



Planning Department

W240N3065 Pewaukee Road
Pewaukee, WI 53072
(262) 691-0770 Fax (262) 691-1798

**PLAN COMMISSION
MEETING NOTICE AND AGENDA
Thursday, September 20, 2018
7:00 PM**

Common Council Chambers ~ Pewaukee City Hall
W240 N3065 Pewaukee Road, Pewaukee, WI 53072

-
1. Call to Order and Pledge of Allegiance
 2. Discussion and Action Regarding Approval of Meeting Minutes Dated August 16th, 2018
 3. Discussion and Action Regarding a Petition for a Rezoning Public Hearing for BWC Investments LLC to Rezone Property Located at W239 N4050 Swan Road From A-1 Agricultural to Rs-4 Single-Family Residential for the Purpose of Developing an 83-Lot Single-Family Residential Subdivision Known as Swan View Farms (PWC 0871996 & PWC 0871999)
 4. Discussion and Action Regarding the Preliminary Plat for Swan View Farms Subdivision Located at W239 N4050 Swan Road (PWC 0871996 & PWC 0871999)
 5. Discussion and Action Regarding the Site and Building Plans and Plan of Operation for the Proposed Troutd/Surf Prep Building Located on the East Side of Duplainville Road at Marjean Lane (PWC 0914992 & PWC 0914993)
 6. Discussion and Action Regarding the Revised Building Plans for Blue Ribbon Management for Their New Self Storage Facility Located at the Northwest Corner of Springdale Road and Johnson Drive (PWC 0961996006)
 7. Discussion and Possible Action Regarding Changing the Start Time of the November 15th Meeting to Accommodate the 7:20PM Packer Game
 8. Adjournment

Ami Hurd
Deputy Clerk

9/13/2018

NOTICE

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It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum. At the above stated meeting, no action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the City Planner, Harlan Clinkenbeard, at (262) 691-0770 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 2.**

DATE: September 20, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding Approval of Meeting Minutes Dated August 16th, 2018

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 3.**

DATE: September 20, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Petition for a Rezoning Public Hearing for BWC Investments LLC to Rezone Property Located at W239 N4050 Swan Road From A-1 Agricultural to Rs-4 Single-Family Residential for the Purpose of Developing an 83-Lot Single-Family Residential Subdivision Known as Swan View Farms (PWC 0871996 & PWC 0871999)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Swan View Farms rezoning petition

Swan View Farms rezoning map

APPENDIX A-3

Page 3 of 4
(Amend #13-04)

PETITION
FOR A
- ZONING DISTRICT MAP AMENDMENT -

TO THE HONORABLE MAYOR AND COMMON COUNCIL
OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned do(es) hereby petition the Common Council of the City of Pewaukee, Waukesha County, Wisconsin to rezone the following property FROM A-1 AGRICULTURAL zoning district(s) TO RS-4 SINGLE-FAMILY RESIDENTIAL zoning district(s):

Legal description of property to be rezoned:

* PLEASE REFER TO SEPARATE EXHIBIT *

- Please attach extra pages, CSM or other information if needed.

Common property description or name: SWAN FARM

Tax Key Number(s): PWC 0871996
PWC 0871999 Address: W239 N4050 SWAN ROAD

This amendment to the zoning map is being proposed in order to FACILITATE
DEVELOPMENT OF A SINGLE-FAMILY RESIDENTIAL SUBDIVISION

Property owners name: BWC INVESTMENTS LLC Address: N8 W22520 JOHNSON DRIVE, WAUKESHA, WI 53186

PETITIONER'S (property owner's) SIGNATURE: [Signature]

SIGNED AND DATED this 14 day of AUGUST, 2018

Contact Information:

Petitioner or representative phone no. (762) 547-0326 Fax no. (762) 542-4361

Email address: carltenwestridgebuilders.com other: _____

City Staff-

RECEIVED at City Hall by: A. Hurd on 8/20/18

Fees paid: \$ 400.00 Date: 8/20/18

(Please go to page 4)

APPENDIX A-3

Page 4 of 4
(Amend #13-04)

CITY OF PEWAUKEE

STATE OF WISCONSIN

WAUKESHA COUNTY

- NOTICE OF A ZONING MAP AMENDMENT PUBLIC HEARING -

PLEASE TAKE NOTICE THAT THERE WILL BE A PUBLIC HEARING ON THE

PETITION OF: (Owners name) BWC INVESTMENTS LLC

TO REZONE FROM: A-1 AGRICULTURAL TO: RS-4 SINGLE-FAMILY RESIDENTIAL

THE FOLLOWING PROPERTY IN THE CITY OF PEWAUKEE:

Legal description of the property to be rezoned*:

* PLEASE REFER TO SEPARATE EXHIBIT *

Please attach extra pages or plat or CSM if needed.

Common Description or name: SWAN FARM

Tax Key Number(s): PWC 0871996
PWC 0871999 Size: 115 AC

This Amendment to the Zoning Map (Change in zoning) is being proposed for the purpose of: DEVELOPMENT OF A SINGLE-FAMILY RESIDENTIAL SUBDIVISION

City staff –

THE PUBLIC HEARING will be held at a meeting of the City Plan Commission in the City Hall Common Council Chambers* on _____ at or after _____ PM.

ACTION BY THE COMMON COUNCIL on the petition is scheduled to be made at a meeting in the Common Council Chambers* on _____ at or after _____ PM.

Dated this _____ day of _____.

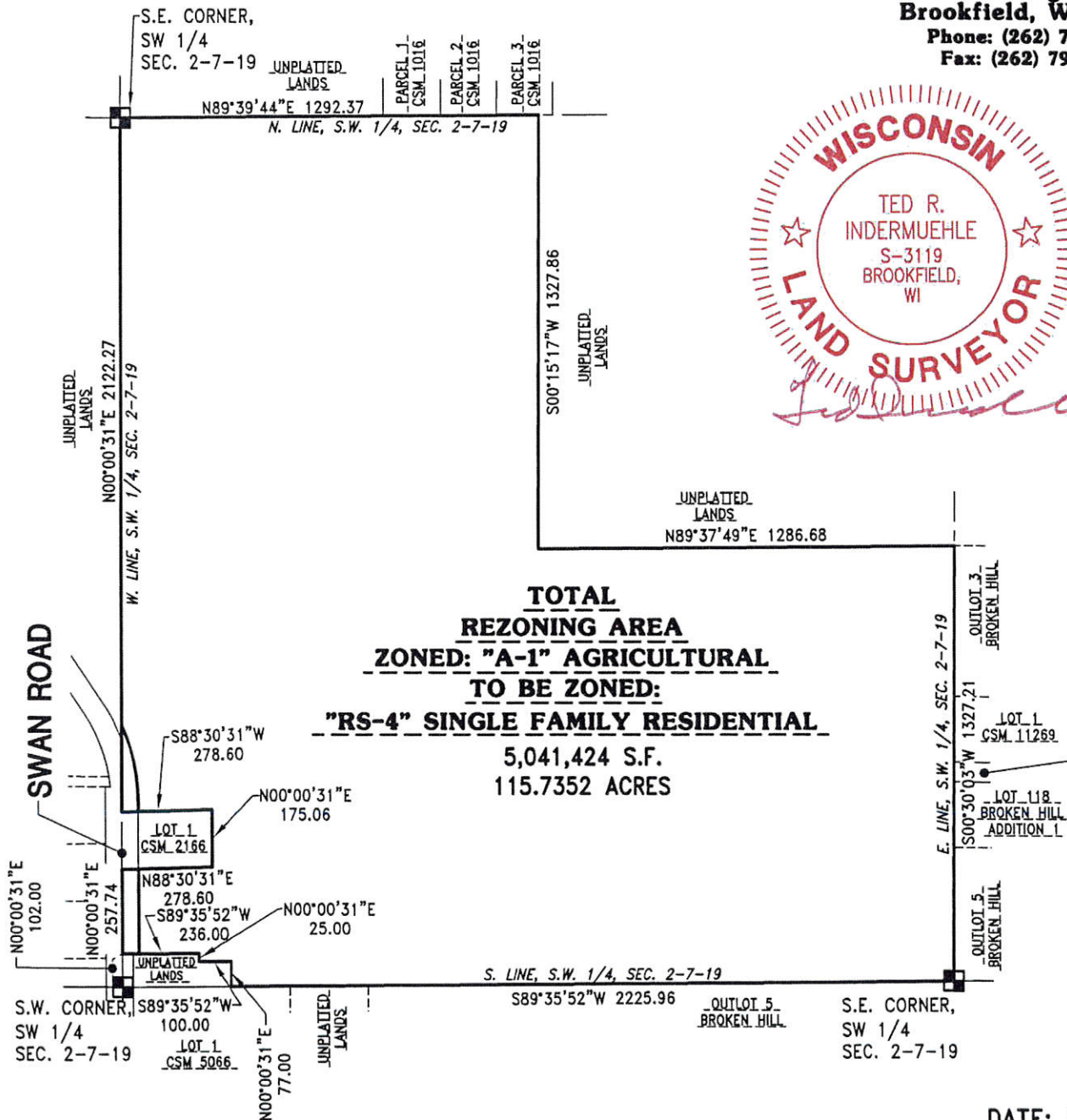
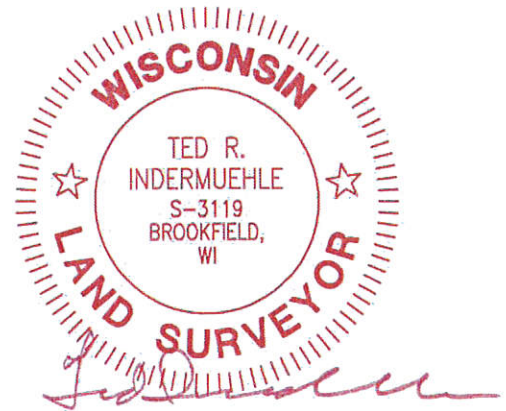
Kelly Tarczewski,
Clerk/Treasurer, City of Pewaukee

* Please park in lower (south) parking lot.

BEING A SUBDIVISION OF A PART OF THE SOUTHWEST 1/4 AND ALL OF THE NORTHWEST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 2, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.



12660 W. NORTH AVE.
Building "D"
Brookfield, WI 53005
Phone: (262) 790-1480
Fax: (262) 790-1481



DATE: 08/09/18

SHEET 1 OF 1

THIS EXHIBIT WAS PREPARED BY TED R. INDERMUEHLE, P.L.S. (S-3119)

EXHIBIT "B"

"SWAN PROPERTY REZONING"

LEGAL DESCRIPTION:

Being a subdivision of a part of the Southwest 1/4 and all of the Northwest 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 2, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin.

Commencing at the Southwest corner of the Southwest 1/4, Thence North 00°00'31" East along the West line of said Southwest 1/4, 102.00 feet to a point, said point being place of beginning of lands hereinafter described;

Thence continuing North 00°00'31" East along said West line, 257.74 feet to a point on the South line of Certified Survey Map Number 2166 and it's extension; Thence North 88°30'31" East along said South line, 278.60 feet to the East line of said Certified Survey Map; Thence North 00°00'31" East along said East line, 175.06 feet to a point on the North line of said Certified Survey Map; Thence South 88°30'31" West along said North line, 278.60 to a point on the West line of said Southwest 1/4; Thence North 00°00'31" East along said West line, 2122.27 feet to the Northwest corner of said Southwest 1/4; Thence North 89°39'44" East along the North line of said Southwest 1/4, 1292.37 feet to a point; Thence South 00°15'17" West 1327.86 feet to a point; Thence North 89°37'49" East 1286.68 feet to a point on the West line of "Broken Hill"; Thence South 00°30'03" West along said West line, 1327.21 feet to a point on the South line of said Southwest 1/4; Thence South 89°35'52" West along said South line, 2225.96 feet to a point; Thence North 00°00'31" East 77.00 feet to a point; Thence South 89°35'52" West 100.00 feet to a point; Thence North 00°00'31" East 25.00 feet to a point; Thence South 89°35'52" West 236.00 feet to the point of beginning of this description.

Said Parcel contains 5,041,424 Square Feet (or 115.7352 Acres) of land, more or less.

Date: 8/9/2018



A handwritten signature in black ink, appearing to read "Ted R. Indermuehle", written over a horizontal line.

Ted R. Indermuehle, P.L.S.
Professional Land Surveyor-3119
TRIO ENGINEERING, LLC
12660 W. North Avenue, Building "D"
Brookfield, WI 53005
Phone: (262)790-1480 Fax: (262)790-1481

WOODS EDGE DR.

Rs-4

Rs-3

Rs-2

LORILA.

Rs-2

LINDSAY RD.

LC

P-1

BALMER PARK

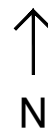
RS-2

RS-2

RS-2

RS-2

RS-2



1" = 400'

A-1

A-1

LC

LC

A-2

LC

LC

**REZONE
FROM
A-1 TO Rs-4**

LC

LC

Rs-4
Rs-4
Rs-4

Rs-4
Rs-4
Rs-4

CENTURY
FARM RD.

SWAN RD.

Rs-4|Rs-4|Rs-4|Rs-4

Rs-2

Rs-2

Rs-4

I-2

Rs-2

Rs-4

GREY FOX CT.

Rs-4

Rs-2

BROKEN HILL
BLVD.

Rs-4

BROKEN HILL

Rs-4

HILL

Rs-4

Rs-4

Rs-4

Rs-4

Rs-4

Rs-4

Rs-4

Rs-4

Rs-4

CIR. N.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 4.**

DATE: September 20, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding the Preliminary Plat for Swan View Farms Subdivision Located at W239 N4050 Swan Road (PWC 0871996 & PWC 0871999)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Swan View Farms preliminary plat

Swan View Farms development plans

Swan View Farms staff report #2

Swan View Farms staff report

Swan View Farms Engineering staff report

Zoning District Summary

**SINGLE-FAMILY
RESIDENTIAL DISTRICT Rs-4**
LOT AREA = 20,000 s.f. min.
LOT WIDTH = 110 feet (at setback)

SETBACK
Street = (minimum) 40 feet
Side = 20 feet
Rear = 35 feet
Wetland = 25 feet

PRELIMINARY PLAT OF SWAN VIEW FARMS

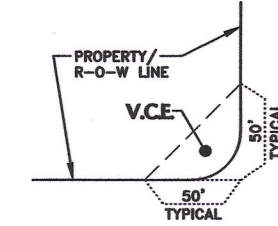
BEING A SUBDIVISION OF A PART OF THE SOUTHWEST 1/4 AND ALL OF THE NORTHWEST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 2, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

LEGEND

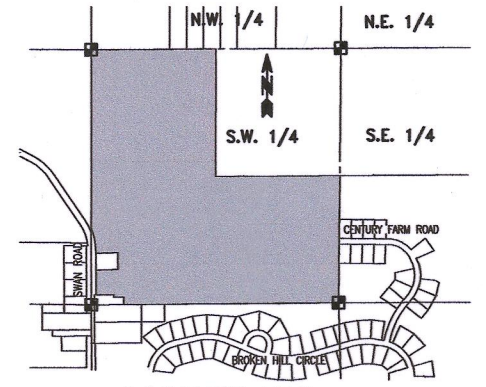
—	INDICATES SOIL BORING LOCATION
—	INDICATES EXISTING WATERMAIN
—	INDICATES PROPOSED WATERMAIN
—	INDICATES EXISTING SANITARY SEWER
—	INDICATES PROPOSED SANITARY SEWER
—	INDICATES EXISTING STORM SEWER
—	INDICATES PROPOSED STORM SEWER
—	INDICATES EXISTING CONTOUR

VISION CORNER EASEMENT: (V.C.E.)

Lots 1, 3, 8, 9, 14, 20, 25, 55, 56, 59, 60, 66, 67, and Outlots 2 and 3 are herein subject to a Vision Corner Easement as shown on this plat. Vision corner easements to be granted to the Village of Summit No structure of any kind shall be permitted within a vision corner which exceeds 2 feet above the intersection except for necessary highway and traffic signs, public utility lines and open fences, through which there is clear vision, nor shall any plant material be permitted which obscures safe vision of the approaches to the intersection.



VISION CORNER EASEMENT DETAIL



LOCALITY MAP:
SW 1/4, SEC. 2, T. 7 N., R. 19 E.
SCALE: 1"=1000'

BASEMENT RESTRICTION FOR GROUNDWATER NOTE:

Although all Lots in the Subdivision have been reviewed and approved for development with single and multi-family residential use in accordance with Section 236 Wisconsin Statutes, some Lots contain soil conditions that, due to the possible presence of groundwater near the surface, may require additional soil engineering and foundation design with regard to basement construction. It is recommended that a licensed professional engineer design a basement and foundation that will be suitable to withstand the various problems associated with saturated soil conditions on basement walls or floors or that other special measures be taken. Soil conditions should be subject to each owner's special investigation prior to construction and no specific representation is made herein.

BASEMENT RESTRICTION FOR BEDROCK NOTE:

Although all Lots in the Subdivision have been reviewed and approved for development with single and multi-family residential use in accordance with Section 236 Wisconsin Statutes, some Lots contain soil conditions that, due to the possible presence of bedrock near the ground surface, may require additional soil engineering and foundation design with regard to basement construction. It is recommended that a licensed professional engineer be consulted regarding the construction of basements in these areas where bedrock may be present near the ground surface. Soil conditions should be subject to each owner's special investigation prior to construction and no specific representation is made herein.

VISION CORNER EASEMENT: (V.C.E.)

Lots 1, 3, 8, 9, 14, 20, 25, 55, 56, 59, 60, 66, 67 and Outlots 2 & 3 are subject to a Vision Corner Easement as shown on this Plat in that the height of all plantings, berms, fences, signs or other structures within the Vision Corner Easement is limited to 24 inches above the elevation of the center of the intersection. No access to any roadway shall be permitted within the Vision Corner Easement.

WETLAND / P.E.C. DELINEATION NOTE:

Wetland boundaries shown herein were field delineated by Onida Total Integrated Enterprises (OTIE) (Scott M. Horzen) on April 20, 2016 and provided in digital format. Primary Environmental Corridor (P.E.C.) boundaries shown herein were taken from SEWRPC records.

HORIZONTAL DATUM PLANE:

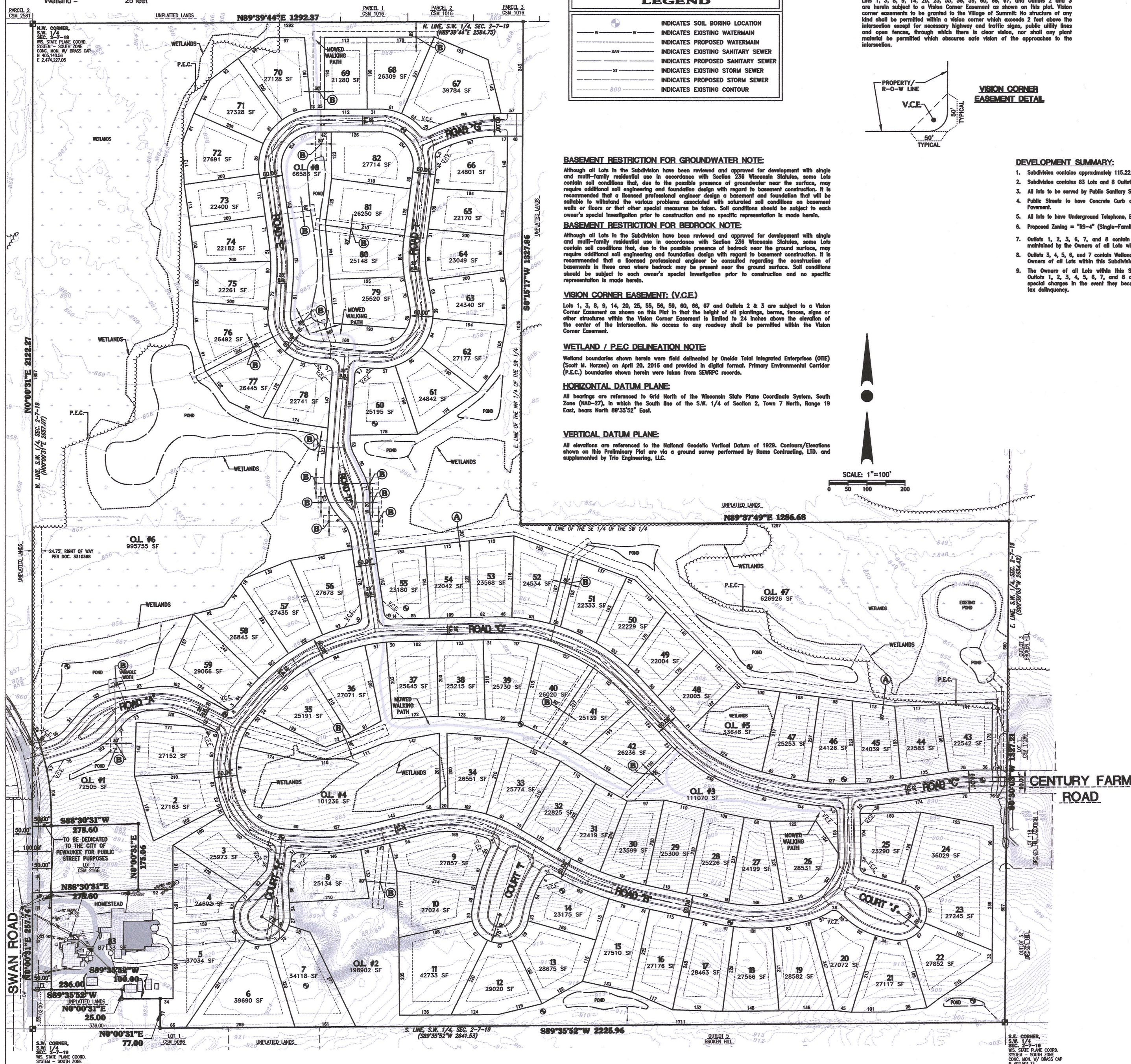
All bearings are referenced to Grid North of the Wisconsin State Plane Coordinate System, South Zone (NAD-83), in which the South line of the S.W. 1/4 of Section 2, Town 7 North, Range 19 East, bears North 89°35'52" East.

VERTICAL DATUM PLANE:

All elevations are referenced to the National Geodetic Vertical Datum of 1929. Contours/Elevations shown on this Preliminary Plat are via a ground survey performed by Rams Contracting, LTD. and supplemented by Trio Engineering, LLC.

SCALE: 1"=100'

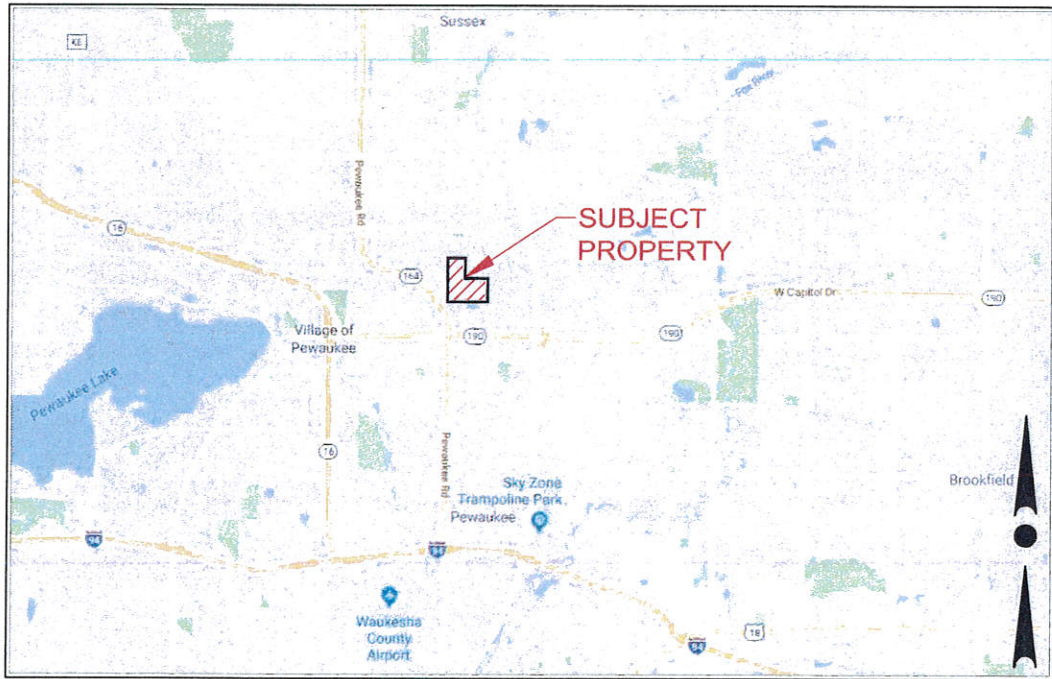
EASEMENT LEGEND:	
(A)	30' WIDE PUBLIC SANITARY SEWER EASEMENT
(B)	30' WIDE PUBLIC STORM SEWER AND DRAINAGE EASEMENT



JOB NUMBER: 16-024-789-01	DESCRIPTION: PRELIMINARY PLAT	REVISIONS:	PROJECT: SWAN VIEW FARMS SINGLE FAMILY RESIDENTIAL SUBDIVISION VILLAGE OF PEWAUKEE, WISCONSIN BY: BWC INVESTMENTS, LLC. 12500 W. NORTH AVE. BLDG. D BROOKFIELD, WISCONSIN 53005 PHONE: (262) 790-1480 FAX: (262) 790-1481	DEVELOPER: BWC INVESTMENTS, LLC. 12500 W. NORTH AVE. BLDG. D BROOKFIELD, WISCONSIN 53005 PHONE: (262) 790-1480 FAX: (262) 790-1481	AGENCIES HAVING THE AUTHORITY TO OBJECT: - State of Wisconsin, Department of Administration - Waukesha County, Department of Parks and Land Use APPROVING AUTHORITY: - Village of Pewaukee	SURVEYOR'S CERTIFICATE: I hereby certify that this Preliminary Plat is a correct representative of all existing land divisions and features and that I have fully complied with the provisions of the Subdivision and Platting Code of the Village of Pewaukee. Date: 8-17-18	WISCONSIN LAND SURVEYOR TED R. INDERMAHLE S-3119 BROOKFIELD, WI	TRIO DESIGN • LAND SURVEYING CIVIL ENGINEERING
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GENERAL NOTES

1. THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
- STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
 - THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 - WNR STORMWATER RUNOFF TECHNICAL STANDARDS.
 - WSDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 - CITY OF PEWAUKEE STANDARDS & REQUIREMENTS FOR DEVELOPMENT, LATEST EDITION.
2. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
3. EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
4. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
5. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
6. EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
7. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
8. ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
9. ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
10. ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
11. THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS AS REQUIRED BY MUNICIPAL ORDINANCE.

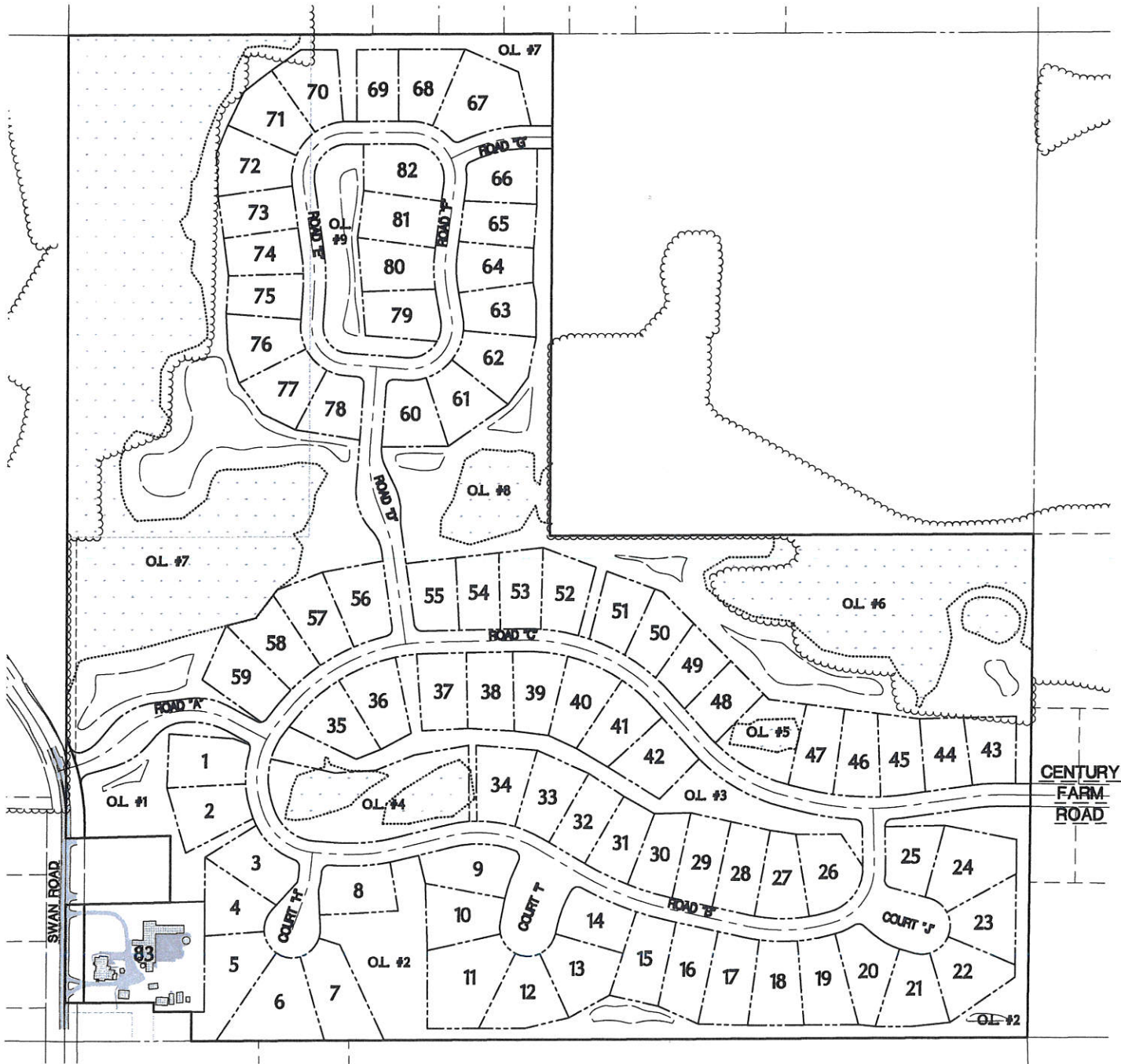


LOCATION MAP
NOT TO SCALE

SWAN VIEW FARMS

PRELIMINARY SITE DEVELOPMENT PLANS

CITY OF PEWAUKEE, WISCONSIN



WESTRIDGE BUILDERS, INC.
N8W22520 JOHNSON DR.,
WAUKESHA, WI 53186

SHEET INDEX

CIVIL	
T1	COVER SHEET
C1.0	OVERALL SITE PLAN
C2.0	OVERALL GRADING & DRAINAGE PLAN
C2.1-C2.5	GRADING & DRAINAGE PLANS
C3.0	OVERALL PROPOSED UTILITY PLAN
C3.1-C3.5	UTILITY PLANS



12660 W. NORTH AVE.
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: joshua@trioeng.com

PROJECT:
SWAN VIEW FARMS
SINGLE FAMILY RESIDENTIAL SUBDIVISION
CITY OF PEWAUKEE, WISCONSIN
BY: BWC INVESTMENTS LLC
N8W22520 JOHNSON DR.
WAUKESHA, WI 53186

REVISION HISTORY

DATE	DESCRIPTION
08/17/2018	PRELIMINARY SUBMITTAL

DATE:
AUGUST 17, 2018

JOB NUMBER:
16024

DESCRIPTION:
COVER SHEET

SHEET

T1



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



12660 W. NORTH AVE.
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpuddelko@trioeng.com

PROJECT:
SWAN VIEW FARMS
SINGLE FAMILY RESIDENTIAL SUBDIVISION
CITY OF PEWAUKEE, WISCONSIN
BY: BWC INVESTMENTS LLC
N8W22820 JOHNSON DR.
WAUKESHA, WI 53186

REVISION HISTORY	
DATE	DESCRIPTION
08/17/2018	PRELIMINARY SUBMITTAL

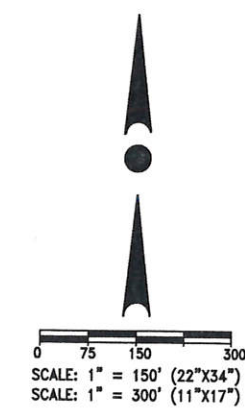
DATE:
AUGUST 17, 2018

JOB NUMBER:
16024

DESCRIPTION:
OVERALL SITE PLAN

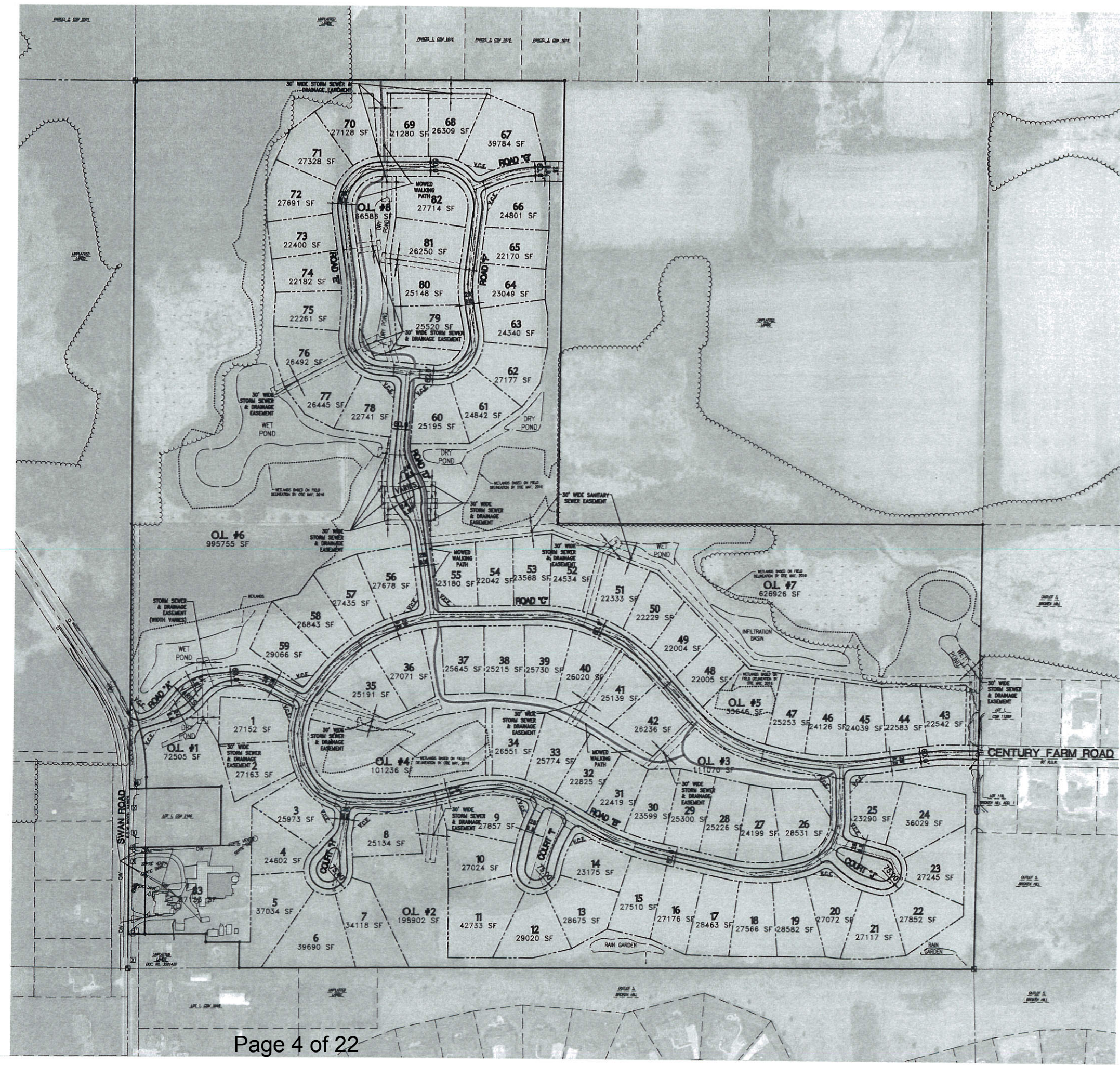
SHEET

C1.0

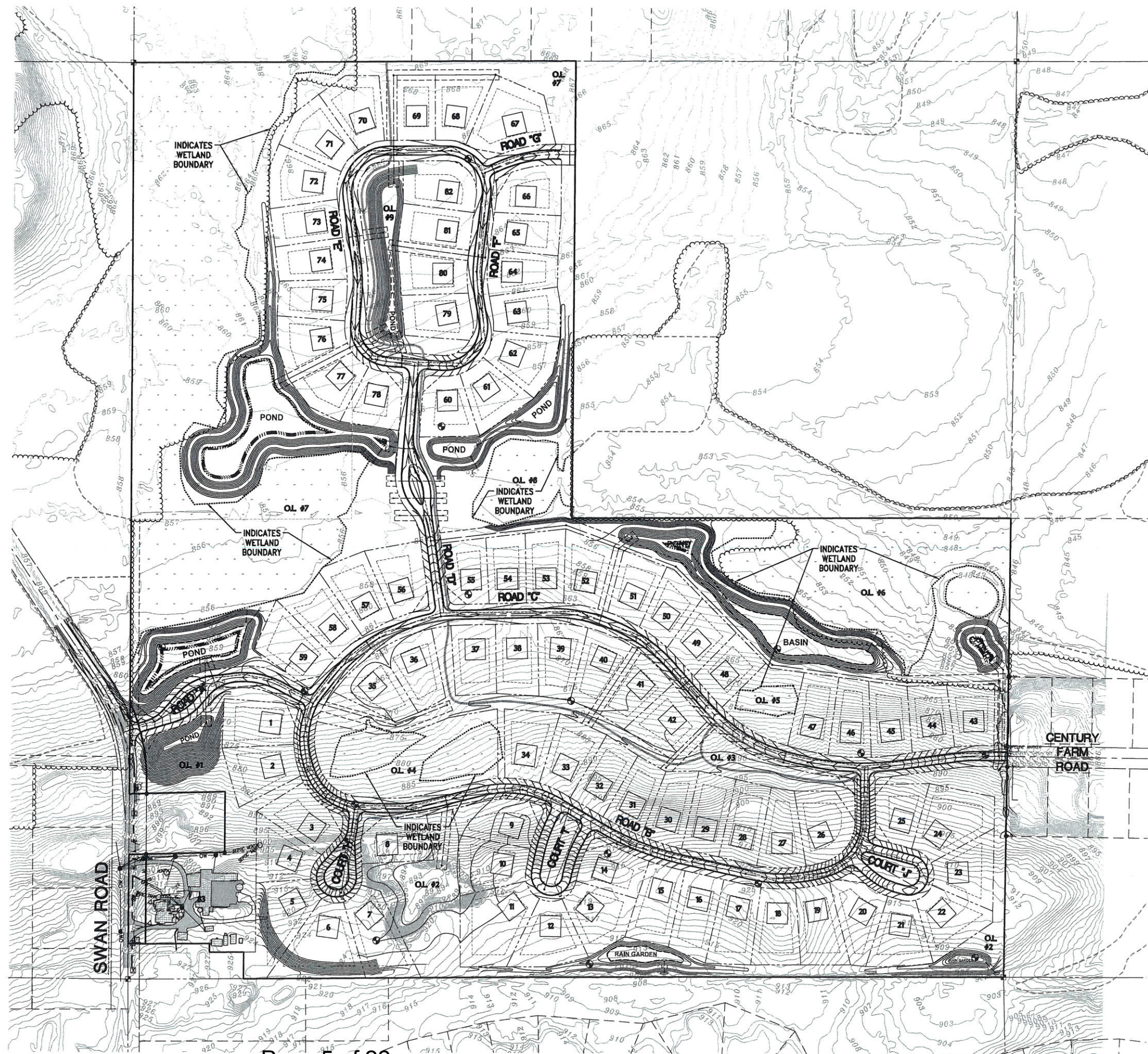


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H:\C700\789\16024-01\PRELIMINARY\PRELIM CIVIL_SWAN_FARM_GRADING_PLANTING





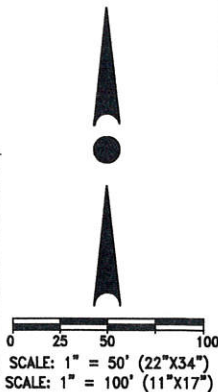
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WETLANDS BASED ON
FIELD DELINEATION BY
OTIE MAY, 2016

WET POND 1
BOTTOM=852.0
N.W.L.=857.0
TOP OF BERM=862.0
10' WIDE SPILLWAY=861.0
100-YR=860.19
10-YR=858.84
2-YR=857.99
1-YR=857.76

Page 6 of 22



12560 W. NORTH AVE.
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpuhelko@trioeng.com

PROJECT:
SWAN VIEW FARMS
SINGLE FAMILY RESIDENTIAL SUBDIVISION
CITY OF PEWAUKEE, WISCONSIN
BY: BWC INVESTMENTS LLC
N8W22520 JOHNSON DR.
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REVISION HISTORY	
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DATE:
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JOB NUMBER:
16024

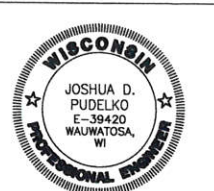
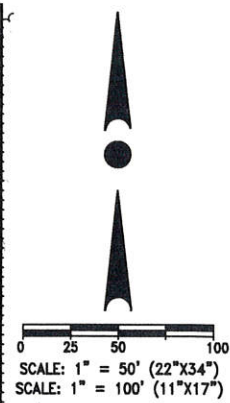
DESCRIPTION:
PROPOSED
GRADING &
DRAINAGE PLAN

SHEET

C2.1

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

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PROJECT:
SWAN VIEW FARMS
SINGLE FAMILY RESIDENTIAL SUBDIVISION
CITY OF PEWAUKEE, WISCONSIN
BY: BWC INVESTMENTS LLC
N8W22520 JOHNSON DR.
WAUKESHA, WI 53186

REVISION HISTORY	
DATE	DESCRIPTION
08/17/2018	PRELIMINARY SUBMITTAL

DATE:
AUGUST 17, 2018

JOB NUMBER:
16024

DESCRIPTION:
PROPOSED
GRADING &
DRAINAGE PLAN

SHEET
C2.2

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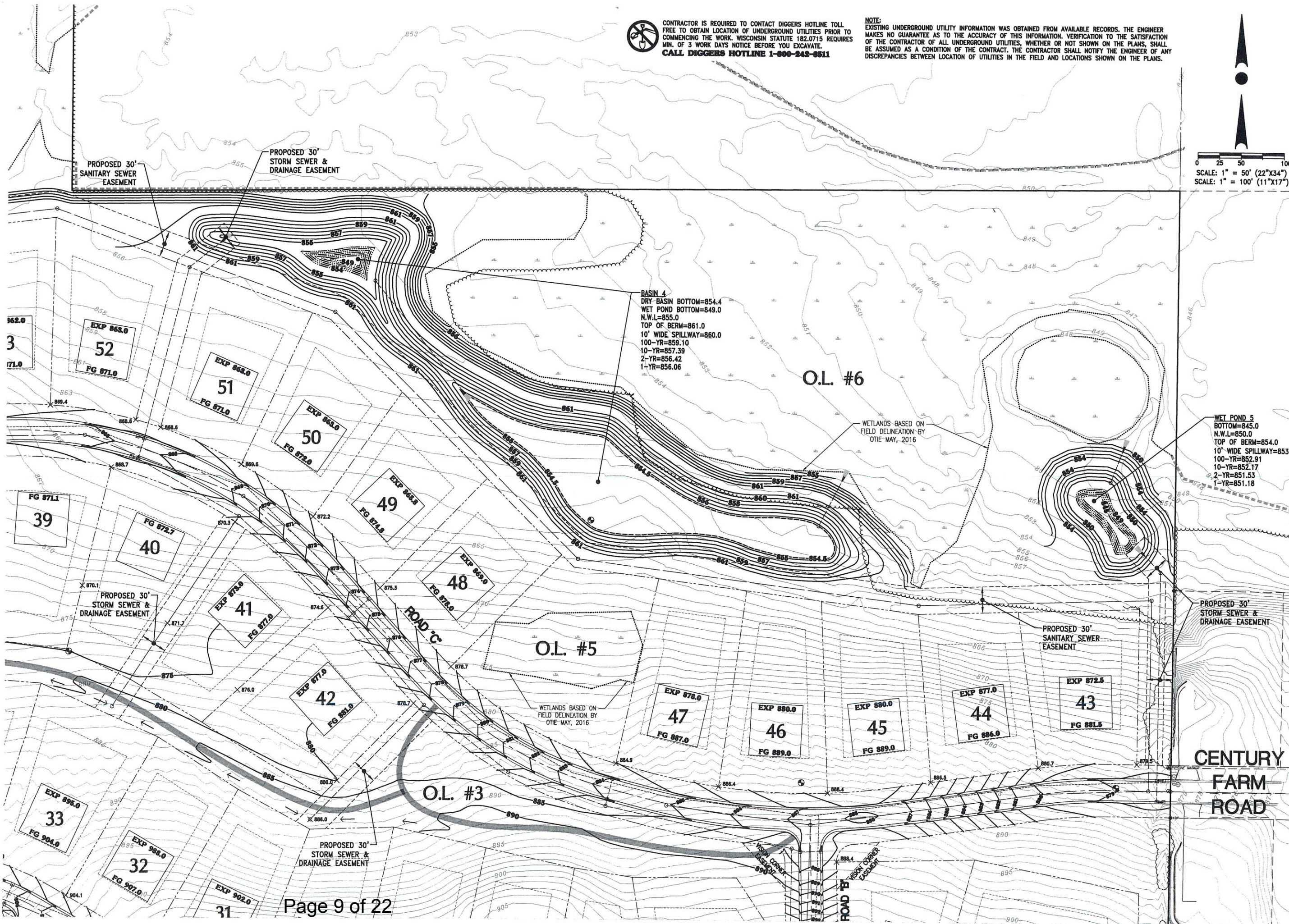
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12660 W. NORTH AVE.
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpuedelko@trioeng.com

0 25 50 100
SCALE: 1" = 50' (22"x34")
SCALE: 1" = 100' (11"x17")



PROJECT:
SWAN VIEW FARMS
SINGLE FAMILY RESIDENTIAL SUBDIVISION
CITY OF PEWAUKEE, WISCONSIN
BY: BWC INVESTMENTS LLC
N8W22S20 JOHNSON DR.
WALKESHA, WI 53186

REVISION HISTORY	
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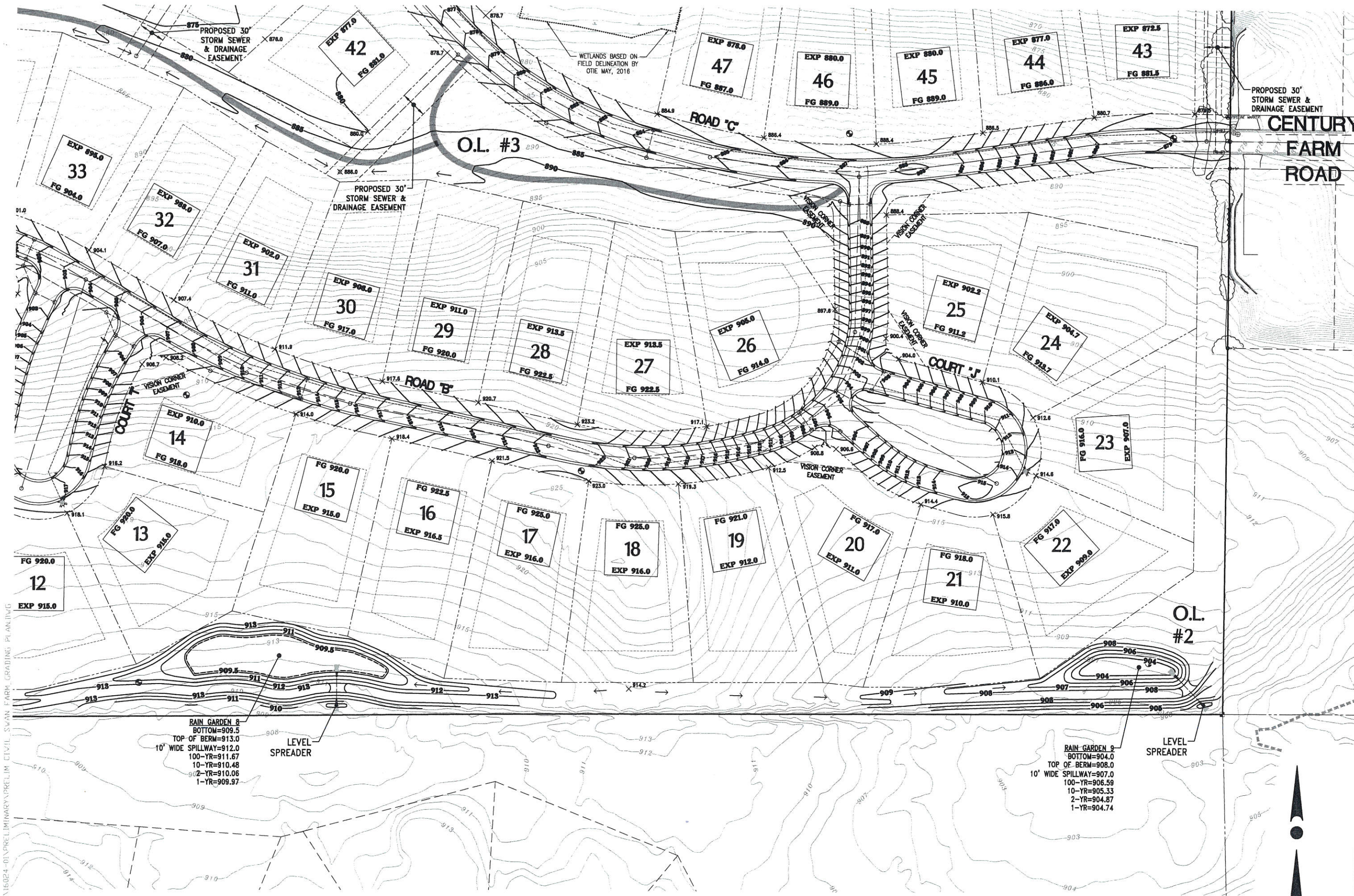
DATE:
AUGUST 17, 2018

JOB NUMBER:
16024


DESCRIPTION:
PROPOSED
GRADING &
DRAINAGE PLAN

SHEET

C2.4



H:\C700\189\16024-01\PRELIMINARY\PRELIM CIVIL SWAN FARM GRADING PLANNING

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JOSHUA D. PUDELKO
E-39420
WAUKESHA, WI



DESIGN • LAND SURVEYING
TRIO
CIVIL ENGINEERING

12660 W. NORTH AVE.
BROOKFIELD, WI 53005
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EMAIL: jpuudelko@trioeng.com

PROJECT:
SWAN VIEW FARMS
SINGLE FAMILY RESIDENTIAL SUBDIVISION
CITY OF PEWAUKEE, WISCONSIN
BY: BWC INVESTMENTS LLC
N8W22520 JOHNSON DR.
WAUKESHA, WI 53186

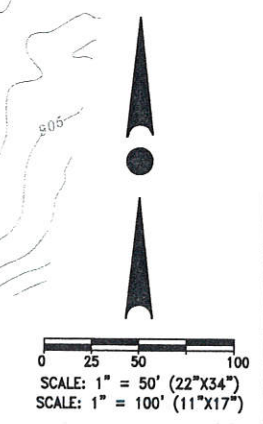
REVISION HISTORY	
DATE	DESCRIPTION
08/17/2018	PRELIMINARY SUBMITTAL

DATE:
AUGUST 17, 2018

JOB NUMBER:
16024

DESCRIPTION:
PROPOSED
GRADING &
DRAINAGE PLAN

SHEET
C2.5





12662 W. NORTH AVE.
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PROJECT:
SWAN VIEW FARMS
SINGLE FAMILY RESIDENTIAL SUBDIVISION
CITY OF PEWAUKEE, WISCONSIN
BY: BWC INVESTMENTS LLC
N8W22520 JOHNSON DR.
WAUKESHA, WI 53186

REVISION HISTORY

DATE	DESCRIPTION
08/17/2018	PRELIMINARY SUBMITTAL

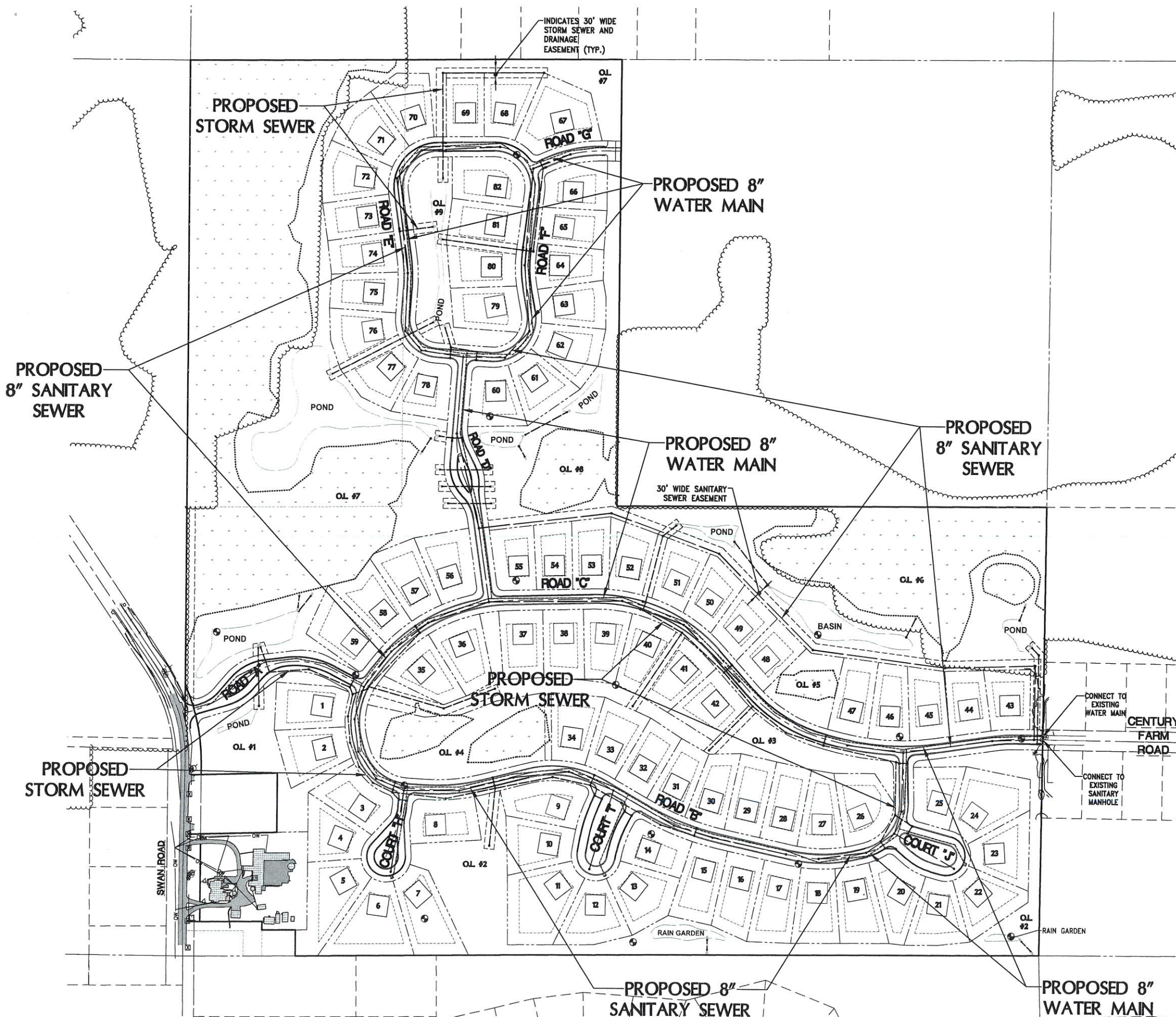
DATE:
AUGUST 17, 2018

JOB NUMBER:
16024

DESCRIPTION:
**PROPOSED
OVERALL
UTILITY PLAN**

SHEET

C3.0



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SCALE: 1" = 50' (22"x34")
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O.L.
#7

PROPOSED 8"
SANITARY SEWER

PROPOSED 8"
WATER MAIN

PROPOSED
STORM
SEWER

PROPOSED
8" SANITARY
SEWER

PROJECT:
SWAN VIEW FARMS
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CITY OF PEWAUKEE, WISCONSIN
BY: BWC INVESTMENTS LLC
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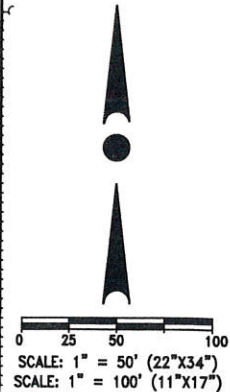
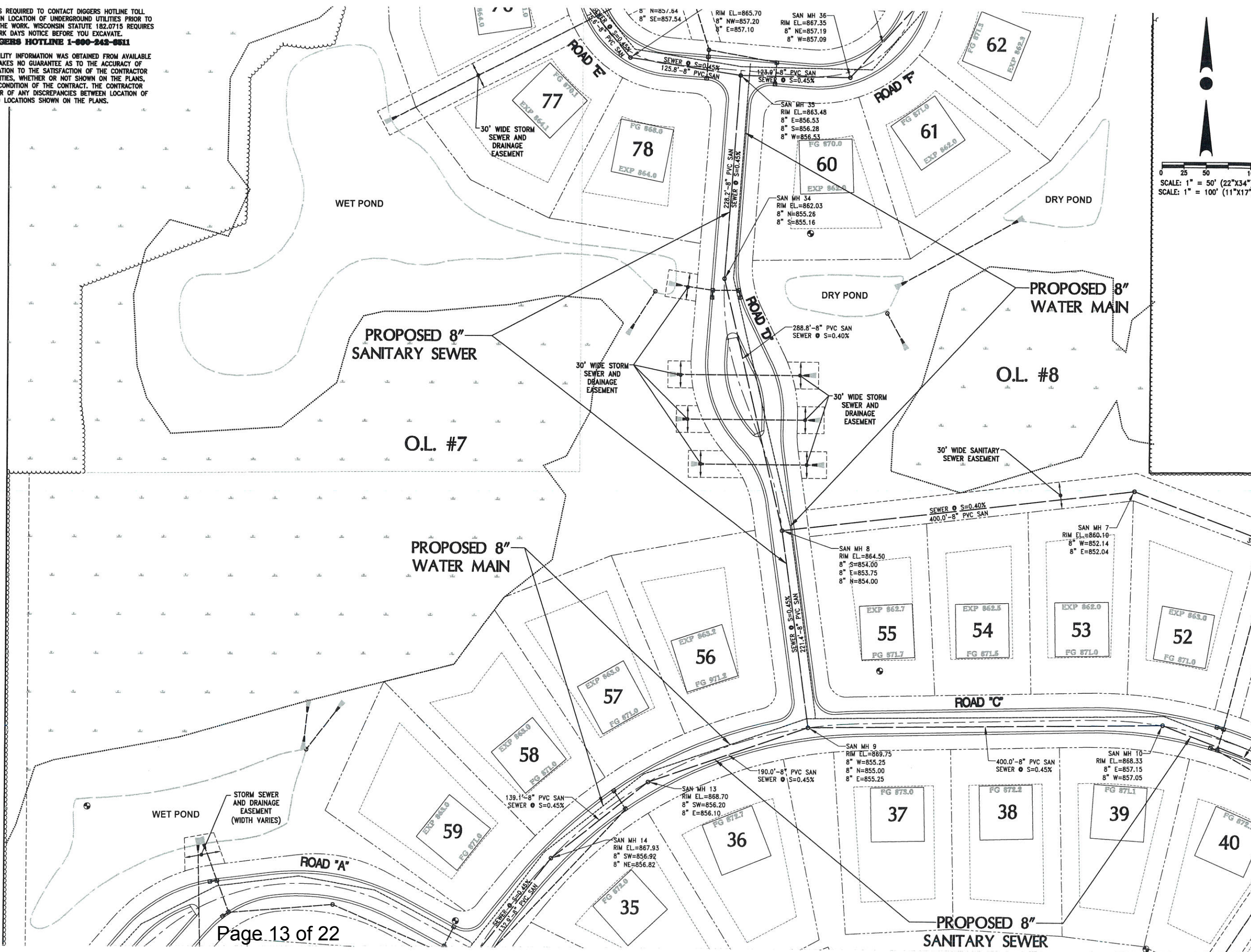
DESCRIPTION:
PROPOSED
UTILITY PLAN

SHEET
C3.1



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WISCONSIN
JOSHUA D. PUDELKO
E-39420
WAUKESHA, WI
PROFESSIONAL ENGINEER

TRIO
DESIGN & LAND SURVEYING
CIVIL ENGINEERING
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PROJECT:
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CITY OF PEWAUKEE, WISCONSIN
BY: BWC INVESTMENTS LLC
N8W22520 JOHNSON DR.
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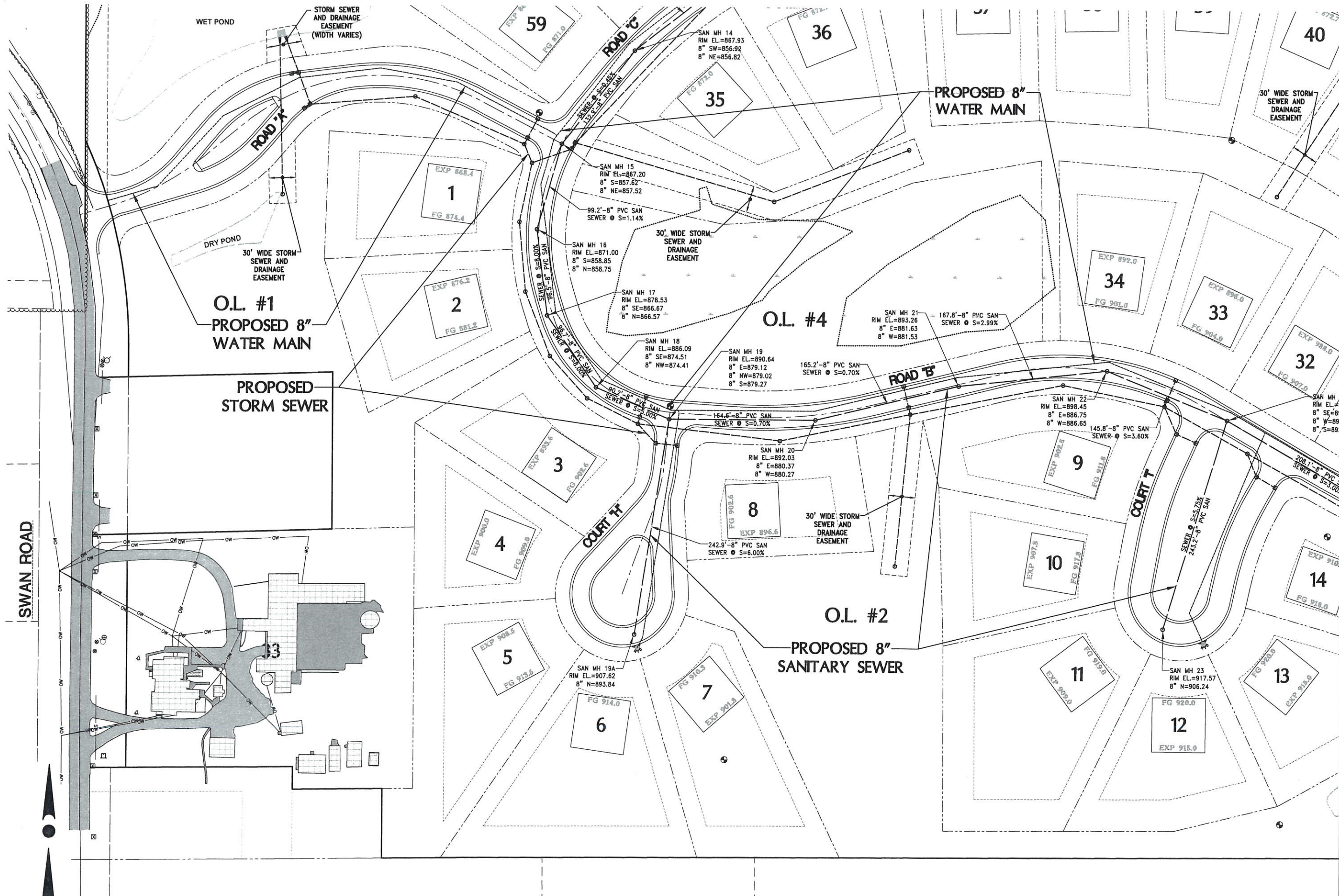
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JOB NUMBER:
16024

DESCRIPTION:
PROPOSED
UTILITY PLAN

SHEET
C3.2

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SCALE: 1" = 50' (22"x34")
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CALL DIGGERS HOTLINE 1-800-212-3333

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PROJECT:
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CITY OF PEWAUKEE, WISCONSIN
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WAUKESHA, WI 53186

REVISION HISTORY	
DATE	DESCRIPTION
08/17/2018	PRELIMINARY SUBMITTAL

DATE:
AUGUST 17, 2018

JOB NUMBER:
18024

DESCRIPTION:
PROPOSED
UTILITY PLAN

SHEET
C3.3



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EMAIL: jpuhelko@trioeng.com

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SWAN VIEW FARMS
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WAUKESHA, WI 53186

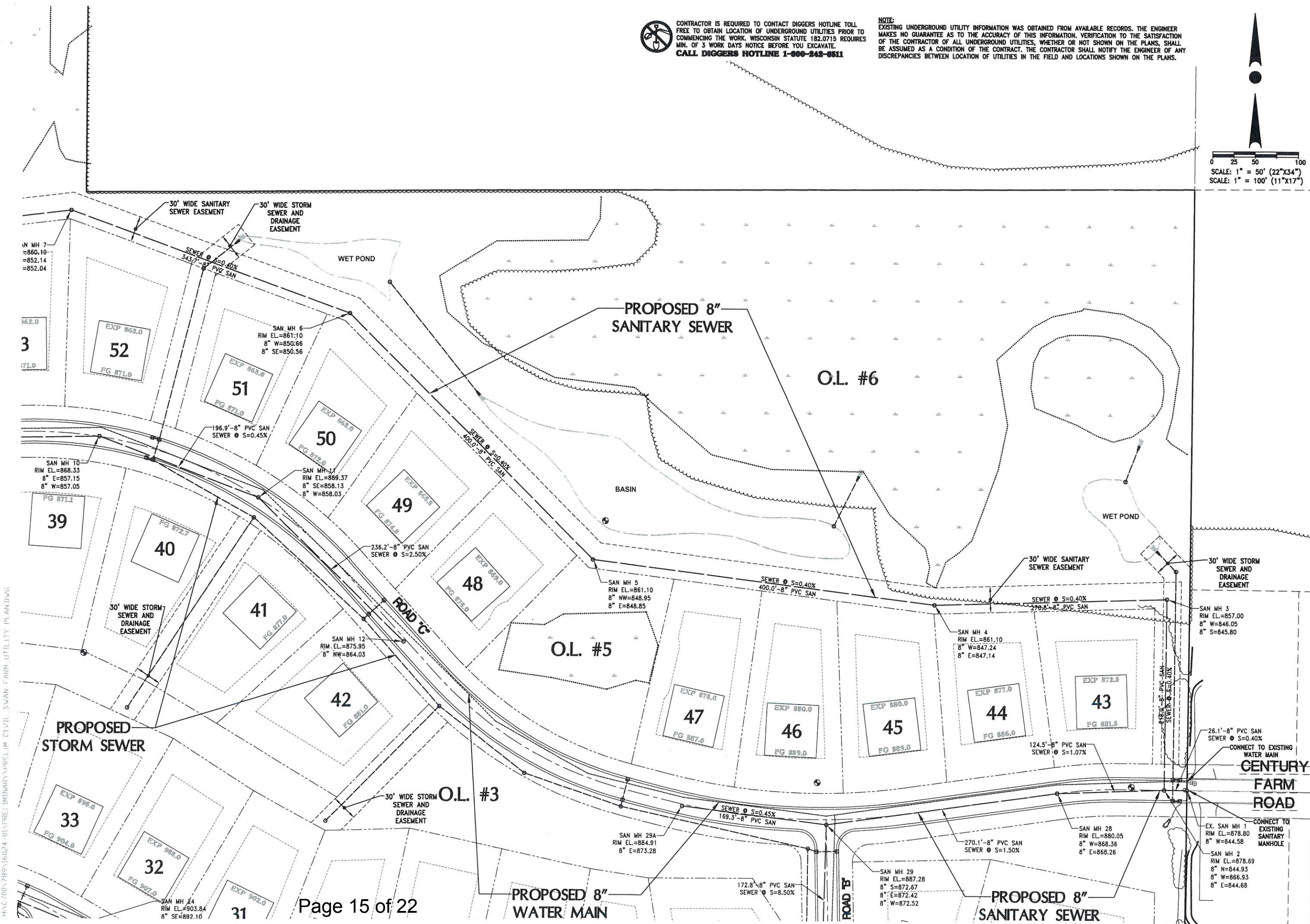
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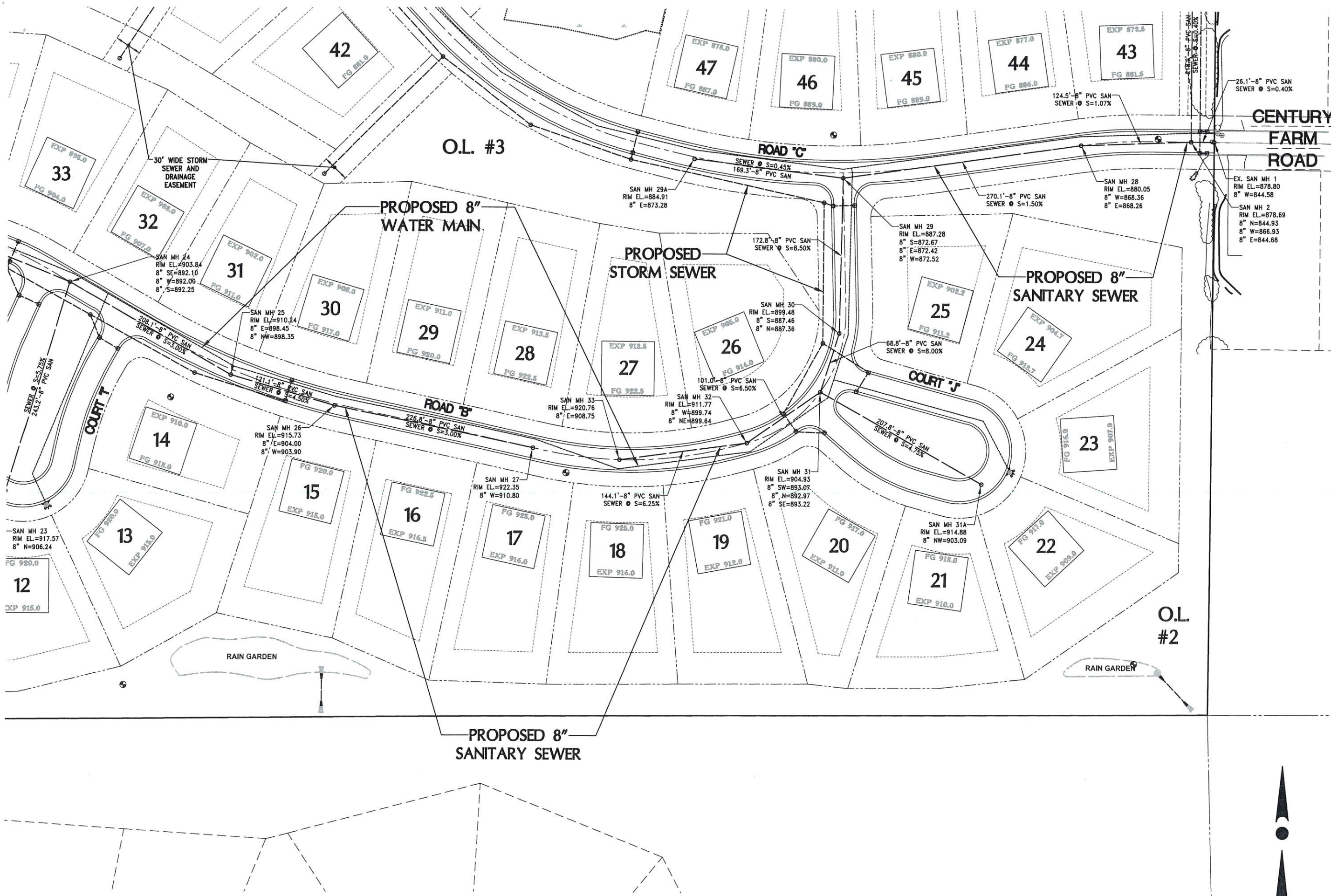
DESCRIPTION:
PROPOSED
UTILITY PLAN

SHEET
C3.4



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Page 16 of 22

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CITY OF PEWAUKEE, WISCONSIN
BY: BWC INVESTMENTS LLC
N8W22520 JOHNSON DR.
WAUKESHA, WI 53186

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DATE	DESCRIPTION
08/17/2018	PRELIMINARY SUBMITTAL

DATE: AUGUST 17, 2018
JOB NUMBER: 16024
DESCRIPTION: PROPOSED UTILITY PLAN
SHEET C3.5



Wrayburn Consulting, LLC

info@wrayburnconsulting.com

13500 Watertown Plank Road, Suite 100

Elm Grove, WI 53122

262-893-3903

Date: September 12, 2018

To: City of Pewaukee Plan Commission
Scott Klein, City Administrator

From: Nick Fuchs, Wrayburn Consulting, LLC

RE: Swan Farm Property/Westridge Builders Preliminary Plat Subdivision
Development Review

Project Description

The applicant, BWC Investments, LLC, filed a Rezoning and Preliminary Plat Application for a single-family residential subdivision development located at approximately W239N4024 Swan Road.

Per the Year 2050 Land Use/Transportation Plan, the subject property is planned as Low – Medium Density Residential (1/2 AC. – 2 AC. / DU), Flood Plains, Lowland & Upland Conservancy, and Other Natural Areas and Water. The applicant is proposing to rezone the property from A-1 Agricultural District, A-2 Agricultural District, and LC Lowland Conservancy District to RS-4 Single-Family Residential District. *It is recommended that the LC Lowland Conservancy District remain and be updated to match current field delineations of wetlands within the property.*

The applicant is proposing an eighty-three (83) lot single-family subdivision with seven (7) outlots. The outlots primarily consist of wetlands, stormwater management facilities, walking paths and utility easements.

All lots conform to the RS-4 minimum lot area of 20,000 square feet and, according to the applicant, all lots have a width of at least 110 feet at the building setback line.

It is anticipated that the development will be constructed in two phases. Phase 1 will consist of the lots along Road A, B and C and Phase 2 will comprise of the northern portion of the development (Lots 60 through 82).

The applicant has indicated that two street trees will be planted per lot throughout the subdivision. Street trees will be planted at the time of individual Building Permits and home construction.

Recommendation

Staff recommends a motion recommending approval of the rezoning and Preliminary Plat to allow for the development of an 83-lot single-family residential subdivision upon property located at approximately W239N4024 Swan Road, subject to the applicant addressing all Department of Public Works comments outlined in the September 5, 2018 memorandum and

addressing comments within the letter from Wrayburn Consulting dated September 4, 2018, to the satisfaction of the City Engineer and City Administrator.



Wrayburn Consulting, LLC

info@wrayburnconsulting.com

13500 Watertown Plank Road, Suite 100

Elm Grove, WI 53122

262-893-3903

Date: September 4, 2018
To: Scott Klein, City Administrator
From: Nick Fuchs, Wrayburn Consulting, LLC
RE: Swan Farm Property (Westridge Builders) Preliminary Plat/Subdivision
Development Review

Comments and Recommendations:

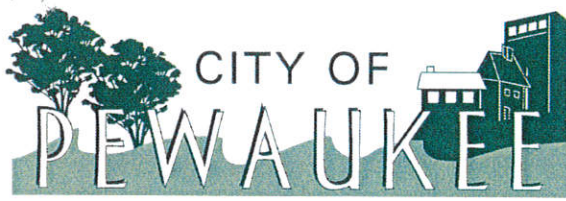
Below are preliminary comments and recommendations for the proposed Preliminary Plat and Site Development plans for the Swan Farm property located at approximately W239N4024 Swan Road.

1. Please provide the following information on the Preliminary Plat per Section 18.0303 of the City's Land Division Ordinance.
 - i. Property owners' names
 - ii. Suggested street names
 - iii. Existing zoning of adjacent parcels
 - iv. School district in which the Plat encompasses
2. Is any platting and/or construction phasing planned?
3. Were wetland delineations completed by an assured delineator or was WDNR concurrence received?
4. Please provide a tree removal plan per Section 18.0304c. of the Land Division Ordinance.
5. Are street trees proposed? It is recommended that one tree be planted per lot.
6. Please include density calculations on the Site Plan (number of dwelling units and net density) to demonstrate compliance with the Rs-4 District standard of 2.18 dwelling units per net acre.
7. Outlot numbering is not consistent throughout the plans and compared to the Preliminary Plat. Please revise accordingly.
8. Please make sure all required wetland setbacks are shown and labeled as such on the Preliminary Plat and development plans.
9. It is recommended that sidewalks be provided on at least one side of the street throughout the development. Alternatively, the proposed mowed trail could be expanded to be located behind or adjacent to the majority of lots within the subdivision. It is also recommended that the mowed trail be asphalt similar to the trail system within the subdivision development to the south.

Furthermore, a connection is recommended to the mowed trail to the south, which connects to the asphalt trails within that neighborhood. Please also consider a trail connection to Balmer Park.

10. It is recommended that a temporary turnaround be provided for Road G at the east property line.

11. A project narrative is recommended to provide project details and include additional information, such as estimated lot and home values, anticipated absorption, phasing, etc.
12. Draft subdivision documents should also be provided, particularly if design standards and/or restrictions for lots and homes are included.
13. Please label the lot width at the setback line to easily verify that lots meet the 110-foot width requirement (as many lots are narrower at the street).
14. The Preliminary Plat Development Summary indicates 83 lots; however, only 82 lots are proposed. Outlot No. 8 is also not numbered on the Plat.



Department of Public Works

W240N3065 Pewaukee Road

Pewaukee, WI 53072

Phone: (262) 691-0804 • Fax: (262) 691-5729

Email: publicworks@pewaukee.wi.us

MEMORANDUM

TO: Plan Commission

FROM: Jeffrey Weigel, Public Works Director & City Engineer

DATE: September 5, 2018

SUBJECT: Preliminary Plat of Swan View Farms

We have reviewed the preliminary plat of Swan View Farms and recommend approval with the following concerns:

- 1) The subject property is in the City of Pewaukee and not the Village of Pewaukee.
- 2) All public easements for sewer, water, storm sewer, or access should be located within outlots if not in the public right-of-way.
- 3) The "Homestead" parcel created in the southwest corner of the platted area should be a minimum of 2 acres in size in order to remain on private septic.
- 4) The remnant of Lot 1, CSM 2166 appropriately dedicates right-of-way along Swan Road. The redefinition of this lot creates a lot of less than 2 acres in size and should be served by sanitary sewer. (See #5.)
- 5) The sanitary sewer should be extended to the west boundary of the platted subdivision (Swan Road) at an elevation sufficient to serve the properties to the south, including Lot 1 of CSM 2166. Similarly, the sanitary sewer should be extended to the northerly property line, contingent on further investigation to sewer in the area.
- 6) The plat and attendant plans illustrate how the newly created parcels may be served by sanitary sewer and we do not object to these illustrations; however, more evaluation is required by the City as the northerly parcels (shown as parcels 60-82) have been planned to be served by sewer which would flow to the east and northeast. A sewer lift station was to be included in this area. Should further evaluation determine that the sewer service to parcels 60-80 can remain to the south and southeast (as shown), the developer will be required to provide a route for a future force main and perhaps a location for a lift station to serve the City lands to the west and north, generally pumping the wastewater to a future pipe located where Road "G" terminates at the east boundary of the development. Additionally, the plat and attendant plans illustrate parallel sewers running west-to-east in Road "G" from Road "D" to the easterly connection point in Century Farm Road, and also along the north property line of lots 43-55. We do not necessarily object to these parallel sewers, but we refrain from approving same until more evaluation of the internal sewer system is completed.
- 7) Water main is appropriately extended to Swan Road from existing Century Farm Road. Water main must also be extended from Road E/F north between lots 69/70 to the northerly boundary of the development, and the size of that extension may have to be larger in diameter – 10" or 12", depending on further evaluation. Similarly, the water main should be extended in Road G from Road F to the easterly boundary of the subdivision.

- 8) The diameter of the water main in Road D, between Road B/C and Road E/F may have to be larger in diameter—10" or 12", depending on further evaluation.
- 9) The execution of the final plat will be dependent upon the payment of \$2,069.19 for each new lot created in Swan Road street special assessments, and \$3,933.12 per lot created in Swan Road water special assessments (for 83 lots this calculates to \$171,742.77 in street assessments; \$326,448.96 in water main special assessments). Should the final plat be executed prior to October 1, 2019, then additional special assessments of \$3,866.16 per lot for sanitary sewer (\$320,891.28) would be due; but not if after October 1, 2019.
- 10) We recommend that the walking path between lots 69/70 be paved.
- 11) The conditions of approval should be subject to any conditions required by the State, Waukesha County and SEWRPC as part of their review process.
- 12) The City of Pewaukee Water Utility should consider the construction of a water main extension from the north boundary of the development between lots 69/70 (also being the south boundary of Balmer Park) north through Balmer Park to Lindsay Road, and then east in Lindsay Road to the water main in the Pewaukee Sports Complex in order to complete a much needed looped connection in the area.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 5.**

DATE: September 20, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding the Site and Building Plans and Plan of Operation for the Proposed Troudt/Surf Prep Building Located on the East Side of Duplainville Road at Marjean Lane (PWC 0914992 & PWC 0914993)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Troudt-Surf Prep site & building plans

Troudt-Surf Prep plan of operation

Troudt-Surf Prep staff report #2

Troudt-Surf Prep staff report

Troudt-Surf Prep Engineering staff report

PROPOSED NEW BUILDING FOR :

TROUDT PROPERTY

....
PEWAUKEE, WISCONSIN



EXTERIOR PERSPECTIVE LOOKING NORTHEAST

SHEET INDEX :

T1.1	TITLE SHEET
C1.0	EXISTING SITE PLAN
C2.0	SITE PLAN
C3.0	SITE GRADING & EROSION CONTROL PLAN
C4.0	SITE UTILITY PLAN
C5.0	SITE DETAILS
L1.0	SITE LANDSCAPE PLAN, DETAILS, NOTES & SPECIFICATIONS
A1.0	COLOR SITE PLAN
A1.1	FLOOR PLAN
A5.1	EXTERIOR ELEVATIONS
A5.2	EXTERIOR PERSPECTIVE
1 OF 1	EXTERIOR LIGHTING PHOTOMETRICS

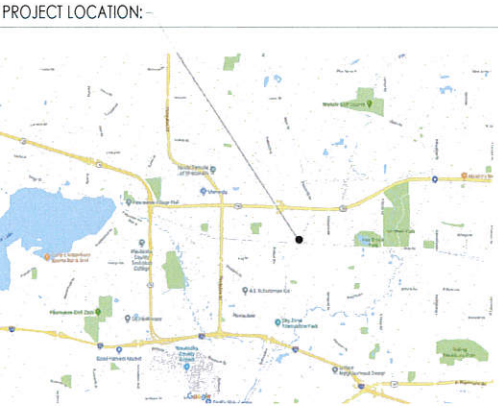


TITLE SHEET

TROUDT PROPERTY
PEWAUKEE, WI

PLAN COMMISSION SET
JUNE 27, 2018

OWNER :	GENERAL CONTRACTOR :	ARCHITECT :	STRUCTURAL ENGINEER :	CIVIL ENGINEER :
SURF PREP JOHN TROUDT	BRIOHN BUILDING CORPORATION MIKE BYRNE	BRIOHN DESIGN GROUP LLC CHRISTOPHER WENZLER, AIA DOMENICO FERRANTE, AIA	BRIOHN DESIGN GROUP LLC KEVIN JANKOWSKI, PE	JSD ENGINEERING, INC. RIZ Iskandarsjoch, P.E., P.L.S.
W226N3014 DUPLAINVILLE RD. PEWAUKEE, WI 53186 262-746-1010 JOHNT@SURFPREP.COM	3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	N22 W22931 Nancy Ct., Suite 3 Waukesha, WI 53186 (414) 262.513.0666 PHONE (414) 262.513.1232 FAX



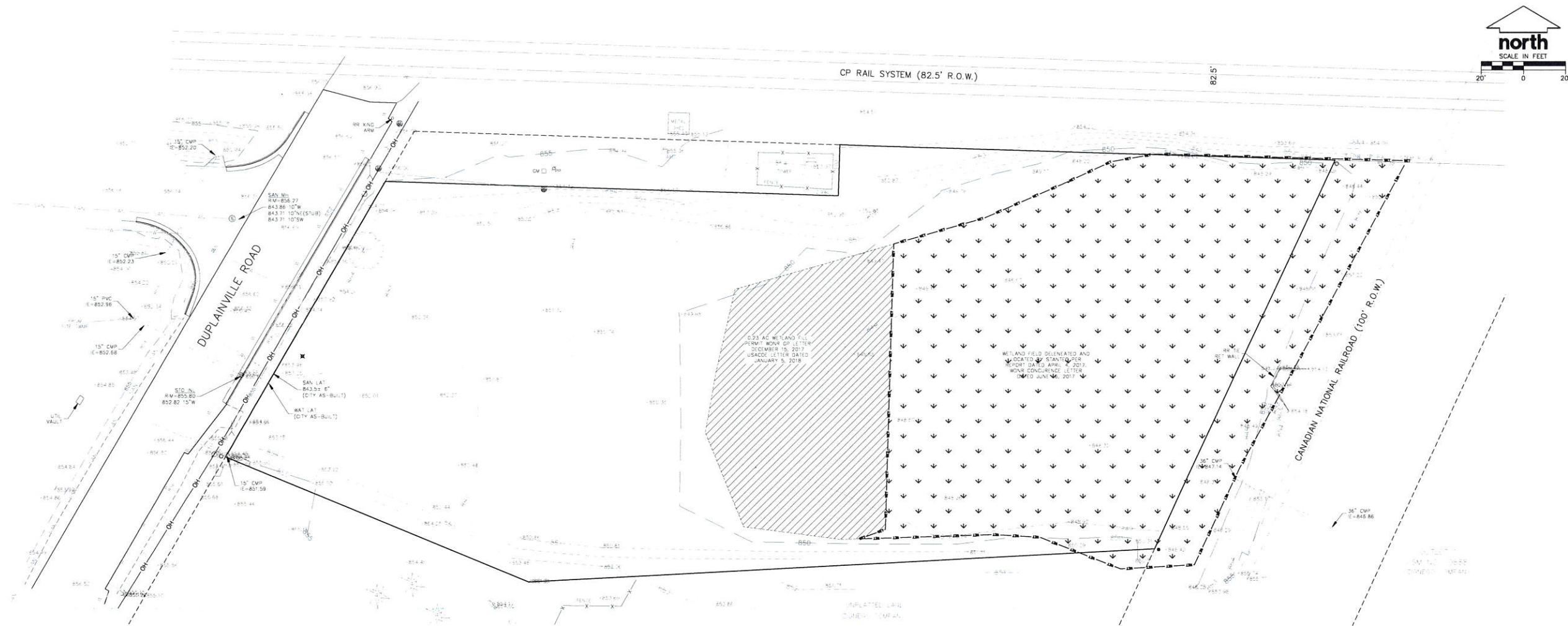
PROJECT INFORMATION:

CODE:	SPS 340-366 WISCONSIN COMMERCIAL BUILDING CODE (IBC 2015, IECC 2015, IBC 2015, IMC 2015 AND IFGC 2009) SPS 314 FIRE PREVENTION SPS 316 ELECTRICAL SPS 381-387 PLUMBING
OCCUPANCY:	PRIMARY S-1 (MODERATE HAZARD STORAGE) SECONDARY F-1 (MODERATE HAZARD FACTORY INDUSTRIAL)
CLASS OF CONSTRUCTION:	TYPE 2B
SPRINKLER SYSTEM:	FULL - NFPA 13
FLOOR LEVELS:	1
NUMBER OF STORIES	1
BUILDING AREA:	FOOTPRINT 12,157 SF

NOTES:
ALL MECHANICAL ELECTRICAL
PLUMBING AND FIRE SPRINKLER
ENGINEERING BY DESIGN-BUILD
CONTRACTORS

REVISION 1 - 09/12/2018
JOB: 3087
DRAWN: CEW
CHECKED: DF
DATE: 06/27/18
SHEET:

.T1.1



EXISTING SITE PLAN

SHEET TITLE

JSD Professional Services, Inc.
Engineers • Surveyors • Planners
MILWAUKEE REGIONAL OFFICE
10200 W. BLUESHAW ROAD, SUITE 100
MILWAUKEE, WISCONSIN 53226
262.513.0888 PHONE | 262.513.1230 FAX
www.jsdinc.com
262.238.0010
DIGGER'S HOTLINE
Call 811 or (800) 242-8811
Digging before you dig
Digging Hotline: 1-800-242-8811
www.diggershotline.com

GENERAL NOTES AND SPECIFICATIONS

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORK CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL, OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES DISCOVERED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON THEIR OWN COMPUTATIONS AND UNDER NO CIRCUMSTANCES BE BASED ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THIS CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN THEIR ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS. ALL APPLICABLE PERMITS HAVE BEEN OBTAINED, AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY. CONSTRUCTION OF ITEMS AFFECTED BY DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS IN OBTAINING PERMITS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND "DIGGER'S HOTLINE" IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT REGULATIONS, AND OTHER APPLICABLE STANDARDS. CONTRACTOR IS RESPONSIBLE TO DETERMINE WHICH ORDINANCES/CODES/RULES/ETC. ARE APPLICABLE.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, JSD, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- ALL FIELD/RAIN TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE IMMEDIATELY REPORTED TO ENGINEER/OWNER. TILES ORIGINATING OUTSIDE THE PROJECT LIMITS SHALL BE RECONNECTED OR REROUTED TO MAINTAIN DRAINAGE. ENGINEER/OWNER SHALL DETERMINE THE MOST FAVORABLE METHOD OF RE-ESTABLISHMENT OF OFFSITE DRAINAGE. IF TILE IS ENCOUNTERED DURING TRENCH EXCAVATIONS, RE-ESTABLISHING TILE FUNCTIONALITY SHALL BE CONSIDERED AN INCIDENTAL EXPENSE.
- LIGHT POLE REMOVAL INCLUDES REMOVAL OF CONCRETE BASE. POLES WILL BE SALVAGED FOR REUSE AND INSTALLATION OF NEW FUTURES.

CONSTRUCTION SITE SEQUENCING

- INSTALL PERIMETER SILT FENCE, EXISTING INLET PROTECTION, AND TEMPORARY CONSTRUCTION ENTRANCE.
 - CONDUCT ROUGH GRADING EFFORTS.
 - INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
 - COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
 - PLACE TOPSOIL, AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
 - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

LEGEND

⊕	MANHOLE, TYPE UNKNOWN	⊕	WATER VALVE
⊕	SANITARY MANHOLE	⊕	FIRE HYDRANT
⊕	STORM MANHOLE	⊕	TELEPHONE PEDESTAL
⊕	CATCH BASIN ROUND	⊕	SIGN
⊕	CATCH BASIN SQUARE	⊕	ELECTRICAL PED/TRANSFORMER
⊕	METAL POST	⊕	GAS VALVE
⊕	BOLLARD	⊕	CONIFEROUS TREE
⊕	MAILBOX	⊕	DECIDUOUS TREE
CMP	CORRUGATED METAL PIPE	—W—	WATER MAIN
RCP	REINFORCED CONCRETE PIPE	—SAN—	SANITARY SEWER
PVC	POLYVINYL CHLORIDE (PIPE)	—S—	STORM SEWER
CP	CORRUGATED PLASTIC PIPE	—F—	FIBER OPTIC
⊕	POST INDICATOR VALVE	—T—	UNDERGROUND TELEPHONE
⊕	SIAMASE	—E—	UNDERGROUND ELECTRIC
⊕	OUTFALL PIPE	—G—	UNDERGROUND GAS
⊕	LIGHT POLE	—D—	OVERHEAD UTILITY
⊕	FLOOD LIGHT	—X—X—	FENCE LINE
⊕	SPRINKLER CONTROL VALVE		

SHEET INDEX

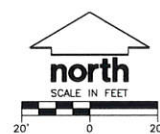
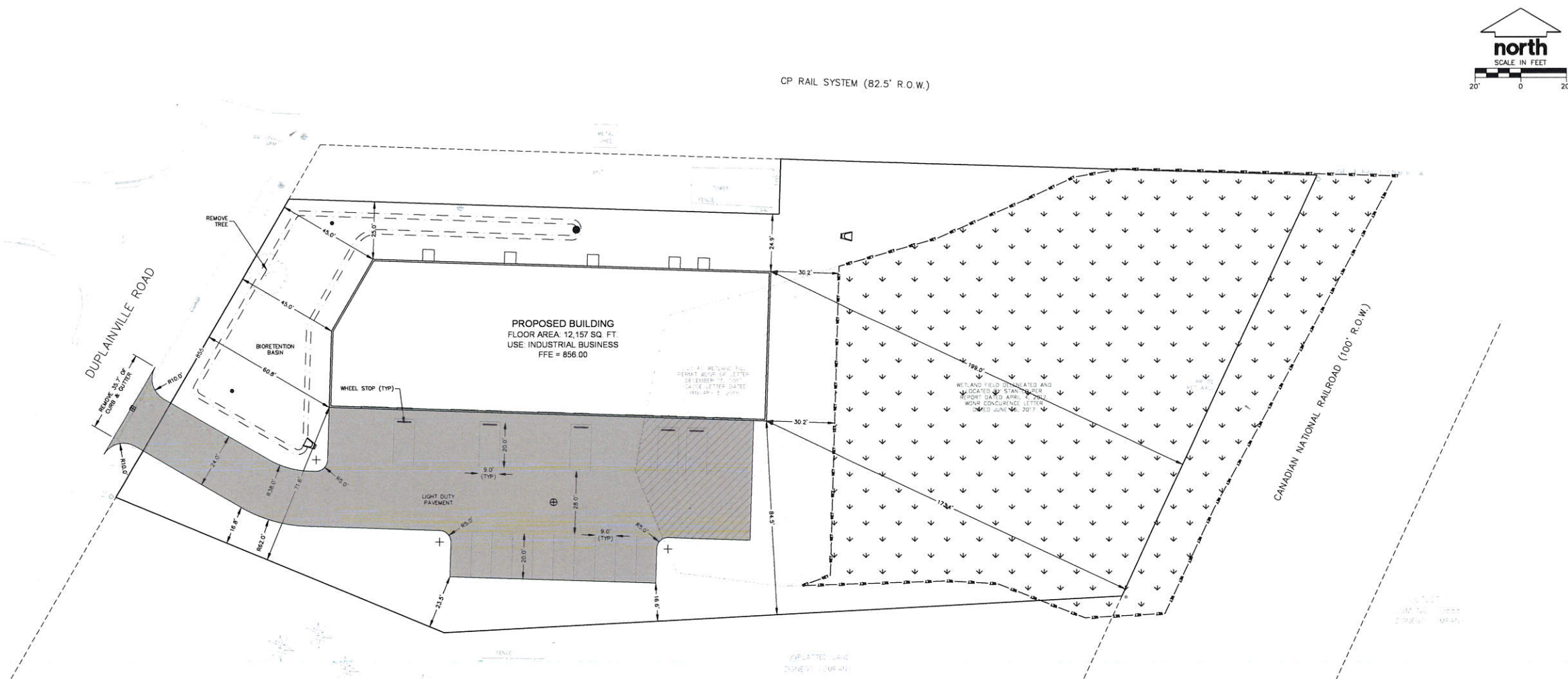
C1.0	EXISTING SITE PLAN
C2.0	SITE PLAN
C3.0	SITE GRADING AND EROSION CONTROL PLAN
C4.0	SITE UTILITY PLAN
C5.0	SITE DETAILS

TROUT PROPERTY
INDUSTRIAL DEVELOPMENT
CITY OF PEWAUKEE
WAUKESHA COUNTY, WISCONSIN

REVISION # 1:09/12/18 CITY COMMENTS

JOB: 3087
DRAWN: IRN
CHECKED: RWM
DATE: 6/25/18
SHEET:

C1.0



BRIORN
DESIGN GROUP
3800 W. BROADFIELD ROAD, SUITE 200
WILKESHA, WISCONSIN 53192
(262) 790-2200 PHONE
(262) 790-2205 FAX

SITE PLAN

SHEET TITLE

JSD Professional Services, Inc.
Engineers • Surveyors • Planners
MILWAUKEE REGIONAL OFFICE
1000 W. 10th STREET, SUITE 100
MILWAUKEE, WISCONSIN 53233
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262.228.1810
DIGGERS & DOTLINE
Call 877 or (800) 242-8571
Phone Area 262-228-1810
Fax 262-228-1810
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TROUT PROPERTY
INDUSTRIAL DEVELOPMENT
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C2.0

PRE-DEVELOPMENT (PROPERTY LIMIT)
PERVIOUS - 80,976 SF (100.0% GREEN SPACE)
IMPERVIOUS - NO IMPERVIOUS (WETLAND 38,071 SF)
POST-DEVELOPMENT (PROPERTY LIMIT)
PERVIOUS - 55,265 SF (48.3% OF PROPERTY) (WETLAND 28,140 SF) (20% WETLAND 5,268 SF)
"GREEN SPACE" = 55,265 - 28,140 + 5,268 = 32,393 SF = 40.0% OF PROPERTY
IMPERVIOUS - 25,711 SF (12,157 SF BUILDING)

PAVING NOTES

- ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE CITY OF PEWAUKEE ORDINANCES."
- CONCRETE PAVING SPECIFICATIONS - CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREINAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS. CRUSHED AGGREGATE BASE COURSE - THE BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS. CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD. SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS - CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREINAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C). GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION. CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS. CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD. BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS. SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS. ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS. SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

PAVEMENT STRIPING NOTES

- CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
- PROVIDE CONTRACTOR GRADE ACRYLIC STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. ALL STRIPING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
- DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
- LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
- PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
- APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES. (OR TO MFG SPECIFICATION)
- BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
- ALL HANDICAPPED ACCESSIBLE PARKING SHALL BE LOCATED PER 2009 IRC 1106.6

LEGEND

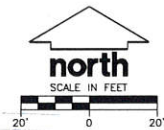
MANHOLE, TYPE UNKNOWN	WATER VALVE
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SIAMASE	UNDERGROUND ELECTRIC
OUTFALL PIPE	UNDERGROUND GAS
LIGHT POLE	OVERHEAD UTILITY
FLOOD LIGHT	FENCE LINE
SPRINKLER CONTROL VALVE	

PAVEMENT THICKNESS NOTE

ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION - CURRENT EDITION AND ADDENDUM, APPLICABLE CITY OF PEWAUKEE ORDINANCES."

MINIMUM PAVEMENT STRUCTURE

LIGHT DUTY ASPHALT PAVEMENT
2.5" ASPHALTIC CONCRETE
LOWER LAYER (1.5" BINDER, ALT 58.28 S)
UPPER LAYER (1.5" SURFACE, 5LT 58.28 S)
8" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LESTONE)
CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD
CONCRETE SIDEWALK AND STOODS
5" CONCRETE
8" CRUSHED AGGREGATE BASE COURSE
CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD



SITE GRADING &
EROSION CONTROL
PLAN

SHEET TITLE

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

1800 N. BRIDGEMAN ROAD, SUITE 200
WAUKESHA, WISCONSIN 53186
262.813.0888 PHONE | 262.813.1232 FAX
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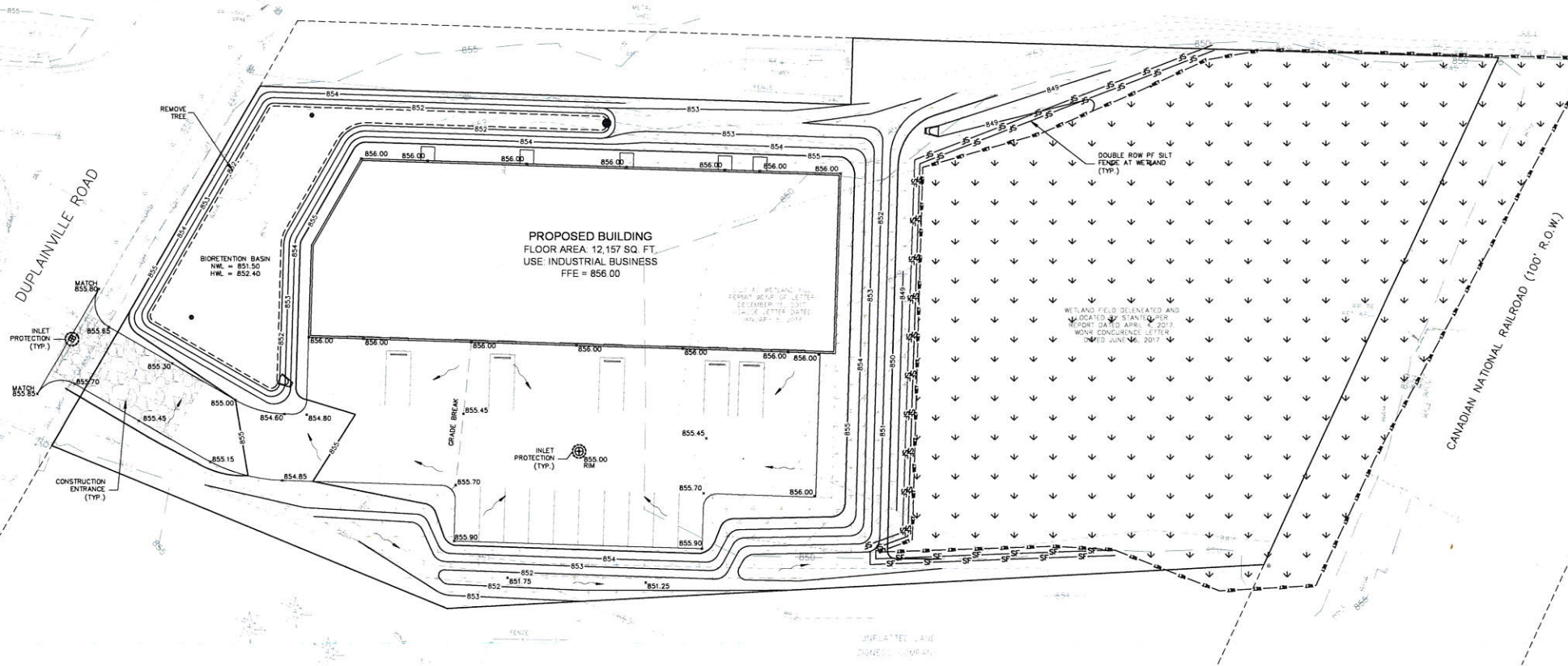
TROUT PROPERTY
INDUSTRIAL DEVELOPMENT
CITY OF PEWAUKEE
WAUKESHA COUNTY, WISCONSIN

REVISION #1: 09/12/18 CITY COMMENTS

JOB: 3087
DRAWN: IRN
CHECKED: RWI
DATE: 6/25/18
SHEET:

C3.0

CP RAIL SYSTEM (82.5' R.O.W.)



EROSION AND SEDIMENT CONTROL NOTES:

- ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN WISCONSIN'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS AND CITY OF PEWAUKEE ORDINANCE. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY JSD PROFESSIONAL SERVICES, INC. OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- MODIFICATIONS TO THE APPROVED EROSION CONTROL PLANS IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY JSD/MUNICIPALITY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATIONS WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
- PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEPED AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE GOVERNING AGENCIES.
- ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER. ALL INLETS, STRUCTURES, PIPES, AND SMOLES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
- AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
- EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER PRIOR TO THE COMPLETION OF EACH WORK DAY.
- MAINTAIN SOL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL, REMOVAL SHALL BE IMMEDIATELY STABILIZED.
- PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS.
- GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
- ALL DISTURBED SLOPES EXCEEDING 4:1 YET LESS THAN 3:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN STYSEN EROSION MATTING (OR APPROVED EQUAL) AND DISTURBED SLOPES EXCEEDING 3:1 YET LESS THAN 2:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOLID STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
- QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. INSPECTIONS AND REPORTING SHALL BE IN ACCORDANCE WITH SECTION 4.5 OF THE NOTES GENERAL PERMIT NO. W-5067831-5 AND CONSTRUCTION SITE INSPECTION REPORT FORM 3400-187. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.

20. THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN, UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

- SILT FENCE - REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
- CONSTRUCTION ENTRANCE - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.
- SLOPE CARE (STREAM, BALKS) - RE-SECURE STAKES, ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER, AND REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE BALE.
- EROSION CONTROL MATTING - REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FAILED CONDITIONS. REPAIR AND RE-GRADE SOIL WHERE CHANNELIZATION HAS OCCURRED.
- DIVERSION BERM/SWALE - REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.
- INLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE BAG BECOMES ONE-HALF FULL OF SEDIMENT.

ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

- CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARPULIN TO PREVENT BLOWING DEBRIS.
- DUST CONTROL SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:
 - A. COVERING SOIL OR WORK OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
 - B. ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.
 - C. FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
 - D. PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.
- STREET SWEETING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.

GRADING NOTES

- CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO JSD PROFESSIONAL SERVICES, INC. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FRESH SURFACE GRADES UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
 - CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE JSD ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE. THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
 - THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
- GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
- THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
- IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
- WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CIRCUMSTANCES SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MORE RESTRICTIVE OF THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL, OR THE MAXIMUM COMPACTION LIFT DEPTH.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
- THE SITE SHALL BE COMPLETED TO WITHIN ± 0.10 -FT (± 1 %) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
- CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE WISDOT AND MUNICIPAL OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
- CONTRACTOR SHALL COMPLY WITH ALL CITY AND/OR STATE CONSTRUCTION STANDARDS/ORDINANCES.

LEGEND

MANHOLE, TYPE UNKNOWN	WATER VALVE
SANITARY MANHOLE	FIRE HYDRANT
STORM MANHOLE	TELEPHONE PEDESTAL
CATCH BASIN ROUND	SIGN
CATCH BASIN SQUARE	ELECTRICAL PED/TRANSFORMER
METAL POST	GAS VALVE
BOLLARD	CONIFEROUS TREE
MAILBOX	DECIDUOUS TREE
CORRUGATED METAL PIPE	WATER MAIN
REINFORCED CONCRETE PIPE	SANITARY SEWER
POLYETHYLENE GLASS (PIPE)	STORM SEWER
CORRUGATED PLASTIC PIPE	FIBER OPTIC
POST INDICATOR VALVE	UNDERGROUND TELEPHONE
SIAMASE	UNDERGROUND ELECTRIC
OUTFALL PIPE	UNDERGROUND GAS
LIGHT POLE	OVERHEAD UTILITY
FLOOD LIGHT	FENCE LINE
SPRINKLER CONTROL VALVE	
PROPOSED INLET PROTECTION	
CONSTRUCTION ENTRANCE	
EROSION MAT	
	PROPOSED SILT FENCE



JSD Professional Services, Inc.
• Engineers • Surveyors • Planners

MILWAUKEE REGIONAL OFFICE
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262.513.0886 PHONE / 262.513.1232 FAX
www.jsdinc.com
JSD JOB NO.: 18-8550

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Hours: Monday 7:00 - 6:00 PM
www.DiggerAlert.com

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 INDUSTRIAL DEVELOPMENT
 CITY OF PEWAUKEE
 WAUKESHA COUNTY, WISCONSIN

REVISION #1: 09/12/18 CITY COMMENTS





















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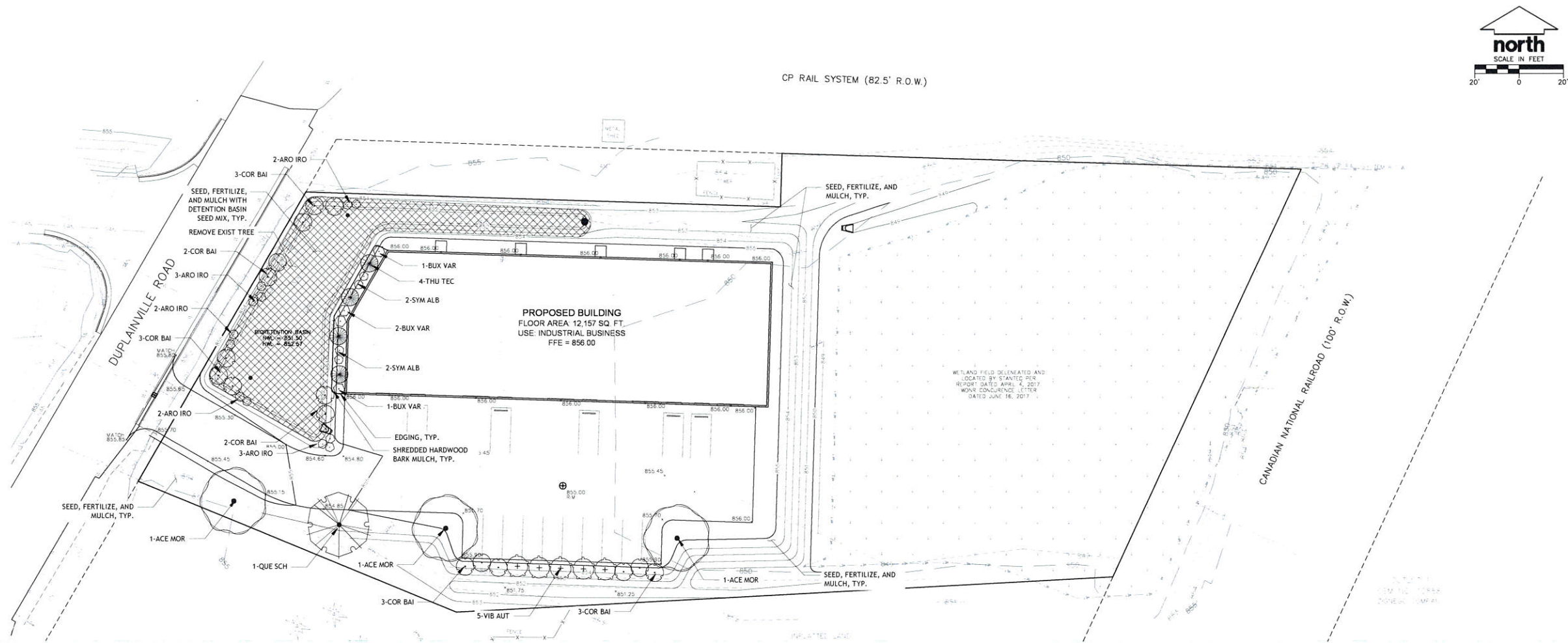
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- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHOULD BE REPORTED IMMEDIATELY TO THE DESIGNER. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL THE UTILITY LOCATOR SERVICE PRIOR TO EXCAVATION.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. ADDITIONALLY, CONTRACTOR SHALL COMPLY WITH ALL CITY ORDINANCES AND SPECIFICATIONS IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO MAINTAIN ALL CONSTRUCTION RECORDS THROUGHOUT THE PROJECT.
- UTILITY STRUCTURE AND SPECIFICATIONS SHALL COMPLY WITH THE CITY OF PRAIRIE DU SAC, MINNESOTA AND WISCONSIN DEPARTMENT OF SAFETY AND HIGHWAYS.
- TRACER WIRES SHALL BE INSTALLED AS NECESSARY IN ACCORD WITH 182.071(2)(2) OF THE STATE STATUTES AND VILLAGE OF PRAIRIE DU SAC REQUIREMENTS.
- LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR CENTERLINE OF AREAS. LENGTHS FROM MANHOLE TO MANHOLE OR FROM CONVEYANCE ONLY, CONTRACTOR IS SOLELY RESPONSIBLE FOR MEASUREMENTS OF MATERIALS USED. COMPLETE WORK LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADE SURFACE AREAS PRIOR TO GRADING COMMENCEMENT.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSLINGS FOR CONFLICTS PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FROM THE VILLAGE OF PRAIRIE DU SAC AND WISDOT PRIOR TO ANY EXCAVATION IN THE ROAD RIGHT-OF-WAY IF NOT COVERED BY DISTRICT PLANS.
- SURRY BACKFILL IS REQUIRED IN THE ROAD RIGHT-OF-WAY
10. STORM SEWER SPECIFICATIONS -
- PIPE - HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE OR EQUIVALENT SHALL BE MANUFACTURED TO THE STANDARDS SET FORTH IN THIS SECTION. JOINTS AND SHALL MEET THE REQUIREMENTS OF ASTM DESIGNATION M-294 TYPE "B" OR POLYVINYL CHLORIDE (PVC) - CLASS PS46 MEETING ASTM D2776.
- INLETS/CATCH BASINS - INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A MINIMUM OF 2' X 2' BASE. NAME SHALL BE "STORM SEWER". INLET SHALL BE R-2501, WITH TYPE G OR GRATE, OR THE SLUMP TYPE VERTICAL DRAINAGE FROM THE BASE OF THE STRUCTURE TO OUTFALL INVERT OF THE "STORM SEWER".
- GRAVEL BACKFILL AND BEDDING STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. IN UNPAVED AREAS, BACKFILL SHALL BE CLASS "A" BEDDING AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH TOPSOIL IN ACCORDANCE WITH SECTION 4.4.3.5 OF THE "STANDARD SPECIFICATIONS".
- MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF-SEALING LIDS, NON-RUCKING OR EQUAL.
- FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. MATERIALS EXPOSED IN A TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
11. WATER MAIN SPECIFICATIONS -
- PIPE - WATER MAIN SHALL BE POLYETHYLENE (PE) PIPE TUBING, MEETING REQUIREMENTS OF ASTM D-2737 30R, 9 ANWA STANDARD C-801, 200 PSI PRESSURE RATING.
 - TAPPING SADZLES, CORP STOP, CURB STOPS AND CURB STOP BOXES SHALL MEET THE APPROVED MATERIAL SPECIFICATIONS LIST OF THE VILLAGE UTILITIES DEPARTMENT. ALL TAPPING SHALL BE INSPECTED BY THE VILLAGE UTILITIES DEPT. PRIOR TO INSTALLATION.
 - 10-GAU GE TRACER WIRE SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF ALL PRIVATE WATER MAINS. HYDRANT LINES, FIRE DEPARTMENT CONNECTIONS, AND FIRE HYDRANTS SHALL BE EXTENDED TO THE END OF THE SURFACE AT THE BUILDING WALLS AND ALL OTHER SYSTEM LIMITS AND BOUNDARIES.
 - BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE CRUSH, SAND, GRADEDSTONE CHIPS, OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 4.4.3.2 OF THE "STANDARD SPECIFICATIONS".
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 4.4.3.5 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. IN UNPAVED AREAS, BACKFILL SHALL BE CLASS "A" BEDDING. FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH TOPSOIL IN ACCORDANCE WITH SECTION 4.4.3.5 OF THE "STANDARD SPECIFICATIONS".
12. SANITARY SEWER SPECIFICATIONS -
- PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTERNAL BELT TYPE JOINTS AND SHALL MEET THE REQUIREMENTS OF ASTM D 3034 AND D 3012.
 - BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS THAT REQUIRED FOR THE "STANDARD SPECIFICATIONS".
 - GRAVEL BACKFILL AND BEDDING - GRAVEL BACKFILL SHALL BE USED FOR ALL BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS OR AS REQUIRED TO COMPACT TO THE DESIRED DENSITY. GRAVEL MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE PERIMETER OF THE STRUCTURE TO OUTFALL INVERT OF THE "STORM SEWER". WORK BEYOND THE HUNCH OF THE PIPE TO PROVIDE ADEQUATE SOIL SUPPORT.
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 4.4.3.5 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. IN UNPAVED AREAS, BACKFILL SHALL BE CLASS "A" BEDDING. FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH TOPSOIL IN ACCORDANCE WITH SECTION 4.4.3.5 OF THE "STANDARD SPECIFICATIONS".
 - MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13, AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL REQUIREMENTS SET FORTH BY ADAPTOR, INC.
 - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1580 WITH TYPE "B" SELF-SEALING LIDS, NON-RUCKING OR EQUAL.
 - THE 48" SANITARY SAMPLING MANHOLES ARE TO MEET THE REQUIREMENTS OF FILE NO. 23 OF THE WISCONSIN STANDARD SPECIFICATIONS AND SHALL HAVE THE FOLLOWING MODIFICATION:
13. WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 8 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 INSULATION" OF THE "STANDARD SPECIFICATIONS" WITH THE FOLLOWING MODIFICATION: "FOR ALL TYPES OF INSULATION, THE INSULATION SHALL BE APPLIED TO THE EXTERIOR SURFACE OF THE PIPE." THE INSULATION SHALL BE INSTALLED UPON ITS LASTEST ADDENDUM (TPV).
14. TRACER WIRE SHALL BE INSTALLED ALONG THE SANITARY SEWER SERVICE, THE WATER MAIN SERVICE, AND FIRE DEPARTMENT CONNECTIONS. THE TRACER WIRE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED

LEGEND

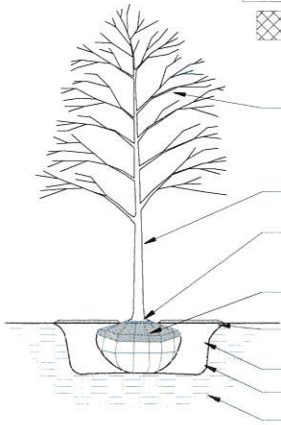
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|---------------------------|---|----------------------------|
| MANHOLE, TYPE UNKNOWN |  | WATER VALVE |
| SANITARY MANHOLE |  | FIRE HYDRANT |
| STORM MANHOLE |  | TELEPHONE PEDESTAL |
| CATCH BASIN ROUND |  | SIGN |
| CATCH BASIN SQUARE |  | ELECTRICAL PED/TRANSFORMER |
| METAL POST |  | GAS VALVE |
| BOLLARD |  | CONFEROUS TREE |
| MAILBOX |  | DECIDUOUS TREE |
| CORRUGATED METAL PIPE |  | |
| REINFORCED CONCRETE PIPE |  | WATER MAIN |
| POLYVINYL CHLORIDE (PIPE) |  | SANITARY SEWER |
| CORRUGATED PLASTIC PIPE |  | STORM SEWER |
| POST INDICATOR VALVE |  | FIBER OPTIC |
| SIAMSE |  | UNDERGROUND TELEPHONE |
| OUTFALL PIPE |  | UNDERGROUND ELECTRIC |
| LIGHT POLE |  | UNDERGROUND GAS |
| FLOOD LIGHT |  | OVERHEAD UTILITY |
| SPRINKLER CONTROL VALVE |  | FENCE LINE |
| PROPOSED STORM MANHOLE |  | PROPOSED STORM SEWER |
| PROPOSED CATCH BASIN |  | PROPOSED DRAINILE |



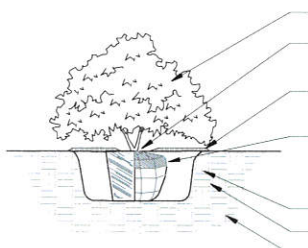
PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT	SP	QTY
	ACE MOR	Acer saccharum 'Morton'	Crescendo Maple	B & B	2.5" Min. Cal.	45'	40'	3
	QUE SCH	Quercus x schuetti	Swamp Bur Oak	B & B	2" Min. Cal.	75'	70'	1
	THU TEC	Thuja occidentalis 'Techny'	Techny Arborvitae	B & B	6 ft. Tall Min.	15'	10'	4
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT	SP	QTY
	ARO IRO	Aronia melanocarpa 'Tropiques Beauty' TM	Black Chokeberry	3 gal	CONT	3'	4'	12
	BUX VAR	Buxus sempervirens 'Vardar Valley'	Vardar Valley Boxwood	3 gal	CONT	3'	5'	4
	COR BAI	Cornus sericea var. 'Bailey'	Bailey Red Osier Dogwood	3 gal	CONT	10'	8'	16
	SYM ALB	Symphoricarpos albus	Common White Snowberry	3 gal	CONT	5'	5'	4
	VIB AUT	Viburnum dentatum 'Autumn Jazz'	Southern Arrowwood	3 gal	CONT	8'	10'	5

DETENTION BASIN SEED MIX 'INFILTRATION SWALE MIX' BY AGRECOL OR EQUIVALENT.



01 TREE PLANTING DETAIL
NOT TO SCALE



02 SHRUB PLANTING DETAIL
NOT TO SCALE

GENERAL

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACTIVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- TOP OF MULCH SHALL BE 1" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH IRAN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- THE LANDSCAPE SHALL BE MAINTAINED IN A MANNER COMMON TO THE PRACTICE, INCLUDING MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, TRASH REMOVAL, AND OTHER SUCH ACTIVITIES.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING FOR 60 DAYS, OR UNTIL FINAL ACCEPTANCE BY THE OWNER. AN ON-SITE INSPECTION BY THE OWNER'S AGENT WILL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- DURING WORK, PRUNES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS THE WORK PROGRESSES. KEEP FINISHED AREAS CLEAN BY SWEEPING OR HOSEING THEM AT THE END OF EACH WORK DAY.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER FINAL ACCEPTANCE BY THE OWNER'S AGENT. PLANTS SHALL BE IN HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ALL PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE AT NO COST TO OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT.
- THE OWNER SHALL BE RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AS NECESSARY FOLLOWING THE 60 DAY CONTRACTOR MAINTENANCE PERIOD.

QUALITY ASSURANCE

- LANDSCAPE CONTRACTOR SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPING MATERIALS AND WORK.
- SELECTION OF PLANT MATERIAL: MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.
- SUBSTITUTIONS: DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO LANDSCAPE ARCHITECT, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. WRITTEN VERIFICATION MUST BE REQUIRED DOCUMENTING MATERIAL SELECTION, SOURCE AND DELIVERY SCHEDULE TO SITE.
- MEASUREMENTS: TAKE CALIPER MEASUREMENTS OF TREES SIX INCHES ABOVE GROUND. MEASURE MAIN BODY OF ALL PLANT MATERIAL FOR HEIGHT AND SPREAD DIMENSIONS, NOT FROM TIP TO TIP.
- LANDSCAPE ARCHITECT SHALL INSPECT ALL PLANT MATERIAL WITH RESPECT TO GENUS, SPECIES, CULTIVAR/VARIETY, SIZE AND QUALITY, INCLUDING SIZE AND CONDITION OF ROOT SYSTEMS, LIMBS, BRANCHING HABIT, INSECTS, INJURIES, OR OTHER LATENT DEFECTS UPON ARRIVAL TO SITE OR DURING INSTALLATION.
- LANDSCAPE ARCHITECT MAY REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING THE WORK PROCESS. REMOVE REJECTED MATERIALS FROM SITE AND REPLACE WITH ACCEPTABLE MATERIAL AT NO ADDITIONAL COST TO THE OWNER. PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.

PRODUCT DELIVERY, STORAGE AND HANDLING

- DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON THE JOB SITE.
- PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS OR DESICCATION OF LEAVES. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT. PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NO PLANTED WITHIN 24 HOURS OF DELIVERY.
- TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMBS, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.
- DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS.

MATERIALS

PLANTS

- ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1, MOST RECENT EDITION.
- PLANTS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN, AND SHALL BE HEALTHY, SYMMETRICAL, WELL-SHAPED, FULL BRANCHED AND FREE OF DISEASE AND INSECTS.
- ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH, OR ARE IN ANY UNHEALTHY, BADLY SHAPED, OR UNDERSEED CONDITION WILL BE REJECTED BY THE LANDSCAPE ARCHITECT EITHER BEFORE OR AFTER PLANTING AND SHALL BE REPLACED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE PLANT AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS.
- PLANTS SHALL BE FRESHLY DUG FROM DURING THE MOST RECENT APPROPRIATE HARVEST SEASON.
- PRUNING SHALL BE LIMITED TO DEAD BRANCHES, LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS ANSI A300.

SOILS

- PLANTING SOIL AND TOPSOIL TO BE A CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 1" IN DIAMETER, AND FREE FROM TOWNS AND WEEDS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 5.5 AND 7. ORGANIC MATERIAL SHALL BE 2.0-5.0% OF TOTAL DRY WEIGHT. SOLUBLE SALT LEVELS SHALL BE LESS THAN 2 mmol/L. PLANTING SOIL AND TOPSOIL SHALL BE TESTED AND APPROVED TO MEET THESE SPECIFICATIONS.
- COMPOST SHALL BE COMMERCIAL PREPARED COMPOST AND MEET US COMPOST COUNCIL STANDARD CRITERIA AND SHALL CONSIST OF PLANT-BASED MATERIALS, COMPOSTED FOR A MINIMUM OF 9 MONTHS AT TEMPERATURES SUFFICIENT TO BREAK DOWN ALL WOODY FIBERS, SEEDS, AND LEAF STRUCTURES.
- ALL PLANTING AREAS SHALL BE PREPARED BY TILLING EXISTING SOIL TO A DEPTH OF SIX (6) INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD THREE (3) INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6) INCHES OF THE TOPSOIL.
- BACKFILL FOR TREE PITS SHALL CONSIST OF EXISTING TOPSOIL ON SITE (OR IMPORTED AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, SUBSOILS, ETC., PLACED IN NINE (9) LAYERS AND WATERED IN THOROUGHLY.

OTHER MATERIALS

- SHREDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED-FREE SHREDED HARDWOOD BARK MULCH SPREAD TO A DEPTH OF THREE (3) INCHES OVER ALL PLANTING AREAS. SHREDED HARDWOOD BARK MULCH, SIZE AND COLOR TO BE APPROVED BY OWNER'S AGENT PRIOR TO INSTALLATION. MULCHED AREAS SHALL NOT RECEIVE A WORKED WEED BARRIER FABRIC.
- EDGING: EDGING SHALL BE 3" DEEP, POLYETHYLENE EDGING, TO BE APPROVED BY OWNER'S AGENT.
- LAWN SEED: DISTURBED LAWN AREAS LABELED AS SUCH ON PLAN, SHALL BE SPREAD BY HAND BROADCAST METHOD OR APPROPRIATE SPREADER EQUIPMENT WITH MADISON PARKS OR EQUIVALENT SEED MIX AS APPROVED BY OWNER'S AGENT, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS WITH SLOPES EXCEEDING 3:1 AT A RATE OF 1 1/2 POUNDS PER 1000 SQUARE FEET. FERTILIZE AND MOW PER MANUFACTURER'S RECOMMENDATIONS.
- DETENTION BASIN SEED MIX: ALL AREAS SPECIFIED ON PLAN AS SUCH, SHALL BE SPREAD BY HAND BROADCAST METHOD OR APPROPRIATE SPREADER EQUIPMENT WITH 'INFILTRATION SWALE MIX' BY AGRECOL, OR EQUIVALENT SEED MIX AS APPROVED BY OWNER'S AGENT, AT A RATE OF 9 PLS LBS PER ACRE. IN ADDITION TO SEED MIX, ANNUAL RYE SHALL BE APPLIED TO ALL AREAS AT A RATE OF 1 1/2 POUNDS PER 1000 SQUARE FEET. FERTILIZE AND MOW PER MANUFACTURER'S RECOMMENDATIONS.

INSTALLATION

- PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING.
- EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO THE ROOT BALLS, AND SHALL BE PLACED AT THE SAME DEPTH RELATIVE TO FINISH GRADE AS IT DID TO THE SOIL SURFACE IN THE ORIGINAL PLACE OF GROWTH.
- SHRUB AND TREE PITS SHALL BE NO LESS THAN TWO TIMES WIDER THAN THE LATERAL DIMENSIONS OF THE EARTH BALL AND NO DEEPER THAN ITS VERTICAL DIMENSION. THE SIDES OF THE HOLE SHALL BE SMOOTH AND JAGGED, NEVER SLOPED OR GLAZED, ROUGH UP WITH SHOVEL IF NEEDED.
- BACKFILL HOLE WITH 5 PARTS EXISTING SOIL AND 1 PART PLANT BED PREPARATION SOIL. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP, NYLON, STRING, AND WIRE OF SPECIFIED MULCH OVER THE PLANTING PIT.
- DO NOT WRAP TREES. STAKE TREES AND LARGE SHRUBS ONLY AS SITE CONDITIONS REQUIRE.
- TURFGRASS SOO SHALL BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 24 HOURS. ENSURE EDGES OF SOO ARE STAGGERED AND TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL HOLES. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOO STAYS ALIVE AND ROOTS INTO THE SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOO UNTIL TIME OF ACCEPTANCE BY OWNER. THE SOO SUPPLIER MAY MAKE RECOMMENDATIONS REGARDING THE WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER THE SOO IS INSTALLED.



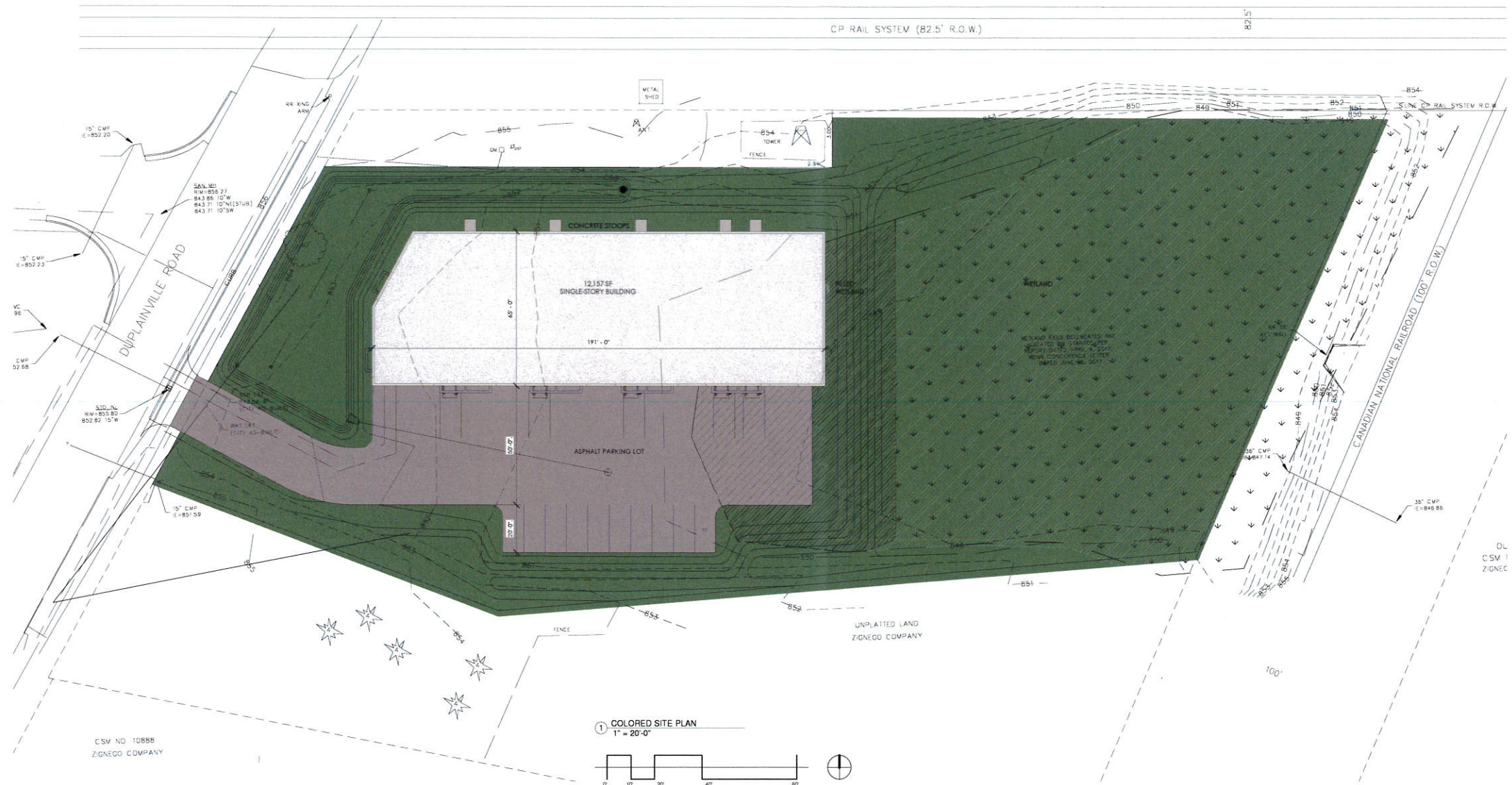
COLORED SITE PLAN

TROUDT PROPERTY
 PEWAUKEE, WI

REVISION 1 - 09/12/2018

JOB: 3087
 DRAWN: CEW
 CHECKED: DF
 DATE: 06/04/18
 SHEET:

.A1.0



1 COLORED SITE PLAN
 1" = 20'-0"

PRE-DEVELOPMENT (PROPERTY LIMIT)
 PERVIOUS - 80,976 SF (100.0% GREEN SPACE)
 IMPERVIOUS - NO IMPERVIOUS
 (WETLAND 38,071 SF)

POST-DEVELOPMENT (PROPERTY LIMIT)
 PERVIOUS - 55,245 SF (48.3% OF PROPERTY)
 (WETLAND 28,140 SF)
 (20% WETLAND 5,268 SF)
 'GREEN SPACE' = 55,245 - 28,140 + 5,268
 = 32,373 SF
 = 40.0% OF PROPERTY

IMPERVIOUS - 25,711 SF
 (12,157 SF BUILDING)

FLOOR PLAN

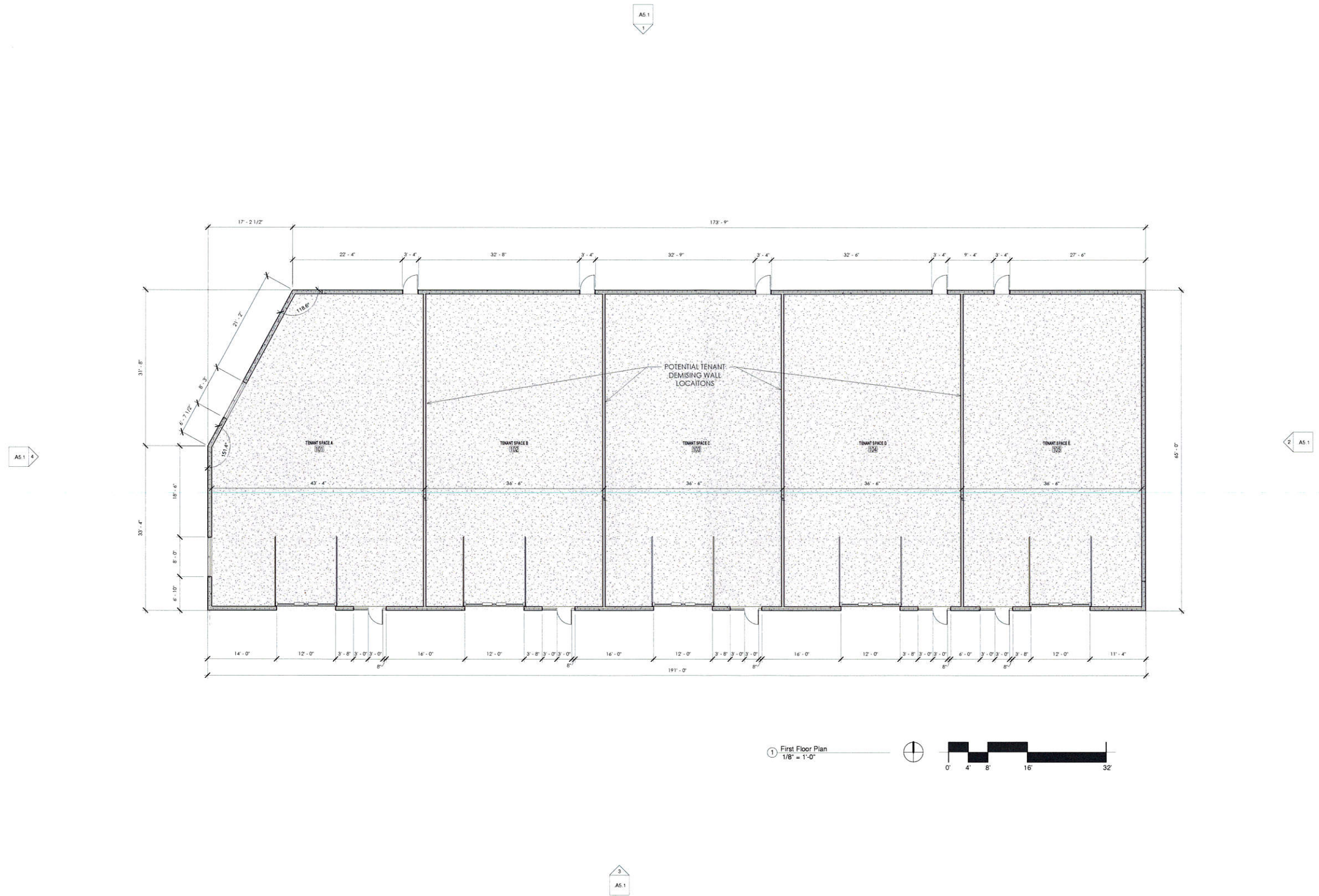
SHEET TITLE

TROUDT PROPERTY
 PEWAUKEE, WI

REVISION 1 - 09-12-2018

JOB: 3087
 DRAWN: CEW
 CHECKED: DF
 DATE: 06/25/18
 SHEET:

.A1.1



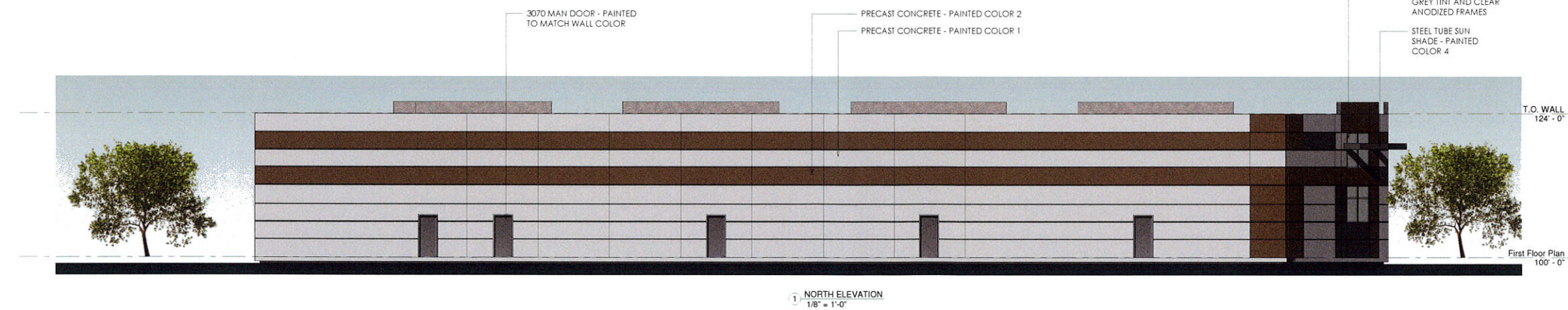
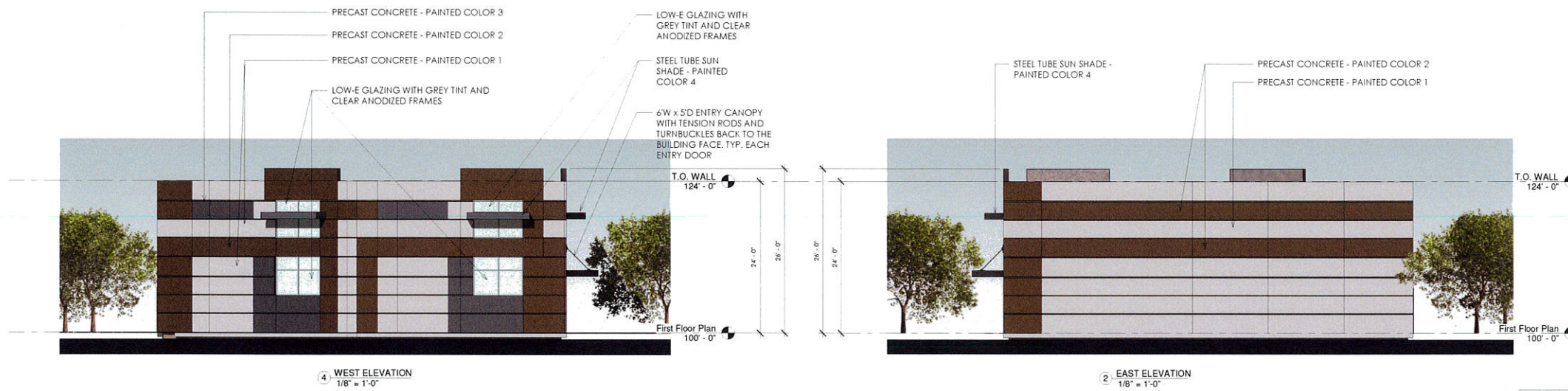
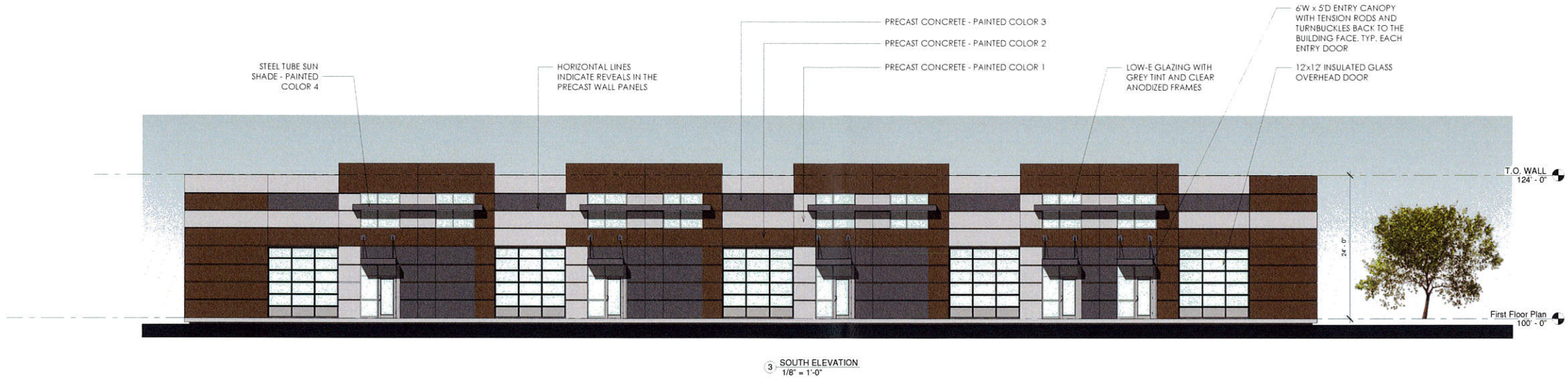
EXTERIOR ELEVATIONS

TROUDT PROPERTY
 PEWAUKEE, WI

REVISION 1: 06-12-2018

JOB: 3087
 DRAWN: CEW
 CHECKED: DF
 DATE: 06-29-18
 SHEET:

.A5.1



EXTERIOR PERSPECTIVE

SHEET TITLE

TROUDT PROPERTY

PEWAUKEE, WI

REVISION 1 - 07-12-2018

JOB: 3087
DRAWN: CEW
CHECKED: DF
DATE: 06/26/18
SHEET:

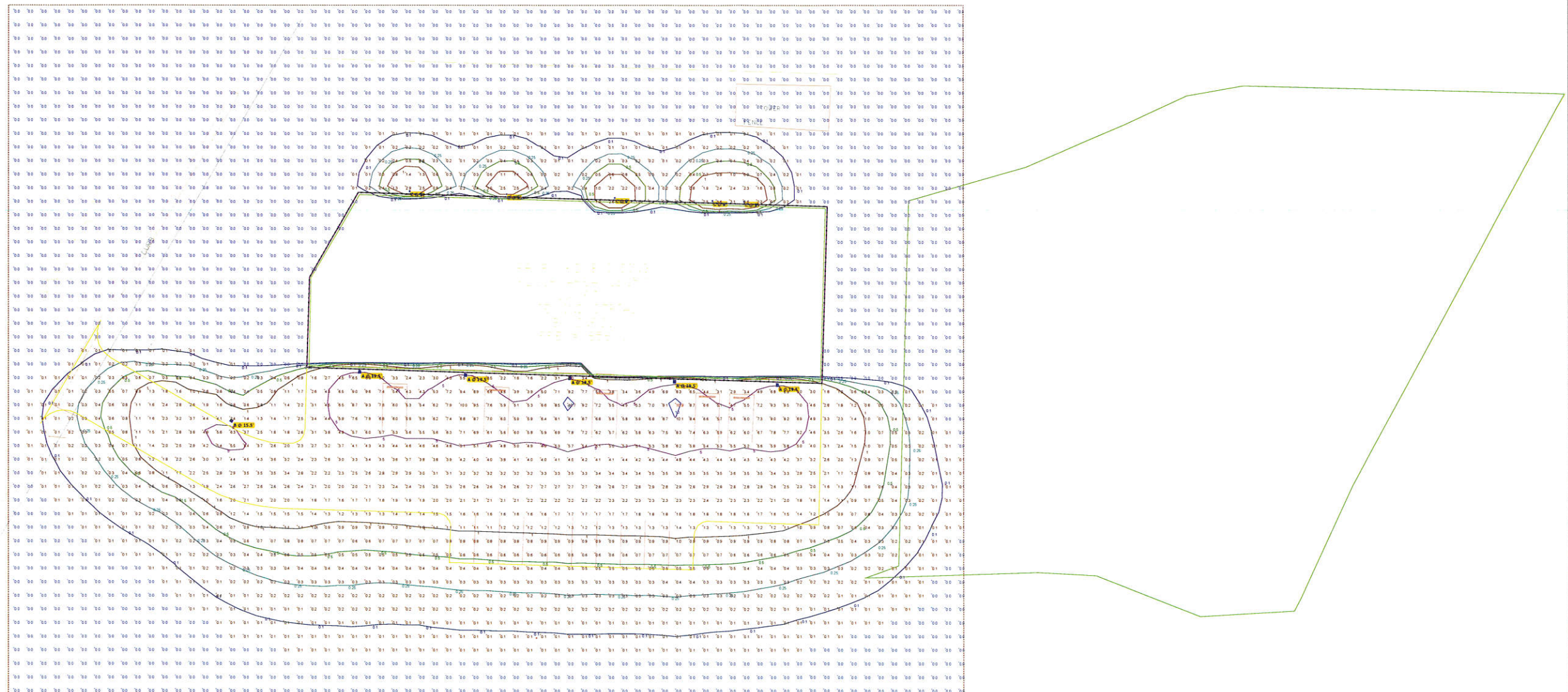
.A5.2



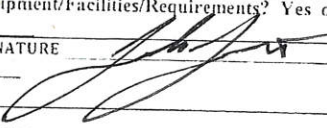
EXTERIOR PERSP. LOOKING
NORTHEAST

Luminaire Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number	File Name	Lumens Per Lamp
	A	5	RAB LIGHTING, INC.	ALIEDT105 / RWLED105P Building mounted at 15 ft	CAST FINISHED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST GRAY PAINTED METAL LENS FRAME.	SIX WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDs), 2 LEDs TILTED 54-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 18-DEGREES FROM STRAIGHT AHEAD, 2 LEDs TILTED 57-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 16-DEGREES FROM STRAIGHT AHEAD, 2 LEDs TILTED 57-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 22-DEGREES FROM STRAIGHT AHEAD.	6	RAB Lighting Type IV LED 105.wt	1729.332
	B	1	RAB LIGHTING, INC.	ALIEDT750P / RWLED750P Building mounted at 8 ft	CAST FINISHED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST WHITE PAINTED METAL LENS FRAME.	SIX WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDs), 2 LEDs TILTED 43-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 75-DEGREES FROM STRAIGHT AHEAD, 2 LEDs TILTED 47-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 48-DEGREES FROM STRAIGHT AHEAD, 2 LEDs TILTED 56-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 40-DEGREES FROM STRAIGHT AHEAD.	6	RAB 50w LED Type IV LED	1142.542
	C	5	RAB LIGHTING, INC.	WPLED10 / WPLED10S / ALIED10 / ELED10 Building mounted at 9 ft	CAST METAL HOUSING, ONE CIRCUIT BOARD WITH ONE LED CHIP, FORMED SPECULAR METAL REFLECTOR, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL LENS FRAME.	ONE CHIP WITH A 3x3 ARRAY OF WHITE LIGHT EMITTING DIODES (LEDs) AND A CLEAR HEMISPHERICAL INTEGRAL LENS, TILTED 5-DEGREES FROM VERTICAL BASE-UP POSITION.	1	RAB 10w LED Wallpack.wt	674.3708

Statistics									
Symbol	Area	Max	Min	Max/Min	Avg/Min	Avg/Max	Area/Max	Area/Min	Area/Avg
Calc Zone #1	0.81c	10.91c	0.01c	N/A	N/A	N/A	0.11		



Trout Development
Pewaukee, WI

W240 N3065 Pewaukee Rd Pewaukee, WI 53072 Building Services Office - 262-691-9107 City Hall Main Office - 262-691-0770 Fax - 262-691-1798		BUSINESS PLAN OF OPERATION APPLICATION CITY OF PEWAUKEE		Permit No. Parcel/Tax Key No.	
NAME OF PROPOSED BUSINESS: N.I.T. BUILDING				SUITE#:	
SITE ADDRESS: DUPLAINVILLE ROAD PEWAUKEE WI 53186				City State Zip	
Business Operator's Name (Please Print) ***IF SOLE PROPRIETOR-PLEASE SEE page 2 of 4 pages***		Mailing Address W226 N3014 DUPLAINVILLE ROAD PEWAUKEE WI 53186		Phone# 262-746-1010	
		Email Address		FEIN#	
Tenant's Name: (Please Print) SAME AS ABOVE		Mailing Address P.O. Box 470 PEWAUKEE WI 53072		Phone#	
		Email Address		FEIN#	
DESCRIPTION OF BUSINESS OPERATION: WAREHOUSE STORAGE					
TYPE of BUSINESS: Please Check the appropriate Box for type: <input type="checkbox"/> Retail <input type="checkbox"/> Wholesale <input type="checkbox"/> Office <input type="checkbox"/> Institutional <input checked="" type="checkbox"/> Warehouse Storage <input type="checkbox"/> Other? _____ <input checked="" type="checkbox"/> Industrial				Description	
NEW USE?: <input checked="" type="radio"/> Yes or No? or		EXPANSION OF EXISTING USE?: Yes or <input checked="" type="radio"/> No or OTHER?			
HOURS of OPERATION: From: 7:00 AM to 5:00		DAYS of OPERATION: MONDAY THRU Friday			
MAXIMUM NUMBER OF EMPLOYEES:		How many Full Time? 1		CURRENT ZONING:	
		How many Part Time? 1			
Expected Customers per day: 1 to 2		Number of Trucks per day: 4			
		Number of Autos per day: 6			
PARKING Available Parking/Parking Lot Spaces # _____ Loading Spaces # _____ Is there Overnight Parking? Yes or <input checked="" type="radio"/> No Where? _____		STORAGE Any Outside Storage? Yes or <input checked="" type="radio"/> No Please list type of Storage? _____			
SEWAGE DISPOSAL BY: Public Sewer <input checked="" type="checkbox"/> Septic Tank _____ Holding Tank _____ Storm Water Retention Detention: Yes? or No?		WATER SUPPLY BY: Public Water Main <input checked="" type="checkbox"/> Private Well _____ Other _____		SOLID WASTE (trash) DISPOSAL BY: Contract: _____ Self: _____ Any flammable substances? Yes or <input checked="" type="radio"/> No If Yes, where Stored? _____	
Any Special Equipment/Facilities/Requirements? Yes or <input checked="" type="radio"/> No What?					
APPLICANT'S SIGNATURE 		APPLICANT'S PRINTED NAME _____		DATE SIGNED _____	
PROPERTY OWNER'S SIGNATURE _____		PROPERTY OWNER'S PRINTED NAME _____		DATE SIGNED _____	
APPROVAL CONDITIONS Applicant is responsible to obtain any licenses, permits, certificates or other documents from other agencies of City Departments. For example: Cigarette and Alcoholic Beverage Licenses must be obtained from the City Clerk and Building Permits from the Building Inspector. Also, Occupancy of the premises requires approval of this application.					
For City Staff ONLY Submitted for Review on: _____ Date: _____ Approval by Zoning Administrator: _____ Date: _____ Approval by City Planner: _____ Date: _____ SPECIAL REQUIREMENTS COMMENTS: _____					



Wrayburn Consulting, LLC

info@wrayburnconsulting.com

13500 Watertown Plank Road, Suite 100
Elm Grove, WI 53122
262-893-3903

Date: September 12, 2018
To: City of Pewaukee Plan Commission
Scott Klein, City Administrator
From: Nick Fuchs, Wrayburn Consulting, LLC
RE: Troutd/Surf Prep Building

Project Description

The applicant filed a Business Plan of Operation Application requesting approval of a building and associated parking, landscaping, lighting, etc. for two vacant parcels of land located on the east side of Duplainville Road at Marjean Lane, bearing Tax Key Nos. 0914992 and 0914993.

The subject properties are both zoned M-2 Limited Industrial District. The 2050 Future Land Use designation is Manufacturing / Fabrication / Warehousing. The building is anticipated to be utilized by Surf Prep, Inc. There will also be an additional space for a future tenant.

Although a Business Plan of Operation was submitted, staff is continuing to review the proposed contractor/service use with storage and warehousing to determine if it is permitted in the M-2 District. The use may be more appropriately allowed within the B-3 or M-1 Districts. If it is determined that the property is not appropriately zoned for the subject use, the applicant will be required to file an application requesting to rezone the property to an appropriate district.

As illustrated on the Existing Site Plan (Sheet C1.0), a wetland is located on the east half of the property. The applicant has received Wisconsin Department of Natural Resources approval to fill approximately 0.23 acres of that wetland. Otherwise, no Southeastern Wisconsin Regional Planning Commission Corridor, floodplain or other protected natural resource exist onsite.

The properties are currently vacant and when combined are still less than the 2 acre minimum land area of the M-2 District. The combined parcel also does not meet the minimum 200-foot lot width at the building setback line requirement. However, Section 17.0803 allows lands that do not conform to minimum area to be built upon as long as all other requirements of the Zoning Ordinance are met. Furthermore, it should be noted that the combination of parcels would decrease the current nonconformity.

The proposed building is 12,157 square feet and has a peak height of 26-feet. The site has an area of about 80,976 square feet. The site plan consists of 25,711 square feet of impervious surface and 55,265 square feet of greenspace.

However, only 20% of the 28,140 square feet of wetland may count towards greenspace (or 5,268 square feet). Therefore, the resulting greenspace is 32,393 square feet or about 40% of the site.

Parking

The site plan includes 15 parking spaces. Parking spaces are proposed at 9' wide by 18' long (162 square feet). Section 17.0601a. of the Pewaukee Zoning Ordinance requires parking spaces to be a minimum of 180 square feet. Staff recommends that the site plan be revised to provide parking spaces that are a minimum of 9' wide and 20' in length (180 square feet).

Landscaping

The site plan includes 3 trees and 20 shrubs, primarily located along the south side of the driveway and parking lot and around the storm water pond.

Lighting

One light pole and 10 building mounted lights are proposed. The proposed lighting complies with height requirements of the City's Zoning Ordinance. A photometric plan was provided that demonstrates light levels at the property line will be zero footcandles.

Architecture

The applicant has discussed architectural changes with staff; however, revisions have not been submitted at the time of this report. Staff recommended that additional architectural features and/or articulation occur along the south and west elevations.

Recommendation

Staff recommends a motion recommending approval of the proposed building and site development plans for properties bearing Tax Key Nos. 0914992 and 0914993, subject to the applicant addressing all Department of Public Works comments outlined in the September 5, 2018 memorandum and addressing comments within the letter from Wrayburn Consulting dated September 1, 2018, to the satisfaction of the City Engineer and City Administrator.



Wrayburn Consulting, LLC

info@wrayburnconsulting.com

13500 Watertown Plank Road, Suite 100

Elm Grove, WI 53122

262-893-3903

Date: September 1, 2018
To: Scott Klein, City Administrator
From: Nick Fuchs, Wrayburn Consulting, LLC
RE: Troudt Property/Surf Prep Building & Site Design Review

Comments and Recommendations:

Below are comments and recommendations for the proposed building for properties owned by John D. Troudt, bearing Tax Key Nos. 0914992 and 0914993.

1. Staff recommends providing a narrative regarding the proposed use of the building, which will assist in determining its allowance within the M-2 District. Please also include details regarding the items that will be stored within the building? Are any hazardous materials or chemicals being stored onsite?
2. The Business Plan of Operation indicates 4 trucks per day. What size trucks are anticipated and where will loading and unloading occur?
3. A Certified Survey Map is required to combine the existing two parcels. See Section 18.0602 of the Land Division Ordinance.
4. Will the exterior site boundary or total size of the parcels change as a result of the Certified Survey Map (or is the exact future boundary shown on the site plan)?
5. Note that future tenants will require separate review and approval.
6. Do the doors on the north side of the building just go out to a stoop or patio area? Is a walkway paved around the sides and rear of the building?
7. Sheet A1.0 indicated the proposed building as "Phase 1." Is there a planned Phase 2 for the property?
8. Please label the setback from the wetland on the Site Plan. A minimum 25-foot setback is required.
9. Please label the nearest driveway setback to the south property line.
10. Please include more detailed site calculations on Sheet A1.0, such as the total site size (square feet and acres), wetland fill in square feet, and the actual percentages of greenspace and impervious surface proposed. Note that 40% greenspace is required and only 20% of the remaining wetland area may count towards greenspace. See below.

(4) STANDARD NO. SD-4

(a) No more than 60 percent of any lot, parcel or total development site shall be covered with buildings, paving, gravel or other covering materials which are impervious to surface water absorption. **(Also see sub-section 17.0434)**

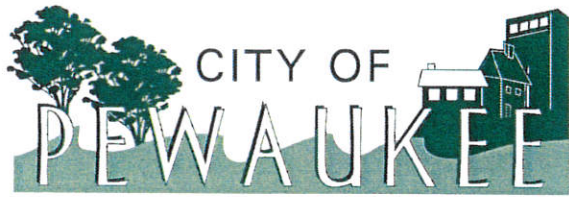
(b) No less than 40 percent of the development site shall be retained in either an undisturbed natural state or in attractive, planned and arranged ground

cover and landscape plantings, earthen berms and natural or man-made water impoundments.

(c) Except in single and two-family residential areas, no impervious surface, including graveled area, shall be placed closer than ten (10) feet from a property boundary.

(d) An existing designated wetland or designated 100 year recurrence interval (base flood) floodplain may comprise no more than 20 percent of the total 'green space' requirement on any parcel as set forth in (4)(b), above, or no more than two square feet of each required ten square feet.

11. Are parking spaces provided along the entire front or south side of the building or are there just the five spaces at the separate building entrances as shown?
12. Section 17.0601a. requires parking spaces to be a minimum of 180 square feet. Parking spaces are currently 162 square feet. It is recommended that parking spaces be 9-feet wide by 20-feet in length.
13. On the front elevation, it is recommended that the portions of the buildings with the entrances and taller parapets be bumped out to vary the footprint of the building.
14. Consider adding windows and/or a corner entrance feature on the west/southwest portion of the building, which faces Duplainville Road.
15. Are the back side of the parapets a finished material? Will trees be removed on the north side of the property making the north/northwest side of the building more visible from Duplainville Road?
16. Consider a greater variety in building materials and/or add more windows. Note that Section 17.0210c.1. states that no side or façade of a building or structure is exempt from public view and, consequently, all sides or facades should be visually pleasing and architecturally and aesthetically compatible.
17. Will rooftop mechanicals be screened by the parapets? Please include a rooftop mechanical plan that demonstrates compliance with Section 17.0210c.6., which screening requirements also applies to other mechanical equipment, loading areas and trash enclosures.
18. Will a dumpster be kept onsite? If so, please illustrate the location on the site plan and provide details of the enclosure, such as materials, size and height. It is recommended that materials of the enclosure match that of the building.
19. Is any signage proposed?
20. Note that Section 17.0601c. requires 3-inches of asphalt or concrete pavement for off-street parking areas and driveways. The plans currently indicate 2.5-inches.
21. Will any existing landscaping remain onsite?
22. Additional landscaping is recommended around the storm water pond. Please also consider foundation plantings around the building and an additional tree (of a different type than already proposed) along the south side of the driveway.



Department of Public Works

W240N3065 Pewaukee Road


Pewaukee, WI 53072

Phone: (262) 691-0804 • Fax: (262) 691-5729

Email: publicworks@pewaukee.wi.us

MEMORANDUM

TO: Plan Commission

FROM: Jeffrey Weigel, Public Works Director & City Engineer 

DATE: September 5, 2018

SUBJECT: Building and Site Plan for the Troudt Property on Duplainville Road

We have reviewed the site and building plans for the Troudt property, and offer the following comments:

- 1) The owner has determined that wetlands exist on the easterly part of the parcel, and DNR has issued a permit to fill part of these wetlands. As the wetlands were recently discovered, and as DNR does not require mitigation for the wetland fill that has been permitted, we recommend that the City accepts the DNR finding of no need for wetland fill mitigation.
- 2) The site is subject to the City Storm Water Management Ordinance and plan/site requirements.
- 3) Further evaluation of the driveway location for acceleration/deceleration lanes, as well as passing lane, are required by City staff. This would typically involve the asphalt paving of part of the existing shoulders.
- 4) We assume that the building will have fire protection sprinkling.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 6.**

DATE: September 20, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding the Revised Building Plans for Blue Ribbon Management for Their New Self Storage Facility Located at the Northwest Corner of Springdale Road and Johnson Drive (PWC 0961996006)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Blue Ribbon Management building plans

GENERAL NOTE (TYPICAL OF ALL DETAILS ON THIS SHEET):
THE FOLLOWING BUILDING BUT NOT LIMITED TO: SUB GRADE CONDITIONS ARE NOT SHOWN FOR GENERAL DRAWING CLARITY:
1. FOOTING AND FOUNDATIONS
2. STEREO FOOTING AND FOUNDATIONS
3. STEREO FOUNDATION
4. RETAINING WALLS
ANY AND ALL SUB GRADE REQUIREMENTS REFER TO ALL CIVIL & STRUCTURAL PLANS AS WELL AS ARCHITECTURAL FLOOR PLANS AND SECTIONS FOR ADDITIONAL INFORMATION.
6. REFER TO DETAIL 1 ON THIS SHEET ONLY FOR KEYED NOTES.



- ELEVATION NOTES:**
- 1) ALL BUILDING SIGNAGE TO BE PROVIDED AND INSTALLED BY OWNER/TENANT. GC TO PROVIDE FIRE-TREATED PLYWOOD AT SIGNAGE LOCATION.
 - 2) CONTROL JOINT LOCATIONS MAY NOT BE ALL INCLUSIVE. IF MAJOR ENCOUNTERS A SITUATION WHERE A CJ SHOULD BE OMITTED OR ADDED - CONTACT ARCHITECT AND GC BEFORE MAKING ALTERATIONS.
 - 3) ALL COLUMN FOUNDATIONS TO BE HELD ONE COURSE BELOW GRADE - SEE STRUCTURAL.
 - 4) DO NOT SCALE THESE DRAWINGS.
 - 5) REVIEW ALL DRAWINGS INCLUDING DRAWING DIMENSIONS PRIOR TO BIDDING, FABRICATING OR CONSTRUCTING ANY WORK.
- 1) 8"X16" MASONRY UNIT, COUNTY MATERIAL
MANUFACTURER: HERITAGE
JOINT PATTERN: RUNNING BOND
COLOR: AS APPROVED BY CITY OF PEWAUKEE
MORTAR COLOR: STANDARD GREY
THIS IS THE TYPICAL FIELD MATERIAL OF THE CHU WALL.
- 2) NOT USED
- 3) OVERFLOW PARAPET WALL SCUPPER
- 4) NCH-44 PANEL
8" TALL X 12" WIDE
PAINTED BU 1065
- 5) ALUMINUM FRAME STOREFRONT GLAZING SYSTEM - SEE 5/46.1 FOR ADDITIONAL DETAILS
SYSTEM: KANER
48 UT
FRAME COLOR: CLEAR ANODIZED ALUMINUM
FRAME SIZE: 2'X 8'
GLAZING TYPE: 1" LOUVE THERMAL PANE
GLAZING COLOR: CLEAR
GLAZING SET: CENTER
- 6) ALUMINUM FRAME STOREFRONT ENTRY SYSTEM TO MATCH GLAZING SYSTEM
- 7) PRE-FINISHED BREAK METAL ROOF COPING W/ CONTINUOUS CLEAT - SLOPED TOWARDS ROOF. PROVIDE BLOCKING AND ANY ASSOCIATED MATERIAL AS NEEDED TO ACCOMMODATE INSTALLATION PER MANUFACTURER'S WRITTEN INSTRUCTIONS. PROVIDE MATERIAL, GAUGE & EXP. JOINTS WITH BEAM COVERS TO PREVENT OIL CANNING. TYP. COPING TO OVERLAP FACE OF WALL PANEL. TYP. STAINLESS STEEL 1/2" TO MATCH ACM PANELS. TYPICAL AT ALL TOP OF WALL AREAS.
- 8) 8" TALL PRECAST SILL
- 9) ALUMINUM SUN SHADE SYSTEM WITH INTEGRATED DOWN BUILDING LIGHTING HANG FROM ALUMINUM ROD AND TURN BUCKLES. SEE SHEET A4.3 DETAIL 3 FOR ADDITIONAL INFORMATION.
- 10) OVERHEAD ALUMINUM AND FLEXI-GLASS DOOR
MANUFACTURER: ASSA ABLOY
MODEL: R8300 RIGID DOOR
MATERIAL: ALUMINUM + FLEXI-GLASS
DOOR COLOR: ANODIZED CLEAR ALUMINUM
GLASS COLOR: CLEAR
SIZE: 16'-0" WIDE X 11'-0" TALL
THIS IS THE TYPICAL AT THE VEHICLE ENTRY POINTS INTO AND OUT OF THE BUILDING.
- 11) VIEW THROUGH GLASS TO INTERIOR OVERHEAD COIL DOORS WILL BE BY SUPPLIER. COLOR, STYLE, SIZE AND SPACING TBD.
- 12) 6" CONCRETE FILLED STEEL BOLLARDS WITH PVC SLEEVE (SAFETY YELLOW) TYPICAL AT OVERHEAD DOORS.
- 13) POSSIBLE AREA FOR BUILDING SIGNAGE SHOWN AS 3'-4" TALL X 32'-0" WIDE. BOTTOM OF SIGN 3'-1" AFF.
- 14) INSULATED EXTERIOR STEEL DOOR AND FRAME PAINTED TO COMPLEMENT SURROUNDING FIELD OF CHU WALL WITH EGRESS LIGHT (ABOVE) TYP. EGRESS LIGHT TO BE CENTERED OVER DOOR OPENING AND MOUNTED TO THE MIDDLE OF THE 8" ACCENT BAND ABOVE THE DOOR.
- 15) POSSIBLE AREA FOR BUILDING SIGNAGE SHOWN AS 11'-0" TALL X 22'-0" WIDE. BOTTOM OF SIGN 4'-0" AFF.
- 16) POSSIBLE AREA FOR BUILDING SIGNAGE SHOWN AS 3'-4" TALL X 32'-0" WIDE. BOTTOM OF SIGN 3'-0" AFF.
- 17) CHU WALL - EXPANSION JOINT
- 18) PRE-FINISHED ALUMINUM COMPOSITE METAL (ACM) PANEL KICK PLATE TYPICALLY AT THE BASE OF THE WALL SUPPLIED AND INSTALLED BY ACM SUBCONTRACTOR. TOWER BASE IS SHOWN AS 16" ACM PANEL DESIGNER MAY ADJUST AS NEEDED.
- 19) THRU-WALL SCUPPER BOX WITH SURFACE MOUNTED DOWNSPOUT TO 1ST FLOOR ROOF. COLOR MATCH TO CHU.
- 20) CITYSCAPE ENVISOR RTU SCREENING SYSTEM - COLOR MATCH TO PANEL SYSTEM

DO NOT SCALE THESE DRAWINGS

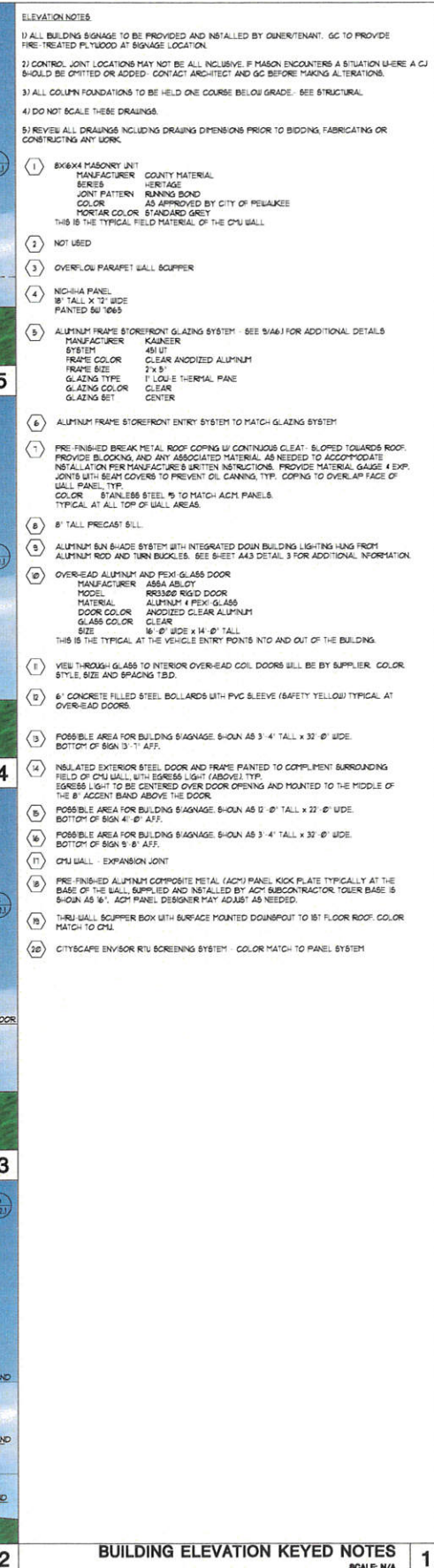
Project: Pewaukee Self Storage

North-West parcel on the corner of
Johnson Drive & Springdale Road
City of Pewaukee, WI 53186


PERSPECTIVE
DESIGN, INC.
11025 W. National Ave.
Wauwatosa, WI 53226
Tel: (414) 302-1780 Fax: (414) 302-1781

Drawing Title:
BUILDING
ELEVATION

Date: 08/17/18
Scale: AN
Drawn: WHC
Job: 18-011
Sheet:
A2.1



ALL SIZE PRINT - 30" x 42" SHEET

 <p>PERSPECTIVE DESIGN, INC. 11325 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1750 Fax (414) 302-1751</p>	<p>Pewaukee Self Storage North-West parcel on the corner of Johnson Drive & Springdale Road City of Pewaukee, WI 53186</p>		REV. #	REV. DATE	DESCRIPTION	REV. BY:
					50% PROGRESS REVIEW SET	
					STATE PLAN REVIEW	WMC
Project						
<p>Drawing Title: BUILDING ELEVATION (COLORED)</p> <p>Date: 08/17/18 Scale: AN. Drawn: WHG Job: 18-011 Sheet:</p>						
<p>A2.1C</p>						



**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 7.**

DATE: September 20, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Possible Action Regarding Changing the Start Time of the November 15th Meeting to Accommodate the 7:20PM Packer Game

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION: