



Planning Department

W240N3065 Pewaukee Road
Pewaukee, WI 53072
(262) 691-0770 Fax (262) 691-1798

REVISED

PLAN COMMISSION MEETING NOTICE AND AGENDA

Thursday, April 19, 2018

7:00 PM

Common Council Chambers - Pewaukee City Hall
W240 N3065 Pewaukee Road - Pewaukee, Wisconsin

-
1. Call to Order and Pledge of Allegiance
 2. Discussion and Action Regarding Approval of Meeting Minutes Dated March 22nd, 2018
 3. Discussion and Action and Regarding a Petition for a Rezoning Public Hearing for J & R Revocable Trust to Rezone Property Located at N28 W26658 Peterson Drive From Rs-1 Single-Family Residential to Rs-4 Single-Family Residential In Order to Divide the Property Into Single-Family Lots (PWC 0930052009)
 4. Discussion and Action Regarding a Preliminary Plat for the J & R Revocable Trust for the Richard Knutson Property Located at N28 W26658 Peterson Drive (PWC 0930052009)
 5. Discussion and Action Regarding a Petition for a Conditional Use Public Hearing for Skydance Pet Lodge to Build and Operate a Pet Daycare Facility Located at W229 N2633 Duplainville Road (PWC 0915992)
 6. Discussion and Action Regarding the Site and Building Plans and Plan of Operation for Skydance Pet Lodge to be Built on Vacant Property Located at W229 N2633 Duplainville Road (PWC 0915992)
 7. Discussion and Action and Public Hearing Regarding the 2050 Land Use/Transportation Plan for the Six Non-Neighborhood Land/Water Areas of the City
 8. Discussion and Action Regarding Conceptual Site and Building Plans for the Rainbow Child Care Center Located on Highfield Court
 9. Further Discussion Regarding the Parkway Ridge Subdivision Proposal by Neumann Development
 10. Adjournment

Harlan Clinkenbeard
City Planner

Posted: 4/12/2018

NOTICE

-

It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a

quorum. At the above stated meeting, no action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the City Planner, Harlan Clinkenbeard, at (262) 691-0770 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 2.**

DATE: April 19, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding Approval of Meeting Minutes Dated March 22nd, 2018

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 3.**

DATE: April 19, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action and Regarding a Petition for a Rezoning Public Hearing for J & R Revocable Trust to Rezone Property Located at N28 W26658 Peterson Drive From Rs-1 Single-Family Residential to Rs-4 Single-Family Residential In Order to Divide the Property Into Single-Family Lots (PWC 0930052009)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Knutson Rezoning Petition & Map

STATE OF WISCONSIN

CITY OF PEWAUKEE

WAUKESHA COUNTY

- NOTICE OF ZONING MAP AMENDMENT PUBLIC HEARING -

PLEASE TAKE NOTICE THAT THERE WILL BE A PUBLIC HEARING ON THE PETITION OF:
J & R REVOCABLE TRUST TO REZONE FROM: RS-1 SINGLE-FAMILY RESIDENTIAL
TO: RS-4 SINGLE-FAMILY RESIDENTIAL.

THE FOLLOWING PROPERTY IN THE CITY OF PEWAUKEE:
Legal description of the property to be rezoned:

LOT 2 CERT SURV 4388 VOL 35/51 6.51 AC PT NW 1/4 SEC 17 T7N R19E PT LOT 4 C VOECHTING
SUBDIVISION EX R888/653 & EX R1048/206 DOC # 3264581 EX DOC # 3394897

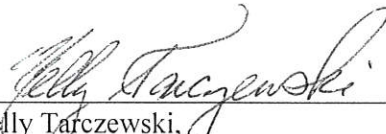
Common Description: N28 W26658 Peterson Drive

Tax Key Number: PWC 0930052009

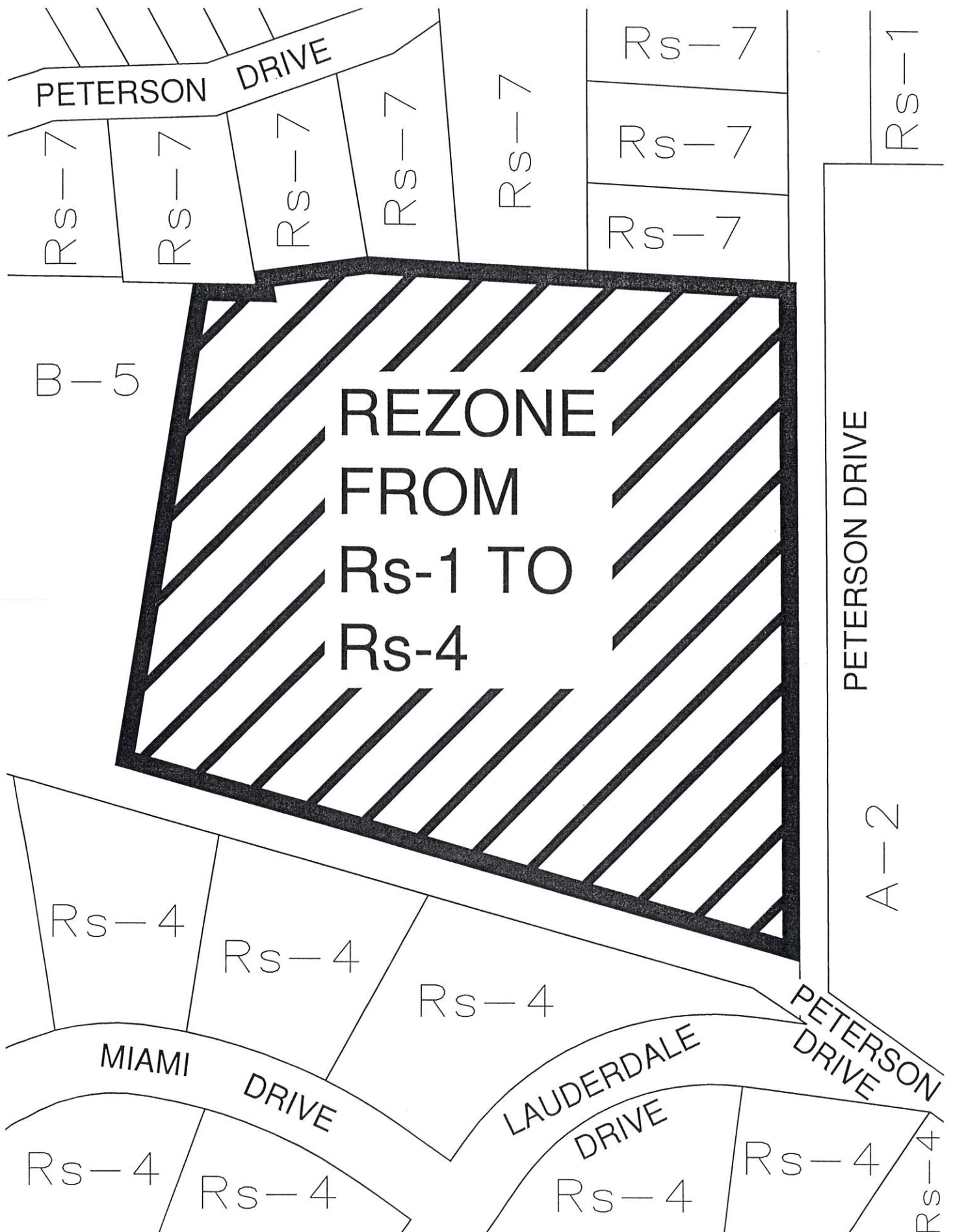
This Amendment to the Zoning Map (Change in zoning) is being proposed for the purpose of: creating four residential lots by CSM.

THE PUBLIC HEARING will be held at a meeting of the City Plan Commission in the City Hall Common Council Chambers on **Thursday, April 19th, 2018** at or after **7:00 PM.**

Dated this 21st day of March, 2018.



Kelly Tarczewski,
Clerk/Treasurer, City of Pewaukee



**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 4.**

DATE: April 19, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Preliminary Plat for the J & R Revocable Trust for the Richard Knutson Property
Located at N28 W26658 Peterson Drive (PWC 0930052009)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

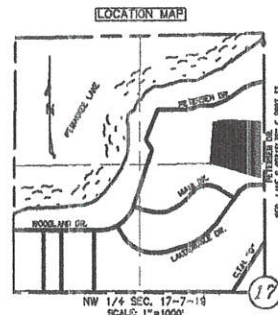
ATTACHMENTS:

Description

Knutson Preliminary Plat

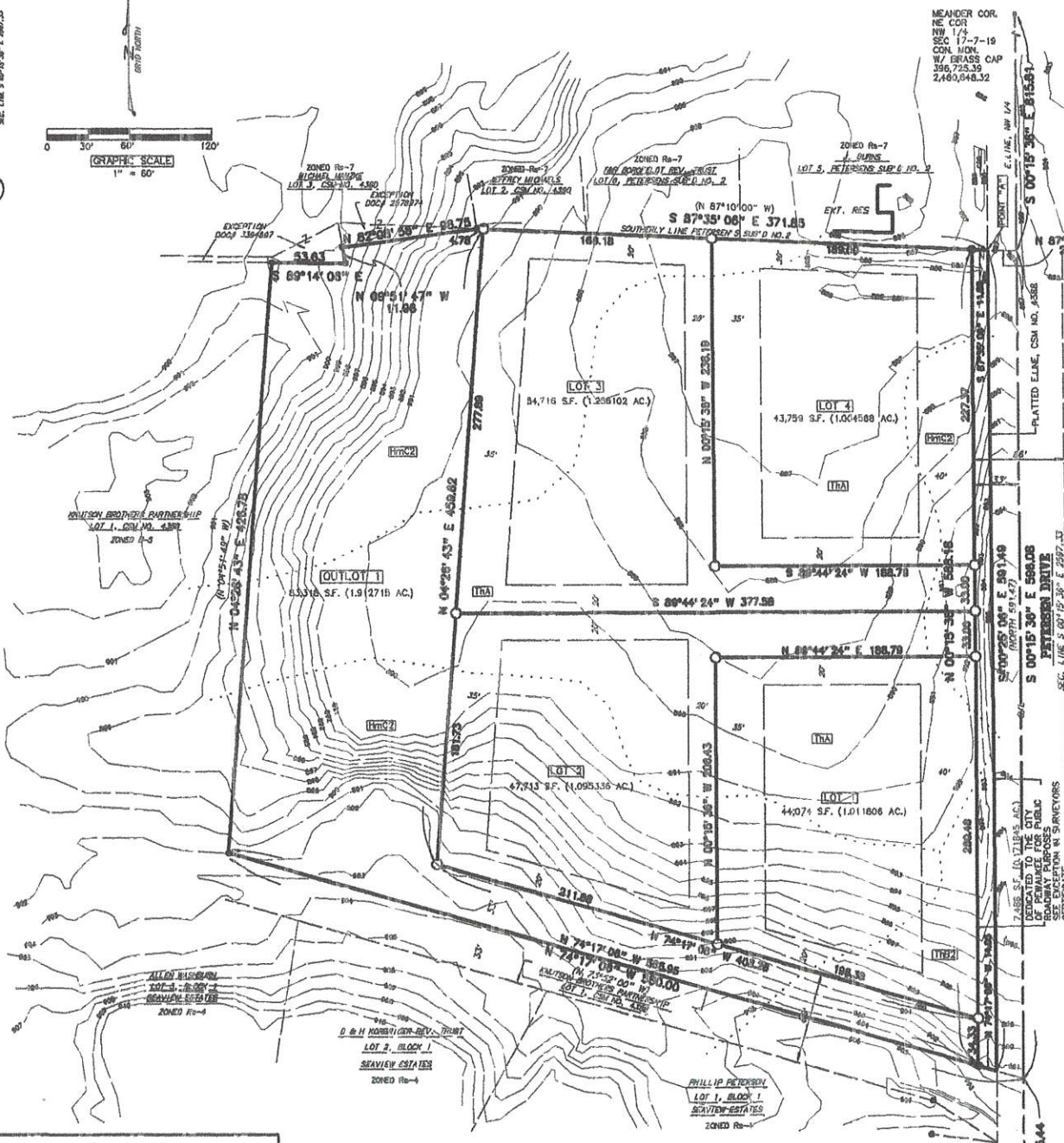
Knutson Preliminary Plat Memo

PRELIMINARY PLAT OF J & R DREAMFIELD
A PART OF LOT 2, CERTIFIED SURVEY MAP NO. 4388, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS
OF WAUKESHA COUNTY IN CERTIFIED SURVEY MAPS AS DOCUMENT NO. 1226745, IN VOLUME 35 ON PAGES
51-53, BEING A PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17,
TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN



SOL TYPE KEY
[Symbol] - HOCHEN LOAM, ERODED
[Symbol] - THERESA SILT LOAM
[Symbol] - THERESA SILT LOAM, ERODED

- SUBDIVISION STATISTICS**
- SUBDIVISION CONTAINS 4 LOTS AND 1 OUTLOT
 - SUBDIVISION CONTAINS 8.28 ACRES
 - ZONING SHALL BE R-4
 - SETBACKS: 40' FRONT, 20' SIDE, 35' REAR



- LEGEND**
- ① - INDICATES 1-INCH O.D. IRON PIPE FOUND
 - ② - INDICATES 2.375-INCH O.D. IRON PIPE SET 3.85 LBS/FT 18" LENGTH
 - ③ - INDICATES 1-INCH O.D. IRON PIPE SET 1.13 LBS/INCH 18" LENGTH
 - () - INDICATES "RECORDED AS"
 - INDICATES SOL TYPE DELINEATION

There are no objections to this plat with respect to
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),
Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 2018

Department of Administration



BEARINGS REFERENCED TO THE E.LINE OF THE NW 1/4 OF SECTION 17-7-19
ASSUMED TO BEAR SOUTH 00°15'36" EAST, PER WIS. STATE PLANE COORDINATE SYSTEM

THIS INSTRUMENT WAS DRAFTED BY KEITH D. MALKOWSKI

SURVEYOR:
MICHAEL W. BUECHL, INC.
233 OAKTON AVENUE
PEWAUKEE, WI 53072
262-691-4444

OWNER/DEVELOPER:
J&R KNUTSON REV. TRUST
2300 WISCONSIN DRIVE
PEWAUKEE, WI 53072

ENGINEER:
ELLEN ENGINEERING CONSULTANTS
700 MILGROVE PARKWAY
ELM GROVE, WI 53122
262-710-6163

APPROVING AGENCIES:
CITY OF PEWAUKEE
WAUKESHA COUNTY PARKS & LAND USE DEPT.
DEPT. OF ADMINISTRATION OF THE STATE OF WISCONSIN

SURVEYORS CERTIFICATE

State of Wisconsin)
Waukesha County)

I, Michael W. Buechl, a professional land surveyor, do hereby certify:

That I have surveyed, divided and mapped a part of Lot 2, Certified Survey Map No. 4388, recorded in the Office of the Register of Deeds of Waukesha County in Certified Survey Maps as Document No. 1226745, in Volume 35 on Pages 51-53, being a part of the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 17, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows:

Commencing at a meander stone marking the Northeast corner of said Northwest 1/4; thence South 00°15'36" East, along the East line of said Northwest 1/4, 815.81 feet to the place of beginning of the lands to be described; thence North 87°35'08" West 21.15 feet to the Northeast corner of Lot 2, Certified Survey Map No. 4388, said point to be known as "Point A" and the place of beginning of the lands to be described; thence South 00°25'08" East, along the Easterly line of said Lot 2, 591.48 feet to the Southeast corner of said Lot 2; thence North 74°17'08" West, along the Southerly line of said Lot 2, 580.00 feet to the Southwest corner of said Lot 2; thence North 04°28'43" East 426.78 feet to a point on the Southerly line of the lands described in Document No. 3394898; thence South 89°14'08" East, along said Southerly line, 53.63 feet; thence North 08°51'42" West 11.98 feet to a point on the Southerly line of the lands described in Document No. 2578274; thence North 82°08'58" East, along said Southerly line, 98.75 feet to the Southwest corner of Lot 2, Certified Survey Map No. 4388, said point lying on the Southerly line of Peterson's Subdivision No. 2; thence South 87°35'08" East 371.85 feet to the place of beginning.

EXCEPTING the following described land to be dedicated to the City of Pewaukee for public roadway purposes: Beginning at "Point A"; thence South 00°25'08" East 591.49 feet; thence North 74°17'08" West 14.05 feet; thence North 00°15'36" West and parallel with the East line of the previously stated Northwest 1/4, 588.18 feet; thence South 87°35'08" East 11.89 feet to the place of beginning.

Containing 273,580 square feet (6.280526 acres) more or less.

That I have made this survey, land division and map by the direction of the owners of said land.

That such map is a correct representation of all exterior boundaries of the land surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Regulations of the City of Pewaukee in surveying, dividing and mapping the same.

DATE MICHAEL W. BUECHL, PROFESSIONAL LAND SURVEYOR, S-1106

OWNER'S CERTIFICATE OF DEDICATION

AS OWNER of J&R Knutson Revocable Trust, I, Richard Knutson, hereby certify that I have surveyed and mapped the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this map. I also certify that this plat is required by s. 236.10 or s. 236.12 to be submitted to the following for approval or objection: Department of Administration of the State of Wisconsin, Waukesha County Parks & Land Use Department, and the City of Pewaukee.

WITNESS the hand and seal of said owner this _____ day of _____, 2018.

RICHARD KNUTSON, OWNER

State of Wisconsin)

Waukesha County)

PERSONALLY came before me this _____ day of _____, 2018,
to me

known to be the person who executed the Owners Certificate and acknowledged the same.

NOTARY PUBLIC

MY COMMISSION EXPIRES

PEWAUKEE CERTIFICATE OF APPROVAL

RESOLVED that the above Subdivision Plat which has been filed for approval, be and is hereby approved as required by the Subdivision Regulations and Chapter 236 of Wisconsin Statutes. I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Board of the City of Pewaukee on this _____ day of _____, 2018.

APPROVED: CHAIRMAN, STEVE BIERGE

SIGNED: CLERK, KELLY TARCEWICKI

PLANNING COMMISSION APPROVAL

APPROVED by the City of Pewaukee Planning Commission, this _____ day of _____, 2018.

APPROVED: MAYOR, STEVE BIERGE

SIGNED: SECRETARY

CERTIFICATE OF WAUKESHA COUNTY TREASURER

State of Wisconsin)
Waukesha County)

I, Pamela Reeves, being the duly elected, qualified and acting treasurer of the County of Waukesha, do hereby certify that the records in my office show no unpaid taxes or unpaid special assessments on or _____, 2018 affecting the lands included in this plat.

DATE

TREASURER, PAMELA REEVES

NOTES

- ALL DIMENSIONS MEASURED AND SHOWN TO THE NEAREST HUNDREDTH OF A FOOT; ALL ANGLES MEASURED TO THE NEAREST FIVE SECONDS AND COMPUTED TO THE NEAREST SECOND
- EASEMENTS FOR UTILITIES AND DRAINAGE WILL BE DETERMINED DURING SITE ENGINEERING AND SHALL BE SHOWN ON THE FINAL PLAT
- OWNER/DEVELOPER TO RETAIN SOLE OWNERSHIP OF OUTLOT 1
- LOTS SHALL BE SERVED BY EXISTING SANITARY SEWER (LAKE PEWAUKEE SANITARY DISTRICT)
- DEVELOPERS AGREEMENT FOR WATER EXTENSION TO BE DETERMINED DURING SITE ENGINEERING AND SHALL BE SHOWN ON THE FINAL PLAT



Department of Public Works

W240 N3065 Pewaukee Road
Pewaukee, WI 53072

DPW Main Office: (262)-691-0804 Fax: 691-5729
Water & Sewer Division 691-0804 Fax: 691-5729
Street Division 691-0771 Fax: 691-6079
Engineering Division 691-0804 Fax: 691-5729

TO: Plan Commission

FR: Jeffrey Weigel, Public Works Director

DT: April 10, 2018

RE: Preliminary Plat of J & R Dreamfield

We have reviewed the preliminary plat of J & R Dreamfield, and recommend approval contingent upon the resolution of the following seven (7) issues:

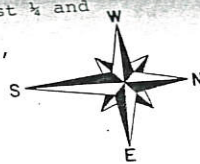
- 1) The plat proposes to dedicate to the City additional land along Peterson Drive to accommodate a planned future right-of-way of 66'; however it is difficult to determine if this dedication is sufficient at this time as the existing pavement of Peterson Drive is not centered in this future right-of-way. The petitioner should be aware that as future subdivision plans are prepared, specifically the grading plan, the storm water management plan and the water main extension plan, it may be necessary to dedicate additional right-of-way or easement. We will not know until those plans have been prepared.
- 2) The Certified Survey Map (CSM) for the parent parcel identifies most of this parcel to lie within the Shoreland and Floodland Jurisdictional Limits (see attached copy). Any pertinent Shoreland and Floodland restrictions should be shown on either the final plat or be contained the protective covenants (deed restrictions).
- 3) A grading plan for the subdivision must be submitted for approval. Any easements associated with the approved grading plan should be included on the final plat.
- 4) A storm water management plan must be submitted for approval. Any easements or outlots that may be required must be included in the final plat. Note that if additional outlots are required, then the residential lots as proposed may decrease in size.
- 5) A plan for extending the existing water main to the northerly limits of the subdivision must be submitted.
- 6) The sanitary sewer service to these parcels will come from the Lake Pewaukee Sanitary District (LPSD). Any public sewer main plan or private sewer main plan as approved by LPSD must be submitted to the City.
- 7) Any requirements of the approving agencies: Waukesha County and the State of Wisconsin.

Director Jeffrey L. Weigel, P.E.

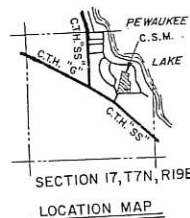
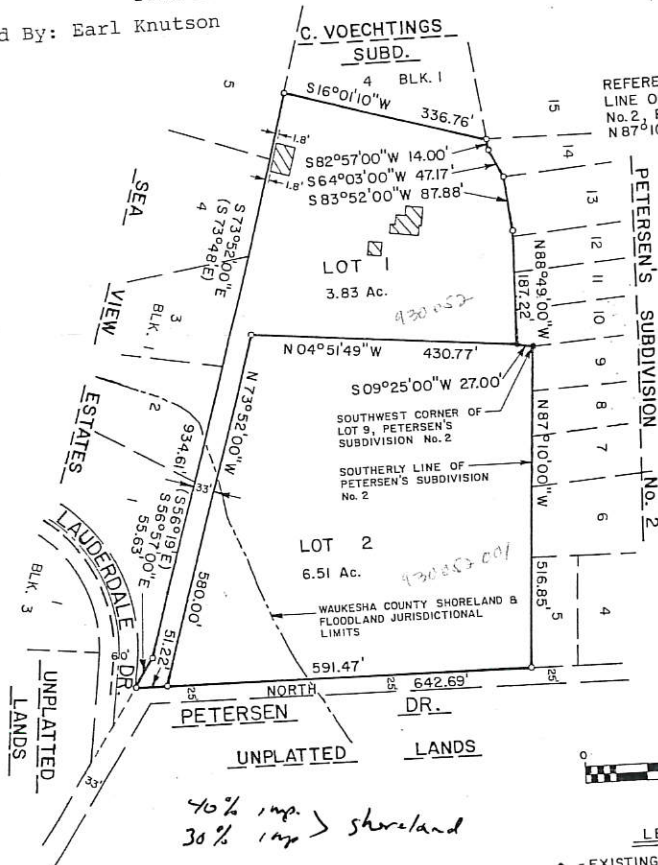
1226745 PC 57517-4
CERTIFIED SURVEY MAP No. 1 4383

REDIVISION OF ALL THAT PART OF LOT 4, "C. Voechting's SUBDIVISION", being part of the Northeast $\frac{1}{4}$ and the Southeast $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 17, Town 7 North, Range 19 East, Township of Pewaukee, Waukesha County, WI.

Ordered By: Earl Knutson



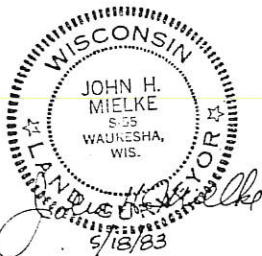
REFERENCE BEARING: SOUTHERLY LINE OF PETERSEN'S SUBDIVISION No. 2, RECORDED AS BEARING N87°10'00"W.



LEGEND

- - EXISTING IRON PIPE FOUND
- - 1" x 24" IRON PIPE SET, WEIGHING 1.13 LBS./LIN. FT.
- () - RECORDED AS BY PLAT OR DEED
- ▨ - EXISTING BUILDINGS

PREPARED BY:
 RUEKERT & MIELKE, INC.
 CONSULTING ENGINEERS
 REGISTERED LAND SURVEYORS
 WAUKESHA, WISCONSIN



1431

"THIS INSTRUMENT WAS DRAFTED BY MARTIN E. KULINSKI."

SHEET 1 OF 3

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 5.**

DATE: April 19, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Petition for a Conditional Use Public Hearing for Skydance Pet Lodge to Build and Operate a Pet Daycare Facility Located at W229 N2633 Duplainville Road (PWC 0915992)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Skydance Pet Lodge Conditional Use

Skydance Pet Lodge Staff Report

CITY OF PEWAUKEE

STATE OF WISCONSIN

WAUKESHA COUNTY

- NOTICE OF CONDITIONAL USE PUBLIC HEARING -

PLEASE TAKE NOTICE THAT THERE WILL BE A PUBLIC HEARING ON THE PETITION OF **SKYDANCE PET LODGE** FOR A **CONDITIONAL USE PERMIT** ON THE FOLLOWING PROPERTY IN THE CITY OF PEWAUKEE:

Legal description of property:

PARCEL A CERT SURV 596 VOL 4/39 PT SW1/4 SEC 13 T7N R19E DOC# 4002439

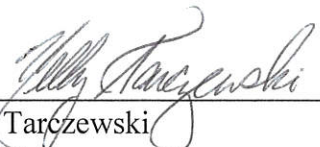
Common Description or name: W229 N2633 Duplainville Road

Tax Key Number(s): PWC 0915992 **Current zoning:** B-6 Mixed Use Business

This conditional use permit is requested in order to construct a pet boarding and daycare facility.

THE PUBLIC HEARING will be held at a meeting of the City Plan Commission in the City Hall Common Council Chambers on **Thursday, March 15th, 2018** at or after **7:00 PM**.

Dated this 21st day of February, 2018.



Kelly Tarczewski
Clerk/Treasurer

CITY PLAN COMMISSION MEETING
CDD/SENIOR PLANNER'S REVIEW OF AGENDA TOPICS

DATE: March 15, 2018

AGENDA TOPIC: **Skydance Pet Lodge on Duplainville Road proposed by Dennis Lutynski.**

REVIEW COMMENTS: The property is located immediately north of Goff's Auto Body business on Duplainville Road and is zoned B-6, Mixed Use Commercial, which requires a conditional use permit. The use is a good fit in the area and the building is proposed to be built of wood to look like a lodge.

RECOMMENDATION: **I recommend that the use be approved conditioned upon a solid looking board fence being built surrounding the "dog runs" and that the City Engineer approve the storm water management plan and construction as well as public sewer and public water utilities.**

H.E. Clinkenbeard,
CDD/Senior Planner

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 6.**

DATE: April 19, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding the Site and Building Plans and Plan of Operation for Skydance Pet Lodge to be Built on Vacant Property Located at W229 N2633 Duplainville Road (PWC 0915992)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

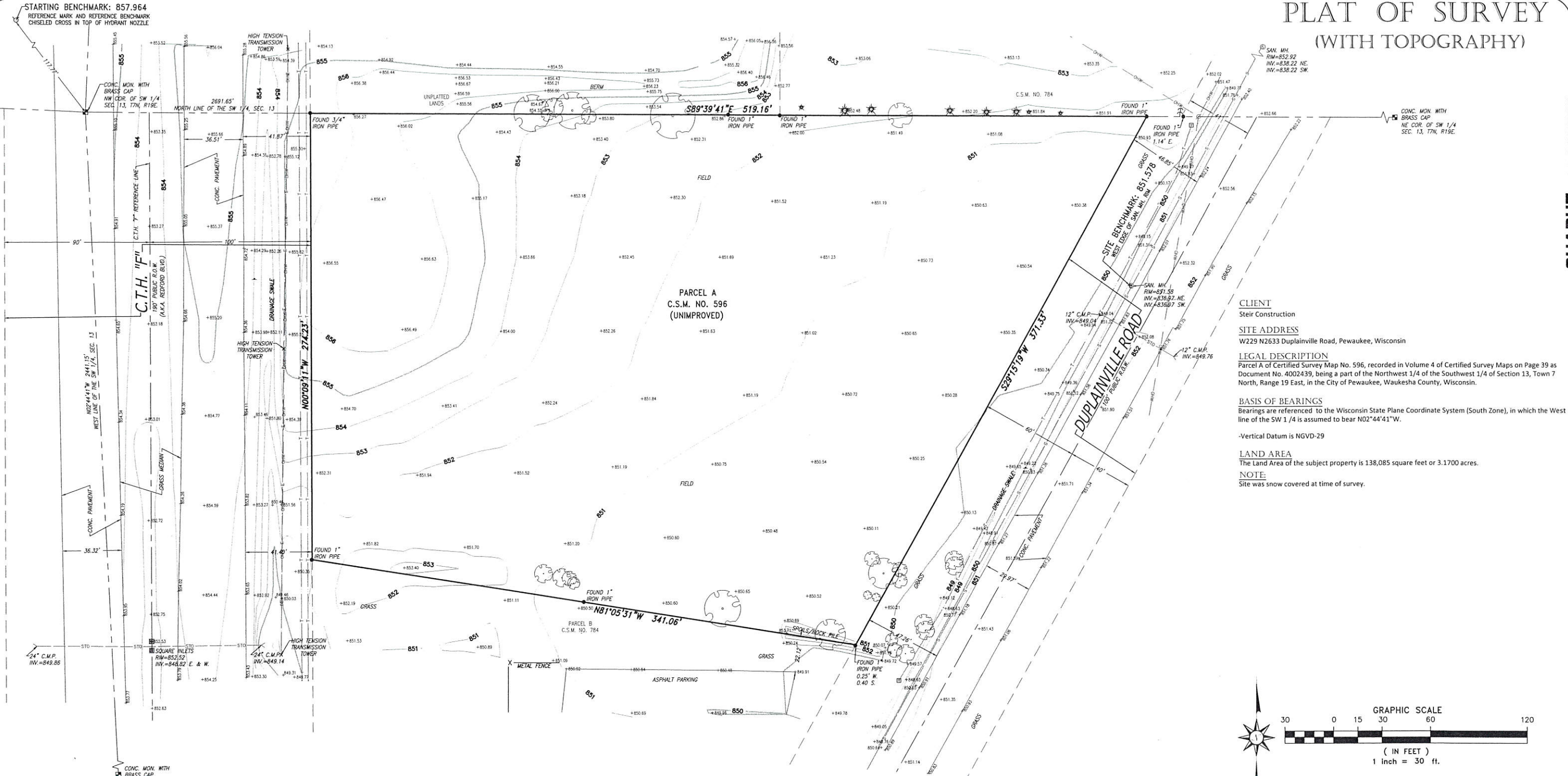
Description

Skydance Pet Lodge Site & Building Plans

Skydance Pet Lodge Plan of Operation

PLAT OF SURVEY
(WITH TOPOGRAPHY)

CHAPUT LAND SURVEYS



CLIENT
Steir Construction

SITE ADDRESS
W229 N2633 Duplainville Road, Pewaukee, Wisconsin

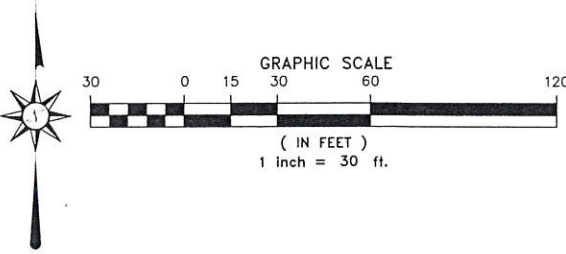
LEGAL DESCRIPTION
Parcel A of Certified Survey Map No. 596, recorded in Volume 4 of Certified Survey Maps on Page 39 as Document No. 4002439, being a part of the Northwest 1/4 of the Southwest 1/4 of Section 13, Town 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin.

BASIS OF BEARINGS
Bearings are referenced to the Wisconsin State Plane Coordinate System (South Zone), in which the West line of the SW 1/4 is assumed to bear N02°44'41"W.

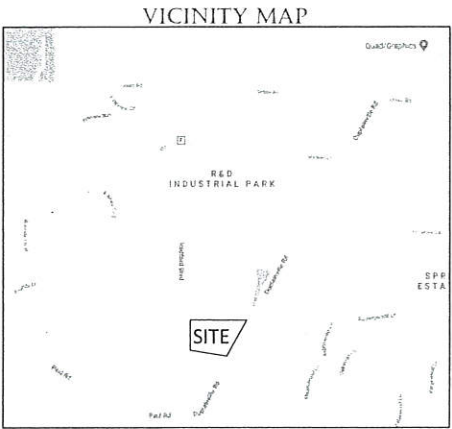
Vertical Datum is NGVD-29

LAND AREA
The Land Area of the subject property is 138,085 square feet or 3.1700 acres.

NOTE:
Site was snow covered at time of survey.



LEGEND			
● INDICATES FOUND 1" IRON PIPE	○ HYDRANT	○ TELEPHONE MANHOLE	✉ MAILBOX
○ INDICATES SET 1" IRON PIPE	○ WATER MANHOLE	□ TELEPHONE PEDESTAL	✕ RAILROAD CROSSING SIGNAL
+ INDICATES FOUND CHISELED CROSS	○ WATER SERVICE CURB STOP	□ CABLE PEDESTAL	△ HANDICAP SPACE
○ SANITARY MANHOLE	○ WELL HEAD	□ CONTROL BOX	○ CONIFEROUS TREE
○ SANITARY CLEANOUT OR VENT	○ STAND PIPE	○ FIBER OPTIC SIGN	○ DECIDUOUS TREE
○ SEPTIC TANK ACCESS COVER	○ WALL INDICATOR VALVE	○ TRAFFIC LIGHT	— SANITARY SEWER
○ M.I.S. MANHOLE	○ POST INDICATOR VALVE	○ COMMUNICATION MANHOLE	— STORM SEWER
○ UNKNOWN MANHOLE	○ LIGHT POLE	○ BOLLARD	— WATERLINE
○ STORM MANHOLE	○ SPOT/YARD LIGHT	○ SOIL BORING/MONITORING WELL	— MARKED GAS MAIN
○ INLET (ROUND)	○ UTILITY POLE	○ WATER SURFACE	— MARKED ELECTRIC
○ INLET (SQUARE)	○ GUY POLE	○ WETLANDS FLAG	— OVERHEAD WIRES
○ CURB INLET	○ GUY WIRE	○ MARSH	— MARKED TELEPHONE
○ STORM SEWER END SECTION	○ ELECTRIC MANHOLE	○ FLAGPOLE	— MARKED CABLE TV LINE
○ GAS VALVE	○ ELECTRIC PEDESTAL	○ PARKING METER	— MARKED FIBER OPTIC
○ GAS METER	○ ELECTRIC METER	○ SIGN	— FENCE
○ WATER VALVE			



I certify that I have surveyed the above described property (Property), and the above map is correct to the best of my professional knowledge and belief and shows the size and location of the Property, its exterior boundaries, the location and dimensions of any visible structures thereon, boundary fences, apparent easements and roadways and visible encroachments, if any. This survey is made for the exclusive use of the present owners of the Property, and also those who purchase, mortgage, or guarantee the title thereto, within one (1) year from date hereof.

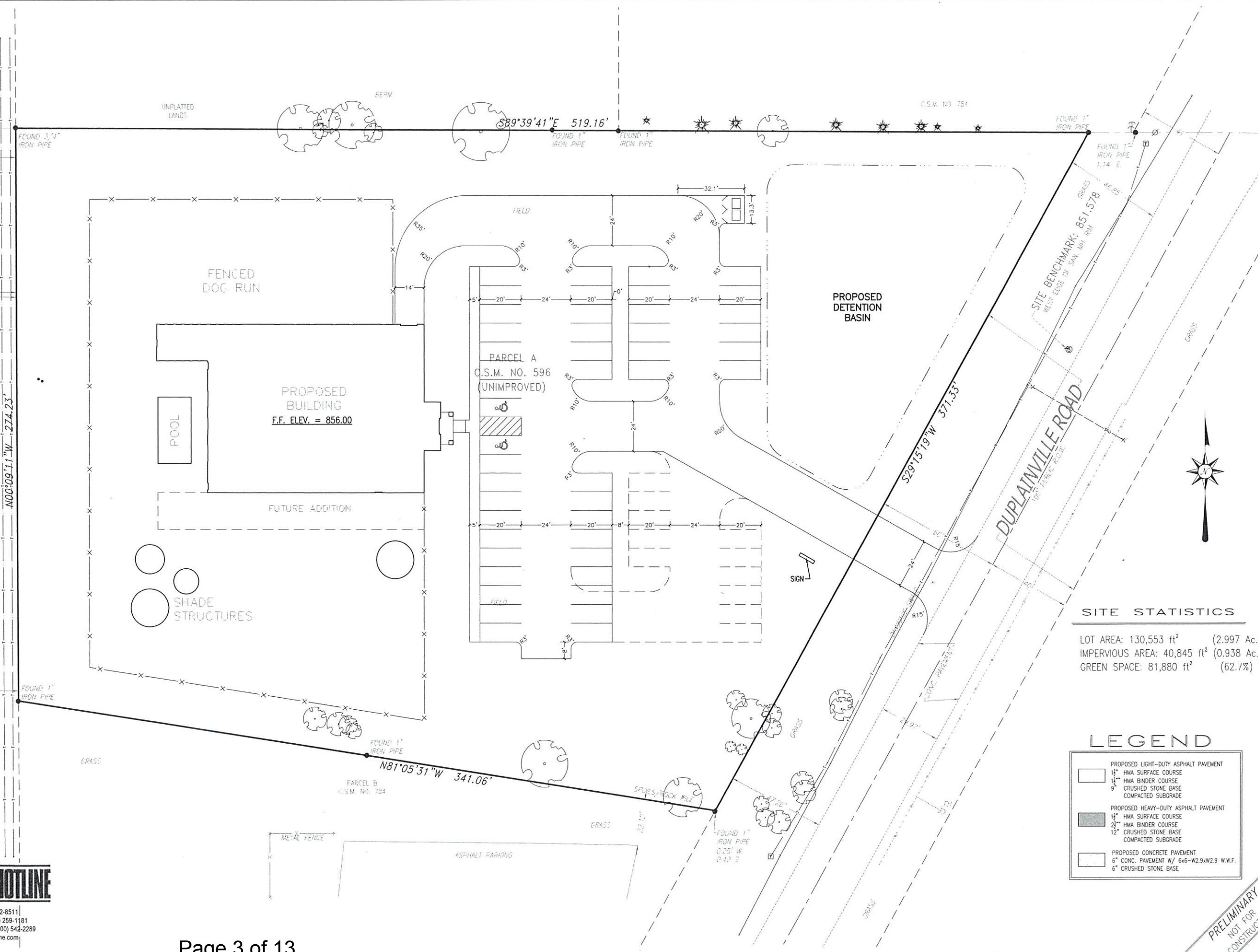
CHAPUT
S-1316
MILWAUKEE
WI
LAND SURVEYOR
Donald C. Chaput
Professional Land Surveyor
Registration Number S-1316

Date: February 5, 2018

CHAPUT
LAND SURVEYS

Date	Revision description

This document is an instrument of professional service, and may be protected by the surveyors work product doctrine or surveyor's client privilege. The information shown hereon is intended solely for the use of the client and client directed third parties.
Drawing No. 2777-dmb




	PROJECT TEAM	ISSUE	DESCRIPTION	DATE
	PROJECT MANAGER: Initials	-		X-X-XX-XX
	PROJECT ENGINEER: Initials			
	DESIGNER: Initials			
	CAD TECHNICIAN: LDI			
			ADDED PARKING SUMMARY	4/07/2016

Site Engineering Services

2920 Oakwood Road
Hortland, WI 53029
262-367-4960 office
mortly.warden@att.net email

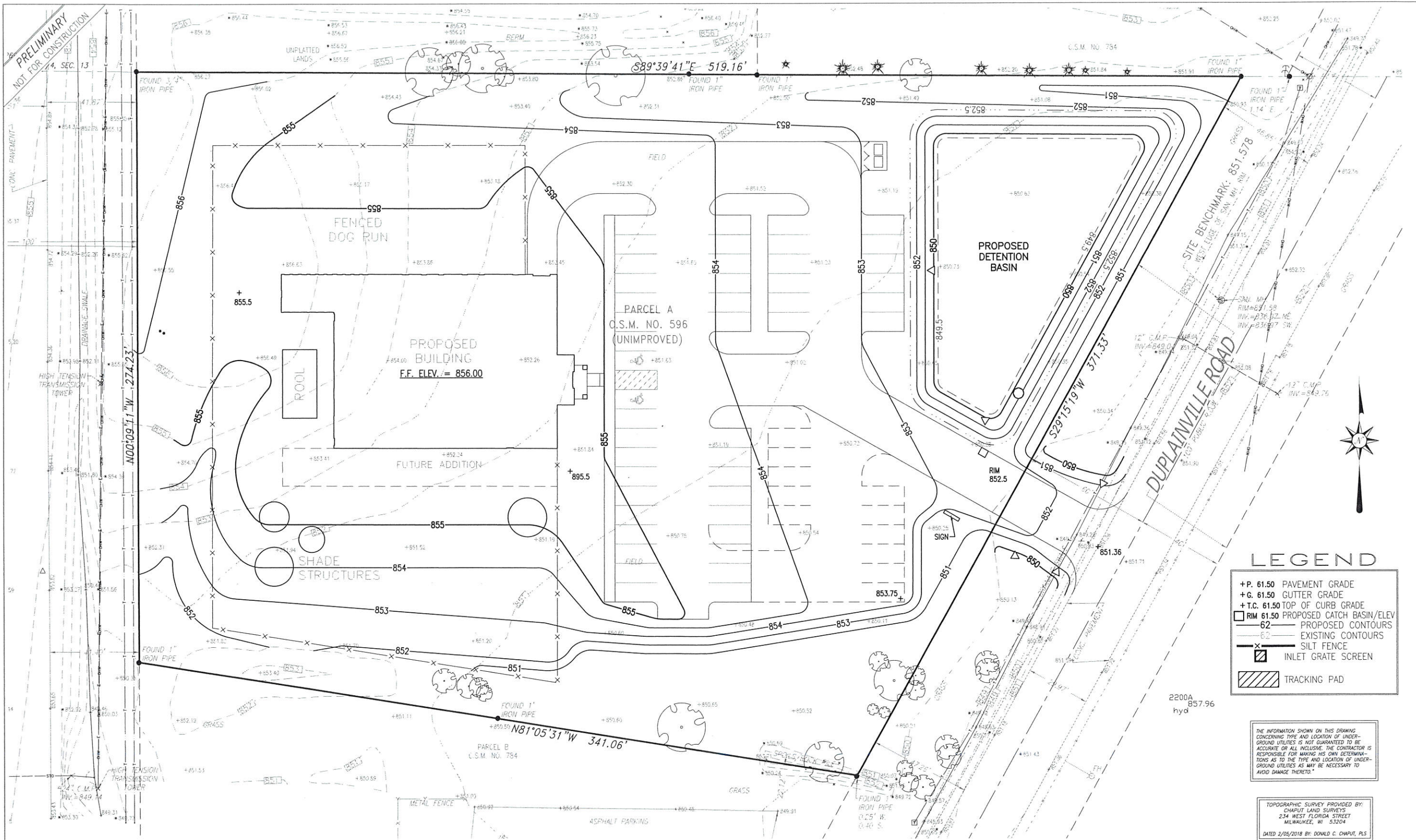
Martin D. Warden, PE
Civil Engineer/Consultant



<div style="text-align: center;"> <h1>SITE PLAN</h1> <p>for</p> <h2>Sky Dance Pet Lodge</h2> </div>		<div style="text-align: center;"> <p>W229 N2633 Duplainville Road</p> <p>City of Pewaukee, Waukesha County, Wisconsin</p> </div>	
SCALE: 1"=20'			
PROJECT NO. 17046			
DATE: 2/15/2018			
SHEET NUMBER			
<h1>CE-2</h1>			

SCALE: 1"=20'
PROJECT NO. 17046
DATE: 2/15/2018
SHEET NUMBER
CE-2

DIGGERS HOTLINE
Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com



LEGEND

- +P. 61.50 PAVEMENT GRADE
- +G. 61.50 GUTTER GRADE
- +T.C. 61.50 TOP OF CURB GRADE
- RIM 61.50 PROPOSED CATCH BASIN/ELEV
- 62 PROPOSED CONTOURS
- 62 EXISTING CONTOURS
- SILT FENCE
- INLET GRATE SCREEN
- ▨ TRACKING PAD

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERE TO.

TOPOGRAPHIC SURVEY PROVIDED BY:
CHAPUT LAND SURVEYS
234 WEST FLORIDA STREET
MILWAUKEE, WI 53204
DATED 2/05/2018 BY: DONALD C. CHAPUT, PLS

DATE	DESCRIPTION	ISSUE	PROJECT TEAM
			PROJECT MANAGER: Initials
			PROJECT ENGINEER: Initials
			DESIGNER: Initials
			CAD TECHNICIAN: LDH

Site Engineering Services

2920 Oakwood Road
Hartland, WI 53029
262-367-4960 office
marty.warden@att.net email
Martin D. Warden, PE
Civil Engineer/Consultant

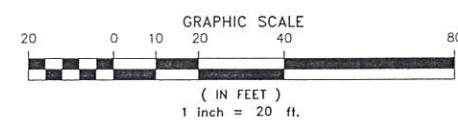
GRADING & EROSION CONTROL PLAN
for
Sky Dance Pet Lodge

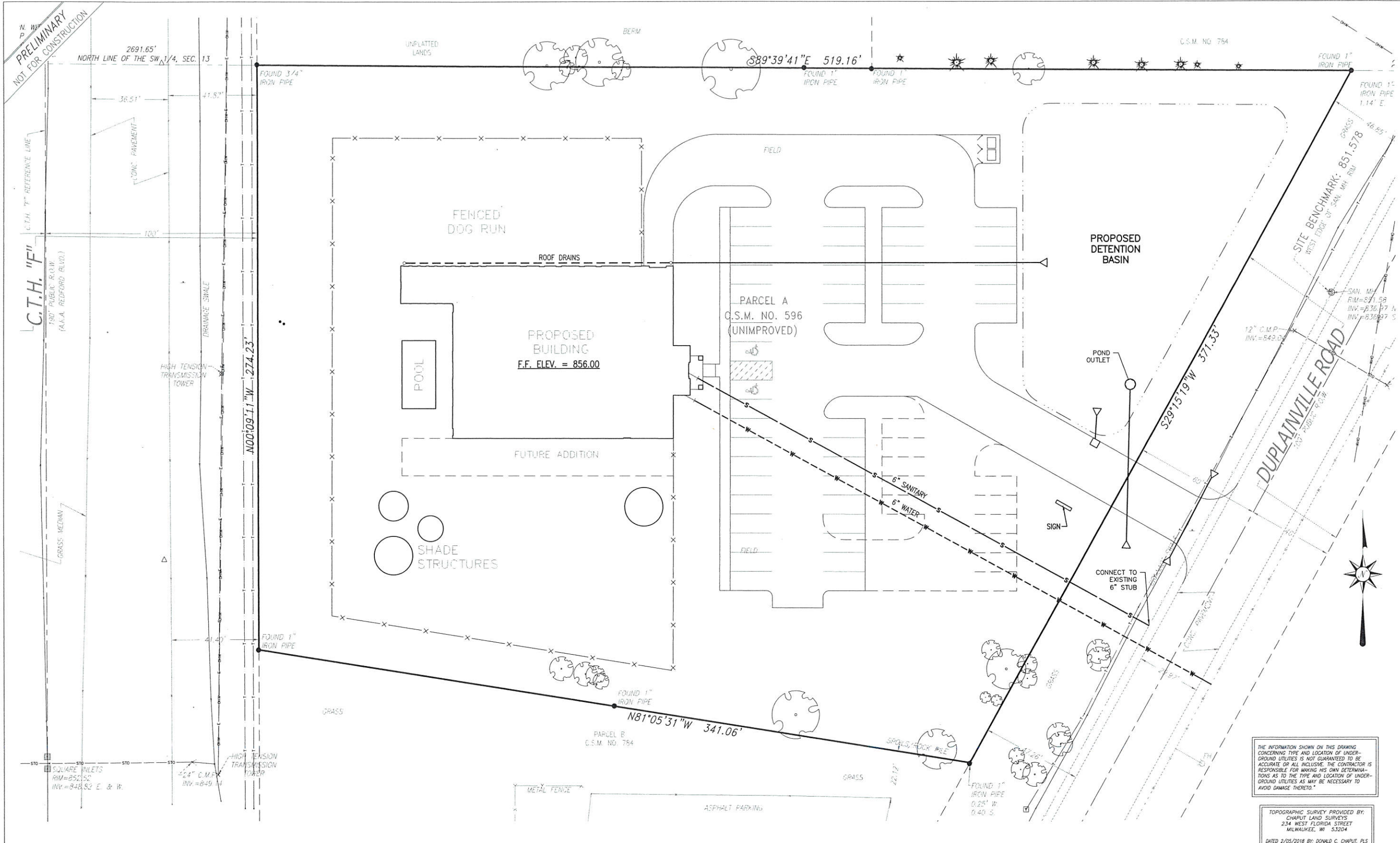
W229 N2633 Duplainville Road
City of Pewaukee, Waukesha County, Wisconsin

SCALE: 1"=20'
PROJECT NO. 17046
DATE: 2/13/2018
SHEET NUMBER
CE-3

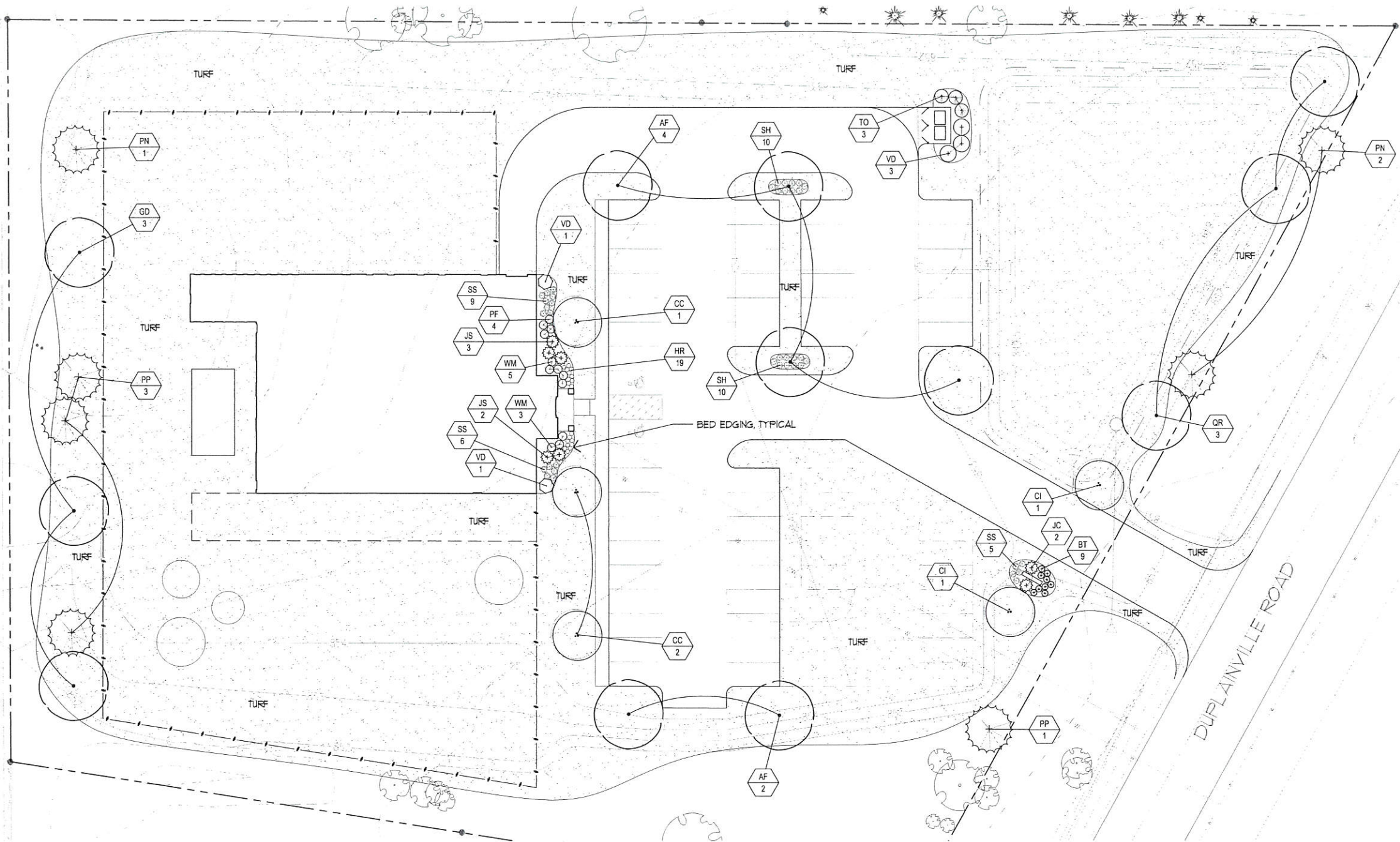
DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com





DATE	1
DESCRIPTION	
ISSUE	
PROJECT TEAM	<div>PROJECT MANAGER: JHHS</div> <div>PROJECT ENGINEER: JHHS</div> <div>DESIGNER: JHHS</div> <div>CAD TECHNICIAN: LH</div>
<div>Site Engineering Services</div> <div>2920 Oakwood Road Hartland, WI 53029 262-367-4960 office mary.warden@att.net email Martin D. Warden, PE Civil Engineer/Consultant</div>	
<div>PLUMBING PLAN</div> <div>for</div> <div>Sky Dance Pet Lodge</div> <div>W229 N2633 Duplainville Road</div> <div>City of Pewaukee, Waukesha County, Wisconsin</div>	
SCALE: 1"=20'	
PROJECT NO. 17046	
DATE: 2/13/2018	
SHEET NUMBER	CE-4



PLANTING NOTES

GENERAL

Digging
Contact local Digger's Hotline prior to any digging.

Topsoil
Topsoil shall be classified as a sandy loam soil to silty loam. No organic topsoil from peaty sources will be accepted. Topsoil imported from a local supplier shall be stripped and stockpiled for more than 12 months to be relatively free of viable weed seeds. Topsoil shall be sifted and/or screened to be free of stones and clay lumps, plants or other extraneous materials.

Fine Grading
Inspect site and verify that adequate topsoil has been provided for all seed and planting beds. Remove all trash and stone exceeding 2 inches in diameter from area to a depth of 2 inches prior to bed preparation and planting. Fine grade to within 1/2" of finished grade. All lawn areas to be sloped evenly to sheet drain and approximate contours on grading plan.

PLANTING

Substitutions
Substitutions or changes of plant species, cultivar, or size at planting must be approved by the owner prior to ordering of materials.

Plant Staking and Quantities
Contractor shall stake tree, shrub, and perennial locations in the field and obtain approval from owner prior to planting. Plantings shown are diagrammatic. Provide additional plant quantities as needed, based on actual field dimensions to satisfy the design intent of the drawings.

Plant starter mix
A 2:1 ratio mix of two parts peat moss and one part manure.

Trees
Pocket plant and back fill pits with a mix of 10% plant starter mix, and 90% existing soil. Tree holes to be at least 2 times the spread diameter of the root ball. Use shovel to rough up sides of exposed walls. Set depth of root ball to be same as grown in nursery or slightly higher if planting in clay soil.

Shrubs
Pocket plant and back fill pits with a mix of 10% plant starter mix, and 90% existing soil. Set depth of root ball to be same as grown in nursery or slightly higher if planting in clay soil.

Perennials:
Condition topsoil in perennial planting beds by adding 3" plant starter mix. Add bone meal and milorganite, each at the rate of 1-2 lbs. per 100 S.F. Add granular sulfur at the rate of 3-4 lbs. per 100 S.F. Rototill to blend and remove any clumps of topsoil. Same as grown in nursery. Water-in well.

MULCHING

Install a 3" layer of shredded bark throughout tree, shrub, and perennial planting beds. For trees in lawn, install a 4-5' diameter circle of mulch around each tree. Do not allow mulch to touch plant stems. Contractor shall provide shredded bark mulch from disease-free hardwood trees. Provide generally flat bark, maximum of 1" wide and 4" long, graded down to sawdust, and relatively free of deleterious matter.

BED EDGING

All turf and perennial planting beds adjacent to turf areas shall be edged with poly-vinyl edging. Install per manufacturer's instructions.

TURF SEEDING

Proportions by common name	by weight
A. Barron kentucky bluegrass	20 %
B. Liberty kentucky bluegrass	20 %
C. Pennlawn fescue	20 %
D. Prelude II perennial ryegrass	20 %
E. Palmer II perennial ryegrass	20 %

Apply at the rate of 5 Lbs. per 1000 Sf.

Method of grass seeding may be varied at discretion of Contractor on their responsibility to establish smooth, uniform turf composed of the grasses specified.

- Spread lawn fertilizer per manufacturer's specifications.
- Do not seed following rain or if surface has been compacted by rain.
- Do not seed when wind velocity exceeds 6 m.p.h.
- Method of mulching may be varied at discretion of contractor. Fiber mulch to be mixed with seed and fertilizer if hydroseeding. Or, protect seeded areas by spreading straw mulch to form a continuous blanket over seeded areas.
- Keep seedbed moist for 4 weeks.

MAINTENANCE

Maintenance Period - Contractor shall provide regular maintenance until a date of 60 days after completion of planting. Maintenance shall begin when planting is started for ongoing planting areas. Maintenance operations shall include watering, weeding, and mowing. Contractor shall provide temporary irrigation equipment if needed to provide a minimum of 1" of water per week throughout the maintenance period for all planting areas.

PLANT GUARANTEE

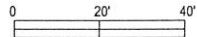
The landscape contractor shall guarantee to replace once, without charge, any woody plant material (deciduous or evergreen trees & shrubs) that dies within one year of installation, providing the owner gives normal plant care (regular watering). The owner must report plant losses within the guarantee period.

PLANTING SCHEDULE

SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COND	SPACING
Shade Trees						
AF	Acer x freemontii 'Autumn Blaze'	Autumn Blaze Maple	6	2 1/2' Cal	B/B	As shown
GD	Gymnocladia dioica	Kentucky Cucumber	3	2 1/2' Cal	B/B	As shown
QR	Quercus rubra	Red Oak	3	2 1/2' Cal	B/B	As shown
Ornamental Trees						
CC	Cercis canadensis 'Columbus Strain'	Columbus strain Redbud	3	2 1/2' Cal	B/B	As shown
CI	Crataegus crusgalli var. nivalis	Thornless Cockspur Hawthorn	2	2 1/2' Cal	B/B	As shown
Evergreen Trees						
PP	Pinus pungens	Colorado Green Spruce	4	6' Ht	B/B	As shown
PN	Pinus nigra	Austrian Pine	3	6' Ht	B/B	As shown
Deciduous Shrubs						
BT	Berberis l. a. nana 'Crimson Pigmy'	Crimson Pigmy Barberry	9	2 Gal	Container	30" o.c.
PF	Philadelphus l. 'Mickey's Wish'	Mickey's White Pothos	4	2 Gal	Container	30" o.c.
VD	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Arrowwood Viburnum	5	36" Ht	B/B	72" o.c.
WM	Wegelia 'Minuet'	Minuet Weigela	8	2 Gal	Container	42" o.c.
Evergreen Shrubs						
JC	Juniperus chinensis pfitz. comp.	Compad Pfitzer Juniper	2	5 Gal	B/B	60" o.c.
JS	Juniperus sibirica 'Calgary Carpet'	Calgary Carpet Juniper	8	5 Gal	Container	60" o.c.
TO	Thuja occidentalis 'Tectony'	Tectony Arborvitae	3	5' Ht	B/B	60" o.c.
Perennials						
HR	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	19	1 Gal	Container	18" o.c.
SH	Sporobolus heterolepis	Prarie Dropseed	20	1 Gal	Container	30" o.c.
SS	Schizanthus luteus	Lute Bluestem	20	1 Gal	Container	30" o.c.



PLANTING PLAN



PLANTING PLAN

for
Skydance Pet Lodge

W229 N2633 Duplainville Road
City of Pewaukee, Waukesha County, Wisconsin

SCALE: 1" = 20'-0"

PROJECT NO.

DATE: 2/14/2018

SHEET NUMBER

L-1

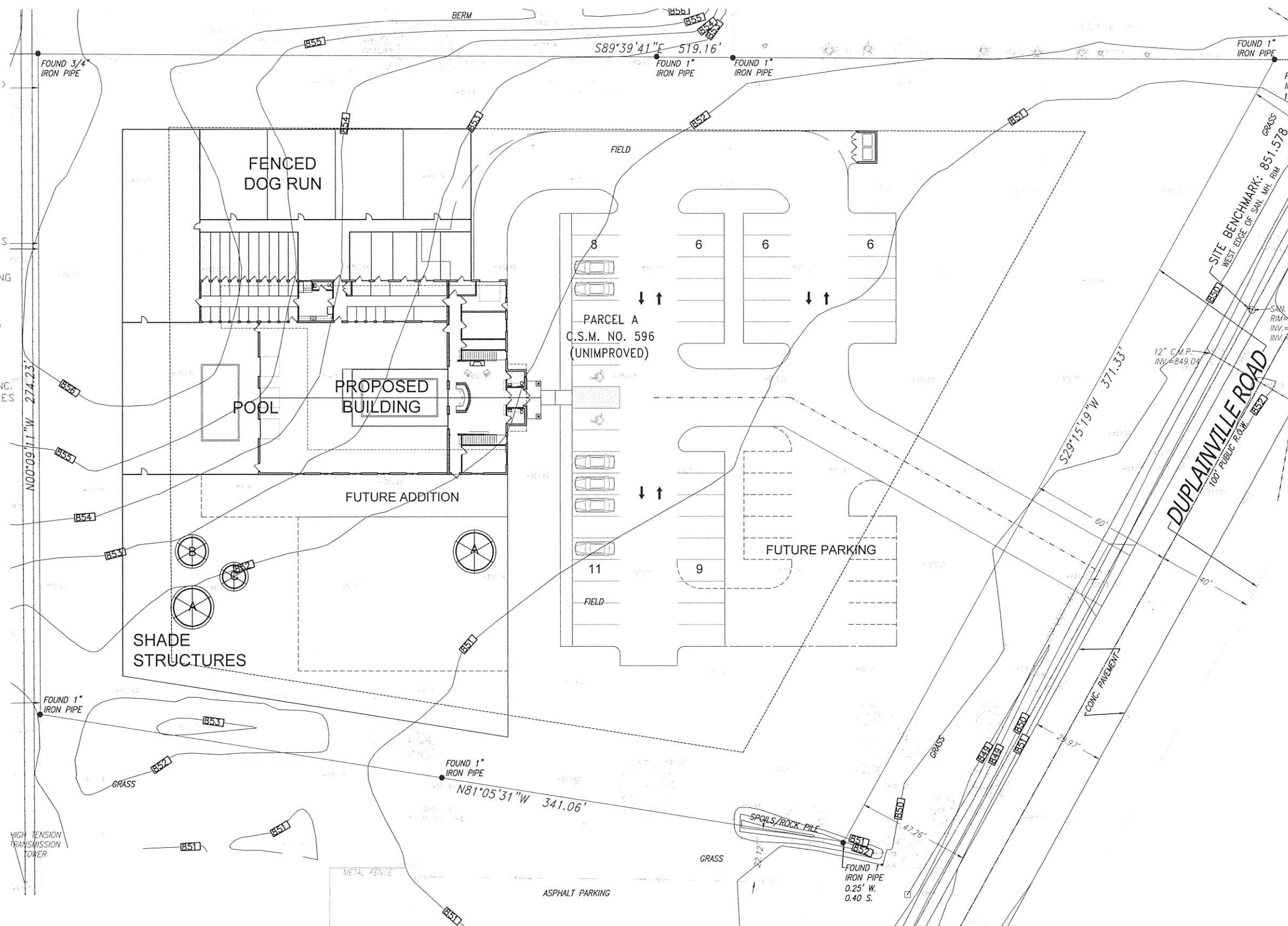
Site Engineering Services

2920 Oakwood Road
Hartland, WI 53029
262-367-4960 office
262-367-4960 cell
martin@worden.net email
Martin D. Worden, PE
Civil Engineer/Consultant



SITE INFORMATION

- TOTAL SITE AREA:**
 - 138,085 S.F. (3.17 ACRES)
BUILDING AREA:
 - 9,099 S.F. OR 5.8%
ACCESSORY BUILDING AREA:
 - A= 402
 - B= 113
 - C= 79
 - 594 SF.
PAVED AREA:
 - 24,055 S.F.
GREEN SPACE:
 - 33,748/138,085= 24.4%
ZONING:
 - B-6 MIXED USE BUSINESS
 CITY OF PEWAUKEE, WI
BUILDING SETBACKS:
 - 55' FRONT YARD BUILDING
 - 30' SIDE YARD
 - 55' REAR YARD
BUILDING HEIGHT:
 - 45'-0" (3 STORIES MAX.)
PAVING SETBACKS:
 - 10'
PARKING REQUIREMENTS:
 - TBD
 46 SPACES PROVIDED INC.
 2 H.C. ACCESSIBLE SPACES



○ SITE PLAN
 SCALE: 1"=20'



Sky Dance Pet Lodge
 W229 N2633 Duplainville Road
 Pewaukee, WI

DOCUMENT SEAL

OWNERSHIP AND USE OF DOCUMENTS
 The drawings, specifications and other documents furnished by the ARCHITECT are instruments of service and shall not become the property of the Owner whether or not the Project for which they are made is commenced. Drawings, specifications and other documents furnished by the ARCHITECT shall not be used by the Owner on other projects, for additions to this project or for completion to use, liability and compensation. Submission or distribution of documents to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of the ARCHITECT'S common law copyrights or other reserved rights. The Owner shall own neither the documents nor the copyrights.

REVISIONS

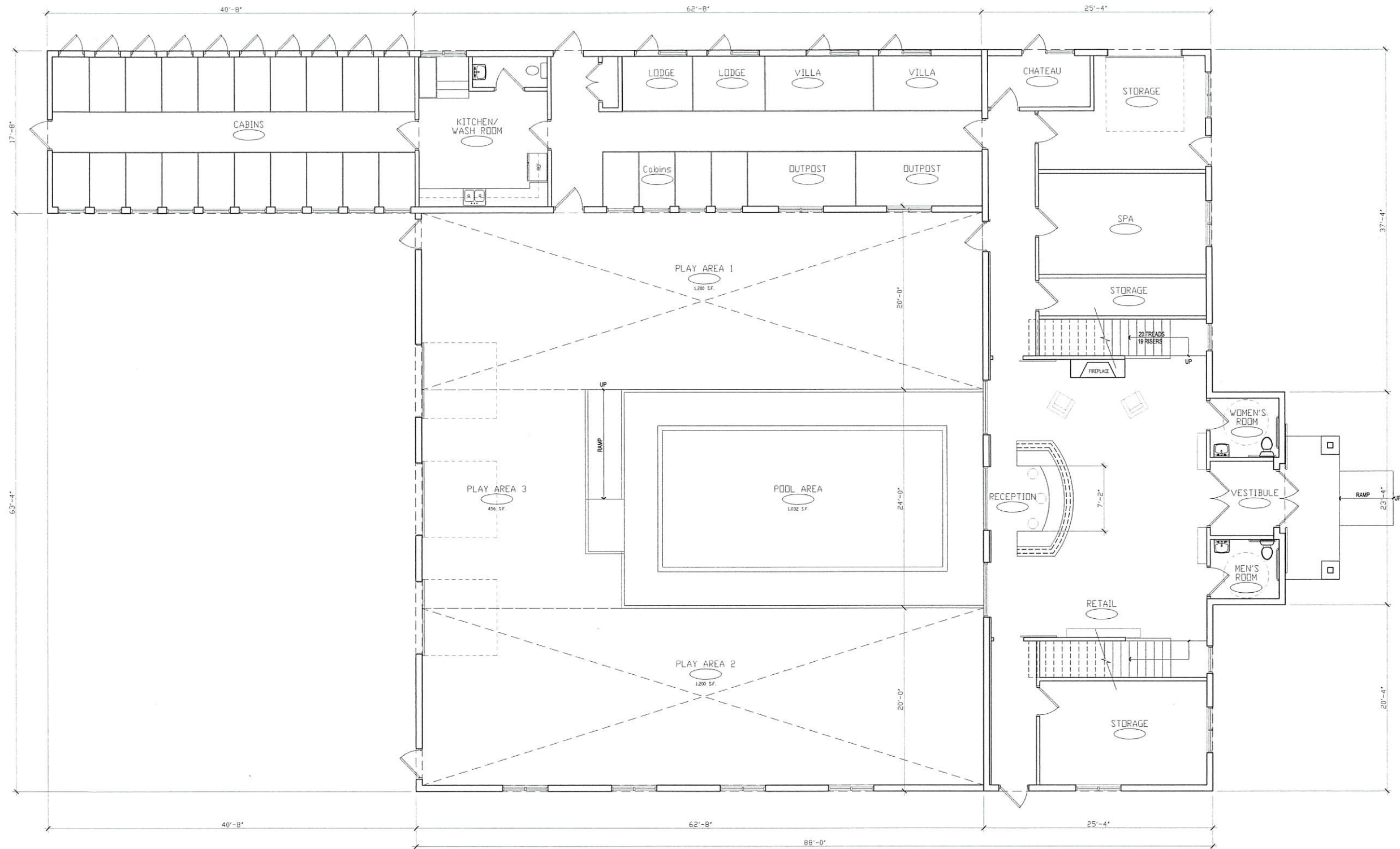
PROJECT INFORMATION

Date: 02.15.2018
 Job No.:
 Drawn By: BR
 SHEET NO.

SP1.1

SHEET TITLE

Site Plan



MAIN FLOOR PLAN
 SCALE: 3/16" = 1'-0"
 8,032 S.F.



Sky Dance Pet Lodge
 W229 N2633 Duplainville Road
 Pewaukee, WI

DOCUMENT SEAL

OWNERSHIP AND USE OF DOCUMENTS
 The drawings, specifications and other documents furnished by the ARCHITECT are instruments of service and shall not become the property of the Owner whether or not the Project for which they are made is, in whole or in part, completed. Drawings, specifications and other documents furnished by the ARCHITECT shall not be used by the Owner on other projects, for additions to this project or for completion to use, liability and compensation. Submission or distribution of documents to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of the ARCHITECT'S common law copyrights or other reserved rights. The Owner shall own neither the documents nor the copyrights.

REVISIONS

PROJECT INFORMATION

Date: 02.13.2018

Job No.:

Drawn By: BR

SHEET NO.

A1.1

SHEET TITLE

Main Level Plan



bob rowe, aia
 414.319.9016
www.pure-arch.com

Sky Dance Pet Lodge

W229 N2633 Duplainville Road
 Pewaukee, WI

DOCUMENT SEAL

OWNERSHIP AND USE OF DOCUMENTS

The drawings, specifications and other documents furnished by the ARCHITECT are instruments of service and shall not become the property of the Owner whether or not the Project for which they are made is commenced. Drawings, specifications and other documents furnished by the ARCHITECT shall not be used by the Owner on other projects, for additions to this project or for completion to use, liability and compensation. Submission or distribution of documents to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of the ARCHITECT'S common law copyrights or other reserved rights. The Owner shall own neither the documents nor the copyrights.

REVISIONS

PROJECT INFORMATION

Date:

02.13.2018

Job No.:

Drawn By:

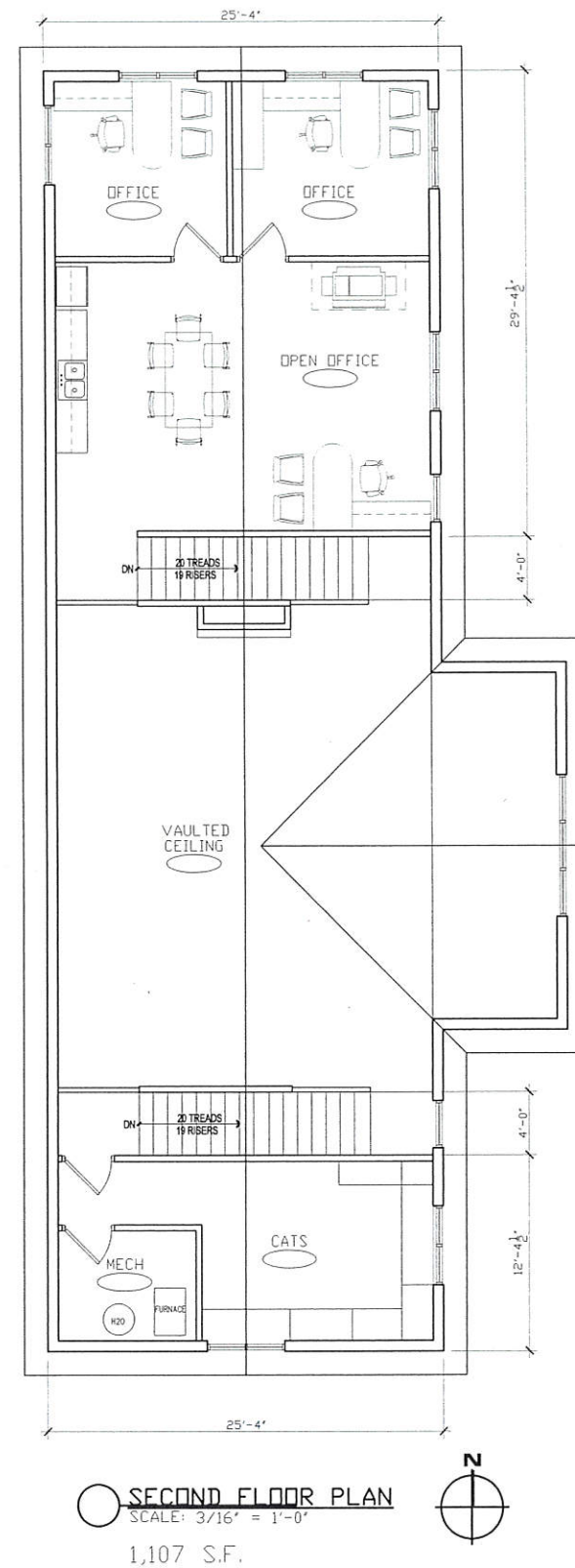
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SHEET NO.

A1.2

SHEET TITLE

Lower & Upper Level

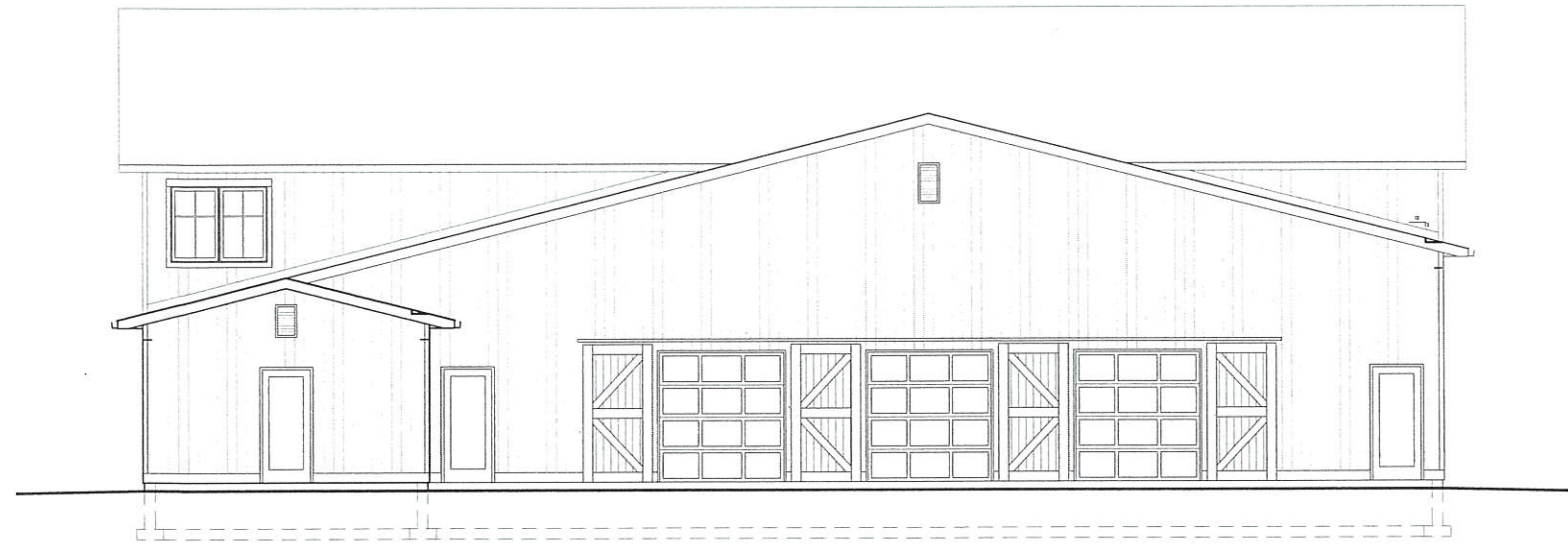




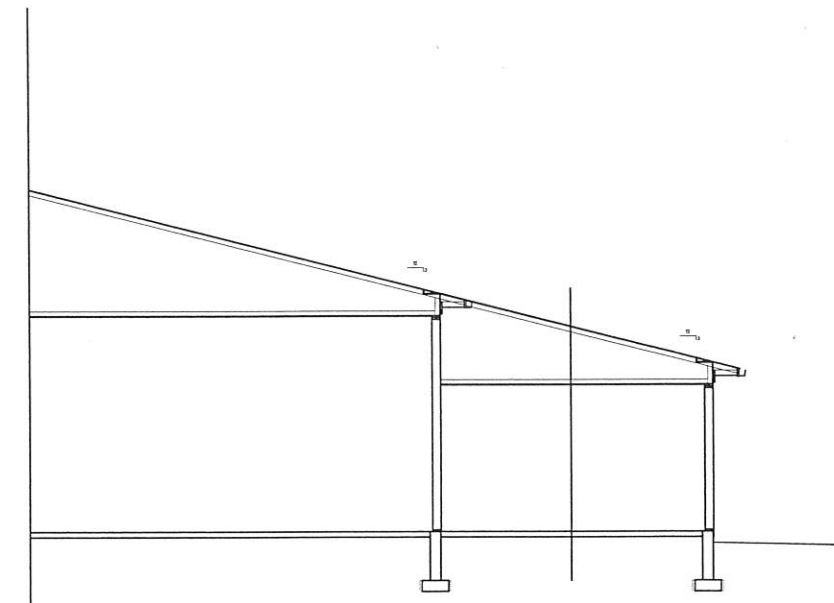
EAST ELEVATION
SCALE: 3/16" = 1'-0"



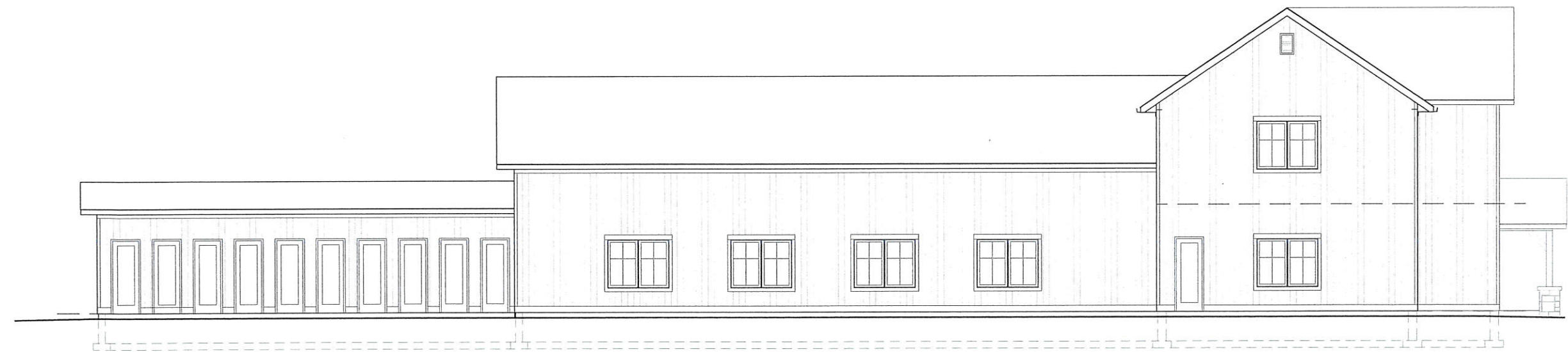
NORTH ELEVATION
SCALE: 3/16" = 1'-0"



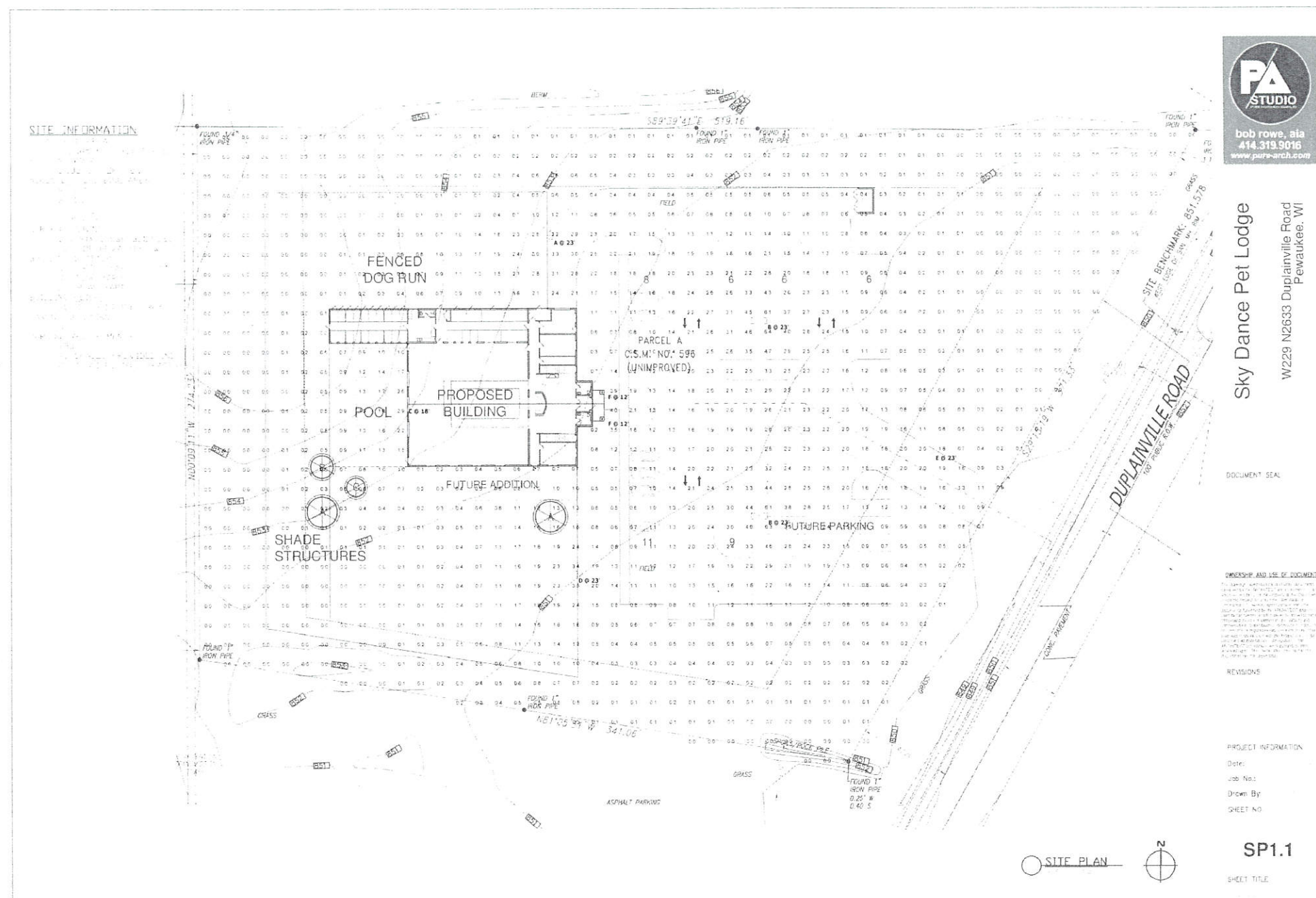
WEST ELEVATION
SCALE: 3/16" = 1'-0"









STUDY SECTION
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



Plan View
Scale - 1" = 30ft

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	1	Lithonia Lighting	KAD LED 40C 1000 40K R2 MVOLT	KAD LED, 40 LED, 1 AMP MVOLT DRIVER, 4000K, TYPE 2 OPTICS.	LED	1	KAD_LED_40C_1000_40K_R2_MVOLT.ies	14951	0.95	141
	B	2	Lithonia Lighting	KAD LED 40C 1000 40K R4 MVOLT	KAD LED, 40 LED, 1 AMP MVOLT DRIVER, 4000K, TYPE 4 OPTICS.	LED	1	KAD_LED_40C_1000_40K_R4_MVOLT.ies	14907	0.95	282
	C	1	Lithonia Lighting	DSXW2 LED 20C 1000 40K T4M MVOLT	DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED's, 1000mA DRIVER, 4000K LED, TYPE 4 MEDIUM OPTIC	LED	1	DSXW2_LED_20C_1000_40K_T4M_MVOLT.ies	7599	0.95	73
	D	1	Lithonia Lighting	KAD LED 40C 1000 40K R4 MVOLT	KAD LED, 40 LED, 1 AMP MVOLT DRIVER, 4000K, TYPE 4 OPTICS.	LED	1	KAD_LED_40C_1000_40K_R4_MVOLT.ies	14907	0.95	141
	E	1	Lithonia Lighting	KAD LED 20C 1000 40K R2 MVOLT	KAD LED, 20 LED, 1 AMP MVOLT DRIVER, 4000K, TYPE 2 OPTICS.	LED	1	KAD_LED_20C_1000_40K_R2_MVOLT.ies	7886	0.95	73
	F	2	Barn Light USA	BLE-G-WHS14-XXX-G22-LED27-3000K		LED 2000 LUMENS	1	RS16-150W A21 F.IES	2000	0.9	27

20' pole + 3' base = 23' mounting height



Page 1 of 4

W240 N3065 Pewaukee Rd Pewaukee, WI 53072 Building Services Office - 262-691-9107 City Hall Main Office - 262-691-0770 Fax - 262-691-1793		BUSINESS PLAN OF OPERATION APPLICATION CITY OF PEWAUKEE		Permit No. Parcel/Tax Key No. SUITE#:
NAME OF PROPOSED BUSINESS: <u>SkyDance Pet Lodge</u>				
SITE ADDRESS: <u>W229 N2633 Duplainville Rd.</u>				
Business / Operator's Name (Please Print) ***IF SOLE PROPRIETOR-PLEASE SEE page 2 of 4 pages*** <u>Dennis Lutynski</u>		Mailing Address <u>W267 S5619 Hwy67 Dousman</u>	City <u>WI</u>	State <u>WI</u>
		Zip <u>53118</u>	Phone# <u>414-669-8937</u>	FEIN#
Tenant's Name: (Please Print) <u>NA</u>		Mailing Address City State Zip Email Address	Phone# FEIN#	
DESCRIPTION OF BUSINESS OPERATION: <u>Luxury Dog/Pet Kennel, Daycare, grooming, training, pool, boarding</u>				
TYPE OF BUSINESS: Please Check the appropriate Box for type: <input checked="" type="checkbox"/> Retail <input type="checkbox"/> Office <input type="checkbox"/> Warehouse/Storage <input type="checkbox"/> Industrial		Description Primary used for <u>Doggie Daycare & Luxury Pet boarding.</u>		
NEW USE?: <input checked="" type="radio"/> Yes or <input type="radio"/> No?		EXPANSION OF EXISTING USE?: Yes or <input checked="" type="radio"/> No? or OTHER?		
HOURS of OPERATION: From: <u>6:15am</u> to <u>9:00pm</u>		DAYS of OPERATION: <u>Sunday to Saturday</u>		
MAXIMUM NUMBER OF EMPLOYEES: How many Full Time? <u>10</u> How many Part Time? <u>10</u>		CURRENT ZONING: <u>B6</u>		
Expected Customers per day: <u>65</u>		Number of Trucks per day: <u>0-1</u> Number of Autos per day: <u>65</u>		
PARKING Available Parking/Parking Lot Spaces # <u>45</u> Loading Spaces # <u>1</u> Is there Overnight Parking? Yes or <input checked="" type="radio"/> No?		STORAGE Any Outside Storage? Yes or <input checked="" type="radio"/> No? Please list type of Storage?		
SEWAGE DISPOSAL BY: Public Sewer <input checked="" type="checkbox"/> Septic Tank <input type="checkbox"/> Holding Tank <input type="checkbox"/> Storm Water Retention/Detention: <input checked="" type="checkbox"/> Yes? or <input type="checkbox"/> No?		WATER SUPPLY BY: Public Water Main <input checked="" type="checkbox"/> Private Well <input type="checkbox"/> Other <input type="checkbox"/>		
Any Special Equipment/Facilities/Requirements? Yes or <input checked="" type="radio"/> No?		SOLID WASTE (trash) DISPOSAL BY: Contract: <u>Advance Disposal</u> Self: <u>NA</u> Any flammable substances? Yes or <input checked="" type="radio"/> No? If Yes, where Stored?		
APPLICANT'S SIGNATURE <u>[Signature]</u>		APPLICANT'S PRINTED NAME <u>Dennis Lutynski</u> DATE SIGNED <u>2-9-18</u>		
PROPERTY OWNER'S SIGNATURE <u>[Signature]</u>		PROPERTY OWNER'S PRINTED NAME <u>Dennis Lutynski</u> DATE SIGNED <u>2-9-18</u>		
APPROVAL CONDITIONS Applicant is responsible to obtain any licenses, permits, certificates or other documents from other agencies of City Departments. For example: Cigarette and Alcoholic Beverage Licenses must be obtained from the City Clerk and Building Permits from the Building Inspector. Also, Occupancy of the premises requires approval of this application.				
For City Staff ONLY Submitted for Review on: _____ Date: _____ Approval by Zoning Administrator: _____ Date: _____ Approval by City Planner: _____ Date: _____ SPECIAL REQUIREMENTS/COMMENTS: _____				

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 7.**

DATE: April 19, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action and Public Hearing Regarding the 2050 Land Use/Transportation Plan for the Six Non-Neighborhood Land/Water Areas of the City

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Non-Neighborhood Land/Water Areas Description

Non-Neighborhood Land/Water Areas Map

V - NON-NEIGHBORHOOD LAND/WATER AREAS

In addition to the 15 neighborhoods identified and depicted on the map presented as Exhibit A and on the individual neighborhood plans presented above, there are four small and two larger areas within the City boundaries that do not 'fit' within any of the 15 delineated neighborhoods, primarily due to the irregularities of the City's mutual boundary with adjoining municipalities. The six non-neighborhood 'areas' together total 557.6 acres or 0.87 square miles, of which 81% is water, wetlands and floodplain area. Each of the six 'areas' has been colored orange and given a letter designation beginning with the letter A, **as shown on Exhibit A**. Following is a description of the existing land uses and the proposed plan for each of the six non-neighborhood land/water 'areas' as a part of the general City Comprehensive Plan for 2050:

Area A -- This 'area' lies in the NW quadrant of the City and encompasses a small area of the SW one-quarter of U.S. Public Land Survey Section 5 and a large area of Section 8 including 132.5 acres of Lake Pewaukee, together totaling 202.1 acres. Area A is bounded on the north by Capitol Drive (CTH JJ); on the east by the City's mutual boundary with the Village of Pewaukee; on the south by a part of the lake located within the South Lake Neighborhood; and, on the west by the section line between Sections 6 & 7 and 5 & 8. Like the Hillside-Glacier Neighborhood to the west, the 'area' is divided in an east/west direction by both Glacier Road and the Canadian Pacific (CP) Railroad tracks.

With the exception of one small business and a few single-family homes abutting Glacier Road, existing land use in that portion of the 'area' north of Glacier Road is almost entirely floodplain and wetlands adjacent to Coko Creek, which drains south into Lake Pewaukee. Existing land use in the area between Glacier Road and the CP Railroad and on Kopmeier Drive between the CP Railroad and Lake Pewaukee consist of single-family homes, some dating back to the 1920s. The only land access to the Kopmeier Drive area of the City is through the Village of Pewaukee.

The long-range plans for Area A propose no significant changes to the area unless there is future redevelopment of the area during the plan period (2015 – 2050). Existing streets in the area will remain with no proposed additional streets.

Area B -- This very small 'area' consists of four parcels of land totaling 8.2 acres located in the NE corner of the SE one-quarter of U.S. Public Land Survey Section 10. Area B is bounded on the north by Capitol Drive (STH 190); on the east by Pewaukee Road (STH 164); and, on the south and west by the City's mutual boundary with the Village of Pewaukee. Existing land use in the area consists of three commercial properties and an older six acre farm house and property which backs on medium density residential properties in the Village. The only viable access to the commercial properties is a 'right-in, right-out' driveway from Pewaukee Road. The City's 2050 plans for the 'area' proposes

that the commercial uses remain with only the current limited driveway access with no new public or private street access to either Pewaukee Road or Capitol Drive and the old farm property be developed for medium density residential uses during the 2015-2050 plan period. **It should be noted, however, that the Wisconsin Department of Transportation's current (2016) long-range plans for the adjacent intersection of Capitol Drive (STH 190) and Pewaukee Road (STH 164) is to build a two level multi-lane interchange to replace the current standard at-grade signalized multi-lane intersection. It is anticipated that such a structure will require the acquisition of adjacent properties, which may have significant impact on the properties within Area B.**

Area C -- This 'area' consists of four properties totaling 38.3 acres located in the SE corner of the SE one-quarter of U.S. Public Land Survey Section 10. Area C lies immediately north of the Pewaukee City Hall campus and is bounded on the north by the City's mutual boundary with the Village of Pewaukee; on the east by Pewaukee Road (STH 164); on the south by the section line between Sections 10 and 15 (also the north boundary of the City Hall campus); and, on the west by the City's mutual boundary with the Village. This 'area' is separated from Area B by two small parcels located in the Village.

Existing land use in the 'area' includes an approximately 27 acre Lutheran church property and three older residential properties. The City's 2050 plans for the area propose that the church remain and any developable land among the four properties be developed as medium density residential uses during the 2015 – 2050 plan period.

Area D -- This 'area' consists of several parcels of land straddling the Pewaukee River and located in both the SE one-quarter of the SE one-quarter of U.S. Public Land Survey Section 22 and the NE one-quarter of the NE one-quarter of Section 27 and totaling 50.1 acres. Area D is bounded on the north by I-94; on the east by Pewaukee Road (CTH J); and, on the south and west by the City's mutual boundary with the City of Waukesha.

Existing land use in the 'area' includes an office use parcel and a large area of floodplain/wetlands on the north side of the Pewaukee River and several medium density single-family residences and some floodplain lands on the south side of the river. The City's long-range plan for this area is that all existing uses remain and any developable land south of the river and its floodplain be developed as medium density residential use during the plan period, however, the provision of public sanitary sewers is questionable.

Area E – This very small 'area' consists of an approximately two (2) acres, including a single-family parcel located in the NW one-quarter of the NE one-quarter of U.S. Public Land Survey Section 16. Area E is bounded on the north by the City's mutual boundary with the Village of Pewaukee; on the east by Main Street and STH 16; and, on the south and west by the City's mutual

boundary with the Village of Pewaukee. This small single property is tied to the rest of the City to the south by a narrow territorial corridor along the rights-of-way of Main Street and the extension of CTH T (Grandview Boulevard). (*Please see Exhibit A*). It is proposed to eventually transfer this parcel along with the narrow street right-of-way corridor, to the Village. The only basic services provided to this property by the City is emergency service.

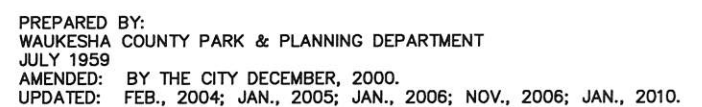
Area F -- This relatively large 'area' consists of three properties encompassing 256.9 acres located in the southern one-half of U.S. Public Land Survey Section 16 and the northern one-quarter of Section 21. Area F is bounded on the north by College Avenue (CTH SS) and the City's mutual boundary with the Village of Pewaukee; on the east by Grandview Boulevard (CTH T); on the south by Fatima Road and the City's mutual boundary with the City of Waukesha; and, on the west by the section line between Sections 16 & 17 and 20 & 21.

The 'area', underlain with several feet of peat soils, was, many years ago, a 'wet' vegetable farming area. The entire acreage is now classed as wetlands with a high quality bird sanctuary and other wildlife habitat. It is proposed on the City's long-range plans that land and water in this 'area' remain in their natural state forever.

2017

The 2050 Plan for the Non-neighborhood Land/Water Areas is an update and revision of the Non-neighborhood Land/Water Areas for 2035 adopted in 2012. After public hearing and subsequent revision, this 2050 Plan for the Non-neighborhood Areas of the City was adopted by the City Plan Commission on February 15, 2018 and by the City Common Council on March 5, 2018.

R19E



**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 8.**

DATE: April 19, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding Conceptual Site and Building Plans for the Rainbow Child Care Center Located on Highfield Court

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Rainbow Child Care Center Plans

Preliminary Plan Commission Submittal

for:

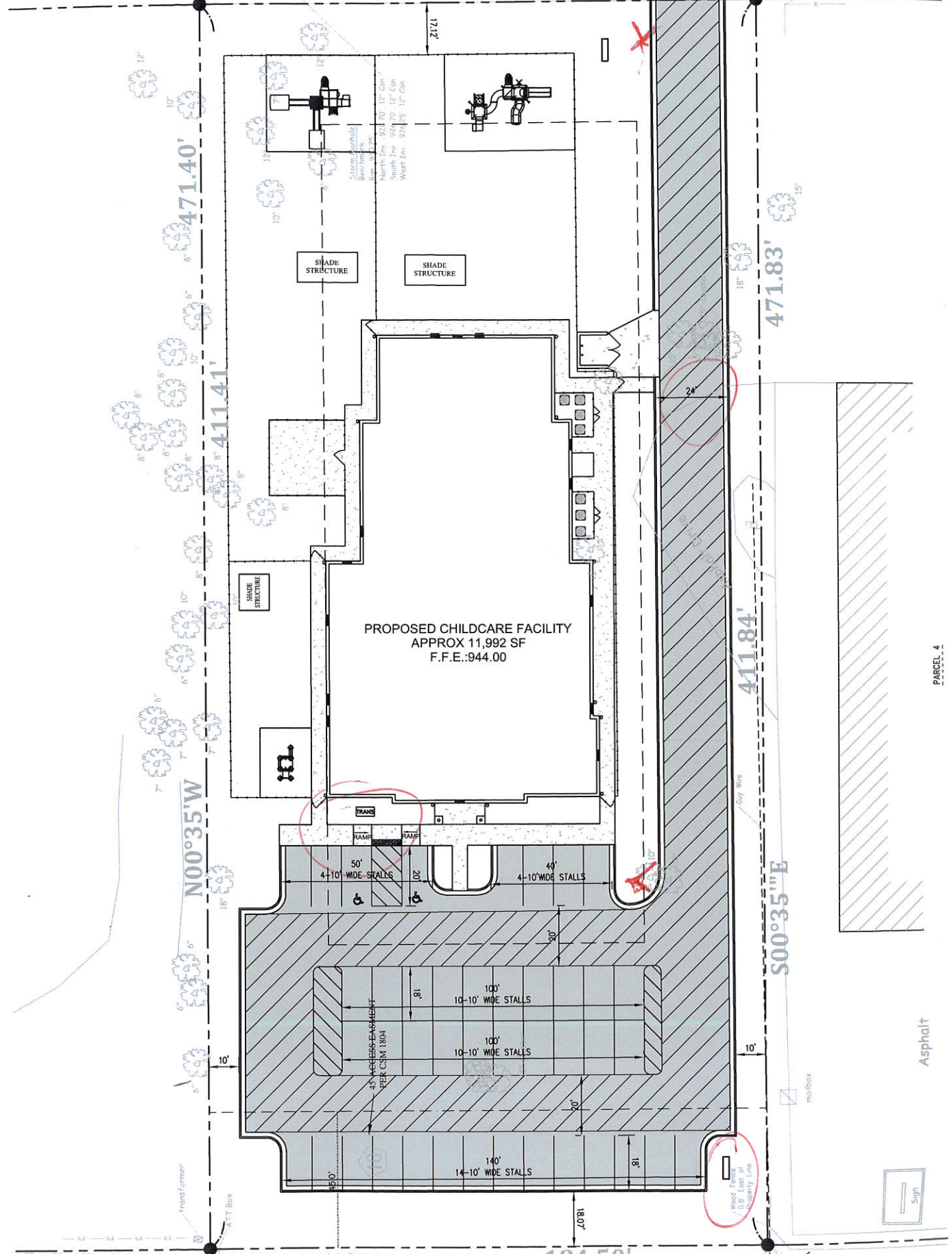


**Highfield Court
Pewaukee, WI**

CONTENTS:

CONCEPTUAL LAYOUT
ELEVATIONS AND COLOR RENDERINGS
PHOTO EXAMPLES OF PREVIOUS PROJECT

PRELIMINARY--NOT FOR CONSTRUCTION



SITE NOTES:

TOTAL SITE AREA: 75,945 SF (1.74 ACRES)
TOTAL DISTURBED AREA: 65,340 SF (1.50 ACRES)
TOTAL AREA EXISTING PAVEMENT: 0 SF (0 ACRES)
TOTAL AREA EXISTING BUILDING: 0 SF (0 ACRES)
TOTAL EXISTING IMPERVIOUS: 0 SF (0 ACRES)
TOTAL PAVEMENT FOLLOWING DEVELOPMENT: 27,048 SF (0.62 ACRES)
TOTAL BUILDING AREA FOLLOWING DEVELOPMENT: 11,992 SF (0.28 ACRES)
TOTAL IMPERVIOUS FOLLOWING DEVELOPMENT: 39,040 SF (0.89 ACRES) --- 51.4%

- 1 NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.
2. **

PARKING NOTES:

PARKING REQUIRED BY OWNER: 40 STALLS
PARKING PROVIDED: 42 STALLS

SYMBOL LEGEND

- NEW ASPHALT PAVEMENT (***)
- NEW CONCRETE SIDEWALK (***)
- NEW CONCRETE PAVEMENT (***)
- NEW STONE MULCH (COORDINATE COLOR WITH OWNER/ARCH)
- TOPSOIL/SEED/MULCH

PRELIMINARY--NOT FOR CONSTRUCTION

PRELIMINARY--NOT FOR CONSTRUCTION

Larson Engineering, Inc.
2801 E. Elmira Ave. Suite 200
Ann Arbor, MI 48106
920.734.9887 Fax: 920.734.9880
www.larsoneng.com

EIGHT
1742 Crooks Road
Troy, Michigan 48064
Attn: Samantha Coponen
(248) 519-9274

RAINBOW CHILD CARE

PEWAUKEE, WISCONSIN 53072

SEAL

Date:
Design Firm#

No.	Date	Description
0	03/26/2018	CONCEPT LAYOUT

Project #: 32170005-000
Drawn by: SLM
Checked by: SEK
Sheet Title:



C2.0

Exterior Elevation Materials					84
SYMBOL	ITEM	MANUFACTURER	MODEL	COLOR / FINISH	NOTES
M-1	BRICK	BEAUMONT BRICK	CROSSROADS SERIES	COLOR - LASTER	IF BRICK IS NOT READY AVAILABLE PROVIDE OPTIONS FOR OWNER TO APPROVE
M-2	ASPHALT SHINGLES	GAF ROOFING	THUNDERBOLT HD - LIFETIME SHINGLES	COLOR - WEATHERED WOOD	
M-3	BREAK METAL TRIM	QUALITY EDGE	TRULINE EMBOSSED TRIM COIL	COLOR - B07 (CLAY)	
M-4	VINYL SIDING	CERTANTED CORPORATION	DOUBLE D CLAPBOARD	ART	
M-5	STONE VENEER	-	-	-	YES, NO OWNER FOR MARKET CHOICE, MODEL, AND COLOR
M-6	PREFIN ALUMINUM GUTTER	HASTIC HOME EXTERIORS	4" GUTTER COIL - 27 GAUGE	COLOR - PEBBLESTONE CLAY (DIESET W/CHIMNEY)	
M-7	SLU	T.B.D.	UNESTONE	VARIEGATED	
M-8	CEDAR TRIM BOARD	-	CEDAR	NATURAL & SEALED	
M-9	SURFACE C.H.I.	NICHOLSON CERTIFIED CONCRETE	SPLIT FACED	VARIES	IF BLOCK IS NOT READY AVAILABLE PROVIDE OPTIONS FOR OWNER TO APPROVE

NOTE:
USED WHEN WINDOWS TO BE PRE-FINISHED W/DOORSET 3410



NORTH ELEVATION



EAST ELEVATION

RAINBOW CHILD CARE

C-PROTO RENDERING



THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.

Exterior Elevation Materials					See
SYMBOL	ITEM	MANUFACTURER	MODEL	COLOR / FINISH	NOTES
M-1	BRICK	BRAMPTON BRICK	CROSSROADS SERIES	COLOR - JASPER	IF BRICK IS NOT READILY AVAILABLE PROVIDE OPTIONS FOR OWNER TO APPROVE
M-2	ASPHALT SHINGLES	GAF ROOFING	THUNDERBOLT - LIFETIME SHINGLES	COLOR - WEATHERED WOOD	
M-3	BREAK METAL TRIM	QUALITY EDGE	TRULINE EMBOSSED TRIM CODE	COLOR - BEY (CLAY)	
M-4	VINYL SIDING	CENTANET CORPORATION	DOUBLE F CLAYBOARD	MIST	
M-5	STONE VENER	-	-	-	SEE M-10 CHIMNEY FOR MANUFACTURER MODEL AND COLOR
M-6	PREFIN ALUMINUM GUTTER	HAUTE HOME EXTERIORS	4" GUTTER COIL - 27 GAUGE	COLOR - POLYESTER CLAY (DIPSY NACHWARTS)	
M-7	SELS	T.B.S.	UNESTONE	VARIEGATED	
M-8	CEDAR TRIM BOARD	-	CEDAR	NATURAL & SEALED	
M-9	SURFACE C.A.S.	MICHIGAN CERTIFIED CONCRETE	SPLIT FACING	TRAILS	IF BLOCK IS NOT READILY AVAILABLE PROVIDE OPTIONS FOR OWNER TO APPROVE

NOTE:
SELS WITH WINDOWS TO BE PREFINISHED HUESBERT SAND



RAINBOW CHILD CARE

C-PROTO RENDERING

Exterior Elevation Materials					
SYMBOL	ITEM	MANUFACTURER	MODEL	COLOR / FINISH	NOTES
M-1	BRICK	BRAMPTON BRICK	CROSSROADS SERIES	COLOR - JASPER	IF BRICK IS NOT READILY AVAILABLE PROVIDE OPTIONS FOR OWNER TO APPROVE
M-2	ASPHALT SHINGLES	GAF ROOFING	TIMBERLINE HD - LIFETIME SHINGLES	COLOR - WEATHERED WOOD	
M-3	BREAK METAL TRIM	QUALITY EDGE	TRIUMPH EMBOSSED TRIM COIL	COLOR - 807 (CLAY)	-
M-4	VINYL SIDING	CERTANTEED CORPORATION	DOUBLE 5" CLAPBOARD	MIST	-
M-5	STONE VENER	-	-	-	VER. W/ OWNER FOR MANUFACTURER, MODEL, AND COLOR
M-6	PRE-FIN ALUMINUM GUTTER	MASTIC HOME EXTERIORS	6" GUTTER COIL - 27 GAUGE	COLOR - PEBBLESTONE CLAY (VERIFY W/OWNER)	-
M-7	SILLS	T.B.D.	LIMESTONE	VARIEGATED	-
M-8	CEDAR TRIM BOARD	-	CEDAR	NATURAL & SEALED	-
M-9	SPLITFACE CMU	MICHIGAN CERTIFIED CONCRETE	SPLIT FACED	VARIES	IF BLOCK IS NOT READILY AVAILABLE PROVIDE OPTIONS FOR OWNER TO APPROVE

NOTE:
JELD-WEN WINDOWS TO BE PRE-FINISHED W/OSBERT SAND



BRAMPTON BRICK



BREAK METAL TRIM



STONE VENER



LIMESTONE SILL



ASPHALT SHINGLES



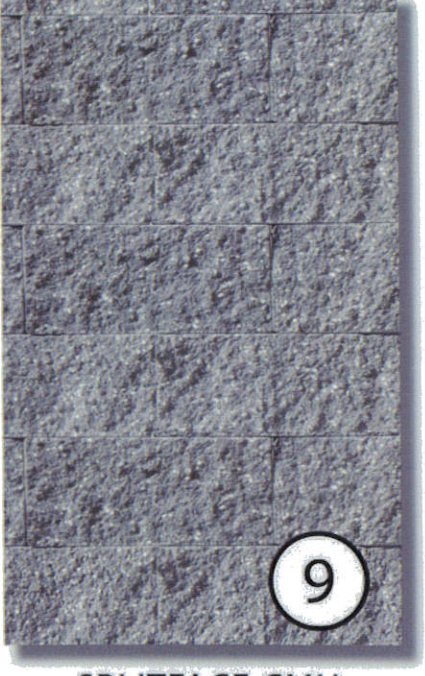
VINYL SIDING



PRE-FIN ALUMINUM GUTTER



CEDAR TRIM BOARD



SPLITFACE CMU

RAINBOW CHILD CARE

C-PROTO RENDERING



THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.





**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 9.**

DATE: April 19, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Further Discussion Regarding the Parkway Ridge Subdivision Proposal by Neumann Development

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION: