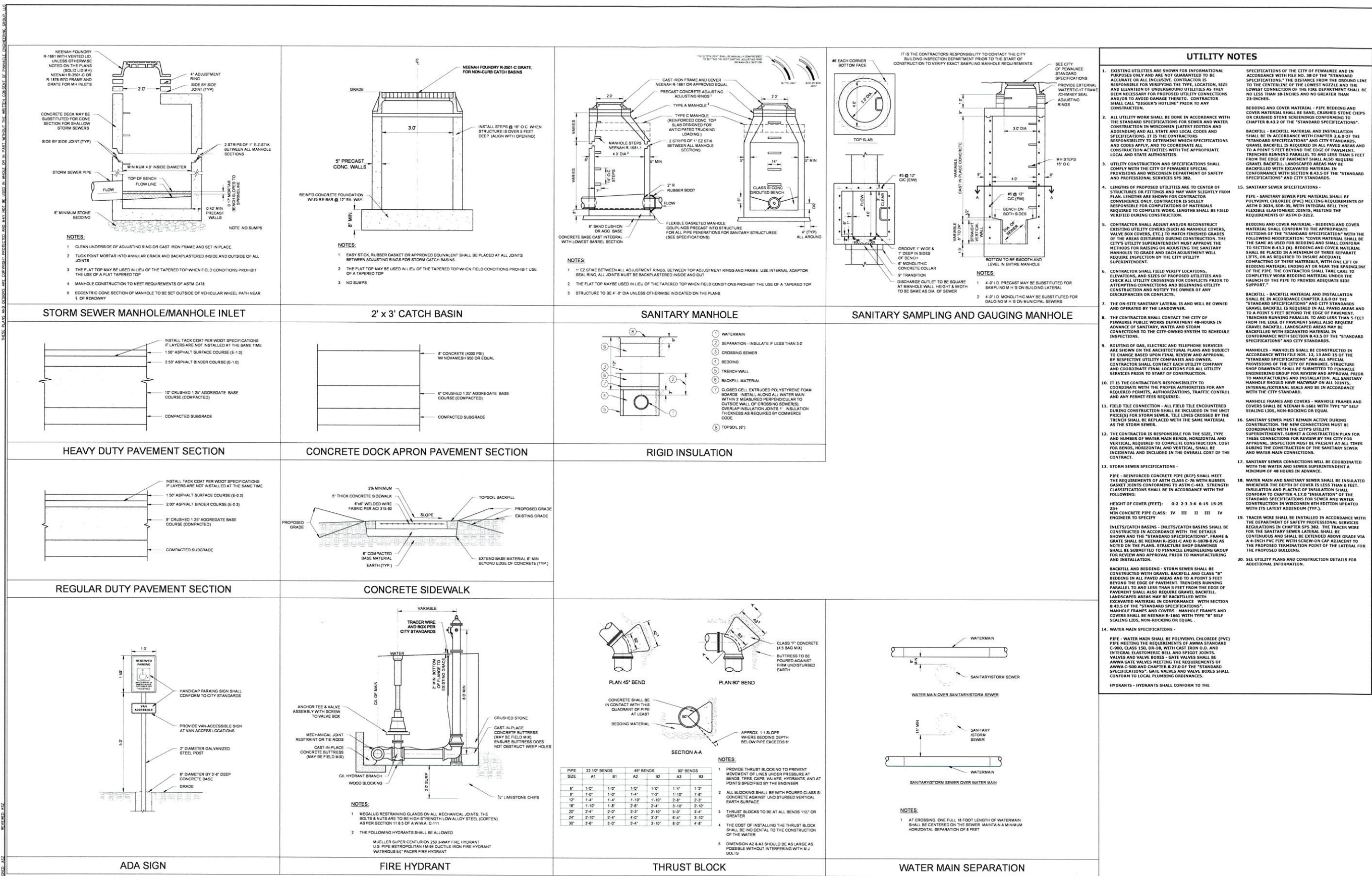
SHEET
C-1
C-7

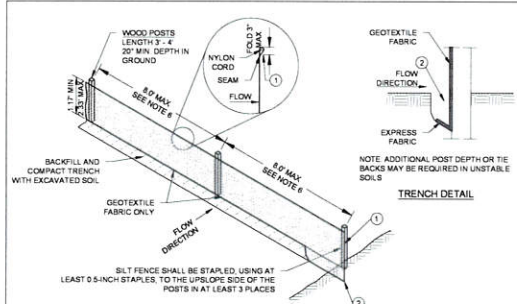
EXISTING SURVEY







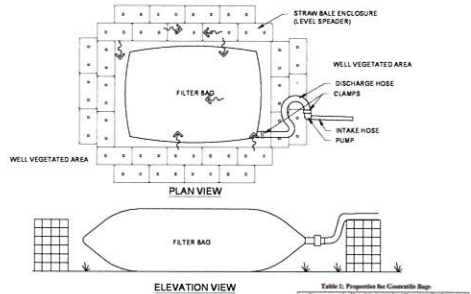




NOTES

1. ALL SILT FENCE MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH W DNR TECHNICAL STANDARD 1056.
2. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 992 GEOTEXTILE TABLE 1 OR 2, CLASS 1 WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
3. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 6 INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 8-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
4. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
5. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/2 INCHES x 1-1/2 INCHES OF DRIED OAK OR HICKORY.
6. SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE, WHERE APPLICABLE.
7. POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (2 FEET FOR WOVEN AND 3 FEET FOR NON-WOVEN).

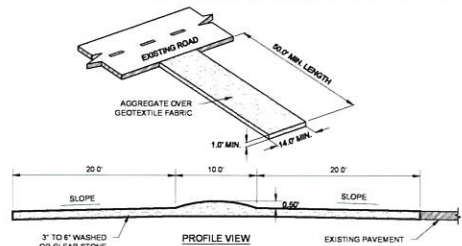
SILT FENCE



NOTES

1. SITE DEWATERING SHALL BE IN ACCORDANCE WITH W DNR TECHNICAL STANDARD 1061.
2. FILTER BAG SHALL BE NON-WOVEN GEOTEXTILE WHICH RETAINS ALL SEDIMENT PARTICLES LARGER THAN 180 MICRONS.
3. FILTER BAG SHALL BE PLACED ON A STABLE, WELL VEGETATED AREA WITH A GROUND SLOPE NOT EXCEEDING FIVE PERCENT (5%).
4. CLAMP PUMP DISCHARGE HOSE SECURELY INTO FILTER BAG.
5. LIMIT PUMPING RATE TO 1/2 THE MANUFACTURER'S MAXIMUM PUMPING RATE.
6. WHEN SEDIMENTS FILL 1/2 THE VOLUME OF A FILTER BAG, IMMEDIATELY REMOVE THAT BAG FROM SERVICE PROPERLY, DISPOSE OF SPENT BAGS WITH THEIR SEDIMENTS.
7. THERE IS TO BE NO DEWATERING ON SITE WITHOUT FILTERING DISCHARGE.

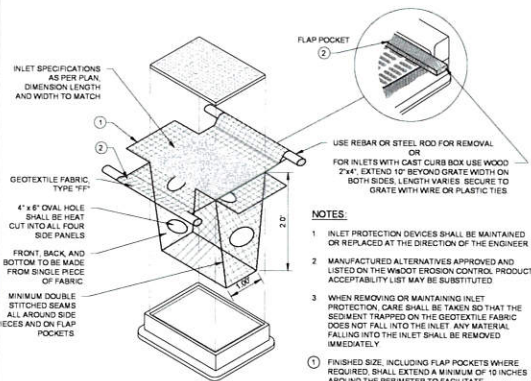
DEWATERING USING SEDIMENT FILTER BAG



NOTES

1. ALL TRACKING PAD MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH W DNR TECHNICAL STANDARD 1057.
2. TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. CONTRACTOR SHALL VERIFY LOCATION WITH OWNER.
3. THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE. ALL MATERIALS TO BE RETAINED ON A 1/2 INCH SIEVE.
4. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK, ON BITES WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PAD. THE PAD SHALL BE UNDERLAIN WITH GEOTEXTILE FABRIC WHICH MEETS MATERIAL SPECIFICATION 992 GEOTEXTILE, TABLE 1 OR 2, CLASS 1, II OR IV, TO PREVENT MIGRATION OF UNDERLYING SOILS INTO THE STONE LAYER.
5. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE GROSS POINT. MINIMUM WIDTH IS 14 FEET FOR ONE-WAY TRAFFIC AND 20 FEET FOR TWO-WAY TRAFFIC, WITH AN ADDITIONAL INCREASE OF 4 FEET FOR TRAILER TRAFFIC. THE TRACKING PAD SHALL BE A MINIMUM 50 FEET LONG.
6. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, AT THE END OF EACH WORKING DAY.
7. TRACKING PADS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
8. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

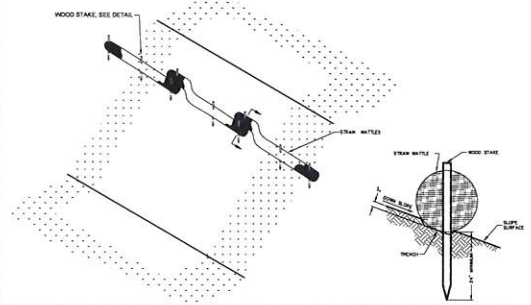
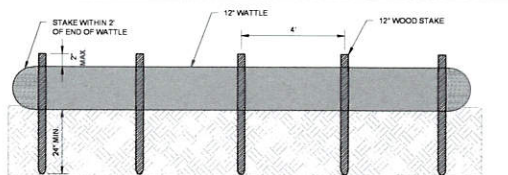
CONSTRUCTION ENTRANCE



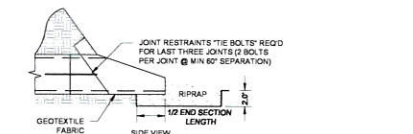
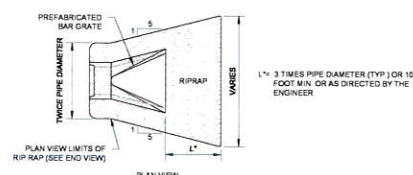
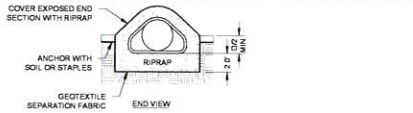
INSTALLATION NOTES

1. DO NOT INSTALL INLET PROTECTION TYPE 'D' IN INLETS SHALLower THAN 30 INCHES, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
2. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.
3. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3 INCHES. WHERE NECESSARY THE CONTRACTOR SHALL LATCH THE BAG USING PLASTIC ZIP TIES, TO ACHIEVE THE 3 INCHES CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4 INCHES FROM THE BOTTOM OF THE BAG.

INLET PROTECTION



STRAW WATTLE



NOTES

1. RIP RAP AND GEOTEXTILE FABRIC SHALL MEET REQUIREMENTS FOR STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

RIP RAP AT END SECTIONS

GRADING NOTES

1. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO PINNACLE ENGINEERING GROUP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
2. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
3. SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
4. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS SPECIFIED IN THE PLANS.

CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE PEG ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.

THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.

ANY GRADING CHANGES MUST BE APPROVED BY THE CITY OF PEARL RIVER PRIOR TO IMPLEMENTATION IN THE FIELD.

5. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ADEQUATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF PROPOSED SITE GRADING OR SUBSEQUENT CONTROL OR SHALL SUBSEQUENT GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER. ANY DEWATERING SHOULD BE IN COMPLIANCE WITH THE APPROVED DEWATERING PLAN FOR THE CONSTRUCTION SITE AS APPROVED BY THE WORK AND THE CITY.

6. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM PROTECTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER PROTECTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.

7. IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.

8. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CIRCUMSTANCES SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MOST RESTRICTIVE OF THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TENDER THE SPREAD MATERIAL, OR THE MAXIMUM COMPACTION LEFT DEPTH.

9. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.

10. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.

11. THE SITE SHALL BE COMPLETED TO WITHIN 0.10 FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.

12. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.

13. CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL. METHOD USED, CONSTRUCTION IS COMPLETED, CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS. ALL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN FOR THE SITE.

14. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

15. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL, OFFICIAL AND COUNTY OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.

16. CONTRACTOR SHALL COMPLY WITH ALL CITY OF PEARL RIVER ORDINANCES/STANDARDS AND WISCONSIN COUNTY CONSTRUCTION STANDARDS/ORDINANCES.

17. LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL REPLACEMENT.

18. TOPSOIL BERMING SHALL ACHIEVE 90% STANDARD PROCTOR DENSITY AT 3 INCHES OPTIMUM MOISTURE CONTENT.

19. SURVEY BENCHMARKS AND MAPPING HAS BEEN PROVIDED BY 3RD PROFESSIONAL SERVICES. IN NO WAY DOES PEG WARRANT THE BASEMAP SHALL INCLUDE OR REPRESENTATIVE OF ACTUAL CONDITIONS. CONTRACTOR SHALL PROVIDE CHECKS AS NECESSARY TO VERIFY THE BASEMAP CONTENT AND ACCURACY.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT ("WPDES" PERMIT NO. WI-5067831-4) FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS "BEST" MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.

2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

3. MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.

4. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.

5. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATIONS WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN MAY BE REQUIRED AND SHALL BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.

6. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEPED AND/OR SCARPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.

7. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.

8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:

PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.

IF TRENCH DEWATERING IS REQUIRED, SEE DEWATERING PLAN PREPARED BY BERGHAMMER, DATED JULY 6, 2019. IN GENERAL, DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.

9. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.

10. ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.

11. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.

12. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.

13. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICH EVER OCCURS FIRST.

14. MAINTAIN SOIL. EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER THE SITE HAS AN ESTABLISHED, UNIFORM PERMANENT VEGETATIVE COVER WITH A DENSITY OF AT LEAST 70 PERCENT OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.

15. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.

16. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.

17. ALL DISTURBED SLOPES WITH 4:1 OR GREATER, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN STYAN. EROSION MATTING (OR APPROVED EQUAL) AND CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C1238N (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ON-SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES. POLYMER TREATMENT SHALL NOT BE APPLIED TO AREAS OF CONCENTRATED FLOW.

18. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AEROSOLIZED. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT ALL TIMES.

19. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.

20. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH OR MORE PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH OF THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.

21. SEE ADDITIONAL DETAILS AND NOTES ON THE GRADING & EROSION CONTROL PLAN AND CONSTRUCTION DETAILS.

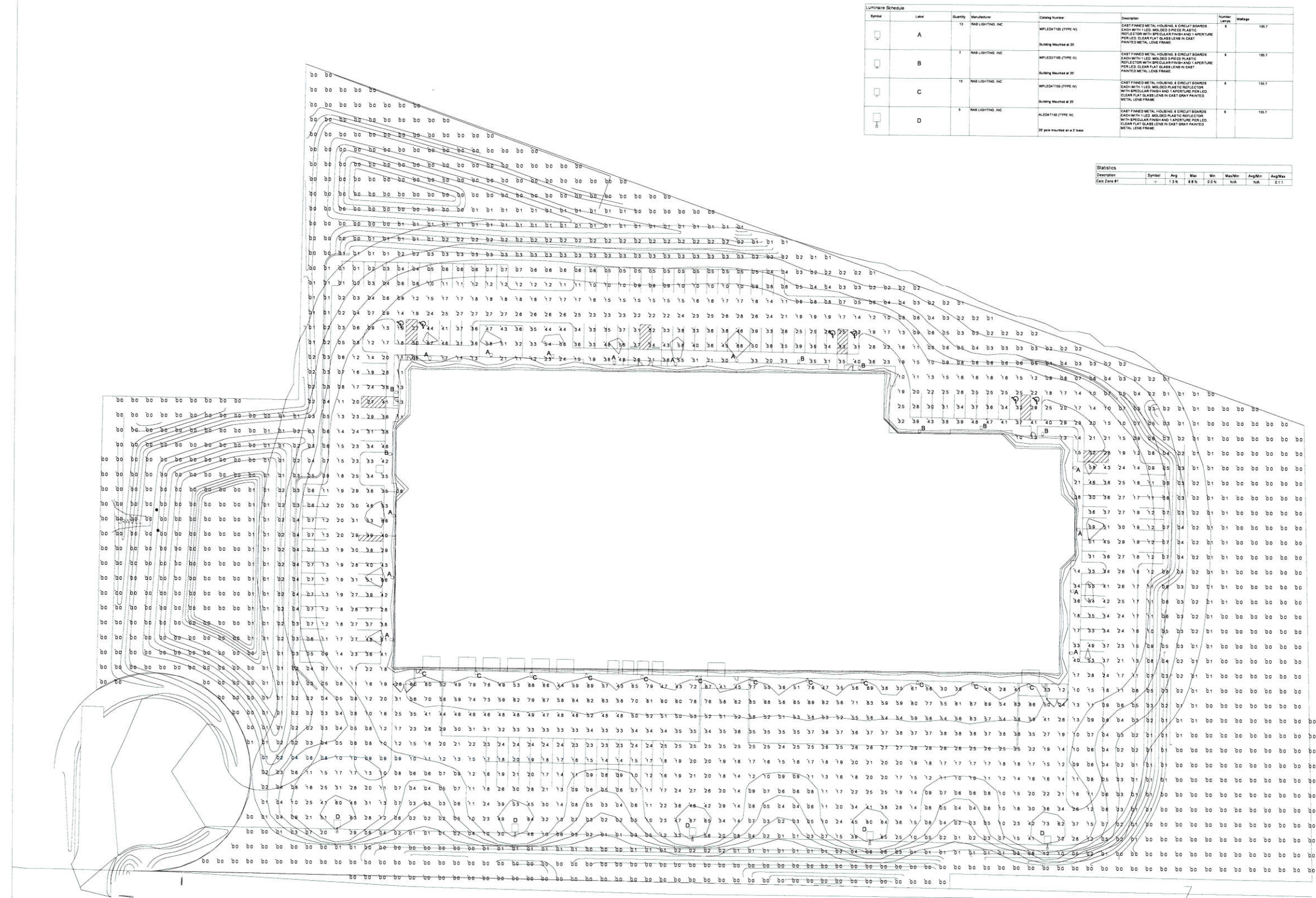
22. CONTRACTOR SHALL SURFACE ROUGH THE HILLSIDE SLOPES WITH HEAVY EQUIPMENT TRACKS PRIOR TO TOPSOIL RETURN.

CONSTRUCTION SITE SEQUENCING

1. INSTALL SILT FENCE. REMOVE TREES.
2. CUT IN CONSTRUCTION ACCESS DRIVE AND INSTALL TRACKING PAD.
3. STRIP TOPSOIL IN POND AREAS AND CONSTRUCT PONDS.
4. STRIP REMAINDER OF SITE AND BEGIN BUILDING CONSTRUCTION.
5. ROUGH GRADE SITE. BEGIN RETAINING WALL INSTALLATION.
6. INSTALL SANITARY LATERAL, WATER MAIN AND STORM SEWER. COORDINATE ELECTRIC, GAS, TELEPHONE AND CABLE INSTALLATION.
7. FINAL GRADE SITE AFTER UTILITY INSTALLATION.
8. STONE PAVED AREAS.
9. INSTALL CONCRETE FOLLOWED BY ASPHALT.
10. FINE GRADE AND RESTORE DISTURBED AREAS.
11. REMOVE EROSION CONTROL MEASURES ONCE SITE IS 80% REVEGETATED.

REVISIONS

NO.	DATE	BY	DESCRIPTION



Luminaire Schedule						
Symbol	Level	Quantity	Manufacturer	Catalog Number	Description	Notes
	A	13	WAB LIGHTING, INC.	WPL1001100 (TYPE IV)	CAST FINISHED METAL HOUSING & CIRCUIT BOARD EACH WITH 1 LED MOLDED 3-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LENS CLEAR FLAT GLASS LENS IN CAST PAINTED METAL LENS FRAME	Number Lamps 8
				Building Mounted at 20'		100.7
	B	7	WAB LIGHTING, INC.	WPL1001100 (TYPE IV)	CAST FINISHED METAL HOUSING & CIRCUIT BOARD EACH WITH 1 LED MOLDED 3-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LENS CLEAR FLAT GLASS LENS IN CAST PAINTED METAL LENS FRAME	Number Lamps 8
				Building Mounted at 20'		100.7
	C	13	WAB LIGHTING, INC.	WPL1001100 (TYPE IV)	CAST FINISHED METAL HOUSING & CIRCUIT BOARD EACH WITH 1 LED MOLDED 3-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LENS CLEAR FLAT GLASS LENS IN CAST PAINTED METAL LENS FRAME	Number Lamps 8
				Building Mounted at 20'		100.7
	D	5	WAB LIGHTING, INC.	WPL1001100 (TYPE IV)	CAST FINISHED METAL HOUSING & CIRCUIT BOARD EACH WITH 1 LED MOLDED 3-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LENS CLEAR FLAT GLASS LENS IN CAST PAINTED METAL LENS FRAME	Number Lamps 8
				20' pole mounted on a 2" base		100.7

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Site Zone #1	1	1.3	8.8	0.0	N/A	N/A	0.1

HFR electric inc.
ELECTRICAL CONTRACTOR
Residential - Commercial - Industrial
262-644-6940

Northmound Industrial

Revision Dates:

Document Date
10-15-18

Sheet Title
Photometric site plan

Sheet Number

E1.0

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DESIGNED BY: [Signature]
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: 10/15/18

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PLAN | DESIGN | DELIVER

PINNACLE ENGINEERING GROUP

ENGINEERING | LANDSCAPE ARCHITECTURE | SURVEYING

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NORTHMOUND DRIVE

LOT 1 OF C.S.M. NO. 9037, PART OF THE NE 1/4 OF THE NW 1/4 SEC. 25,
T7N, R19E, CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

TREE PLANTING/SEEDING PLAN

REVISIONS	

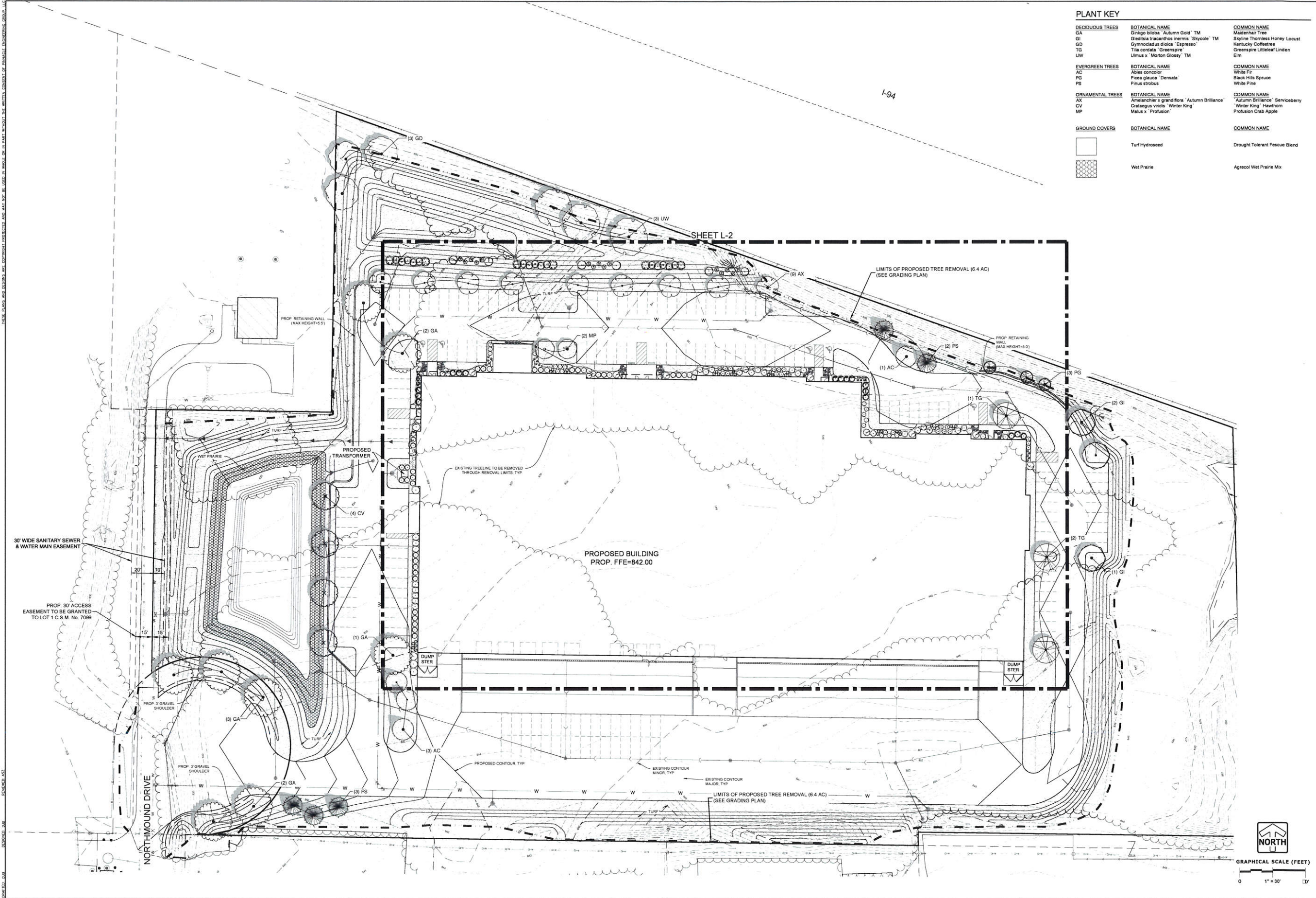
PROJECT No. 1174.00	DATE 10-15-18
DESIGNED BY: [Signature]	SCALE 1"=30'
CHECKED BY: [Signature]	

SHEET
L-1
L-3

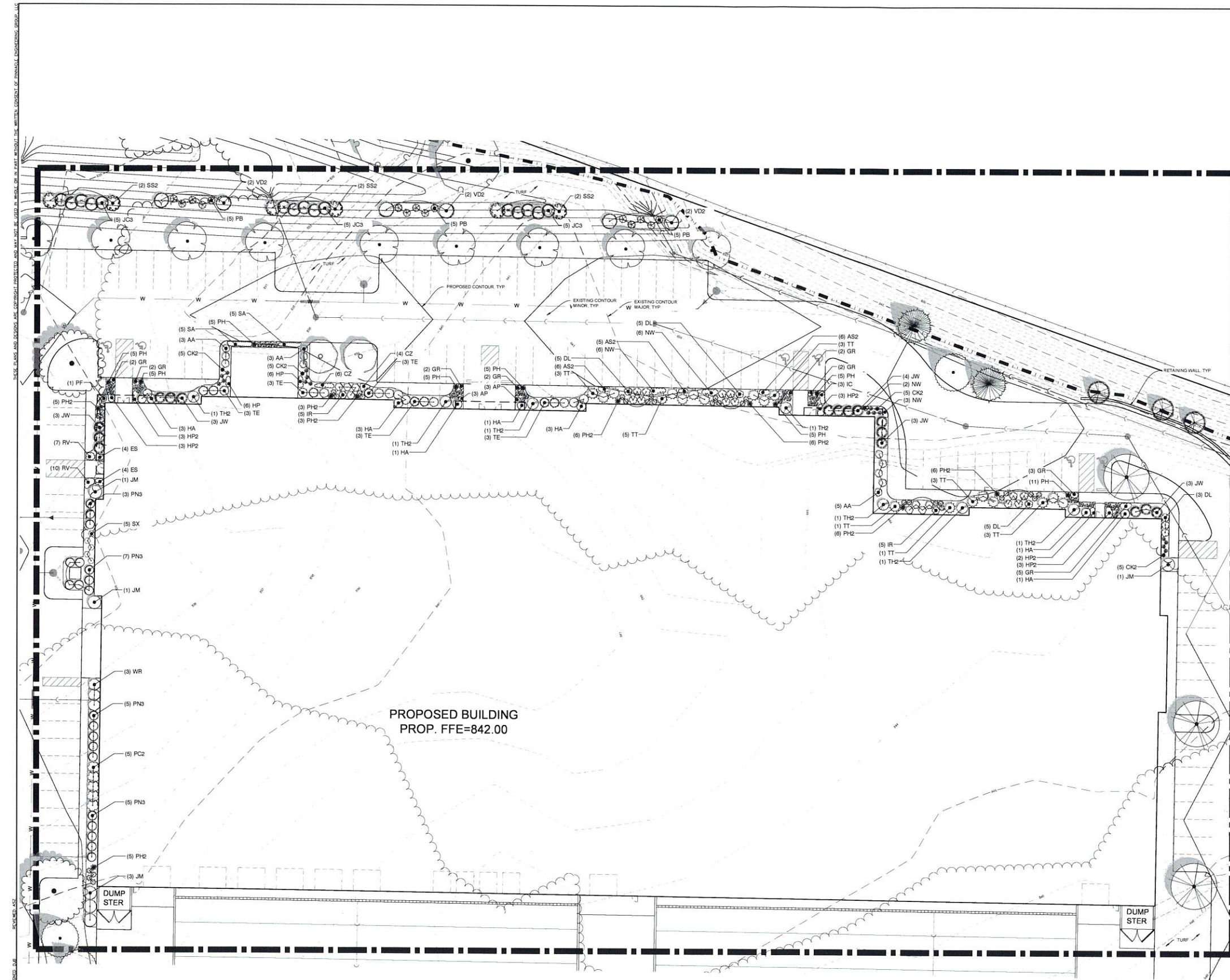
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TREE PLANTING / SEEDING PLAN

www.pinnacle-engr.com



PLANT KEY		
DECIDUOUS TREES		
GA	Botanical Name: Ginkgo biloba 'Autumn Gold'™	Common Name: Maidenhair Tree
GI	Botanical Name: Gleditsia tricanthos 'Inermis' 'Skycole'™	Common Name: Skyline Thornless Honey Locust
GD	Botanical Name: Gymnocladus dioica 'Espresso'	Common Name: Kentucky Coffeetree
TG	Botanical Name: Tilia cordata 'Greenspire'	Common Name: Greenspire Littleleaf Linden
UW	Botanical Name: Ulmus x 'Morton Glossy'™	Common Name: Elm
EVERGREEN TREES		
AC	Botanical Name: Abies concolor	Common Name: White Fir
PG	Botanical Name: Picea glauca 'Densata'	Common Name: Black Hills Spruce
PS	Botanical Name: Pinus strobus	Common Name: White Pine
ORNAMENTAL TREES		
AX	Botanical Name: Amelanchier x grandiflora 'Autumn Brilliance'	Common Name: 'Autumn Brilliance' Serviceberry
CV	Botanical Name: Crataegus viridis 'Winter King'	Common Name: 'Winter King' Hawthorn
MP	Botanical Name: Malus x 'Profusion'	Common Name: 'Profusion' Crab Apple
GROUND COVERS		
[Symbol]	Botanical Name: Turf Hydroseed	Common Name: Drought Tolerant Fescue Blend
[Symbol]	Botanical Name: Wet Prairie	Common Name: Agrecol Wet Prairie Mix



PLANT KEY		
SHRUBS	BOTANICAL NAME	COMMON NAME
HA	Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea
DECIDUOUS SHRUBS		
AA	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry/Red Chokeberry
DL	Diervilla lonicera	Dwarf Bush Honeysuckle
IR	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry
PF	Potentilla fruticosa 'Mckay's White'	Mckay's White Bush Cinquefoil
PC2	Prunus x cistena	Purple Leaf Sand Cherry
SX	Spiraea x bumalda 'Goldflame'	Goldflame Spirea
SS2	Syringa vulgaris 'Sensation'	Sensation Lilac
VD2	Viburnum dentatum 'Arrowwood'	Arrowwood Viburnum
EVERGREEN SHRUBS		
JW	Juniperus chinensis 'Mountbatten'	Chinese Juniper
JC3	Juniperus chinensis 'Sea Green'	Sea Green Juniper
JW	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper
PN3	Picea abies 'Nidiformis'	Nest Spruce
PB	Pinus cembra 'Blue Mound'	Blue Mound Stone Pine
TE	Taxus x media 'Everlow'	Yew
TH2	Taxus x media 'Hicksii'	Hicks Yew
TT	Taxus x media 'Tauntonii'	Taunton Yew
MEDIUM DECIDUOUS SHRUBS		
WR	Weigela florida 'Red Prince'	Red Prince Weigela
ORNAMENTAL GRASSES		
CK2	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass
PH2	Panicum virgatum 'Heavy Metal'	Blue Switch Grass
PH	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass
GROUND COVERS		
	Turf Hydroseed	Drought Tolerant Fescue Blend
	Wet Prairie	Agroecol Wet Prairie Mix

PLAN | DESIGN | DELIVER

PINNACLE ENGINEERING GROUP

ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
15830 W. BLUEMOUND ROAD
MUSKEGON, WI 53050
(262) 754-8888

NORTHMOUND DRIVE

LOT 1 OF C.S.M. NO. 9037, PART OF THE NE 1/4 OF THE NW 1/4 SEC. 25,
T7N, R19E, CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

ENLARGED FOUNDATION PLAN

REVISIONS	

PG 001 No. 1174.00
PG 001 - ASZ
DATE 10-15-18
SCALE 1"=20'

SHEET
L-2
L-3

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Page 13 of 21

PLANT SCHEDULE

DECIDUOUS TREES		COMMON NAME	SIZE	QTY	
Ginkgo biloba 'Autumn Gold' TM	2' Cal	Maidenhair Tree	2' Cal	8	
Gleditsia tricanthos inermis 'Skycole' TM	2' Cal	Skyline Thornless Honey Locust	2' Cal	3	
Gymnocladus dioica 'Espresso'	2' Cal	Kentucky Coffee tree	2' Cal	3	
Tilia cordata 'Greenspire'	2' Cal	Greenspire Litledale Linden	2' Cal	3	
Ulmus x 'Morton Glossy' TM	2' Cal	Elm	2' Cal	3	
EVERGREEN TREES		COMMON NAME	SIZE	QTY	
Abies concolor	6' Tall	White Fir	6' Tall	4	
Picea glauca 'Densata'	6' Tall	Black Hills Spruce	6' Tall	3	
Pinus strobus	6' Tall	White Pine	6' Tall	5	
ORNAMENTAL TREES		COMMON NAME	SIZE	QTY	
Amelanchier x grandiflora 'Autumn Brilliance'	2' Cal	'Autumn Brilliance' Serviceberry	2' Cal	9	
Crataegus viridis 'Winter King'	2' Cal	'Winter King' Hawthorn	2' Cal	4	
Malus x 'Proflusion'	2' Cal	Proflusion Crab Apple	2' Cal	2	
DECIDUOUS SHRUBS		COMMON NAME	SIZE	QTY	
Aronia arbutifolia 'Brilliantissima'	24" Tall	Bright Red Chokeberry/Red Chokeberry	24" Tall	11	
Dennilia ionifera	24" Tall	Dwarf Bush Honeysuckle	24" Tall	18	
Hydrangea arborescens 'Annabelle'	24" Tall	Annabelle Smooth Hydrangea	24" Tall	13	
Ilex verticillata 'Red Sprite'	24" Tall	Red Sprite Winterberry	24" Tall	10	
Potentilla fruticosa 'McKay's White'	24" Tall	McKay's White Bush Cinquefoil	24" Tall	1	
Prunus x cistena	36" Tall	Purple Leaf Sand Cherry	36" Tall	5	
Spiraea x bumalda 'Goldflame'	24" Tall	Goldflame Spirea	24" Tall	5	
Syringa vulgaris 'Sensation'	36" Tall	Sensation Lilac	36" Tall	6	
Viburnum dentatum 'Arrowwood'	36" Tall	Arrowwood Viburnum	36" Tall	6	
Weigela florida 'Red Prince'	24" Tall	Red Prince Weigela	24" Tall	3	
EVERGREEN SHRUBS		COMMON NAME	SIZE	QTY	
Juniperus chinensis 'Mountbatten'	8' Ht	Chinese Juniper	8' Ht	8	
Juniperus chinensis 'Sea Green'	18" TW	Sea Green Juniper	18" TW	15	
Juniperus horizontalis 'Wiltoni'	12" TW	Blue Rug Juniper	12" TW	16	
Picea abies 'Nidiformis'	18" Tall	Need Spruce	18" Tall	20	
Pinus cembra 'Blue Mound'	24" Tall	Blue Mound Stone Pine	24" Tall	15	
Taxus x media 'Everlow'	12" TW	Yew	12" TW	15	
Taxus x media 'Hicksii'	8' Ht	Hicks Yew	8' Ht	7	
Taxus x media 'Tauntonii'	18" TW	Taunton Yew	18" TW	18	
ORNAMENTAL GRASSES		COMMON NAME	SIZE	QTY	
Calamagrostis x acutiflora 'Karl Foerster'	1 gal	Feather Reed Grass	1 gal	20	
Panicum virgatum 'Heavy Metal'	1 gal	Blue Switch Grass	1 gal	40	
Pennisetum alopecuroides 'Hemelin'	1 gal	Hemelin Dwarf Fountain Grass	1 gal	48	
PERENNIALS		COMMON NAME	SIZE	SPACING	QTY
Allium x 'Summer Beauty'	4.5" Cont.	Summer Beauty Allium	4.5" Cont.	18" o.c.	17
Astille chinensis 'Pumila'	4.5" Cont.	Dwarf Pink Astilbe	4.5" Cont.	18" o.c.	8
Carex verticillata 'Zagreb'	4.5" Cont.	Zagreb Thread Leaf Carex	4.5" Cont.	24" o.c.	10
Echinacea x 'Sundown'	4.5" Cont.	Sundown Purple Coneflower	4.5" Cont.	24" o.c.	8
Geranium x 'Rozanne' TM	4.5" Cont.	Hybrid Cranesbill	4.5" Cont.	24" o.c.	20
Hemerocallis x 'Pardon Me'	4.5" Cont.	Pardon Me Daylily	4.5" Cont.	18" o.c.	12
Hosta fortunei 'Patrol'	1 gal	Hosta	1 gal	30" o.c.	14
Iris sibirica 'Caesar's Brother'	1 gal	'Caesar's Brother' Siberian Iris	1 gal	30" o.c.	3
Nepeta x faassenii 'Walkers Low'	4.5" Cont.	Walkers Low Catmint	4.5" Cont.	24" o.c.	17
Rudbeckia fulgida speciosa 'Vitto's Little Suzy'	4.5" Cont.	Coneflower	4.5" Cont.	18" o.c.	17
Sedum x 'Autumn Joy'	1 gal	Autumn Joy Sedum	1 gal	30" o.c.	10
GROUND COVERS		BOTANICAL NAME	COMMON NAME	QTY	
		Turf Hydrosed	Drought Tolerant Fescue Blend	100,174 sf	
		Wet Prairie	Agrecol Wet Prairie Mix	7,073 sf	

GENERAL PLANTING NOTES

- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL AND SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL 1/2 OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL HAVE A MINIMUM DEPTH OF 6" OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X 6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF TWO (2) YEARS FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE WRITTEN INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEEOUS MATTER. INTERNAL PARKING ISLANDS SHALL BE LOOSENEED TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENEED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.

NATIVE PLANTINGS AND PRAIRIE

Specifications for Hand Broadcasting

Seeding shall be conducted in late fall (September 1- Soil Freeze) so that seeds may lie dormant during the winter, allowing for stratification, or spring (March 1-June 1) to allow a complete growing season to become established.

A. Preparation of Soil Prior to Seeding

- Incorporate soil additives consisting of two inches of compost mixed into two inches of topsoil. the soil mix should be incorporated into the soil using a rotary device with capability of reaching to 12" below the surface. Compost shall meet WDNR specification S100 - Compost.
- All foreign materials larger than 1-inch shall be removed from the soil prior to seeding or planting.
- Area should be free from unsightly variations, ridges, and depressions.
- Avoid driving over the specified area with machinery.

B. Cover Crop

- Annual rye shall be spread at a density of 20 pounds per acre during the planting or seeding of the native plant species to stabilize the soil and reduce the growth of unwanted vegetation. This annual grass grows rapidly without competing with the wildflowers and grasses that are planted in the target areas.
- Winter wheat or perennial rye shall not be used as a cover crop. These grasses may out compete prairie seedlings, leading to a reduction in the success of the plantings.
- All seeding shall be covered with 1-inch of clean, non-invasive straw (no marsh hay, or reed canary grass) without seeds, within seven days. Wheat, rye, oats, or barley are acceptable forms of straw. Those areas of slopes steeper than 8:1 (eight feet horizontal to one foot vertical) shall be planted no later than October 1 and staked with an erosion control blanket to prevent erosion.

C. Seed Mix

Mix all prairie seed with vermiculite according to Agrecol recommendations.

- Broadcast half the seed over the entire site or target area.
- Broadcast the other half of seed perpendicular to the direction that the first half of the seed was broadcast.
- Cover seed with 1/4 -inch to 1/2 -inch of soil (use any excess soil from the site) with rake or drag.
- Roll site to ensure firm seed-to-ground contact.
- Keep seed constantly wet through germination period. Generally 3 weeks.

All seeding shall be covered with 1-inch of clean, non-invasive straw (no marsh hay, or reed canary grass) without seeds, within seven days. Wheat, rye, oats, or barley are acceptable forms of straw. Those areas of slopes steeper than 8:1 (eight feet horizontal to one foot vertical) shall be planted no later than October 1 and staked with an erosion control blanket to prevent erosion.

Weed Suppression Measures

First Year - Perform spot spray with herbicide to suppress weeds. This should occur approximately every month of the growing season after infiltration basins have been rough graded.

Second Year - In May/June mow basins at 6-inch height to suppress weeds. Perform spot spray with herbicide to suppress weeds. Have qualified professional assess plantings. Repeat mowing basins and spot-spray in early July.

Third Year - In May/June mow basins at 6-inch height to suppress weeds. Perform spot spray with herbicide to suppress weeds.

Fourth Year - In May perform a prescribed burn. In June have qualified professional assess plantings.

1

TREE PLANTING

1/4" = 1'-0"

329343-01

2

EVERGREEN TREE PLANTING

1/4" = 1'-0"

32 9343-03

3

TREE PLANTING ON SLOPE

3/8" = 1'-0"

32 9343-02

4

SHRUB PLANTING

1/2" = 1'-0"

329333-02

5

PERENNIAL PLANTING

1" = 1'-0"

3293-01

6

TRENCHED BED EDGE

3/4" = 1'-0"

3293-03

PLANT DESIGN | DELI ER

WWW.PINNACLE-ENGR.COM

PINNACLE ENGINEERING GROUP

ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE: 15810 W. BLUEMOUND ROAD, BROOKFIELD, WI 53005 (262) 754-8888

DESIGN | ANALYSIS | CONSTRUCTION

NORTHMOUND DRIVE

LOT 1 OF C.S.M. NO. 9037, PART OF THE NE 1/4 OF THE NW 1/4 SEC. 25, T7N, R19E, CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

PLANTING NOTES □ DETAILS

REVISIONS

NO.	DATE	DESCRIPTION
1	10-15-18	NTS

PRG JOB No. 1174-00
PRG IN: ANZ
DATE: 10-15-18
SCALE: NTS

SHEET
L-3
of
L-3

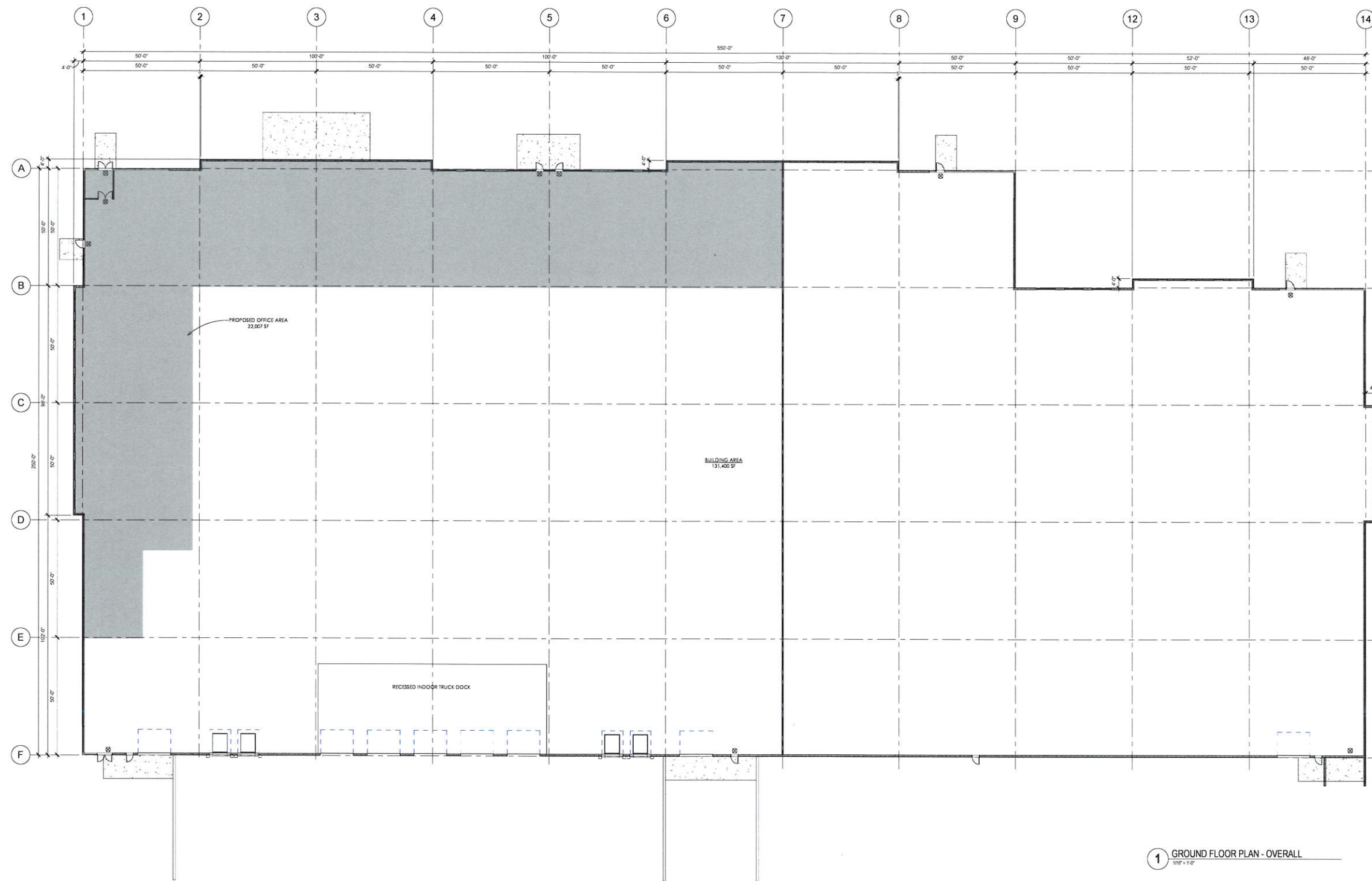
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2\PROJECTS\2017\1174-00-WI\CAD\SHEETS\1174-00-WI LANDSCAPE.DWG

Page 14 of 21

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PLANTING NOTES □ DETAILS

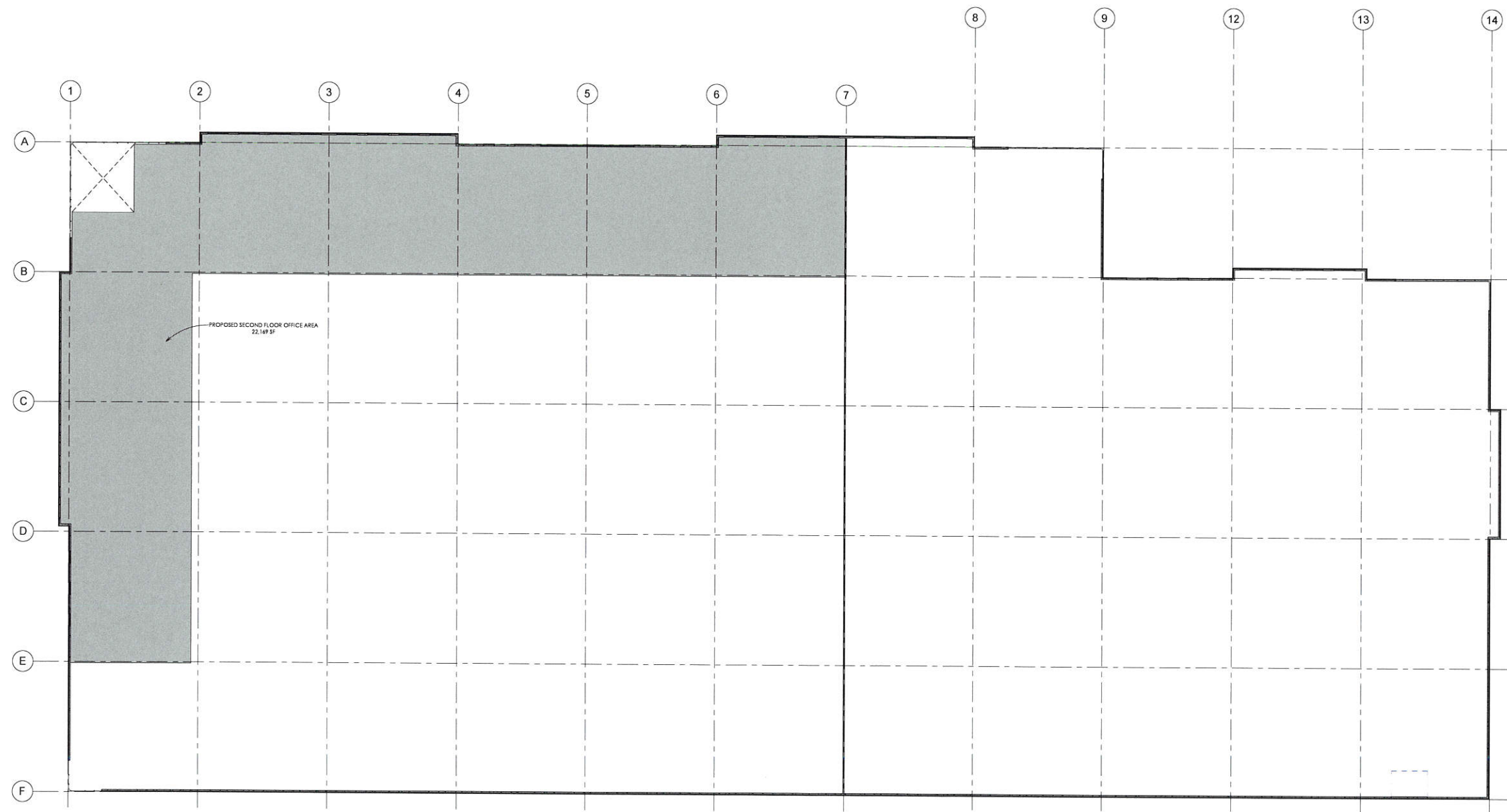


SHEET TITLE
GROUND FLOOR PLAN
OVERALL

PROPOSED NEW BUILDING
NORTHMOUND INDUSTRIAL
Northmound Drive
PROJECT LOCATION

JOB: 3030
DRAWN: Author
CHECKED: Checker
DATE: 10-15-2018
SHEET:

A1.1.

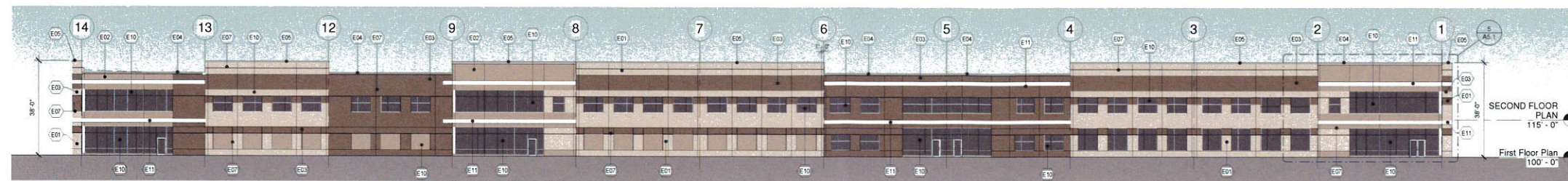


SECOND FLOOR PLAN OVERALL

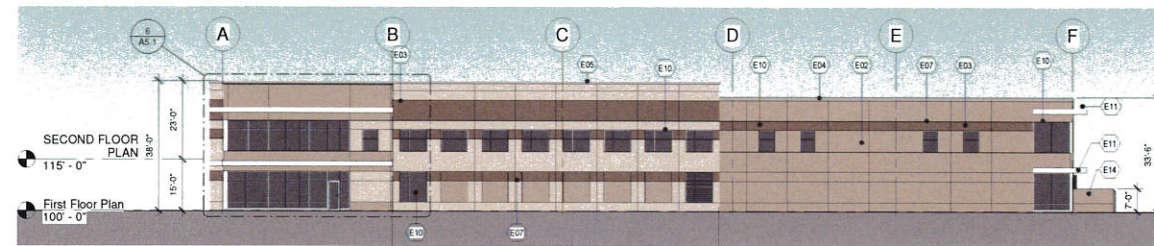
PROPOSED NEW BUILDING
NORTH MOUND INDUSTRIAL
Northmound Drive
PROJECT LOCATION



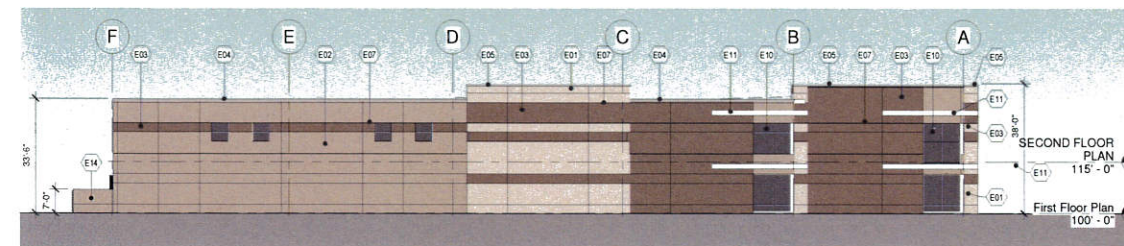
JOB: 3030
DRAWN: Author
CHECKED: Checker
DATE: 10-15-2018
SHEET: A1.2.



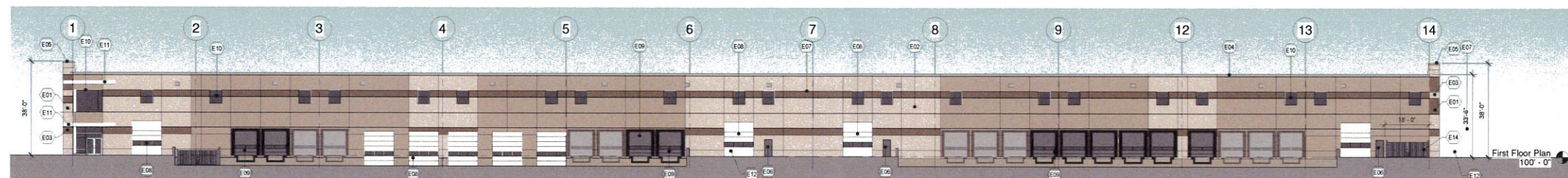
1 NORTH ELEVATION
1" = 20'-0"



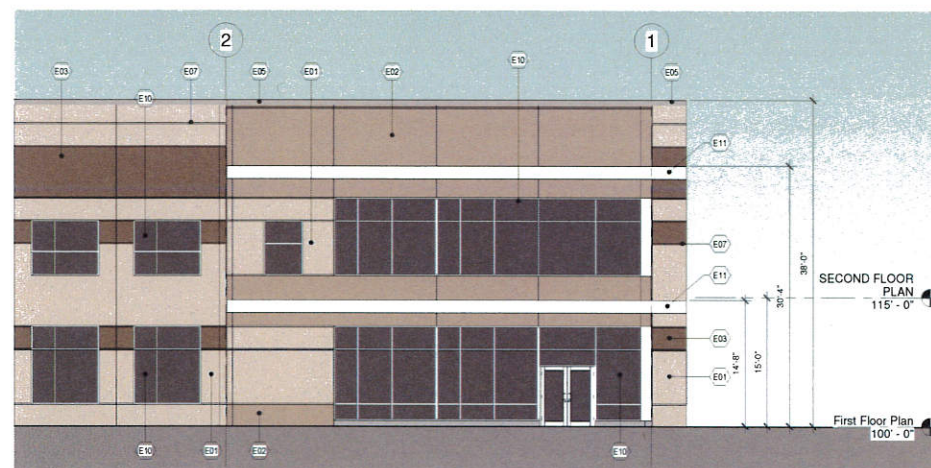
2 WEST ELEVATION
1" = 20'-0"



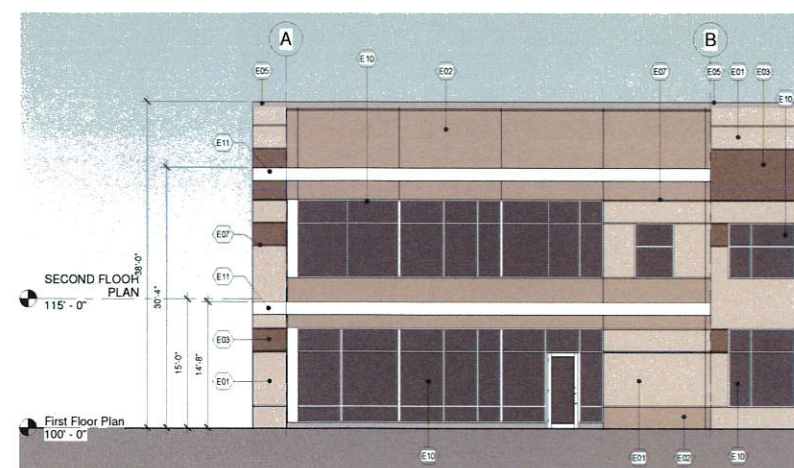
3 EAST ELEVATION
1" = 20'-0"



4 SOUTH ELEVATION
1" = 20'-0"



5 NORTH ELEVATION
1/8" = 1'-0"



6 WEST ELEVATION
1/8" = 1'-0"

KEYNOTE LEGEND ELEVATION	
MARK	ELEVATION CODED NOTES
E01	EXTERIOR PRE CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - SW 7516 KESTREL WHITE.
E02	EXTERIOR PRE CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - SW 7037 BALANCED BEIGE.
E03	EXTERIOR PRE CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - SW 7514 FOOTHILLS.
E04	PRE FINISHED METAL 24 GA. GRAVEL STOP COLOR SHALL BE "CLEAR ANODIZED FINISH".
E05	PRE FINISHED METAL 24 GA. COPING COLOR SHALL BE "CLEAR ANODIZED FINISH".
E06	PAINTED HOLLOW METAL SERVICE DOOR AND FRAME WITH EMERGENCY EGRESS CODE REQUIRED LIGHTING (COLOR TO MATCH ADJACENT PRE CAST COLOR).
E07	2" 1/2" DEEP REVEAL.
E08	14 x 14 INSULATED OH DOOR, FACTORY FINISHED WITH VISION WINDOWS.
E09	19x10 INSULATED OH DOOR FACTORY FINISHED WITH VISION WINDOWS, DOCK SEALS, DOCK LEVELERS AND BUMPERS.
E10	PRE FINISHED CLEAR ANODIZED ALUMINUM FRAMED (THERMALLY BROKEN) AND 1" INSULATED LOW-E GREY TINTED WINDOW UNITS WITH GREY SPANDREL.
E11	POWDER COATED METAL SUNSHADE COLOR TO MATCH CLEAR ANODIZED WINDOW FRAMES.
E12	CONCRETE LOADING DOCK RETAINING WALL.
E14	TRASH ENCLOSURE GATES: SET BASE OF GATE HEIGHT BASED ON ACTUAL FIELD CONDITIONS.



NORTHWEST PERSPECTIVE



RENDERING

SHEET TITLE

PROPOSED NEW BUILDING
NORTHMOUND INDUSTRIAL
Northmound Drive
PROJECT LOCATION



APPLICABLE
TO ALL
PLAN VIEWS

JOB: 3030
DRAWN: Author
CHECKED: Checker
DATE: 10-15-2018
SHEET:

A5.2



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of November 15, 2018

Date: November 7, 2018

Project Name: Briohn Building Corporation Northmound Industrial Building

Project Address/Tax Key No.: Not Assigned/PWC0962998005

Applicant: Briohn Building Corporation

Property Owner: Silver Creek Apartments

Current Zoning: M-2 Limited Industrial District

Proposed Zoning: Same

2050 Land Use Map Designation: Manufacturing / Fabrication / Warehousing

Use of Surrounding Properties: I-94 to the north, industrial to the south and east and institutional to the west

Project Description/Analysis:

The applicant submitted building and site plans for a proposed multi-tenant industrial building for property located at the north end of Northmound Drive, bearing Tax Key No. 0962998005. The applicant is anticipating two tenant spaces within the building. The initial tenant is known; however, has not yet been disclosed. Staff is anticipating that a Conditional Use Permit will be required and is recommending that future tenants require separate use review and approval as required by the zoning district and Section 17.0504 of the Zoning Code.

The subject property is currently vacant and has an area of approximately 10.6878 acres (466,604 square feet). The property is zoned M-2 Limited Industrial District and is designated as Manufacturing/Fabrication/Warehousing on the City's Year 2050 Land Use/Transportation Plan map.

Site Plan

The applicant is proposing a 131,400 square foot building with two anticipated tenant spaces. The development will result in a Landscape Surface Ratio of 40.9%, which complies with the required 40% minimum greenspace standard per the City's Zoning Code.

The project includes the building, which consists of loading docks and overhead doors along the south elevation, approximately 171 parking spaces, and associated landscaping and lighting. In addition, wet and dry storm water management facilities are proposed as part of the development.

The site will be accessed from a proposed cul-de-sac from Northmound Drive. The applicant is proposing to vacate the remaining right-of-way to the north, which extends to the City's well building. Staff recommends that the right-of-way be vacated and an access easement be recorded prior to

issuance of a Building Permit. Staff also recommends that the cul-de-sac include a grassed, landscaped island.

Additional staff recommendations related to the site plan include:

- Final grading, erosion control and storm water management plans shall be submitted for approval by the Engineering Department prior to any land disturbance.
- A revised site plan shall be submitted, for review and approval by the City Planner, which illustrates areas designated for overnight parking of commercial vehicles, trailers, storage units or any other accessory type structures. All accessory structures and parking areas shall be screened from view. No other outdoor storage of materials or other equipment shall be allowed onsite without Plan Commission review and approval.
- Fire Chief review and approval of the subject development for conformance with Fire Codes and access to the building.
- Applicant shall verify that the proposed highway setback line is accurate.

Natural Resources

Three wetlands exist onsite. A small, 429 square foot, wetland is located just north of the proposed cul-de-sac and two other wetlands, comprising of about 7,195 square feet, are located near the center of the parcel. The wetlands were delineated by Jeff Kraemer of Heartland Ecological Group, Inc. in September 2018. Mr. Kraemer is an assured delineator with the WDNR.

The applicant is proposing to fill all three wetlands and has already submitted an application to the WDNR. Staff recommends that Wisconsin Department of Natural Resources approval of any wetland fill or disturbance be obtained prior to any land disturbing activities. It can be noted that the property is not within a SEWRPC environmental corridor

Utilities

Public sewer and water is available along Northmound Drive and will serve the subject development.

Parking

The site plan includes 171 parking spaces. This equates to approximately 1.3 parking spaces per 1,000 square feet of gross floor area. As a mix of office, warehouse and industrial space, staff has no objections to the amount of parking provided. Note that six ADA accessible stalls are included.

The parking spaces are 9' x 20' (180 square feet) in size, which complies with Zoning Code standards.

Landscaping

The applicant is proposing to install: 20 Deciduous Trees; 12 Evergreen Trees; 15 Ornamental Trees; 78 Deciduous Shrubs; and 113 Evergreen Shrubs. At least three different species of each tree type is provided.

Removal of existing trees will occur throughout the site, except for a portion of the east side of the property. Staff recommends that a revised landscape plan be submitted for review and approval by the City Planner that includes additional plantings along the south property line, prior to issuance of a Building Permit.

Furthermore, all landscaping shall be planted onsite, outside of City right-of-way, unless otherwise allowed by the Engineering Department.

Lighting

The Lighting Plan consists of parking lot and building lighting. Light levels are at 0.0 to 0.2 footcandles at the property lines. Light poles shall not exceed 20-feet in height measured from ground level.

Architecture

The proposed building exterior consists primarily of painted precast concrete wall panels of different colors. The building has a height of 33'-6" with a peak height of 38'-0". Note the Plan Commission may allow a greater height than the M-2 District max height of 35-feet per Section 17.0901.

Two dumpster enclosures are illustrated on the south elevation at the southeast and southwest ends of the building. According to the applicant, the dumpster enclosures will be constructed of the same materials as the principal building.

A rooftop mechanical plan has not been submitted; therefore, staff recommends that all roof and wall-mounted mechanical, electrical, communications, and service equipment be screened from public view by parapets, walls, or by other means, or site line drawings provided that demonstrate the rooftop equipment is not visible from the public right-of-way, as approved staff.

Signage

Sign plans have not yet been submitted; however, the applicant is considering wall signs and potentially a monument sign adjacent to Northmound Drive. Wall signs would likely be placed at the corners of the building facing I-94 above the main entrances.

Signage shall comply with all standards set forth in Section 17.0700 of the City's Zoning Code and require separate review and approval by the City Planner as well as a Sign Permit from the Building Services Department, prior to installation.

Recommendation:

A motion to approve the proposed building and site development plans submitted by Briohn Building Corporation for the property located at the north end of Northmound Road, subject to the conditions within the Plan Commission staff report dated November 7, 2018.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 10.**

DATE: November 15, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding the Conceptual Site and Building Plans for Briohn Building Corporation for a Proposed Office/Industrial Building Located at W220 N1051 Springdale Road (PWC 0961998)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Briohn Springdale Site & Building Plans

Briohn Springdale Site Staff Report

THE FOLLOWING IS A DESCRIPTION OF OUR PROPOSAL FOR A NEW, 55,000 TO 85,000 SQUARE FOOT, SINGLE-USER, MANUFACTURING / R&D / OFFICE BUILDING TO BE CONSTRUCTED FOR A LOCAL HIGH-TECH COMPANY ON A CURRENTLY UNDEVELOPED SITE IN THE CITY OF PEWAUKEE. THE SITE IS APPROXIMATELY 30 ACRES IN TOTAL AND LOCATED IN THE NORTHWEST QUADRANT OF THE INTERSECTION OF I-94 AND COUNTY HIGHWAY SR. WE ARE PRESENTING OUR CONCEPTUAL IDEA FOR THE PLAN COMMISSION TO CONSIDER AND OFFER AFFIRMATION AND/OR SUGGESTIONS TO FACILITATE A POSITIVE CONSIDERATION FOR APPROVAL WHEN WE MAKE OUR FORMAL PROPOSAL TO THE PLAN COMMISSION IN THE NEAR FUTURE.

October 15, 2018

Domenico Ferrante of Briohn Design Group, LLC
Chris Wenzler of Briohn Design Group, LLC
Jeffrey Hook of Briohn Building Corporation
3885 N. Brookfield Road, Suite 200
Brookfield, Wisconsin 53045

SUBMITTED: On behalf of the Building Owner/Occupant:

BRIOHN is submitting this "Description of Proposal" on behalf of a local high-tech manufacturer that requests anonymity at this preliminary approval stage. Briohn Design Group LLC and Briohn Building Corp are acting as the Representative Applicant.

We are currently submitting to the City of Pewaukee Plan Commission this Preliminary Plan of Operation and a Preliminary Architectural Site Plan. We will follow up with additional supporting drawings and documents to help further describe the relevant site conditions and explain our development intent.

The Description of the Proposal and the Plan of Operation:

Our client proposes to construct approximately 35,000 to 55,000 square foot high-tech industrial building with the potential for a future addition that would make the total building size approximately 85,000 square feet. The proposed new facility includes approximately 20,000 square feet of mezzanine with the potential to add mezzanine in the future as required. Their existing facility, which is currently located in a neighboring Waukesha County community, is too small to meet their immediate needs and does not provide room for future growth.

Our client is a developer and manufacturer of electronic components and specialized cabling related to products utilized in the aerospace and defense sector. The proposed facility will become their new headquarters as well as location for laboratories, research and development. The initial building will include 20,000 square feet of office and 10,000 square feet of specialized clean type production space for the highly specialized products that they currently make and plan to make in the future. Our client, as part of their strategic planning, has looked at sites in their current community and other adjacent communities, and has determined the proposed location on

Springdale Road in Pewaukee meets their operational needs while also providing important ancillary benefits.

Our client is looking for a high-profile site with great visibility for their new corporate headquarters. The building architecture will be commensurate with the expressed needs of our client for a high quality new corporate headquarters. The building will be designed and constructed to meet the city's expectations of a high-quality gateway-type structure. Our client currently employs and plans on adding engineers and technicians and wants the new facility to help attract and retain highly skilled workforce. The geographic central location of the Springdale site is also important to meeting this end.

Our client does not intend or propose to have any outside storage needs. Trash dumpsters and recycling bins will be kept inside near the loading dock area or in an appropriately-design enclosure. Two trailer dock-height overhead doors and one on-grade drive-in door is proposed as part of the initial building. The client anticipates 2-3 semi trucks per week on average for shipping and receiving and 6-7 UPS or FEDEX type deliveries/pickups per day.

The facility will be constructed of painted, insulated precast concrete wall panels for all four sides of the proposed building, with insulated tinted glazing and clear anodized aluminum window framing. The paint scheme will incorporate three color tones. We propose to provide entry canopies at principal entries, with metal accents dispersed along the façade to provide a proportionally balanced and aesthetically pleasing design. There are raised parapets along the façade which indicate different functional areas and are also used to screen roof top equipment. Building architectural elevations will be submitted with the supplemental drawing information.

We are anticipating approximately 75 employees on a single shift. Operations would be 10 -12 hours per day, Monday through Friday, and occasionally on Saturdays at approximately 50% staffing. There is limited need for visitor parking. We have included 102 car parking stalls, with the ability to increase the total to 122 stalls in the future, to meet the needs of the largest employee shift, any necessary shift overlapping, and anticipated visitors. We have reserved adequate space for additional future car parking stalls to meet the City's requirements. Our client may add an additional 25-30 employees in the future.

We respectfully ask the City of Pewaukee to review and evaluate our conceptual proposal including the submitted drawings and other support materials. We believe that the proposed new building will not only meet our client's needs and expectations, but those of the City of Pewaukee as well. We look forward to your conceptual approval and our continued mutual success. We appreciate the assistance provided and afforded by the City of Pewaukee in the approval process.

Please contact us if you have any questions or need additional information.

Sincerely,
Domenico Ferrante, AIA
Director of Architecture, Briohn Design Group LLC



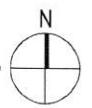
SITE PLAN

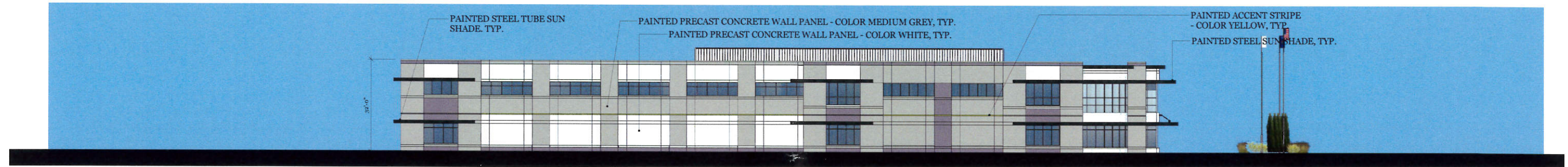
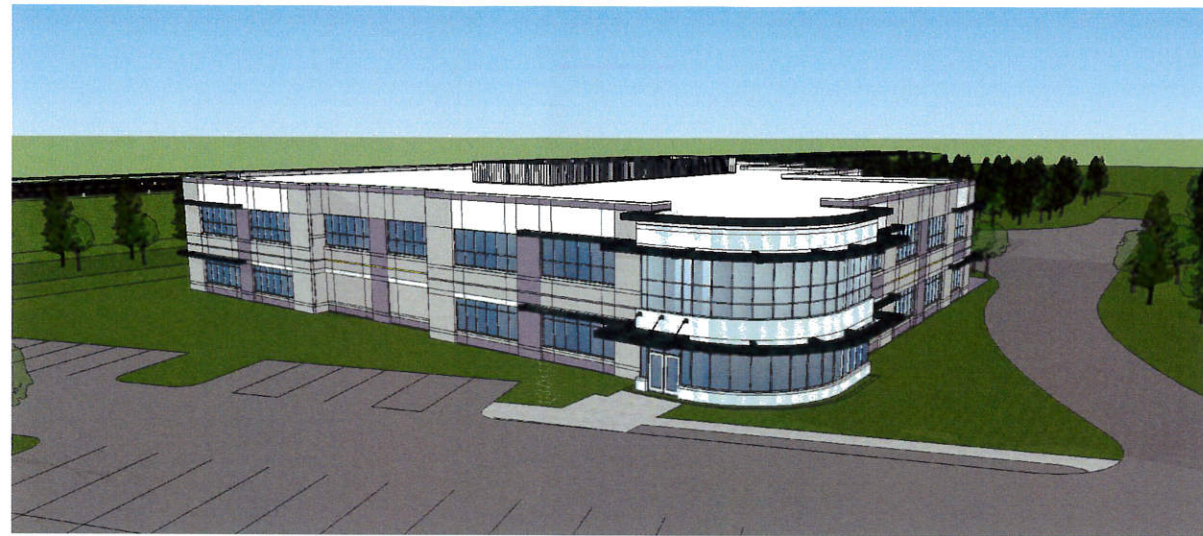
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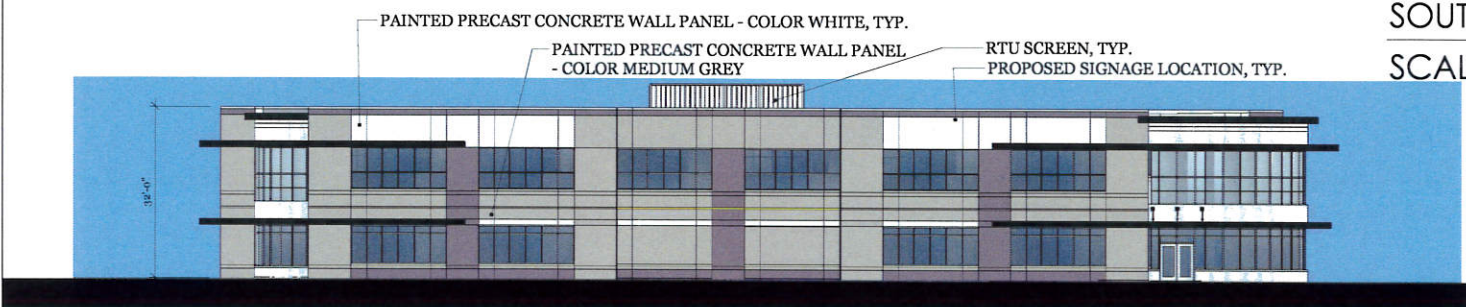
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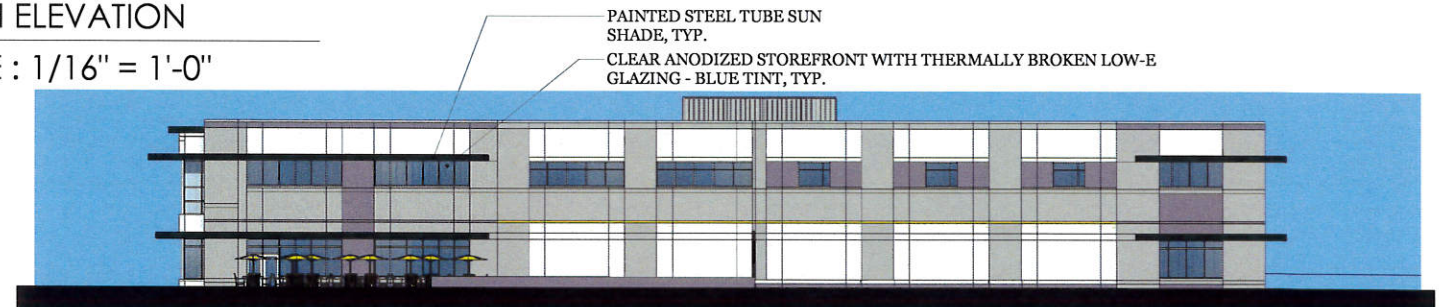
SOUTH ELEVATION

SCALE : 1/16" = 1'-0"



EAST ELEVATION

SCALE : 1/16" = 1'-0"



WEST ELEVATION

SCALE : 1/16" = 1'-0"



NORTH ELEVATION

SCALE : 1/16" = 1'-0"

PROPOSED EXTERIOR ELEVATIONS



PEWAUKEE BUILDING
PEWAUKEE, WI

06 NOVEMBER, 2018



EXTERIOR PERSPECTIVE
LOOKING SOUTHWEST



PEWAUKEE BUILDING
PEWAUKEE, WI

06 NOVEMBER, 2018



EXTERIOR PERSPECTIVE
LOOKING SOUTHWEST



PEWAUKEE BUILDING
PEWAUKEE, WI

06 NOVEMBER, 2018



EXTERIOR PERSPECTIVE
LOOKING NORTHWEST



PEWAUKEE BUILDING
PEWAUKEE, WI

06 NOVEMBER, 2018



EXTERIOR PERSPECTIVE
LOOKING NORTHEAST



PEWAUKEE BUILDING
PEWAUKEE, WI

06 NOVEMBER, 2018



EXTERIOR PERSPECTIVE
LOOKING SOUTHEAST



PEWAUKEE BUILDING
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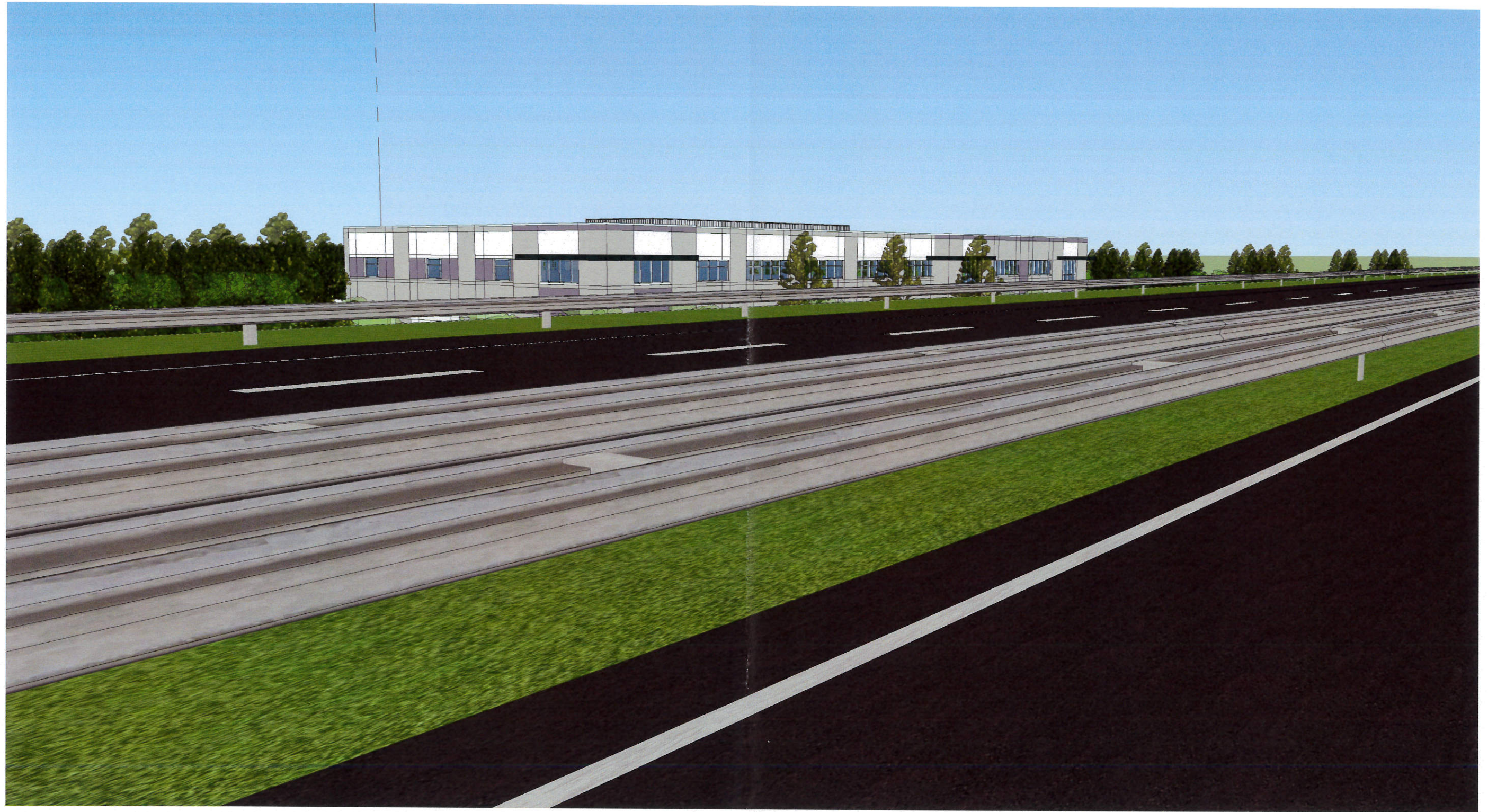


EXTERIOR PERSPECTIVE
LOOKING SOUTHEAST



PEWAUKEE BUILDING
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EXTERIOR PERSPECTIVE FROM FREEWAY
LOOKING NORTHEAST



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EXTERIOR PERSPECTIVE FROM FREEWAY
LOOKING NORTHWEST



PEWAUKEE BUILDING
PEWAUKEE, WI

06 NOVEMBER, 2018



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REPORT TO THE PLAN COMMISSION

Meeting of November 15, 2018

Date: November 7, 2018

Project Name: Briohn Building Corporation I-94 & Springdale Road Conceptual Review

Project Address/Tax Key No.: W220N1051 Springdale Road/PWC0961998

Applicant: Briohn Building Corporation

Property Owner: Becker Springdale LLC

Current Zoning: A-2 Agricultural District and UC Upland Conservancy District

2050 Land Use Map Designation: Office Commercial, Flood Plains, Lowland & Upland Conservancy, and Other Natural Areas and Water

Use of Surrounding Properties: Single-family residential to the north and west, I-94 and industrial to the north and Town of Brookfield (industrial) to the east

Project Description/Analysis:

The applicant submitted conceptual building and site plans for a proposed office/industrial building for property located at W220N1051 Springdale Road. The property is located at the northwest corner of I-94 and Springdale Road.

The property is currently zoned A-2 Agricultural District and UC Upland Conservancy District and designated as Office Commercial, Flood Plains, Lowland & Upland Conservancy, and Other Natural Areas and Water on the City's Year 2050 Land Use/Transportation Plan map.

The subject property is approximately 34-acres. The site currently contains a single-family home and is wooded with a significant amount of wetlands located on the north half of the site. The entire property is located within a SEWRPC Primary Environmental Corridor.

The applicant anticipates a 40,600 square foot building with a potential 62,200 square foot building addition. The conceptual site plan includes a 128 parking lot at the southeast corner of the site, which is expandable up to 188 parking spaces.

The building primarily consists of painted precast concrete panels. The design does include a significant amount of windows and a prominent entrance feature. Considerable attention should be given to the architecture of this building due to its high visibility from I-94 and Springdale Road. The site can also be considered a gateway and entrance into Pewaukee. As such, staff recommends that the Plan Commission provide specific comment regarding the building materials and architectural elements proposed by the applicant.

It is anticipated that the subject development will require a rezoning and approval of detailed site and building plans.

Recommendation:

No action required.

It is recommended that sufficient feedback be provided to allow the applicant to determine whether to proceed or not with a rezoning and the proposed site and building plans.