

Planning Department

W240N3065 Pewaukee Road
Pewaukee, WI 53072
(262) 691-0770 Fax (262) 691-1798

PLAN COMMISSION MEETING NOTICE AND AGENDA

Thursday, September 19, 2024

6:00 PM

Pewaukee City Hall Common Council Chambers
W240 N3065 Pewaukee Rd., Pewaukee, WI 53072

1. Call to Order and Pledge of Allegiance
2. Discussion and Action Regarding the Revised Building Elevations, Shed, and Trash Enclosure Plans for The Courtyard at Pewaukee Property Located at the Northwest Corner of Golf Road and Meadowbrook Road (PWC 0940999001)
3. Discussion and Action Regarding a Recommendation to the Common Council for a Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee for Shorepoint Church for Property Located on the Southwest Corner of Duplainville Road and Capitol Drive From Medium Density Residential (6,500 Sq. Ft. - 1/2 AC./D.U.) and Floodplains, Lowland and Upland Conservancy, and Other Natural Areas to Government/Institutional and Floodplains, Lowland and Upland Conservancy, and Other Natural Areas (PWC 0912983, PWC 0912984, PWC 0912985)
4. Discussion and Action and Public Hearing for Shorepoint Church to Rezone Vacant Property Located at the Southwest Corner of Duplainville Road and Capitol Drive and Property Located at N34 W22407 Capitol Drive from Rs-1 Single-Family Residential to I-1 Urban Institutional, and to Rezone Property Located at W223 N3481 Duplainville Road from B-3 General Business to I-1 Urban Institutional for the Purpose of Constructing an Approximately 27,000 Square Foot Church (PWC 0912983, PWC 0912984, PWC 0912985)
5. Discussion and Action Regarding a Certified Survey Map for Shorepoint Church for Property Located at the Southwest Corner of Duplainville Road and Capitol Drive for the Purpose of Combining Three Existing Parcels in Order to Construct an Approximately 27,000 Square Foot Church (PWC 0912983, PWC 0912984, PWC 0912985)
6. Discussion and Action Regarding the Site and Building Plans for Shorepoint Church for Property Located at the Southwest Corner of Duplainville Road and Capitol Drive for the Purpose of Constructing an Approximately 27,000 Square Foot Church (PWC 0912983, PWC 0912984, PWC 0912985)
7. Discussion and Action Regarding a Recommendation to the Common Council for a Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee for Ken Weber Towing Service and Crossroads Church of Pewaukee, Inc. for Property Located at N27 W26541 Prospect Avenue from Government/Institutional to Retail/Service Commercial (PWC 0930985, PWC 0930984001)
8. Discussion and Action and Public Hearing for Ken Weber Towing Service and Crossroads Church

of Pewaukee, Inc. to Rezone a Portion of Property Located at N27 W26541 Prospect Avenue from I-1 Urban Institutional to B-5 Highway Business (PWC 0930985, PWC 0930984001)

9. Discussion and Action Regarding a Certified Survey Map for Property Located at N27 W26541 Prospect Avenue and N27 W26560 Prospect Avenue for the Purpose of Attaching a Portion of the Crossroads Church of Pewaukee, Inc. Property to the Ken Weber Towing Service Property (PWC 0930985, PWC 0930984001)
10. Discussion Regarding a Conceptual Review for Doug Kiser for the Review of a Proposed Private Park and Event Space for Property Located on Bluemound Road (PWC 0951995001)
11. Discussion and Action and Public Hearing Regarding Revisions to Permitted Accessory Uses Within the Rs-1 District (Section 340-4.5B.), Rs-2 District (Section 340-4.6B.), Rs-3 District (Section 340-4.7B.), and Rs-4 District (Section 340-4.8B.), and Adding Section 340-2.9B.(2)(1) to the City's Accessory Use and Structure Regulations, and Amending Section 126-3.A. Animal Regulations of the City's Municipal Code
12. Adjournment

Ami Hurd
Deputy Clerk

9/12/2024

NOTICE

It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum. At the above stated meeting, no action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the City Planner, Nick Fuchs, at (262) 691-6007 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 2.**

DATE: September 19, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding the Revised Building Elevations, Shed, and Trash Enclosure Plans for The Courtyard at Pewaukee Property Located at the Northwest Corner of Golf Road and Meadowbrook Road (PWC 0940999001)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

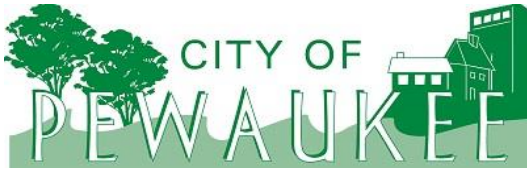
Courtyard at Pewaukee staff report 9.19.24

Courtyard at Pewaukee narrative

Courtyard at Pewaukee site & building plans

Courtyard at Pewaukee architectural site plan

Courtyard at Pewaukee paving plan



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of September 19, 2024

Date: September 11, 2024

Project Name: The Courtyard at Pewaukee Site & Building Plan Review

Project Address/Tax Key No.: Not Assigned / PWC 0940999001

Applicant: ANDEV Group, LLC

Property Owner: Pewaukee Golf Road LLC

Current Zoning: Rm-3 Multiple-Family Residential District and LC Lowland Conservancy District

2050 Land Use Map Designation: High Density Residential and Floodplains, Lowland & Upland Conservancy and Other Natural Areas

Use of Surrounding Properties: Golf Rd to the south, Lake Country Trail to the north, Oak Spring subdivision and Lakewood Baptist Church to the west, and Meadowbrook Rd to the east

Project Description/Analysis

The applicant is proposing site and building changes from the previously approved plans for the Courtyard at Pewaukee senior living facility. This project was previously approved at the April 20, 2023, Plan Commission and May 1, 2023, Common Council meetings.

The proposed development consists of a 76-unit senior living facility. The proposed building will consist of 40 apartments in an assisted living section, 36 units in a memory care section, and two courtyards, with one in each section of the building.

The site plan and building footprint are not changing significantly. However, the applicant is now proposing a separate accessory structure and dumpster enclosure, which were previously proposed as a single structure.

The applicant has provided the proposed building elevations along with those previously approved for Plan Commission review. There are changes to rooflines, building materials and the appearance of the entrance and center of the building. The applicant is requesting to replace stone on the building with siding. For example, stone on the building that extended into the gables has been replaced with horizontal and shake siding. Stone does remain at the base of the building.

Recommendation

A motion to approve the revised site and building plans for the Courtyard at Pewaukee project.



T. 920.426.4774 | F. 920.426.4788 | 4825 County Road A, Oshkosh, WI 54901 | Ganther.com

City of Pewaukee
Attn: Nick Fuchs
Planner and Community Development Director
W240N3065 Pewaukee Road
Pewaukee, WI 53072

7-29-2024

**RE: The Courtyard at Pewaukee
Revision to Approved site plan elevations.**

The proposed Courtyard at Pewaukee assisted living project had site and building plans approved at Plan Commission on 4-20-2023 and at Common Council on 5-1-2023. In the time since these approvals were made, the plans have been further developed into construction documents. The design has been adjusted to meet building code and final owner approvals. The overall building footprint is similar to the previously approved building footprint. The building elevations are also similar, but effort was made to create less linear roof lines, as well as to create a consistency in appearance of all 4-sides of the building. The monolithic stone gables were changed to a stone/siding/shake appearance to match the side gables, as well as create more visual interest and a better scale of materials. The central area of the building was reworked to improve internal functionality and maintain visual consistency with the rest of the building while highlighting the main entrance.

We request approval for the provided changes which we feel improves the overall appearance of the building from what was approved previously.

Thank You,

A handwritten signature in blue ink, appearing to read 'KJ Koziczowski'.

Kenneth J. Koziczowski, AIA
Architect
Ganther Construction/Architecture, Inc.

you got it.™



**Ganther Construction
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RC-CHANNEL TO BE PLACED ON SIDE OF WALL W/WALL TAG. SHEAR WALL SHEATHING / SCREW PATTERNS TO BE ON SIDE OF WALL OPPOSITE RC-CHANNEL.

FLOOR PLAN GENERAL NOTES

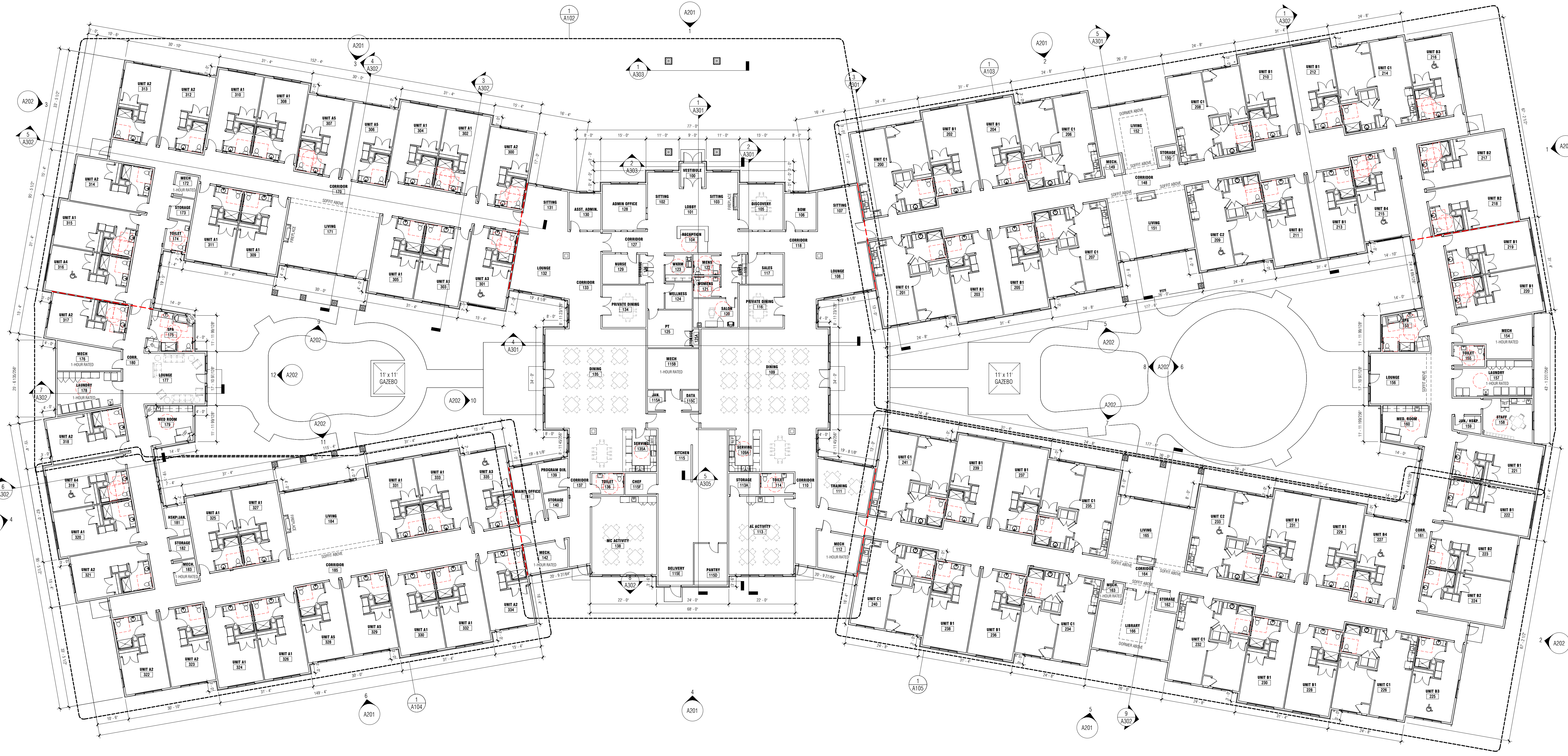
1. ALL WALLS TO BE TYPE 'A' UNLESS NOTED OTHERWISE.
2. ALL EXTERIOR DIMENSIONS ARE FACE OF SHEATHING TO FACE OF SHEATHING.
3. ALL INTERIOR DIMENSIONS ARE FRAMING TO FRAMING UNLESS NOTED OTHERWISE.
4. SEE LIFE SAFETY PLAN TO CONFIRM FIRE RATINGS.
5. WALL TYPE INDICATORS FOR WALL TYPES THAT INCLUDE RESILIENT CHANNEL ARE PLACED ON THE SIDE OF THE WALL TO INSTALL THE RESILIENT CHANNEL.
6. HANDRAIL (TYP. AT BOTH SIDERS OR CORRIDORS) SEE DETAILS 18/A501, 19/A501 AND 20/A501.

BUILDING INFORMATION

OVERALL BUILDING
FIRST FLOOR S.F. = 67,519 s.f.
CANOPY & PORCHES S.F. = 2,108 s.f.
MAINTENANCE BUILDING S.F. = 888 s.f.
TOTAL S.F. = 70,435 s.f.

TOTAL UNITS = 78
MEMORY CARE UNITS: 36
UNIT A1 - MC STUDIO @ 324 s.f.
UNIT A2 - MC STUDIO @ 384 s.f.
UNIT A3 - MC ADA STUDIO @ 414 s.f.
UNIT A4 - MC ADA STUDIO @ 414 s.f.
UNIT A5 - MC STUDIO @ 351 s.f.

ASSISTED LIVING UNITS: 42
UNIT B1 - AL STUDIO @ 414 s.f.
UNIT B2 - AL STUDIO @ 431 s.f.
UNIT B3 - AL STUDIO @ 404 s.f.
UNIT C1 - AL 1 BED @ 696 s.f.



1 OVERALL FLOOR PLAN
A101 SCALE: 1/16" = 1'-0"

THE COURTYARD AT PEWAUKEE
PROPOSED PROJECT FOR:
GOLF ROAD
PEWAUKEE, WI 53072

REVISIONS

#	DATE	DESCRIPTION

Project Number 21-1016
Date 07/29/2024
Drawn By VP
Checked By KK

OVERALL FLOOR PLAN
A101

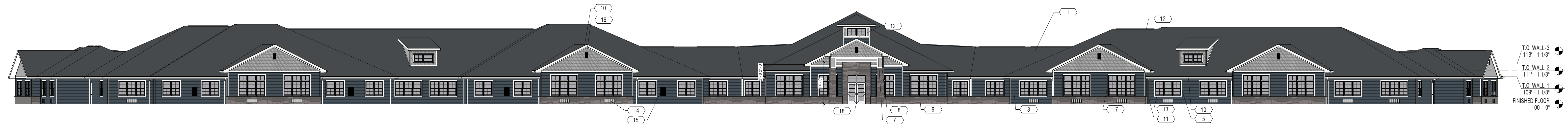
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**Ganter Construction
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PROVIDE MANUFACTURED STONE OUTLET, LIGHT BOX OR FLAT STONE TRIM WHERE REQUIRED IN MANUFACTURED STONE LOCATIONS FOR LIGHT FIXTURES, HOSE BIBBS, EXTERIOR OUTLETS AND OTHER DEVICES REQUIRING A FLAT INSTALLATION SURFACE.
PROVIDE MATCHING HARDIE PLANK J-BLOCK TRIM AT SIDING WHERE REQUIRED FOR LIGHTS, OUTLETS, HOSE BIBBS AND OTHER DEVICES REQUIRING A FLAT INSTALLATION SURFACE.



1 EXTERIOR NORTH
A201 SCALE: 1/16" = 1'-0"



2 NORTHEAST ELEVATION
A201 SCALE: 1/16" = 1'-0"



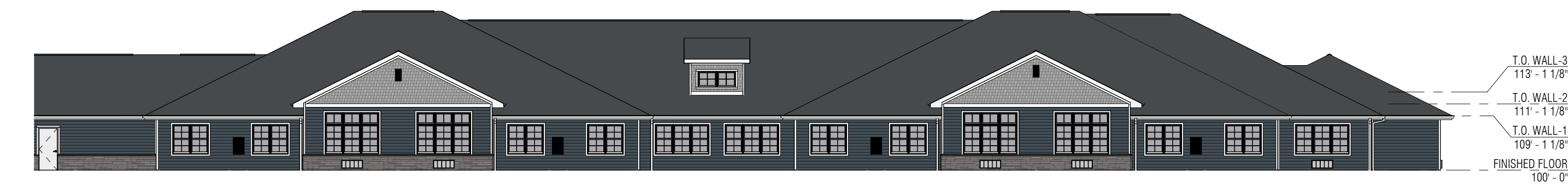
3 NORTHWEST ELEVATION
A201 SCALE: 1/16" = 1'-0"

ELEVATIONS KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
1	ARCHITECTURAL ROOF SHINGLES: GAF TIMBERLINE: NS CHARCOAL
3	HARDIE PLANK 8' SIDING (7' REVEAL): COLOR: NIGHT GRAY
4	HARDIE PLANK SHAKES: COLOR: PEARL GRAY
5	HARDIE PLANK TRIM 1 1/2": COLOR: ARTIC WHITE
7	HARDIE PLANK PANEL: COLOR:
8	MANUFACTURED STONE CAP: PRESTIGE: COLOR: GRAY
9	MANUFACTURED STONE SILL 24X32": PRESTIGE: COLOR: GRAY
10	PRE-FINISHED ALUMINUM FASCIA AND GUTTER (EAVES): COLOR: WHITE
11	PRE-FINISHED ALUMINUM DOWNSPOUT (SEE ROOF PLAN FOR LOCATIONS): COLOR: WHITE
12	RIDGE VENT (SEE ROOF PLAN)
13	VINYL WINDOWS: COLOR: WHITE
14	ARCHITECTURAL PTAC LOUVER: COLOR: MATCH SIDING COLOR OR WHITE
15	PTAC LOUVER: COLOR TO MATCH SIDING COLOR OR WHITE
16	MANUFACTURED STONE ACCENT 7'X20"
17	MANUFACTURED STONE TRIM 5'X20"X1 1/2"
18	HOLLOW METAL DOOR: WHITE

* KEYNOTES TYPICAL AT ALL ELEVATIONS



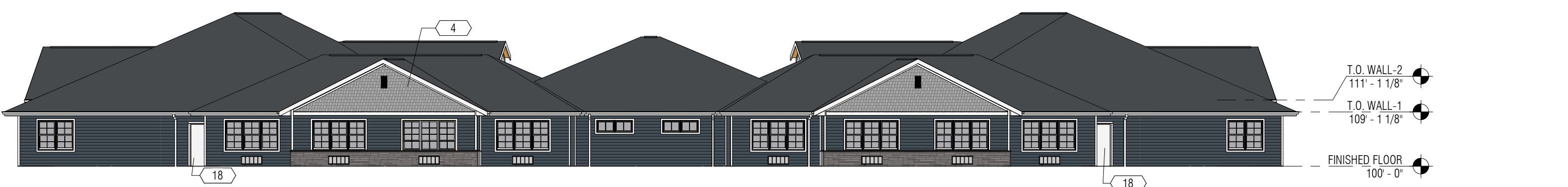
4 EXTERIOR SOUTH
A201 SCALE: 1/16" = 1'-0"



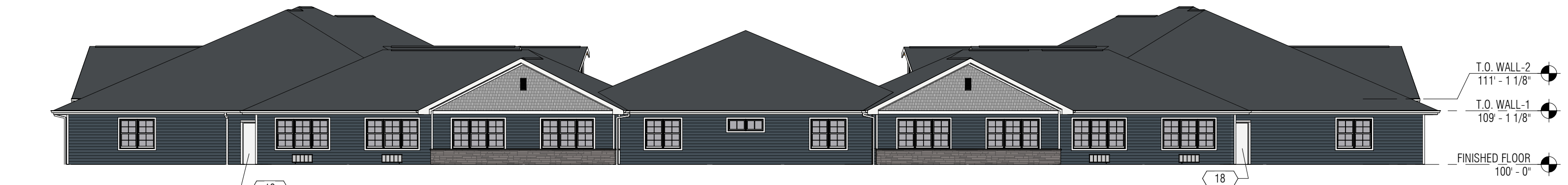
5 SOUTHEAST ELEVATION
A201 SCALE: 1/16" = 1'-0"



6 SOUTHWEST ELEVATION
A201 SCALE: 1/16" = 1'-0"



7 EXTERIOR WEST
A201 SCALE: 1/16" = 1'-0"



8 EXTERIOR EAST
A201 SCALE: 1/16" = 1'-0"

THE COURTYARD AT PEWAUKEE

PROPOSED PROJECT FOR:
GOLF ROAD
PEWAUKEE, WI 53072

REVISIONS	
#	DATE

Project Number 21-1016
Date 07/29/2024
Drawn By VP
Checked By KK

EXTERIOR ELEVATIONS

A201

PRELIMINARY - NOT FOR CONSTRUCTION



STREET ENTRANCE RENDERING

SCALE: 1/4" = 1'-0"



MAIN ENTRANCE RENDERING

SCALE: 1/4" = 1'-0"



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THE COURTYARD AT PEWAUKEE

PROPOSED PROJECT FOR:
GOLF ROAD
PEWAUKEE, WI 53072

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Drawn By VP
Checked By KK

PRESENTATION RENDERINGS

R1

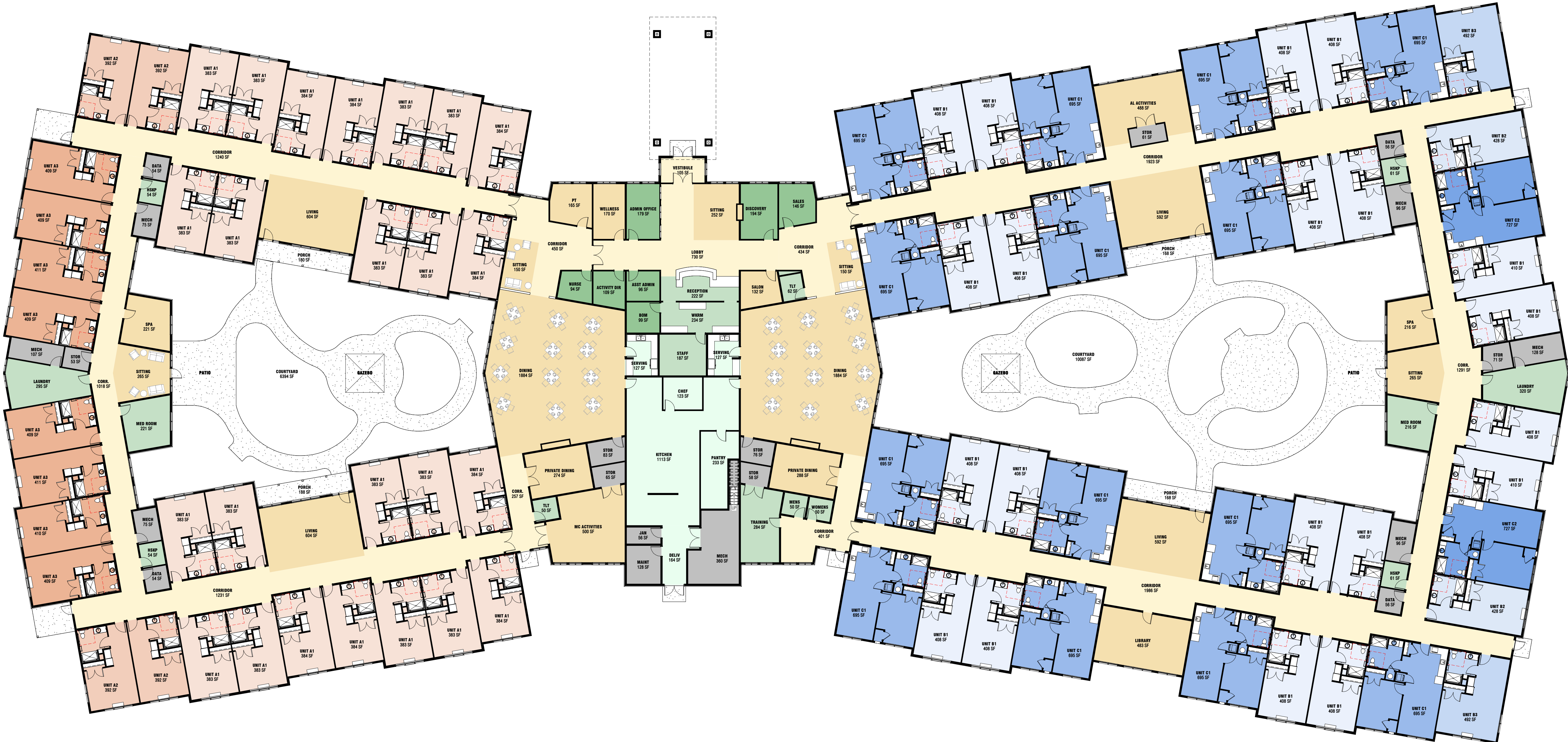
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BUILDING INFORMATION	
OVERALL BUILDING	FIRST FLOOR S.F. = 67,578 s.f.
	CANOPY & PORCHES S.F. = 1,678 s.f.
	TOTAL S.F. = 69,256 s.f.
TOTAL UNITS = 76	
MEMORY CARE UNITS: 36	
(24) UNIT A1 - MC STUDIO @ 383 s.f.	
(4) UNIT A2 - MC STUDIO @ 392 s.f.	
(8) UNIT A3 - MC STUDIO @ 410 s.f.	
ASSISTED LIVING UNITS: 40	
(20) UNIT B1 - AL STUDIO @ 408 s.f.	
(2) UNIT B2 - AL STUDIO @ 428 s.f.	
(2) UNIT B3 - AL STUDIO @ 492 s.f.	
(14) UNIT C1 - AL ONE BED @ 695 s.f.	
(2) UNIT C2 - AL ONE BED @ 727 s.f.	
S.F. / UNIT = 911 s.f.	
CONGREGATE AREA REQUIRED = (76 residents x 90 s.f.) = 6,840 s.f.	
CONGREGATE AREA PROVIDED = 10,173 s.f.	



OVERALL PRESENTATION FLOOR PLAN
SCALE: 1/16" = 1'-0"

PROPOSED PROJECT FOR:
THE COURTYARD AT PEWAUKEE
PEWAUKEE, WI

REVISIONS	
#	DATE

Project Number 21-1016
Date 03/06/2023
Drawn By JR
Checked By AI

OVERALL PRESENTATION FLOOR PLAN

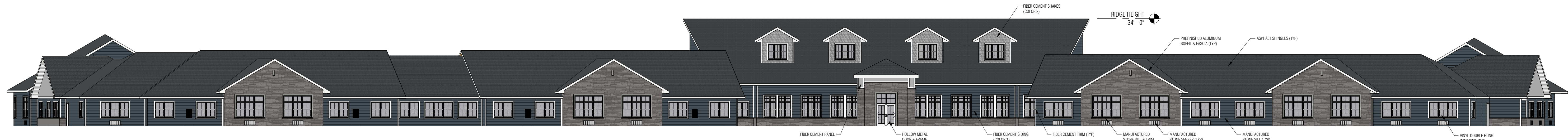
A1

SITE PLAN REVIEW 03-06-2023



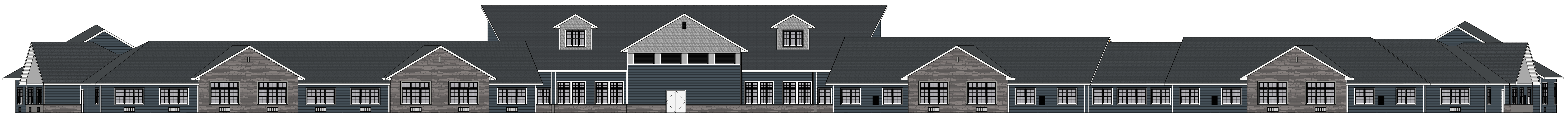
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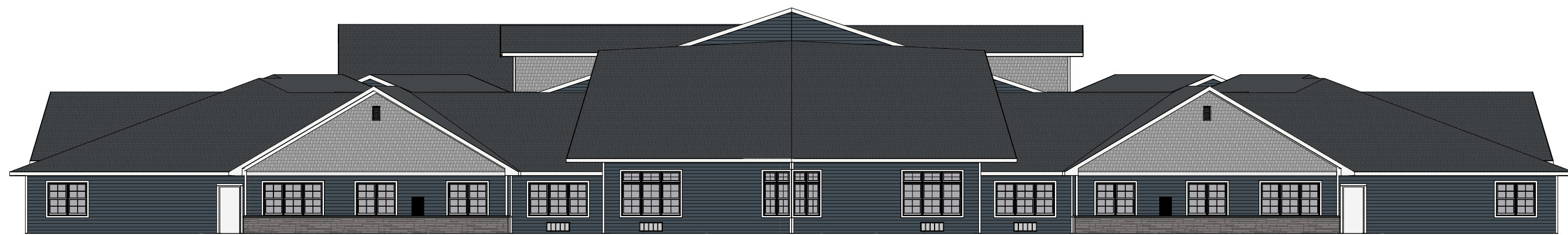
1 MAIN BUILDING - NORTH

A2 SCALE: 1/16" = 1'-0"



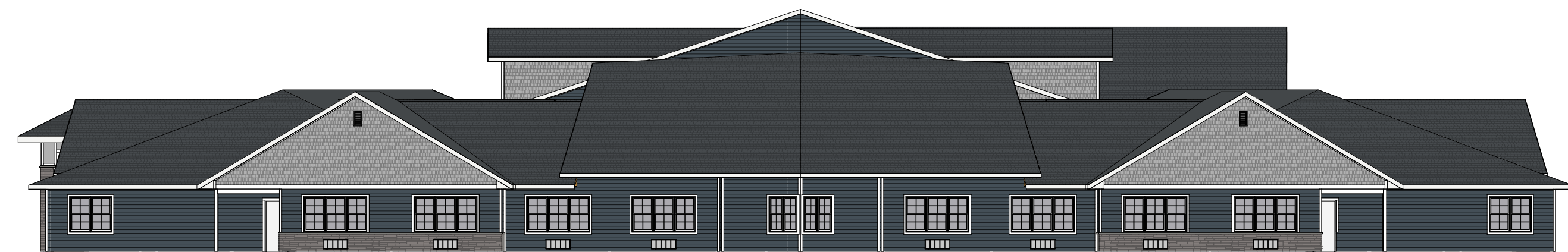
2 MAIN BUILDING - SOUTH

A2 SCALE: 1/16" = 1'-0"



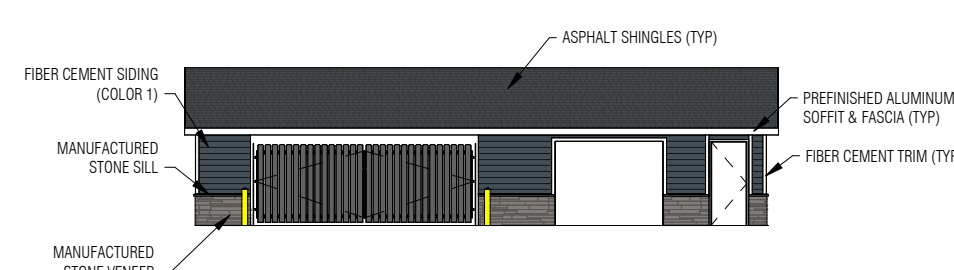
3 MAIN BUILDING - EAST

A2 SCALE: 1/16" = 1'-0"



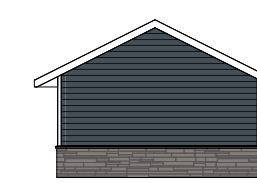
4 MAIN BUILDING - WEST

A2 SCALE: 1/16" = 1'-0"



5 GARAGE - NORTH

A2 SCALE: 1/16" = 1'-0"



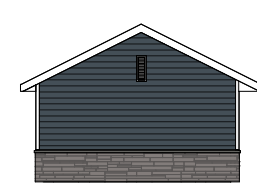
7 GARAGE - WEST

A2 SCALE: 1/16" = 1'-0"



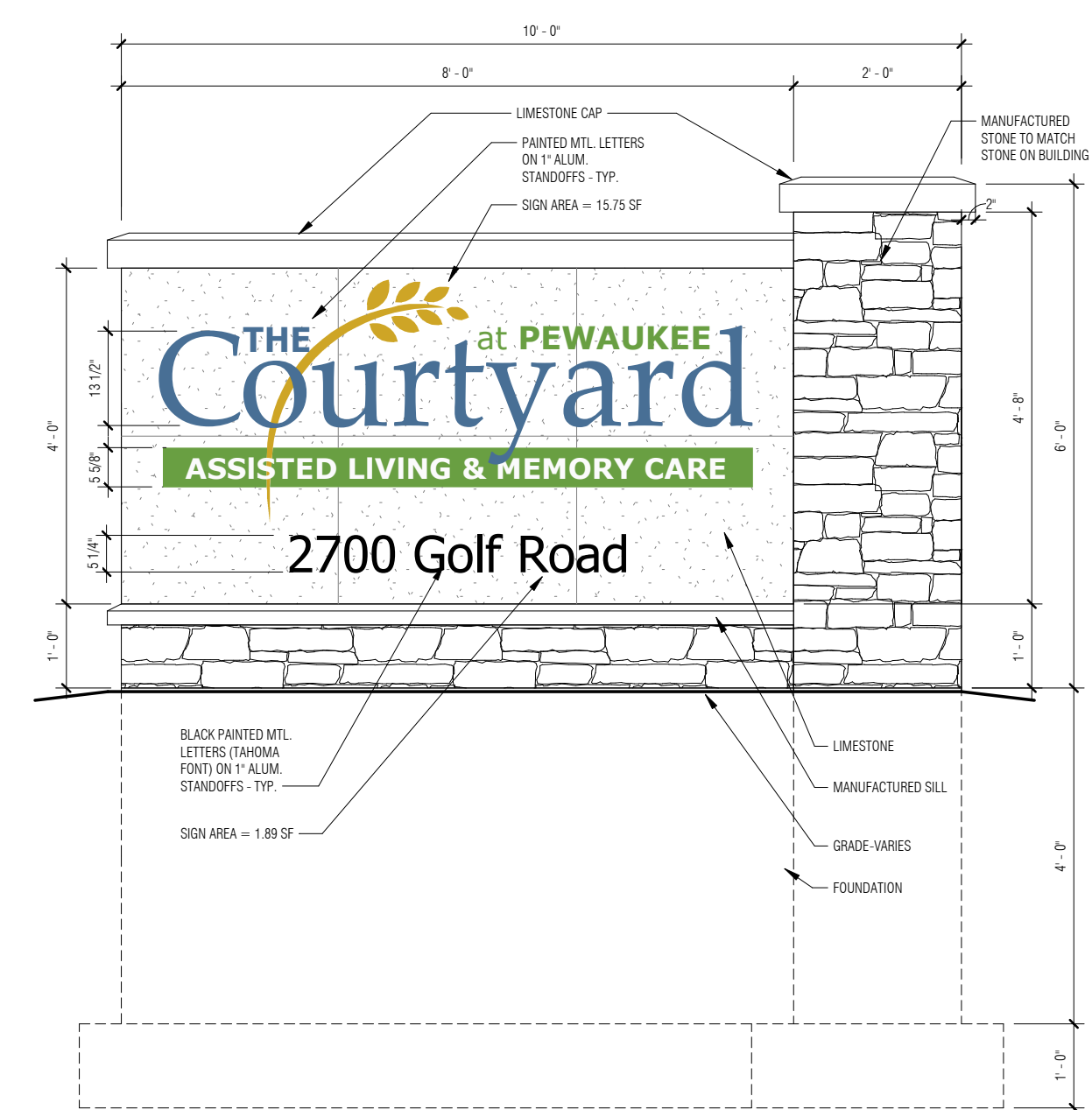
6 GARAGE - SOUTH

A2 SCALE: 1/16" = 1'-0"



8 GARAGE - EAST

A2 SCALE: 1/16" = 1'-0"



9 MONUMENT SIGN

A2 SCALE: 1/2" = 1'-0"

PROPOSED PROJECT FOR:

THE COURTYARD AT PEWAUKEE

PEWAUKEE, WI

REVISIONS

#	DATE

Project Number 21-1016
Date 03/06/2023
Drawn By JR
Checked By AI

PRESENTATION EXTERIOR ELEVATIONS

A2

SITE PLAN REVIEW 03-06-2023



STREET ENTRANCE RENDERING

SCALE: NOT TO SCALE



MAIN ENTRANCE RENDERING

SCALE: NOT TO SCALE



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PEWAUKEE, WI

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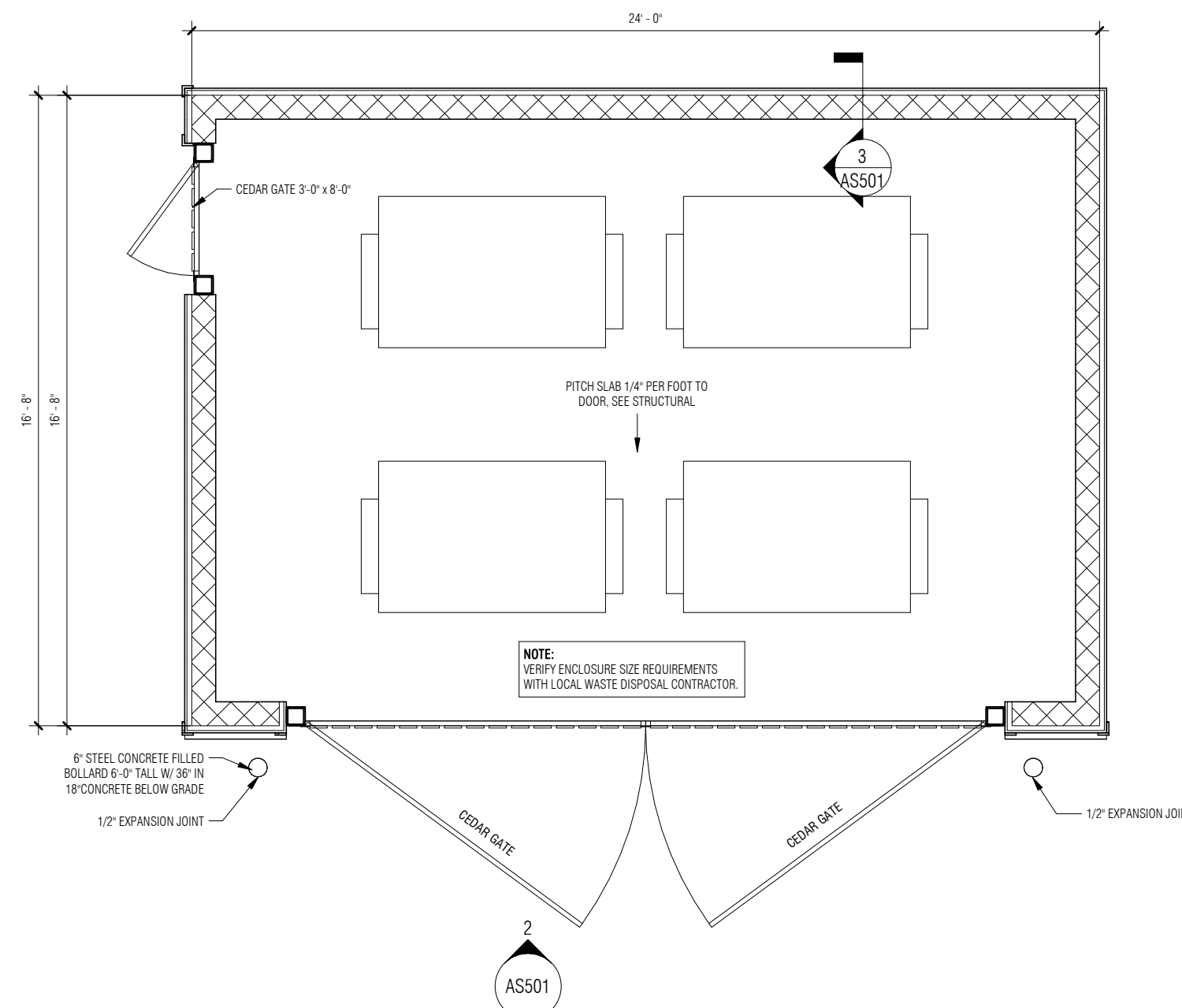
PRESENTATION RENDERINGS

A3

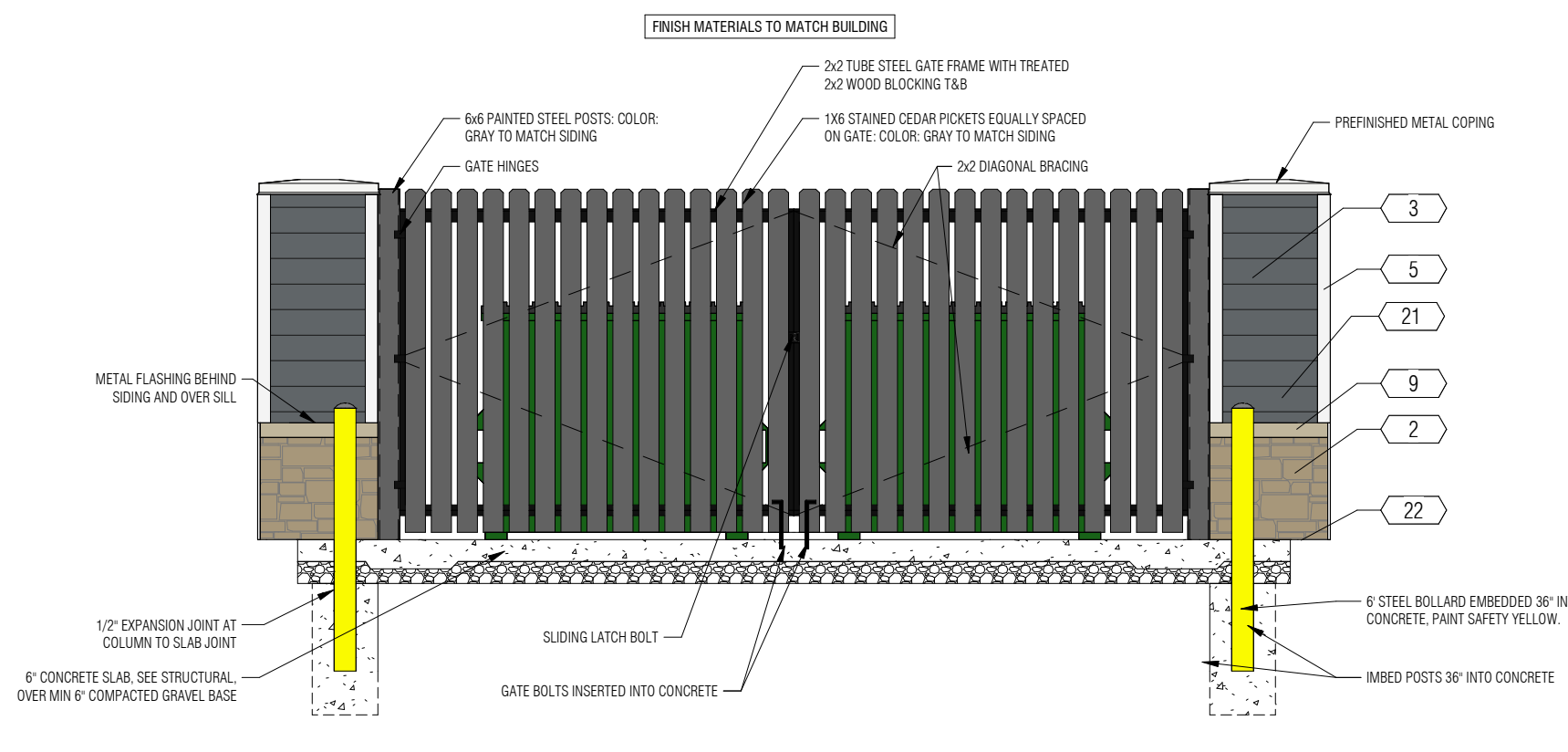


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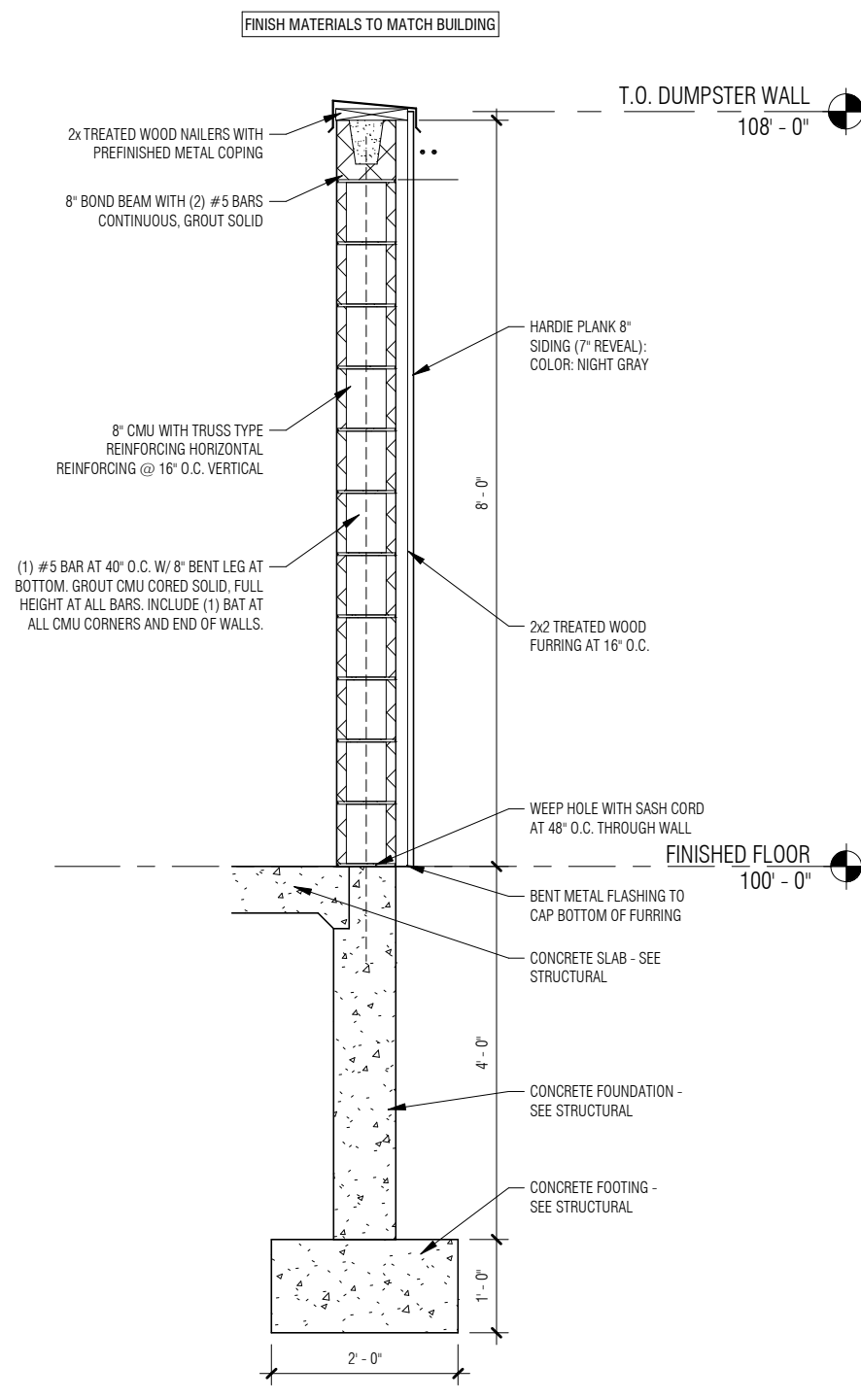
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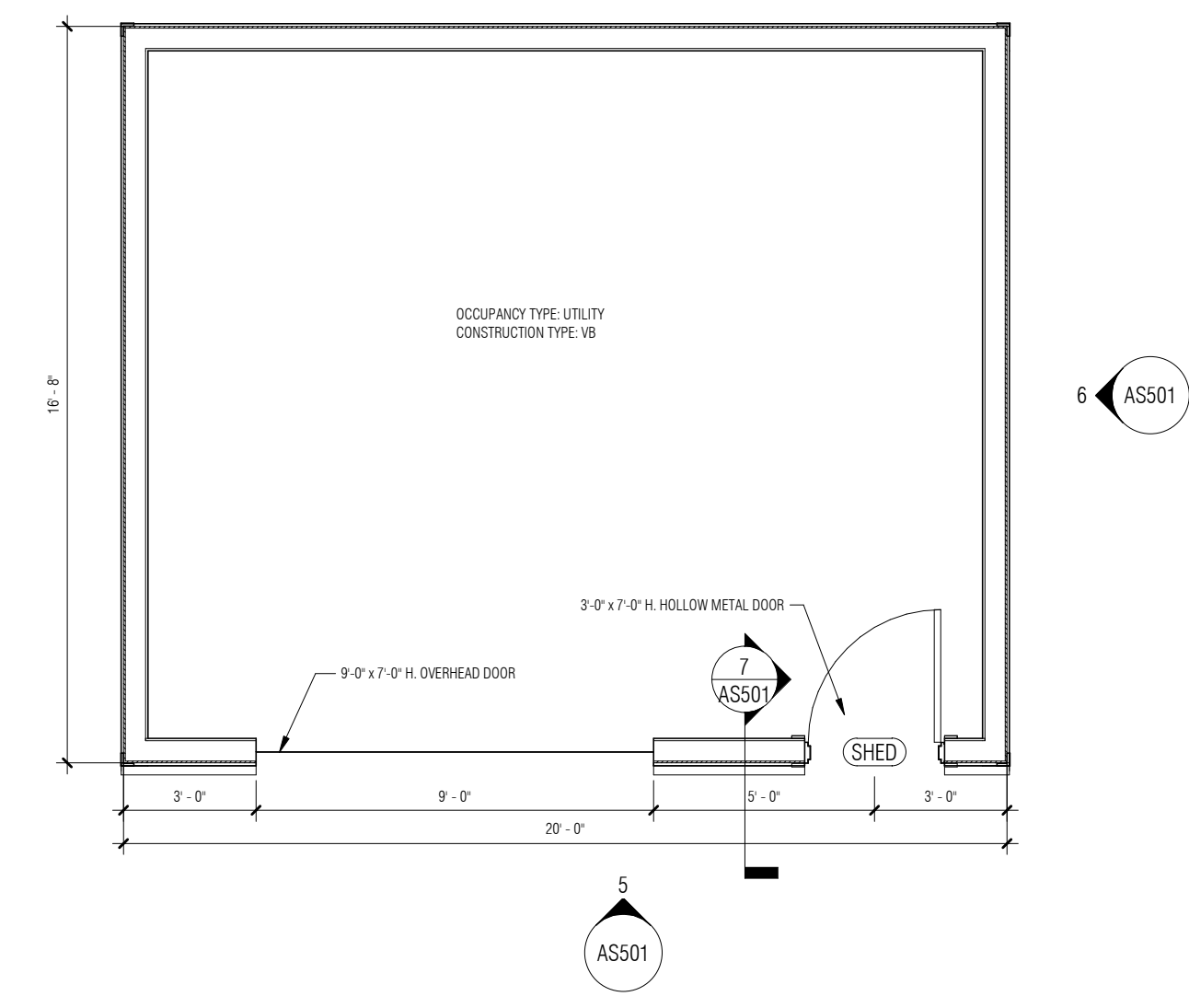
1 OVERALL FLOOR PLAN
 AS501 SCALE: 1/4" = 1'-0"



2 DUMPSTER ENCLOSURE FRONT
 AS501 SCALE: 1/4" = 1'-0"



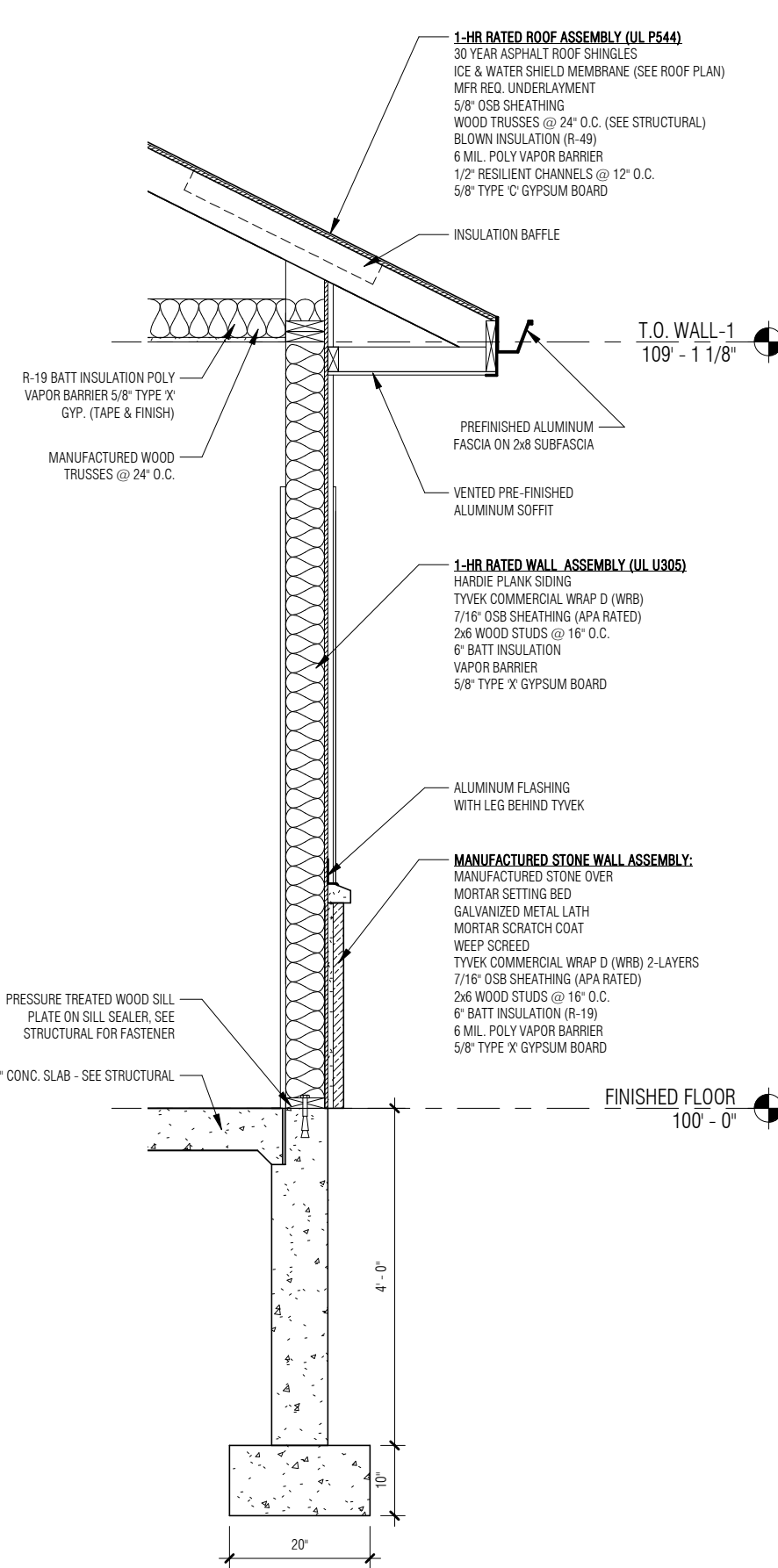
3 DUMPSTER WALL SECTION
 AS501 SCALE: 1/2" = 1'-0"



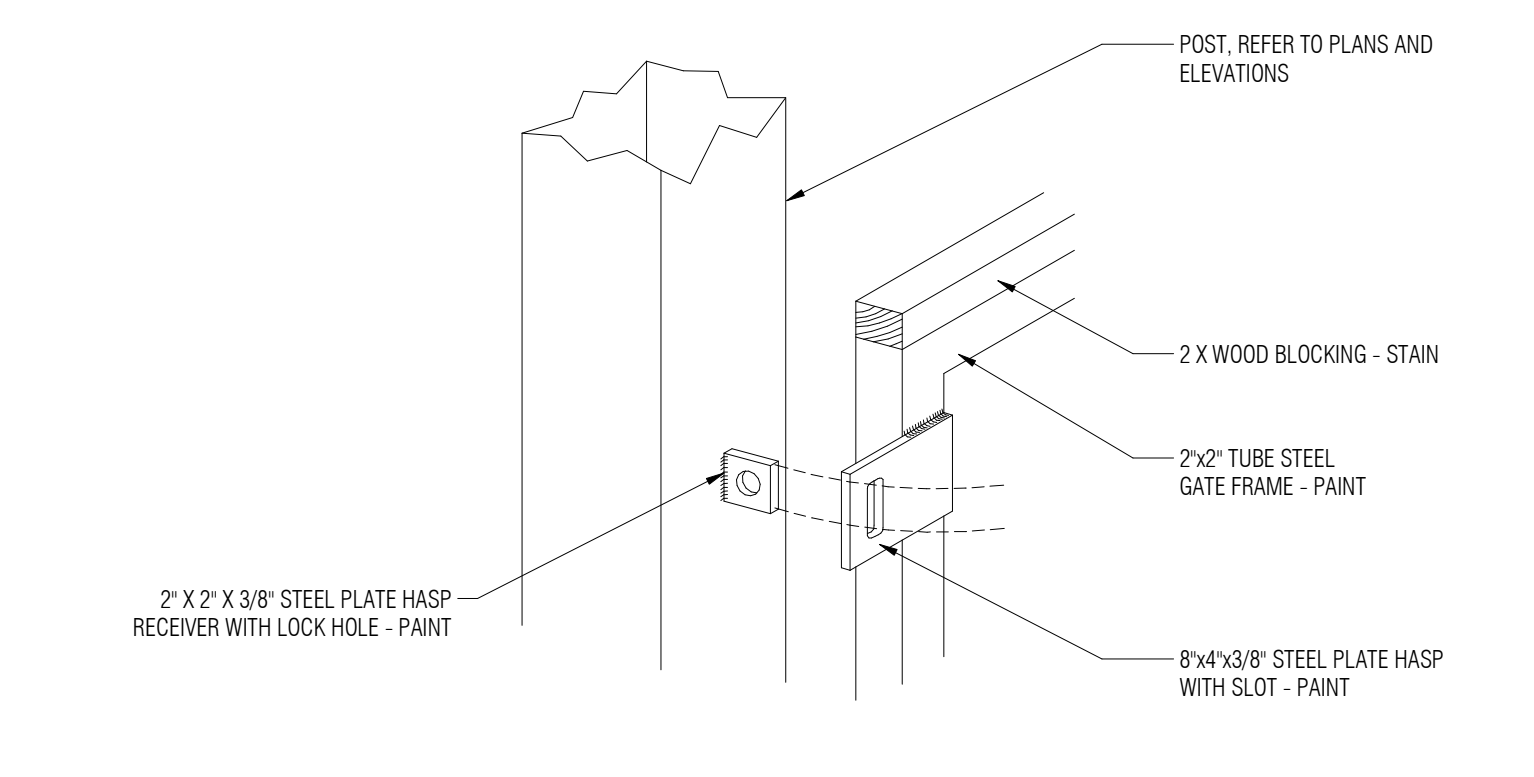
4 OVERALL FLOOR PLAN
 AS501 SCALE: 1/4" = 1'-0"

KEY VALUE	KEYNOTE TEXT
1	ARCHITECTURAL ROOF SHINGLES: GAF TIMBERLINE: NS CHARCOAL
2	MANUFACTURED STONE: PRESTIGE OLD COUNTY LEDGE: PORTLAND DUSK OR EQUAL
3	HARDIE PLANK 4" SIDING: (P) RESHAUL: COLOR: NIGHT GRAY
4	HARDIE PLANK SHAKES: COLOR: PEARL GRAY
5	HARDIE PLANK TRIM 1x4: COLOR: ARTIC WHITE
6	HARDIE PLANK TRIM 1x8: COLOR: ARTIC WHITE
9	MANUFACTURED STONE SILL JACKS: PRESTIGE: COLOR: GRAY
10	PRE-FINISHED ALUMINUM FASCIA AND GUTTER (EAVES): COLOR: WHITE
12	RIDGE VENT (SEE ROOF PLAN)
18	HOLLOW METAL DOOR: WHITE
20	9'-0" x 7'-0" OVERHEAD DOOR (INSULATED): COLOR: WHITE
21	ALUMINUM FLASHING WITH LEG BEHIND TRIM
22	WEEP SCREED

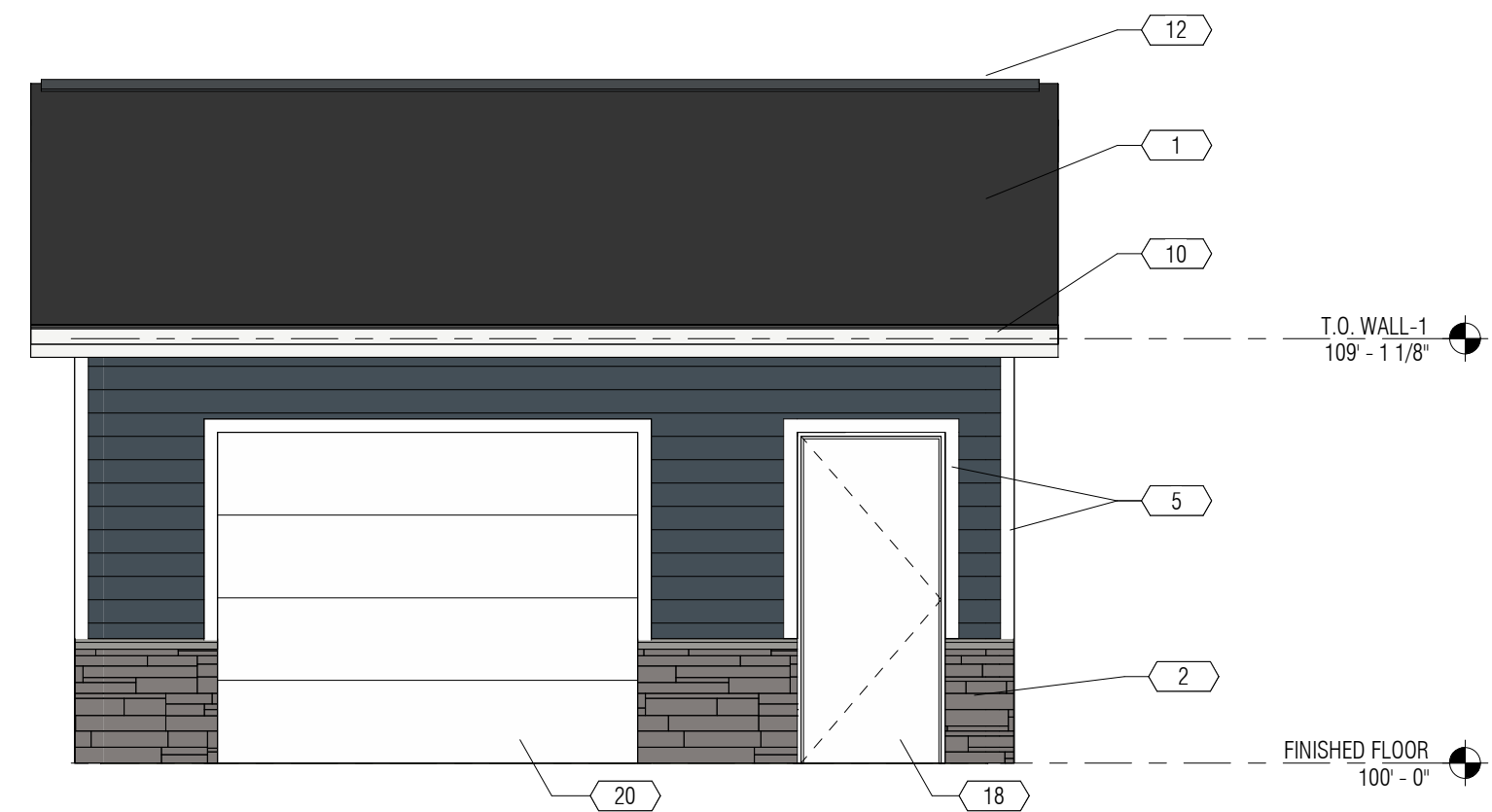
* KEYNOTES TYPICAL AT ALL ELEVATIONS



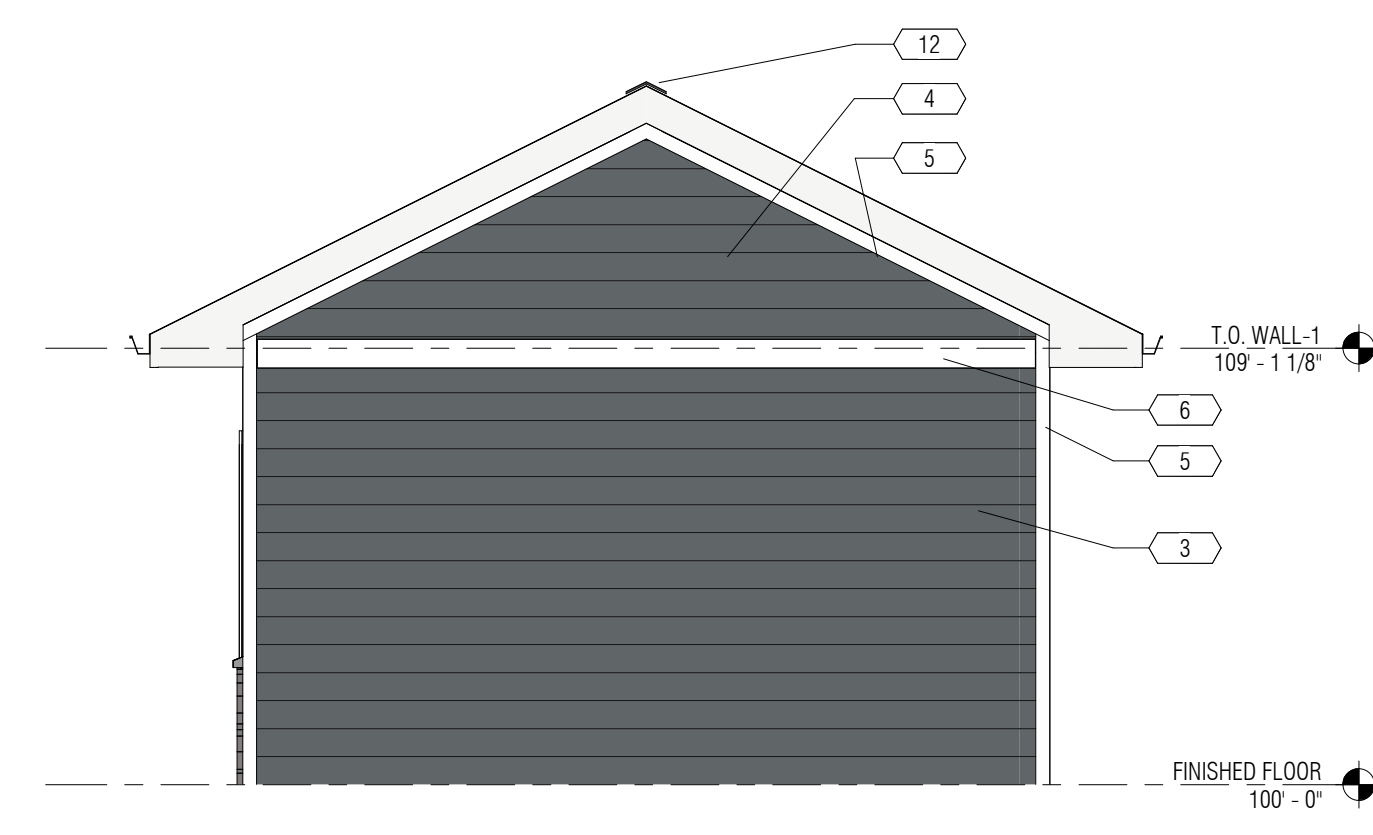
7 SHED WALL SECTION
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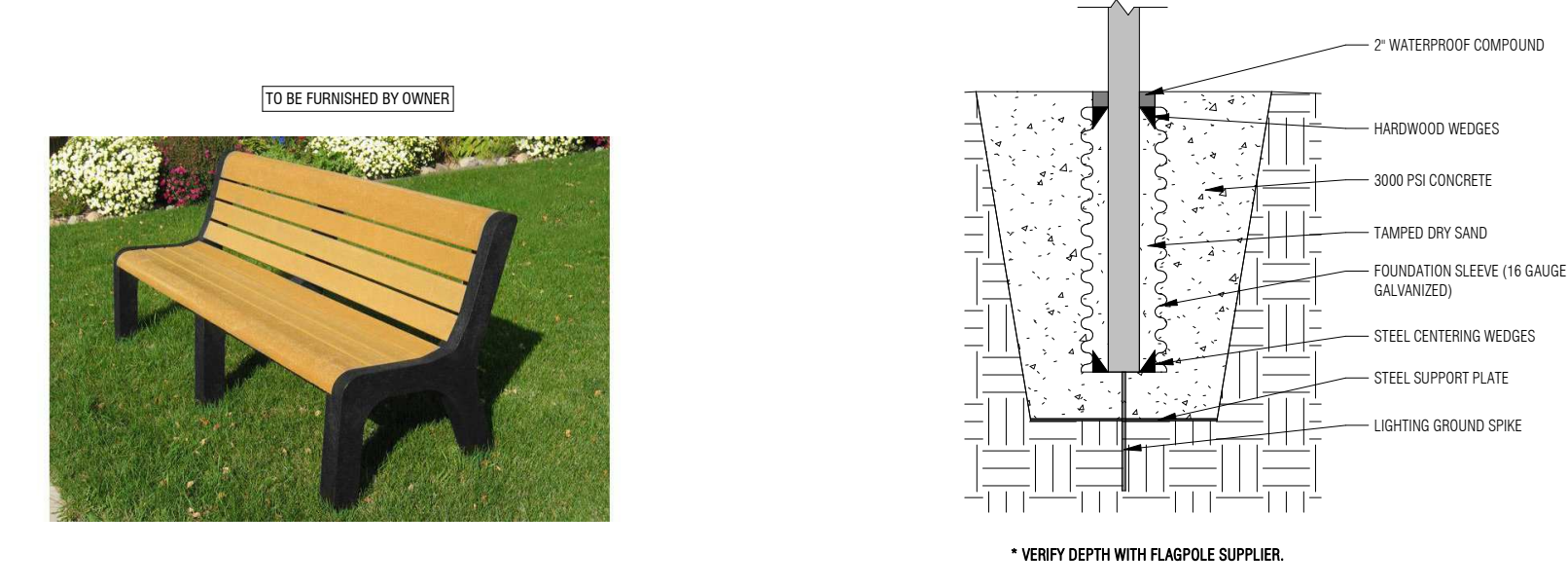
8 LATCH DETAIL
 AS501 SCALE: 1 1/2" = 1'-0"



5 SHED FRONT
 AS501 SCALE: 1/4" = 1'-0"

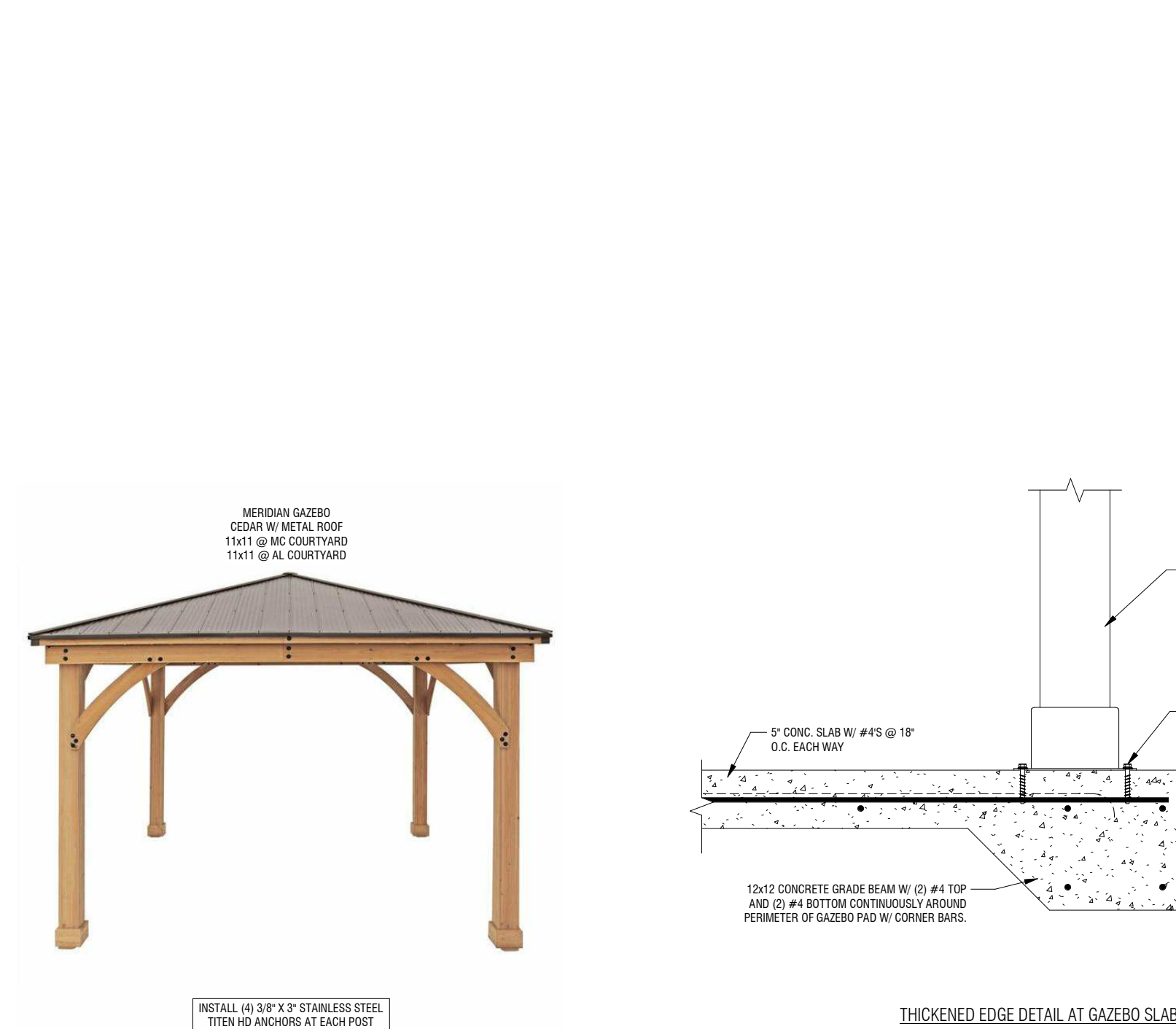


6 SHED SIDE
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9 BENCH
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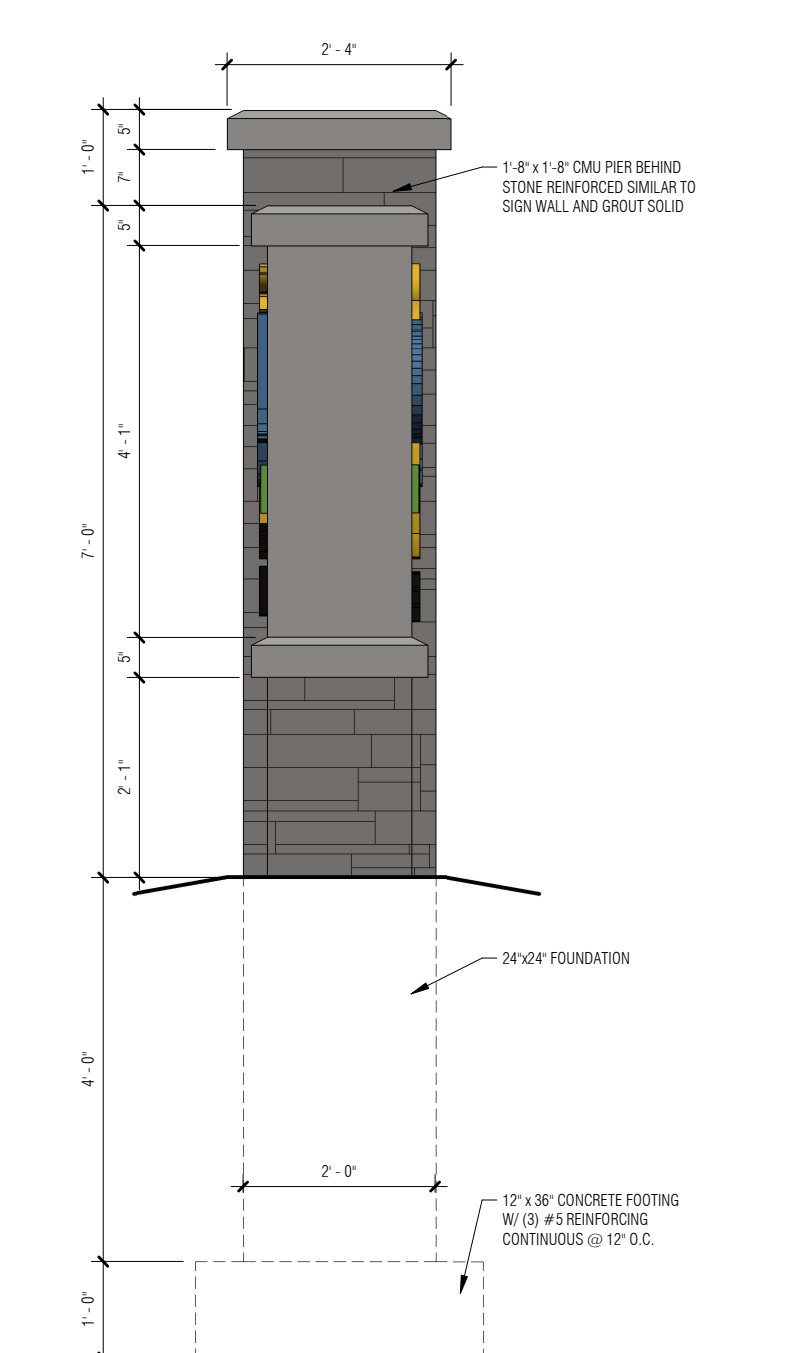
10 FLAGPOLE FOUNDATION
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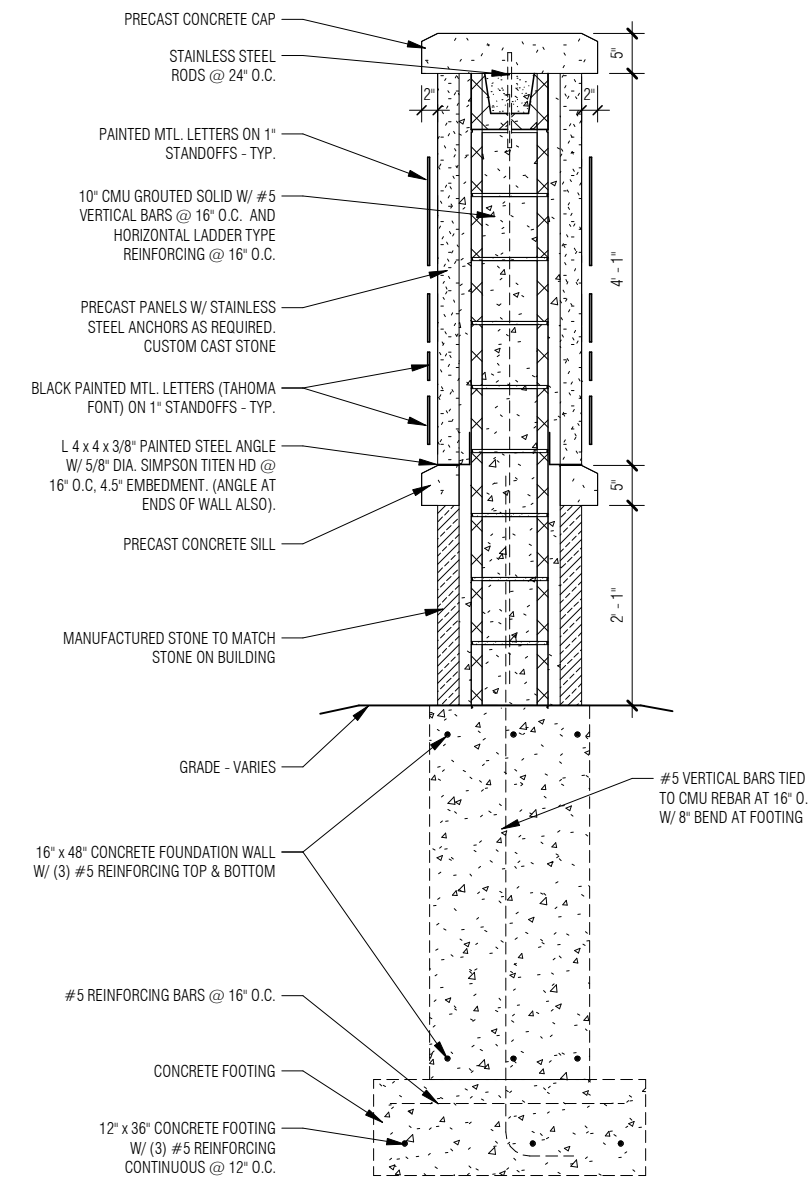
11 GAZEBO
 AS501 SCALE: NOT TO SCALE



12 MONUMENT SIGN
 AS501 SCALE: 1/2" = 1'-0"



13 MONUMENT SIGN END
 AS501 SCALE: 1/2" = 1'-0"



14 SIGN SECTION
 AS501 SCALE: 1/2" = 1'-0"

THE COURTYARD AT PEWAUKEE
 GOLF ROAD
 PEWAUKEE, WI 53072
 PROPOSED PROJECT FOR:

REVISIONS	
#	DATE

Project Number 21-1016
 Date 9-3-2024
 Drawn By VP
 Checked By KK

ARCHITECTURAL SITE DETAILS

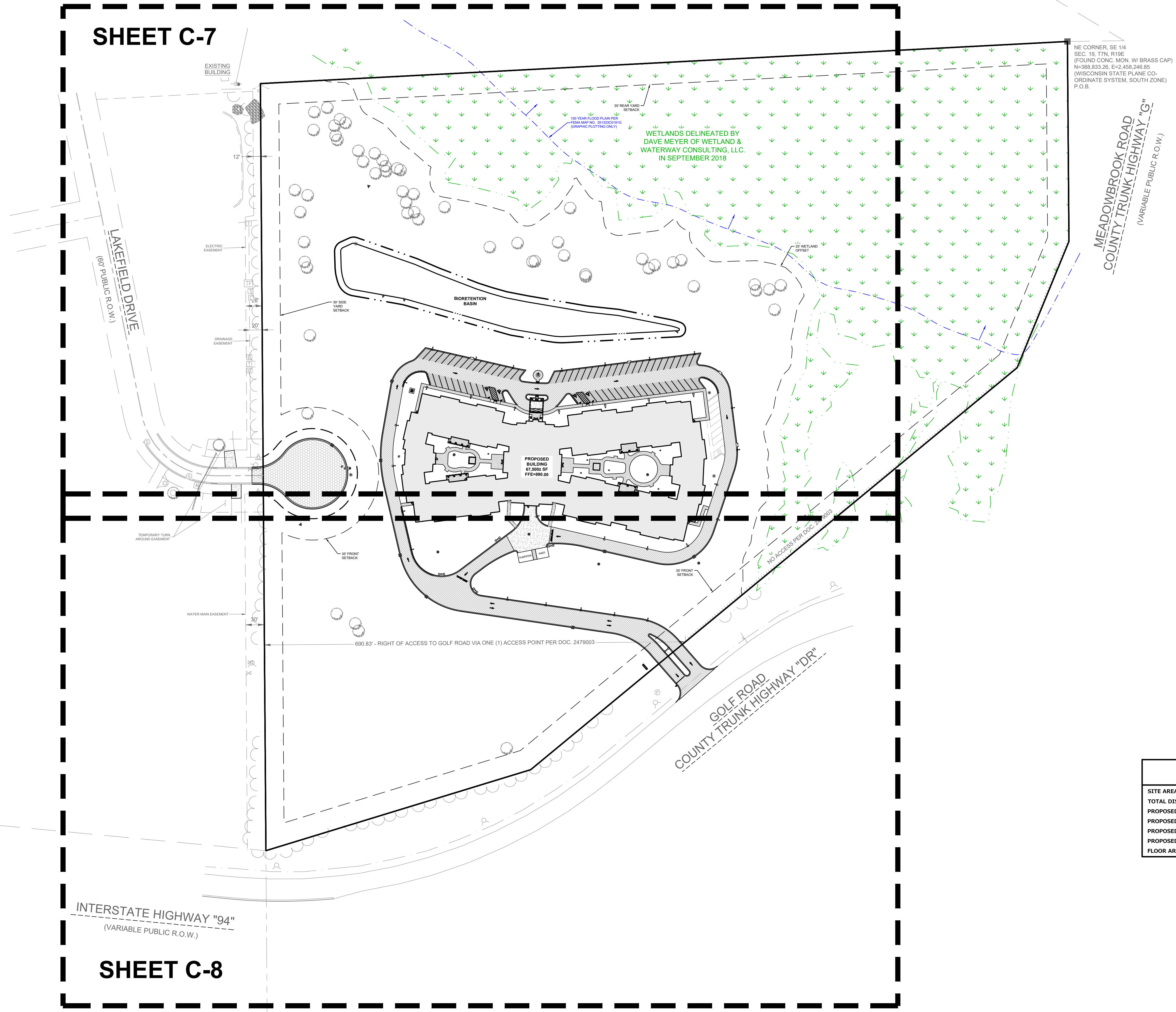
AS501

BID SET 9-3-2024

9/4/2024 11:12:21 AM AutoCAD Docs://The Courtyard at Pewaukee/21-1016_The Courtyard at Pewaukee_10-30-2023_R22.rvt

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 REVIEWED:

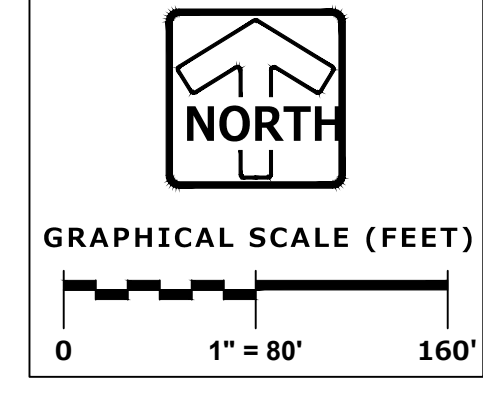
SHEET C-7



LEGEND	
	LIGHT DUTY ASPHALT PAVEMENT - 8" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE) - 3" HMA PAVEMENT (2 LIFTS) - 2" FINISH COURSE - 3 LT 58-28.5 - 1" SURFACE COURSE - 5 LT 58-28.5
	HEAVY DUTY ASPHALT PAVEMENT - 10" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE) - 4" HMA PAVEMENT (2 LIFTS) - 2" FINISH COURSE - 3 LT 58-28.5 - 1" SURFACE COURSE - 5 LT 58-28.5
	CONCRETE PAVEMENT - 8" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE) - 6" PCC
	CONCRETE SIDEWALK - 4" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE) - 5" PCC
	PAVEMENT IN THE PUBLIC RIGHT OF WAY - CONTRACTOR TO MATCH LATEST CITY SPEC.
	4" WHITE STRIPE
	4" DIAGONAL AT 45° SPACED 2' O.C.
	BOLLARD MOUNTED ADA SIGN (SEE DETAIL)
	18" CURB & GUTTER (SEE DETAIL)
	18" REVERSE CURB & GUTTER (SEE DETAIL)
	ADA COMPLIANT RAMP W/ TRUNCATED DOMES (SEE DETAIL), TAPER CURB HEAD AND DEPRESS WALK/CURB
	ADA STALL INSIGNIA
	INTEGRAL CURB & WALK (SEE DETAIL)
	TAPER CURB HEAD (SEE DETAIL)
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)

SITE DATA	
SITE AREA:	27.96 AC
TOTAL DISTURBED AREA:	14.98 AC
PROPOSED CAR PARKING SPACES:	69 SPACES (4 ADA SPOTS)
PROPOSED PAVEMENT AREA:	1.86 AC
PROPOSED TOTAL IMPERVIOUS:	3.39 AC = 12%
PROPOSED GREEN SPACE:	24.57 AC = 88%
FLOOR AREA RATIO:	1.55 AC = 6%

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2



INTERSTATE HIGHWAY "94"
(VARIABLE PUBLIC R.O.W.)

SHEET C-8

PLAN | DESIGN | DELIVER
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THE COURTYARD AT PEWAUKEE

GOLF RD & MEADOWBROOK LN

SITE DIMENSIONAL & PAVING OVERVIEW

REVISIONS		
1	UPDATED PC SUBMITTAL	04/12/23
2	REV PER CITY COMMENTS	08/07/24

REG JOB No. 1338-10
REG PM MTS
START DATE 07-27-22
SCALE 1" = 80'

SHEET
C-6
C-26

PINNACLE ENGINEERING GROUP
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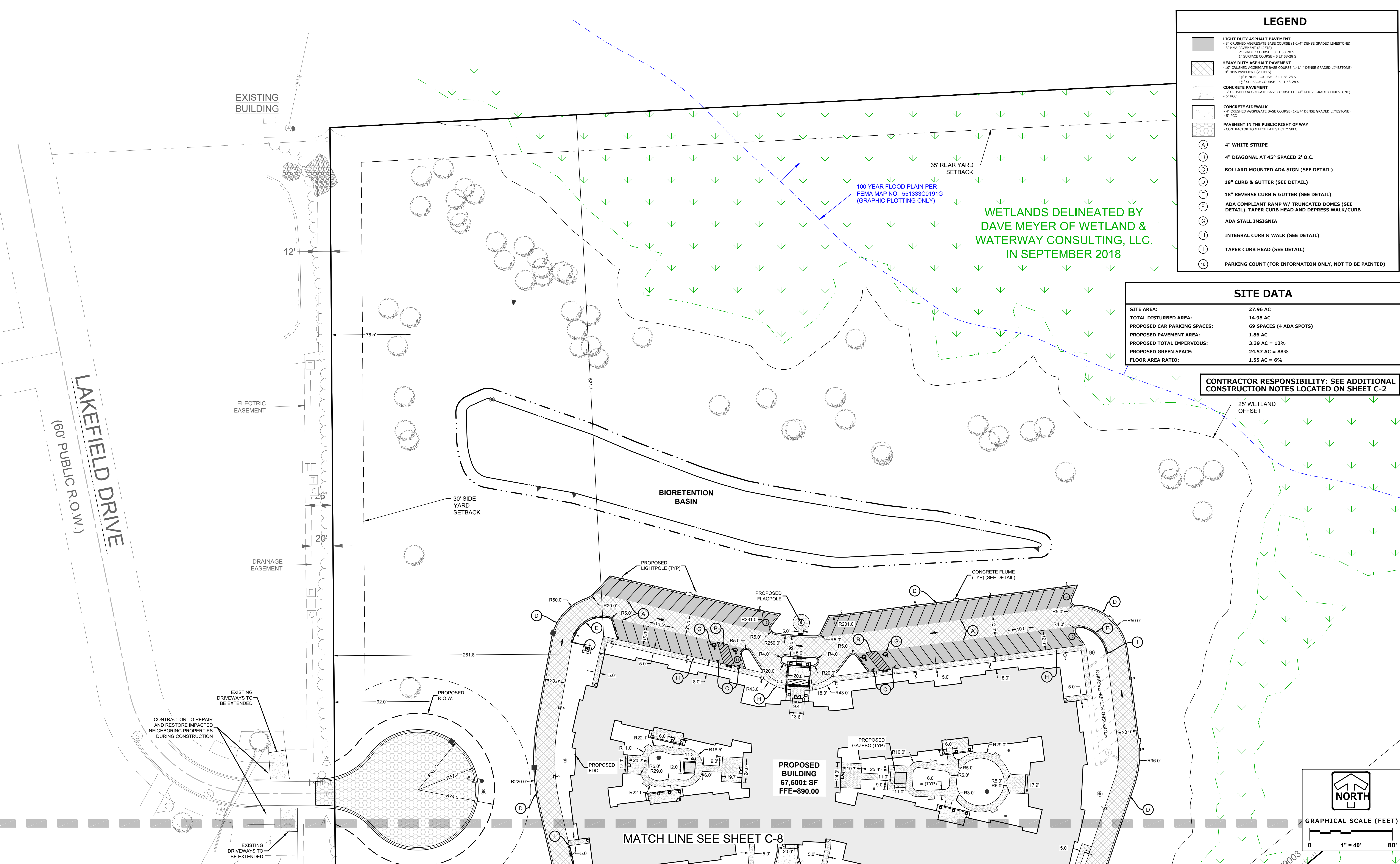
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SITE DIMENSIONAL & PAVING PLAN

LEGEND	
	LIGHT DUTY ASPHALT PAVEMENT - 6" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE) - 3" HMA PAVEMENT (2 LIFTS) - 2" BINDER COURSE - 3 LT 58-28.5 - 1" SURFACE COURSE - 5 LT 58-28.5
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	PAVEMENT IN THE PUBLIC RIGHT OF WAY - CONTRACTOR TO MATCH LATEST CITY SPEC
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(B)	4" DIAGONAL AT 45° SPACED 2' O.C.
(C)	BOLLARD MOUNTED ADA SIGN (SEE DETAIL)
(D)	18" CURB & GUTTER (SEE DETAIL)
(E)	18" REVERSE CURB & GUTTER (SEE DETAIL)
(F)	ADA COMPLIANT RAMP W/ TRUNCATED DOMES (SEE DETAIL), TAPER CURB HEAD AND DEPRESS WALK/CURB
(G)	ADA STALL INSIGNIA
(H)	INTEGRAL CURB & WALK (SEE DETAIL)
(I)	TAPER CURB HEAD (SEE DETAIL)
(B)	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)

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THE COURTYARD AT PEWAUKEE
GOLF RD & MEADOWBROOK LN

SITE DIMENSIONAL & PAVING PLAN

REVISIONS	
1	UPDATED PC SUBMITTAL 04/12/23
2	REV PER CITY COMMENTS 08/07/24

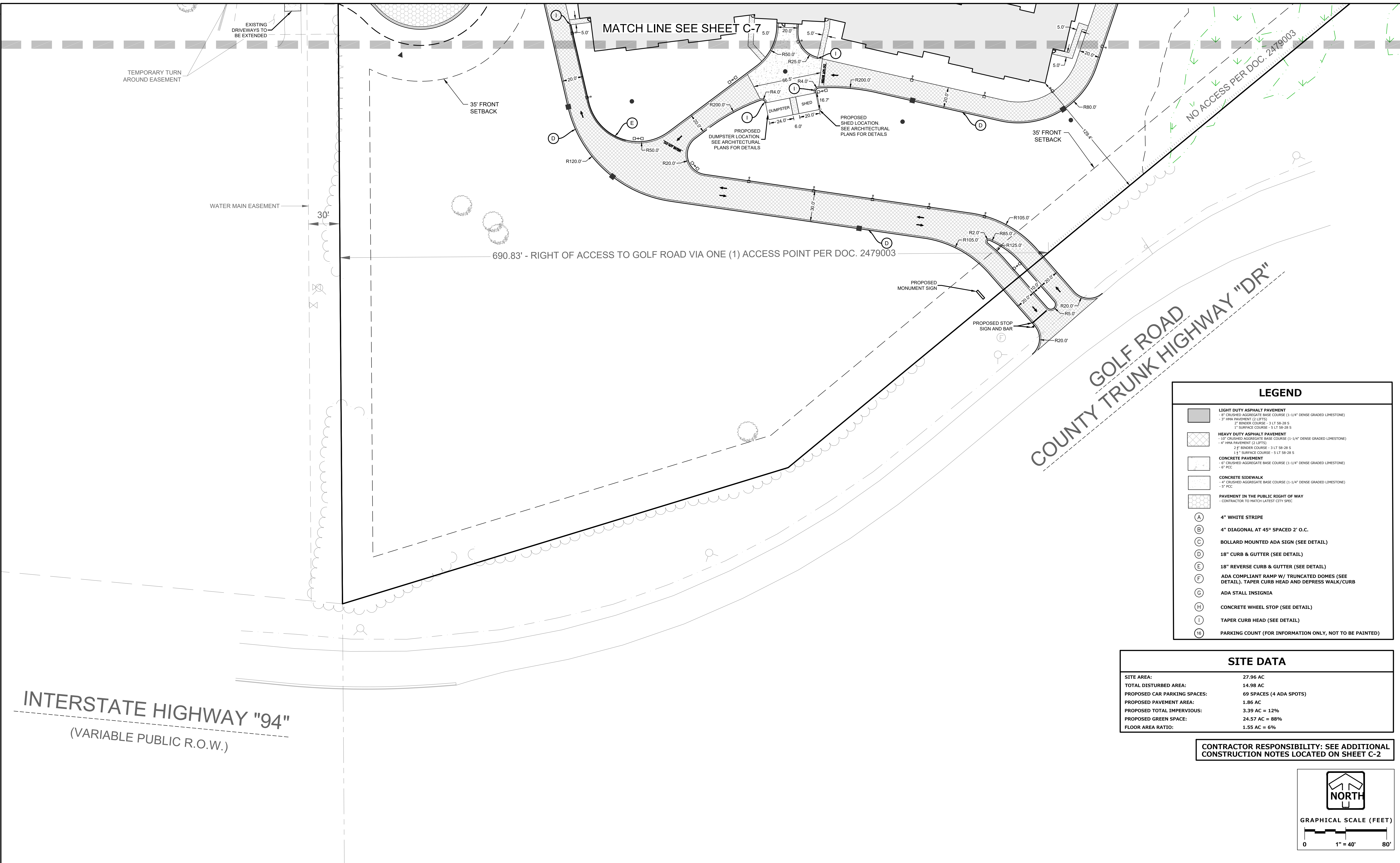
REG JOB No. 1338-LD	MTS	SHEET C-7
REG PM	START DATE 07-27-24	C-26
SCALE 1" = 40'		

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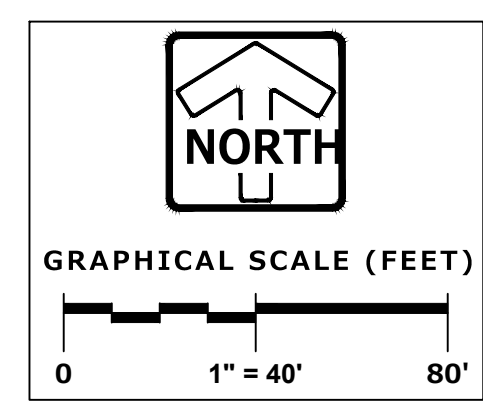
SITE DIMENSIONAL & PAVING PLAN



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	ADA COMPLIANT RAMP W/ TRUNCATED DOMES (SEE DETAIL), TAPER CURB HEAD AND DEPRESS WALK/CURB
	ADA STALL INSIGNIA
	CONCRETE WHEEL STOP (SEE DETAIL)
	TAPER CURB HEAD (SEE DETAIL)
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)

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INTERSTATE HIGHWAY "94"
(VARIABLE PUBLIC R.O.W.)

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SITE DIMENSIONAL & PAVING PLAN

REVISIONS	
1	UPDATED PC SUBMITTAL 04/12/23
2	REV PER CITY COMMENTS 08/07/24

REG JOB No. 1338-10	MIS	SHEET
REG PM	START DATE 07-27-24	C-8
SCALE 1" = 40'		C-26

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 3.**

DATE: September 19, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Recommendation to the Common Council for a Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee for Shorepoint Church for Property Located on the Southwest Corner of Duplainville Road and Capitol Drive From Medium Density Residential (6,500 Sq. Ft. - 1/2 AC./D.U.) and Floodplains, Lowland and Upland Conservancy, and Other Natural Areas to Government/Institutional and Floodplains, Lowland and Upland Conservancy, and Other Natural Areas (PWC 0912983, PWC 0912984, PWC 0912985)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Shorepoint Church project narrative

Shorepoint Church staff comment responses

Shorepoint Church comp plan exhibit

Shorepoint Church staff report 9.19.24

September 9, 2024

City of Pewaukee
Attn: Nick Fuchs, Planner and Community Development Director
W240N3065 Pewaukee Road
Pewaukee, WI 53072 MN 5427

RE: Project Narrative Concerning Shorepoint Church

A. CONTACT INFORMATION:

Shorepoint Church Contact:

Pastor Brian Engl

PO Box 41

Pewaukee, WI 53072

brian@shorepoint.cc

262-444-3806

Vanman Architects and Builders Contact:

Angie Knodel, AIA

6701 West 23rd Street

St. Louis Park, MN 55426

angie@vanmanab.com

612-965-8570

B. LEGAL DESCRIPTION / SITE DATA:

The site is located at the corner of Capitol Drive and Duplainville Road. This consists of three separate properties to be combined as one.

PWC 0912983 (8.1878 Acres) Current Zoning is RS-1 Residential District

PWC 0912984 (1.2244 Acres) Current Zoning is B-3 General Business

PWD 0912985 (1.3061 Acres) Current Zoning is RS-1 Residential District

The church would like to combine the (3) properties to be one property and Re-Zone that property to be I-1 Urban Institutional District with a south portion of the property to be Re-Zoned Upland Conservancy.

C. HISTORY NARRATIVE:

Pastor Brian and his wife Bethany started Shorepoint Church in 2015, almost 20 years after God gave them a dream to plant a life-giving church in the Milwaukee area. Their heart is that everyone that walks through the doors of Shorepoint would find true community and a place to call home. They are currently holding services at Sharon Lynn Wilson Center for the Arts and with the current growth, they are ready to build their own building in Pewaukee.

D. PROPOSED PROJECT AND USES:

The proposed plan for Shorepoint Church is to construct a slab-on-grade building on the southwest corner of Capitol Drive and Duplainville Road. The building will be approximately 27,000 sf and will include a 600-seat worship space. As you enter the main entry a spacious lobby/fellowship space will provide an opportunity to enjoy a coffee or sit by the fireplace to connect with others before and/or after services. The building will include five classrooms, a bank of offices and a multi-purpose space for classes and meetings. Utility spaces including ADA toilets, storage and mechanical rooms will be included in this new building.

The building would be occupied primarily on Sunday Mornings, from 8 am to 1 pm. The building would also be used throughout the week for classes and events. Office hours would be kept during the week from 8 am to 5 pm.

E. BUILDING AESTHETICS:

The building exterior façade is shown in attached documents and will provide a welcoming, inviting entry with a large outdoor patio next to the main entry. The Worship Auditorium is intended to have parapet walls at approximately thirty feet tall while the adjacent classroom and lobby exterior walls will be approximately twenty-five feet tall. The office wing will have walls approximately twenty feet tall. Exterior materials are still being determined and anticipated to be glass and wood materials as well as precast concrete panels. The building will have a forty foot cross projecting above the roof line.

F. EXISTING SITE AND PARKING

The new site plan will accommodate 300 parking spaces and a drop-off at the main entry. In conversations with the City of Pewaukee we understand the concerns regarding access to and from this site.

After Church Traffic Loads

The Shorepoint Church community has a vibrant culture of fellowship and gathering following services enjoying coffee, donuts and conversation. After-services departures are currently more of a gradual stream of traffic rather than everyone leaving at about the same time.

Max Site Load and Supporting Future Growth

Shorepoint is planning to maximize its capacity at this site with the construction of this initial project. Shorepoint's plan for future growth is to launch additional locations in neighboring communities rather than expand the future capacity of this location by acquiring adjacent parcels. The only consideration of future expansion at this site is possibly the children's classrooms depending on needs. Shorepoint's model is to create a 600-seat worship auditorium, offer multiple services and then launch additional campus locations in adjacent communities as we continue to grow. Our strategy is to continue to foster the mid-sized community feel that comes with this size auditorium and replicate that in other locations rather than grow to a much larger main location.

Capitol Drive Access

In conversation with the Wisconsin Department of Transportation their only concern was that we move the access drive 50 feet to the west to create adequate space for an acceleration lane before reaching the Duplainville Road bridge. This has been accommodated in the plan we are submitting today. Our long-term objective is to move our Capitol Drive access point even farther to the west and connect to Wethersfield Road whenever the property to the west is developed.

Duplainville Access

We understand there is a moratorium for access to utilities in this road until the summer of 2026. We have listened to additional concerns and would like to work with the City to create a safe way to both allow fire and safety access and also mitigate concerns regarding cut-through traffic that may occur with this access. We have heard multiple options and are looking forward to working with the City to identify and select the best overall approach.

G. SHOREPOINTS GOALS AND VISION

Shorepoint has a heart to be in this community and will enhance this section of Capitol Drive. Since it began in 2015, Shorepoint has earned the reputation of being a positive presence both as a renter at the Wilson Center and as a member of the community. Shorepoint's involvement in local projects and events geared toward strengthening the community has been consistent and something they look forward to continuing in Pewaukee. Those projects include:

- Providing a place for connection and personal growth within our more than 55 different small groups that currently meet throughout the week in homes and convenient locations within our community.
- Providing a safe, drug and alcohol-free space for teenagers to build relationships and find a sense of community through organized gatherings and events.
- Providing marriage strengthening resources from pastoral counseling and seminars to small groups.
- Providing resources and direct support to help people struggling with addiction from pastoral counseling and appropriate referrals to small groups and courses offered.
- Providing resources and direct support for those in our community who are in a financial struggle through our benevolence program and Dave Ramsey's Financial Peace course.
- Providing resources and direct support for those involved in Foster Care through partnership with local and statewide non-profits.
- Providing a place for people to use their God-given gifts and abilities to serve others in a wide variety of ways. We currently have over 185 people actively serving in different capacities at and through the church.
- Three unique "Serve Weeks" throughout the year where countless hours are invested in local service initiatives within our community.

Studies have shown that greater connection to a faith community leads to healthier people in multiple categories. Healthier people lead to stronger communities. As Pewaukee grows in homes and commerce, Shorepoint sees this land as an opportunity to help Pewaukee grow in its options for a healthy faith community.

END OF NARRATIVE

September 9, 2024

Office of the Planner & Community Development Director
Attn: Nick Fuchs, Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072



Below are responses for the staff comments dated August 10, 2024 for the proposed development application for Shorepoint Church and the properties bearing Tax Key Nos. PWC 0912983,0912984, and 0912985.

1. General

- a. The project narrative states that exterior building materials are still being determined. Please note that the expectation is that building permit plans will be in substantial conformance with the Plan Commission plans. Any changes considered to be significant or a downgrade in quality will have to go back to the Plan Commission for review and approval.

See attached Exterior Building Materials sheet A-8 showing more specific material information.

- b. Is the exhibit provided showing estimated traffic counts for other churches in the area the extent of the traffic analysis completed? Was a full Traffic Impact Analysis completed by a traffic/transportation engineer? Note that traffic was a significant concern discussed at the Conceptual Review and completion of a TIA was mentioned.

The initial exhibit provided is only showing adjacent churches and their parking lot capacity to illustrate how many cars could be on those properties. TADI is currently working on a traffic study analysis. See attached exhibit.

The exhibit showing current traffic counts is not the extent of the traffic analysis. It only represents a portion of the required WisDOT TIA, which is in progress. Due to requesting access to STH 190, a WisDOT permit is required, thereby requiring a WisDOT TIA process consisting of a two phase TIA report submittal. The first phase, the TIA Initial Review Report, has been submitted and we are currently awaiting comments on the Phase 1 submittal from WisDOT. Once TADI receives comments from WisDOT, phase 2 of the TIA will be conducted, which includes a full traffic analysis and recommendations of the study area intersections and will be included in the Full TIA.

- c. Does the church plan to abide by the moratorium for access to utilities? Does that timing work with the anticipated construction timeframe?

We currently understand the moratorium to be lifted in March of 2026 and our construction timeline will work with the moratorium.

2. Comprehensive Master Plan Amendment
 - a. Please reference the 2050 Comprehensive Master Plan, not 2035. Note the current land use designation is Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac. / D.U.) and Floodplains, Lowland, & Upland Conservancy and Other Natural Areas.
This is noted in the Comprehensive Master Plan Exhibit dated 8-15-2024.
The proposed land use plan exhibit should also include the Floodplains, Lowland, & Upland Conservancy and Other Natural Areas designation. Staff recommends that this designation include all the remaining woodland area on the property.
This is noted in the Comprehensive Master Plan Exhibit dated 8-15-2024.
3. Rezoning
 - a. Staff recommends that the wooded area of the site be rezoned to UC Upland Conservancy and revising the rezoning exhibit as such.
This is shown to be rezoned to UC in the attached revised Re-Zoning Exhibit.
4. Certified Survey Map
 - a. Please provide all information as required by Section 18.0603b. of the City's Land Division Ordinance, including the following:
 - i. Setbacks or Building Setback Lines required by the Plan Commission or other City or County Ordinances;
This is documented in the Revised Certified Survey Map.
 - ii. Utility, drainage, and access easements;
Utility, drainage and access easements will be provided in the final Certified Survey Map.
 - iii. A Required Preliminary CSM shall include existing and proposed contours as set forth in Section 18.0601.
This is documented in the Revised Certified Survey Map.
 - iv. The Elevation at each lot; and,
 - v. Utilities, showing their exact location and depth.
This is documented in the Revised Certified Survey Map.
 - b. Please revise Ami Hurd, Deputy Clerk on Sheet 4 of the CSM to Colleen Brown, Plan Commission Secretary for the Plan Commission Approval signature line and to Kelly Tarczewski, City Clerk for the Common Council Approval signature line.
This has been revised in the Certified Survey Map.

5. Site & Building Plan Review

a. Please illustrate building and parking setbacks on the site plan. These required minimum setbacks are noted below.

i. Building Setbacks and Yards

1. There shall be a minimum building (or street) setback from the right-of-way of all streets, roads, or highways equal to the average setback on each side of the use parcel or districts but not less than 25 feet.
2. There shall be a minimum side yard equal to the side yard on adjacent use parcels or districts but not less than 20 feet.
3. There shall be a rear yard of not less than 25 feet.
4. All structures shall be set back a minimum of 75 feet from the designated 100-year recurrence interval (base flood) floodplain of all navigable streams and bodies of water and 25 feet from any designated wetland. (Also see sub-section 17.0435)

See building and parking setbacks shown in the attached sheet by The Sigma Group.

ii. Off-street Parking Setbacks

1. There shall be no parking or loading area within 30 feet of a street right-of-way.

Compliant

2. Each such parking area shall be bounded by a grassed or landscaped greenbelt of at least ten (10) feet in width between the parking area and all property boundaries.

See revised Parking plan.

b. Note paving must be in conformance with Section 17.0601c. of the Zoning Code.

This has been noted and will be in compliance – currently showing one parking space for each two seats in worship space. Parking stalls shown are not less than 180 sf.

c. Staff recommends submittal of a landscape plan for Plan Commission review and approval. The landscape plan must include all proposed planting locations as well as a corresponding table indicating planting type, quantity provided, and size.

See attached Landscape Plan provided by The Sigma Group.

d. Regarding landscaping, staff recommends:

- i. that landscaping be utilized to screen the drive and parking lot from Capitol Drive and Duplainville Road (see Section 17.0603c. of the Zoning Code), particularly as concerns were expressed during the Conceptual Review with much of the parking being located in front of the building.

The revised parking lot has added islands to soften the parking lot in front of the building. The additional parking spaces to maintain 300 spots has now been located at the rear or south side of the building.

- ii. that additional landscape islands be provided within the parking lot to breakup longer rows of parking.

See revised Site Plan attached.

- e. Please provide details regarding the proposed retaining wall, such as material and height.
Retaining Wall shown on the south side of the building is intended to be constructed of large retaining wall blocks. Height of wall at the tallest point is 12' high. Average wall height is about 6' to 8' tall.
- f. Is lighting proposed? Staff recommends submittal of a Lighting Plan that includes location, photometrics, fixture details, and peak height of poles and fixtures as well as mounting height for any proposed building lighting.
See attached Photometrics of the site provided by The Sigma Group.
- g. Note the peak height of light poles and fixtures may not exceed 20-feet as measured from grade.
NOTED. All exterior light poles and fixtures will not exceed 20-feet in height as measured from grade.
- h. On the Site Plan, please illustrate the future cross access location with a note stating that access is to be provided upon availability and development of the property to the west. This is an anticipated condition of approval (to require construction in the future and removal of the existing access).
See attached exhibit Anticipated Future Access Exhibit.
- i. Staff suggests lowering the height of the cross.
The cross has been lowered to 40'-0" See sheet A-2 and A-3 Elevations.
- j. How will mechanical equipment be screened?
Roof top units will be screened by a unit attached direct mounted screen with panels to match building materials. See attached sheet A-8 showing screen material.

Thanks again for your time and consideration on this project. Please reach out with any questions or any items of concern.

Sincerely,

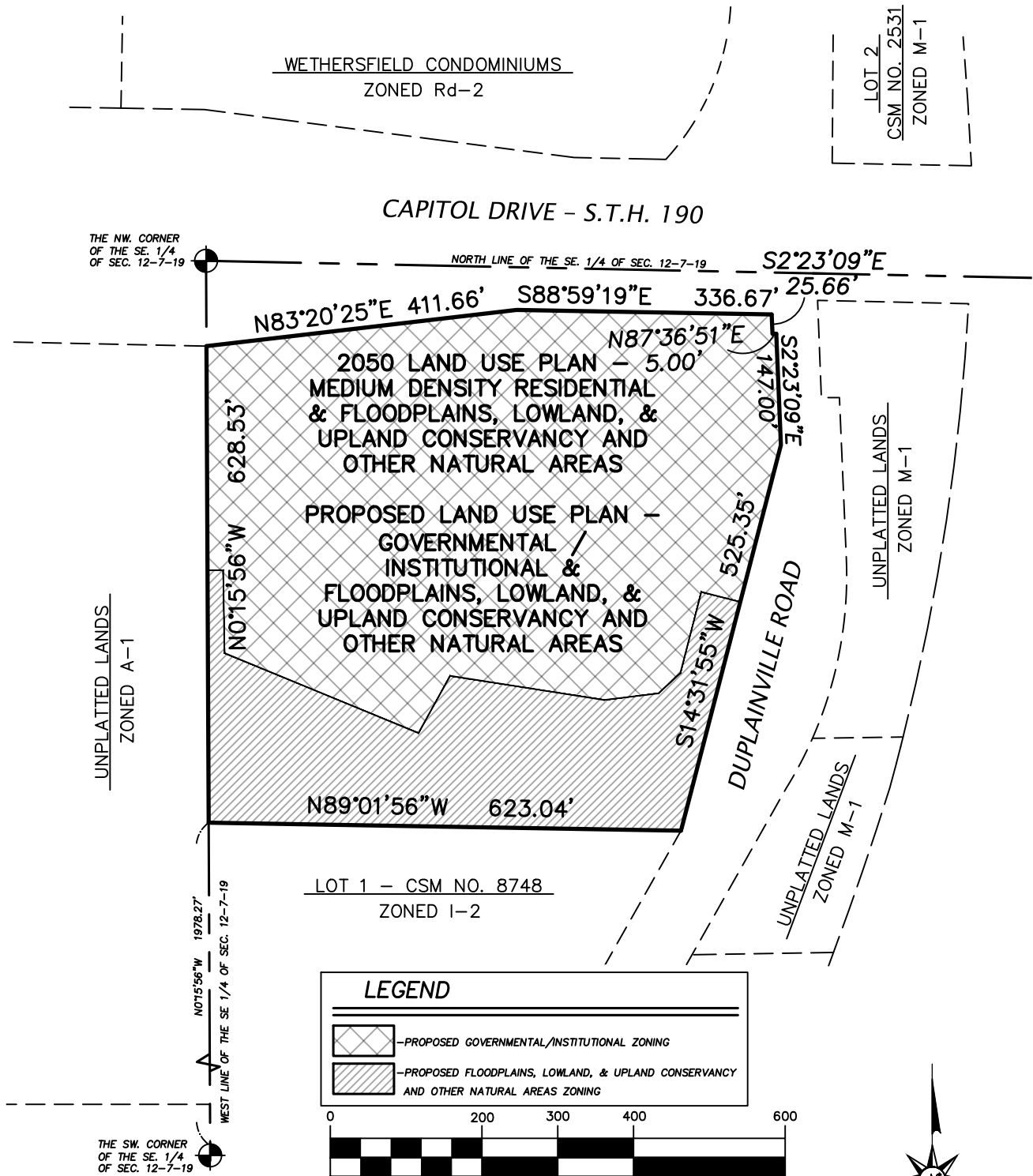


Angie Knodel, AIA
Vanman Architects and Builders

COMPREHENSIVE MASTER PLAN - EXHIBIT

PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 12, TOWNSHIP 7 NORTH,
RANGE 19 EAST, CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

DATED 8-15-2024



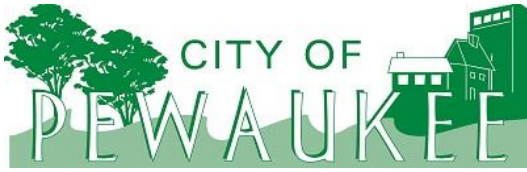
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

SCALE 1" = 200'

Bearing Reference:

All Bearings are referenced to the West line of the SE. 1/4 SEC. 12-7-19, which bears N0°15'56"W (NAD-83)

Prepared For:
Shorepoint Church



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of September 19, 2024

Date: September 13, 2024

Project Name: Comprehensive Master Plan Amendment, Rezoning, Certified Survey Map, and Site & Building Plan Review Application

Project Address/Tax Key No.: Not Assigned/PWC 0912983, W223N3481 Duplainville Road/PWC 0912984, and N34W22407 Capitol Drive/PWC 0912985

Applicant: Pastor Brian Engl, Shorepoint City Church, Inc.

Property Owner: Duplainville LLC (PWC 0912983), Shorepoint City Church Inc. (PWC 0912984), and Oscar E. Picado Diaz (PWC 0912985)

Current Zoning: Rs-1 Single Family Residential (PWC 0912983 & 0912985) and B-3 General Business District (PWC 0912984)

2050 Land Use Map Designation: Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac. / D.U.) and Floodplains, Lowland, & Upland Conservancy and Other Natural Areas

Use of Surrounding Properties: Capitol Drive and Two-Family Residential to the north, Quad Graphics to the south, M-1 District properties to the east, and agricultural land to the west.

Introduction

Shorepoint City Church, Inc. has filed applications for a Comprehensive Master Plan Amendment, Rezoning, Certified Survey Map, and Site & Building Plan Review. This submission follows the Conceptual Review Application, which was reviewed at the March 21, 2024, Plan Commission meeting.

At that meeting, much of the discussion revolved around traffic concerns and the potential access to Duplainville Road. Several members also commented on a preference for these properties to remain with their current land use plan designation of Medium Density Residential.

Project Description/Analysis

The proposed church use and development utilizes three existing properties located at the southwest corner of Capitol Drive and Duplainville Road. The three properties consist of an old vacant residential home, a single-family home, and vacant land. The applicant would raze all existing structures.

Comprehensive Master Plan Amendment

To accommodate the proposed development and rezoning, the applicant is requesting that the properties bearing Tax Key Nos. 0912984 and 0912985 are changed from Medium Density Residential to Governmental/Institutional and the property bearing Tax Key No. 0912983 is changed from Medium Density Residential and Floodplains, Lowland, & Upland Conservancy and Other Natural Areas to Governmental/Institutional and Floodplains, Lowland, & Upland Conservancy and Other Natural Areas.

Note the boundary of the Floodplains, Lowland, & Upland Conservancy and Other Natural Areas designation will follow the remaining wooded area located on the southern portion of the site.

The request to change the land use designation to Governmental/Institutional is consistent with the concurrent rezoning request described below.

Rezoning

The subject properties are currently zoned Rs-1 Single Family Residential (PWC 0912983 & 0912985) and B-3 General Business District (PWC 0912984). The applicant is requesting to change the zoning of all three properties to the I-1 Institutional District and UC Upland Conservancy District. The UC District will match the boundary of the Floodplains, Lowland, & Upland Conservancy and Other Natural Areas designation noted above.

Note a church is a Permitted Use in the I-1 District.

Certified Survey Map

The Certified Survey Map Application combines the three existing properties into a single lot. The total area of Lot 1 is 10.814 acres. The combined parcel conforms to the minimum lot size of 2-acres and minimum lot width of 200-feet of the I-1 District.

The applicant will need to revise the signature lines of the CSM to include Colleen Brown as the Plan Commission Secretary for the Plan Commission Approval signature line and Kelly Tarczewski, City Clerk for the Common Council Approval signature line.

Site & Building Plans

The building has an area of approximately 27,745 square feet and includes a 600-capacity worship space, office space, a 1,350 square foot multi-purpose room with a stage, and classrooms. The plans provided illustrate the building location, exterior parking areas, landscaping, lighting, and storm water management facilities. A retaining wall is also shown to the south of the building and parking lot, which has a maximum height of about 12 feet and an average height of about 6 to 8 feet.

Any dumpster enclosure kept onsite shall have its location and materials reviewed and approved by the City Planner.

Access

The site plan includes a driveway extending through the north end of the site connecting a Duplainville Road access point and a Capitol Drive access location. The Wisconsin Department of Transportation (WisDOT) has indicated that one right-in/right-out access location that is located a minimum of 450 feet from the center line of Duplainville Road will be allowed on Capitol Drive. *Staff recommends that the applicant provide a revised site plan, for Engineering Department review and approval, that shifts the Duplainville Road access location further south on the property.*

The applicant has also provided an exhibit that illustrates a future access location onto Capitol Drive, which is located on the property to the west and across from Wethersfield Road. *Staff recommends that the future cross-access location shall be provided and constructed upon availability and development*

of the property to the west along with the removal of the existing access to Capitol Drive as well as the abandonment of the Duplainville Road access.

Traffic

As noted above, the site is proposed to be accessible from both Capitol Drive and Duplainville Road. Traffic exiting onto Capitol Drive must turn right and head east. If a car wishes to travel west on Capitol Drive, a U-turn is needed at Springdale Road. During the Conceptual Review, staff expressed traffic concerns with this in consideration of the traffic on Capitol Drive, particularly Spring Creek Church traffic, which likely has similar peak traffic times.

A Traffic Impact Analysis is currently under review by WisDOT. The applicant hopes to be able to provide WisDOT review comments prior to the September 19th meeting. If any action is taken by the Plan Commission, staff recommend including a condition that all improvements as required by WisDOT in accordance with the Traffic Impact Analysis be completed prior to occupancy.

Parking

The Zoning Ordinance suggests a minimum parking ratio of one space for each two seats. In addition, one space for each two employees for school use.

The 600-seat worship space requires 300 parking spaces. Staff would not recommend additional parking for the classrooms as the classrooms are primarily utilized at different times than the worship space. With a large amount of parking already proposed, staff generally prefer areas of the site be designated as future parking and only improved if necessary.

Natural Resources

In review of aerials and the DNR Surface Water Data Viewer, no wetlands exist onsite and only a small portion of the northwest corner of the site shows hydric soils. The southern portion of the site is wooded, and the site is steeply sloped. Moreover, no portion of the site is identified as a SEWRPC environmental corridor, and no floodplain is located on the property.

The applicant has agreed to preserve and zone the wooded area of the site to UC Upland Conservancy, which provides protection and limited allowed uses for that portion of the property.

Landscaping

The Landscape Plan includes 37 deciduous trees, 41 evergreens, 35 decorative trees, and 272 shrubs. The applicant has addressed staff comments and there are no objections to the proposed landscape plan.

It can also be noted that the site complies with the City's requirement of maintaining a minimum of 40% greenspace onsite.

Lighting

A Lighting Plan, including a photometric plan, has been provided illustrating exterior light poles throughout the site. The light poles and fixtures are noted to not exceed 20-feet in height, in conformance with City standards. Staff have no objections to the proposed Lighting Plan.

I-1 District

The proposed uses are permitted under the I-1 District. The I-1 District development standards also appear to be met with this development.

Architecture

The building primarily consists of precast panels and EIFS. The proposed building height is approximately 30-feet. The applicant is also proposing a 40-foot-tall cross that will extend about 10-feet above the roofline. *The applicant shall verify that the proposed height of the cross complies with height regulations of the Capitol Airport.*

Staff suggests that the south elevation be revised to include windows or other architectural features.

Recommendation

Staff does not object to the proposed use or land combination; however, staff continues to have concerns with access and traffic. A review of WisDOT comments and the final TIA is needed prior to making a recommendation.

Staff also recommends that the applicant pursue cross-access with the adjacent property owner for construction as part of this development, opposed to in the future.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 4.**

DATE: September 19, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action and Public Hearing for Shorepoint Church to Rezone Vacant Property Located at the Southwest Corner of Duplainville Road and Capitol Drive and Property Located at N34 W22407 Capitol Drive from Rs-1 Single-Family Residential to I-1 Urban Institutional, and to Rezone Property Located at W223 N3481 Duplainville Road from B-3 General Business to I-1 Urban Institutional for the Purpose of Constructing an Approximately 27,000 Square Foot Church (PWC 0912983, PWC 0912984, PWC 0912985)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

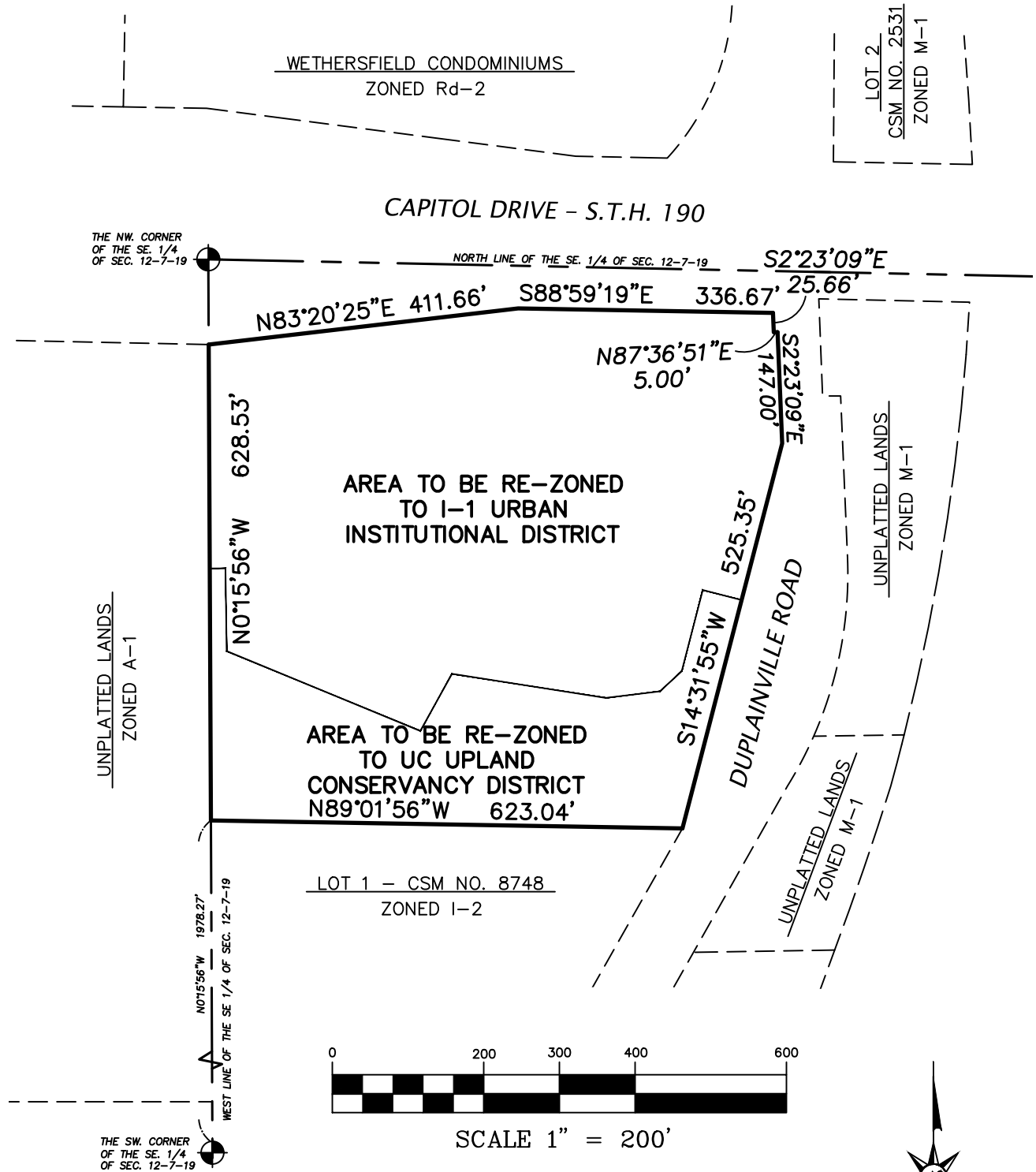
Description

Shorepoint Church rezoning exhibit

RE-ZONING - EXHIBIT

PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 12, TOWNSHIP 7 NORTH,
RANGE 19 EAST, CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

DATED 8-15-2024



Bearing Reference:

All Bearings are referenced to the West line of the SE. 1/4 SEC. 12-7-19, which bears N0°15'56"W (NAD-83)

Prepared For:

Shorepoint Church



www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210



RE-ZONING - EXHIBIT

PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 12, TOWNSHIP 7 NORTH,
RANGE 19 EAST, CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

LEGAL DESCRIPTION

All of Certified Survey Map No. 1295, and Lands, all being part of the Northwest 1/4 of the Southeast 1/4 of Section 12, Town 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows:

Commencing at the Southwest corner of the Southeast 1/4 of said Section 12; thence $N0^{\circ}15'56''W$ along the West line of said 1/4 Section, 1978.27 feet to the point of beginning of lands to be described; thence continuing $N0^{\circ}15'56''W$ along the West line of said 1/4 Section, 628.53 feet to a point in the South right of way line of Capitol Drive (S.T.H. 190); thence $N83^{\circ}20'25''E$ along said South right of way line, 411.66 feet; thence $S88^{\circ}59'19''E$ along said South right of way line, 336.67 feet to a point in the Westerly right of way of Duplainville Road, said point also being the Northeasterly corner of Certified Survey Map (CSM) No. 1295, thence $S2^{\circ}23'09''E$ along said Westerly right of way line and the Easterly line of said CSM, 25.66 feet; thence $N87^{\circ}36'51''E$ along said Westerly right of way line and the Easterly line of said CSM, 5.00 feet, thence $S2^{\circ}23'09''E$ along said Westerly right of way line and the Easterly line of said CSM, 147.00 feet to a point; thence $S14^{\circ}31'55''W$ along said Westerly right of way line and the Easterly line of said CSM, 525.35 feet, thence $N89^{\circ}01'56''W$, 623.04 feet to the point of beginning.

Said lands containing 10.814 acres of land, more or less.

DATED 8-15-2024



www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

Prepared For:
Shorepoint Church

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 5.**

DATE: September 19, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Certified Survey Map for Shorepoint Church for Property Located at the Southwest Corner of Duplainville Road and Capitol Drive for the Purpose of Combining Three Existing Parcels in Order to Construct an Approximately 27,000 Square Foot Church (PWC 0912983, PWC 0912984, PWC 0912985)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Shorepoint Church CSM

CERTIFIED SURVEY MAP NO. _____

ALL OF CERTIFIED SURVEY MAP NO. 1295, AND LANDS, ALL BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 12, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.



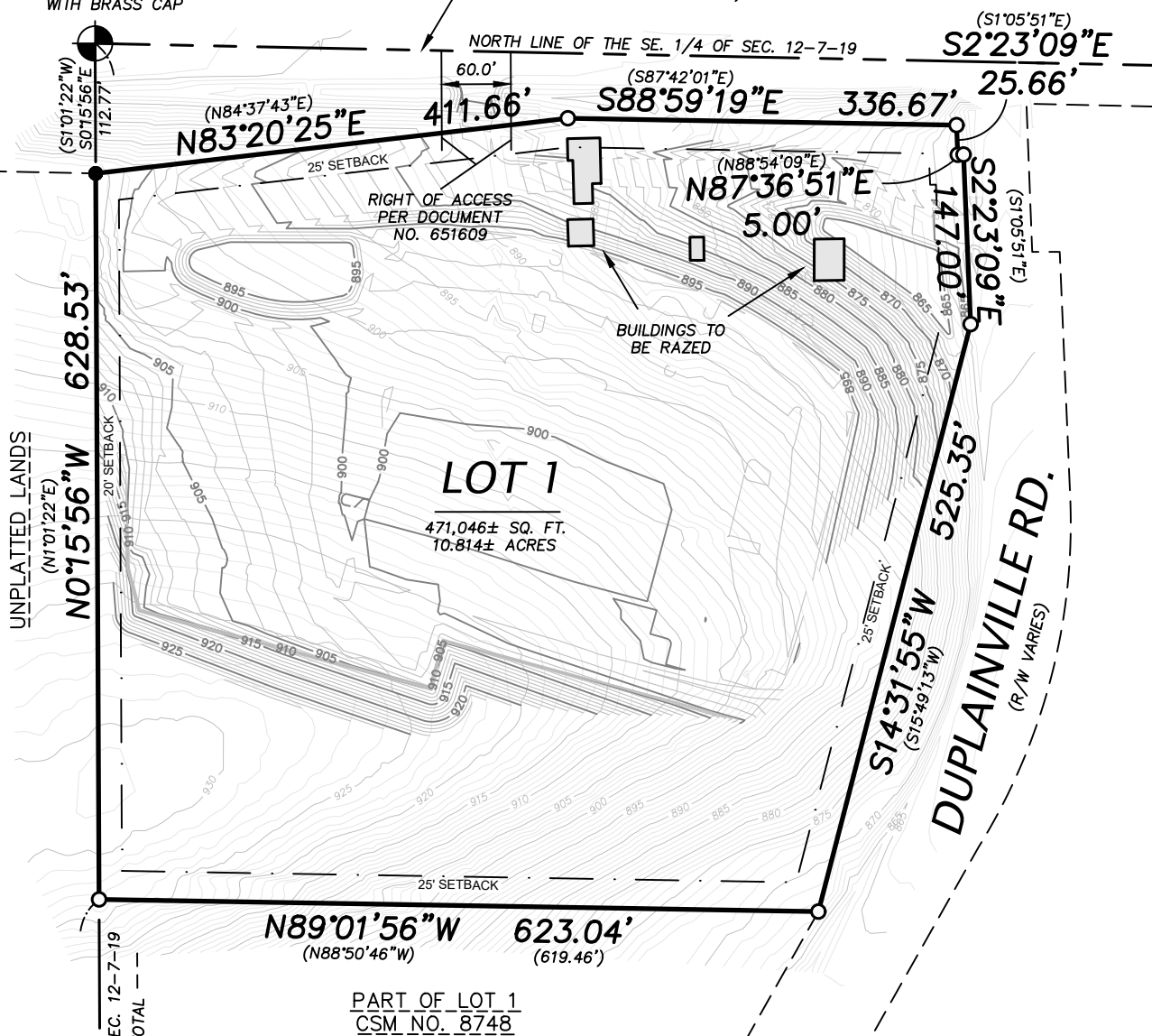
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

SCALE 1" = 150'

THE NW. CORNER OF THE SE. 1/4 OF SEC. 12-7-19 CONC. MONUMENT WITH BRASS CAP

CAPITOL DR. - S.T.H. 190

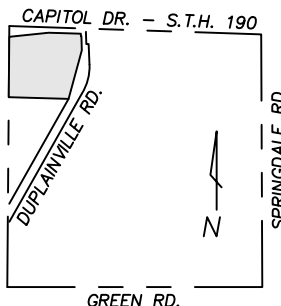
(R/W VARIES)



LEGEND

- - DENOTES 1.315"X18" STEEL PIPE WEIGHING 1.13 LBS. PER LINEAL FOOT (SET)
- - DENOTES STEEL PIPE (FOUND)
- () - DENOTES ALSO RECORDED AS

ALL BEARINGS REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (WEST LINE OF THE SE. 1/4 OF SECTION 12-7-19 WHICH BEARS N01°15'56"W) DATUM NAD-83



LOCATION MAP

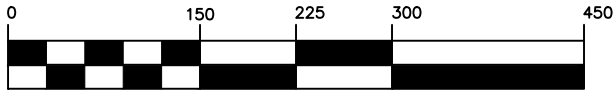
SOUTHEAST 1/4 SEC. 12-7-19 (SCALE 1"=2000')

OWNER :
SHOREPOINT CHURCH
c/o BRIAN ENGEL
19900 RIVER ROAD
BROOKFIELD, WI 53005

WEST LINE OF THE SE 1/4 OF SEC. 12-7-19 2719.57' TOTAL
N01°15'56"W (N1°01'22"E)
1978.27'
N01°15'56"W (N1°01'22"E)
THE SW. CORNER OF THE SE. 1/4 OF SEC. 12-7-19 CONC. MONUMENT WITH BRASS CAP

CERTIFIED SURVEY MAP NO. _____

ALL OF CERTIFIED SURVEY MAP NO. 1295, AND LANDS, ALL BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 12, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.



www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210

SCALE 1" = 150'

THE NW. CORNER
 OF THE SE. 1/4
 OF SEC. 12-7-19
 CONC. MONUMENT
 WITH BRASS CAP

CAPITOL DR. - S.T.H. 190

(R/W VARIES)

NORTH LINE OF THE SE. 1/4 OF SEC. 12-7-19

STORM WATER MAINTENANCE
 ACCESS EASEMENT

PROPOSED
 STORM SEWER
 (TYP)

LOT 1

471,046± SQ. FT.
 10.814± ACRES

PROPOSED WATER MAIN
 (TYP)

PROPOSED
 SANITARY SEWER
 (TYP)

DUPLAINVILLE RD.

(R/W VARIES)

WEST LINE OF THE SE 1/4 OF SEC. 12-7-19
 1978.27'
 (N1°01'22"E)
 N01°15'56"W

THE SW. CORNER
 OF THE SE. 1/4
 OF SEC. 12-7-19
 CONC. MONUMENT
 WITH BRASS CAP



CERTIFIED SURVEY MAP NO. _____

ALL OF CERTIFIED SURVEY MAP NO. 1295, AND LANDS, ALL BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 12, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, James G. Schneider, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped the following parcel of land:

All of Certified Survey Map No. 1295, and Lands, all being part of the Northwest 1/4 of the Southeast 1/4 of Section 12, Town 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows:

Commencing at the Southwest corner of the Southeast 1/4 of said Section 12; thence N0°15'56"W along the West line of said 1/4 Section, 1978.27 feet to the point of beginning of lands to be described; thence continuing N0°15'56"W along the West line of said 1/4 Section, 628.53 feet to a point in the South right of way line of Capitol Drive (S.T.H. 190); thence N83°20'25"E along said South right of way line, 411.66 feet; thence S88°59'19"E along said South right of way line, 336.67 feet to a point in the Westerly right of way of Duplainville Road, said point also being the Northeasterly corner of Certified Survey Map (CSM) No. 1295, thence S2°23'09"E along said Westerly right of way line and the Easterly line of said CSM, 25.66 feet; thence N87°36'51"E along said Westerly right of way line and the Easterly line of said CSM, 5.00 feet, thence S2°23'09"E along said Westerly right of way line and the Easterly line of said CSM, 147.00 feet to a point; thence S14°31'55"W along said Westerly right of way line and the Easterly line of said CSM, 525.35 feet, thence N89°01'56"W, 623.04 feet to the point of beginning.

Said lands containing 10.814 acres of land, more or less.

That I have made such survey, land division, and plat at the direction of Shorepoint Church, OWNER of said lands.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have complied with Chapter 236.34 of the Wisconsin Statutes and the Regulations of the City of Pewaukee in surveying, dividing, and mapping the same.

James G. Schneider S-2127

This instrument was drafted by James G. Schneider

CERTIFIED SURVEY MAP NO. _____

ALL OF CERTIFIED SURVEY MAP NO. 1295, AND LANDS, ALL BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 12, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

CORPORATE OWNER'S CERTIFICATE

I, Brian Engel (Pastor) of Shorepoint Church, OWNER, do hereby certify: THAT, I have caused the lands described in the foregoing certificate of James G. Schneider, Surveyor, to be surveyed, divided, and mapped.

WITNESS the hand and seal of said OWNERS on this _____ day of _____, 20__.

Witness

Brian Engel (Pastor)

STATE OF WISCONSIN)

WAUKESHA COUNTY)^{ss}

PERSONALLY came before me on this _____ day of _____, 20__ the above named Brian Engel (Pastor) to me known to be the person who executed the foregoing certificate and acknowledged the same.

Notary Public

My Commission expires _____

This instrument was drafted by James G. Schneider

CERTIFIED SURVEY MAP NO. _____

ALL OF CERTIFIED SURVEY MAP NO. 1295, AND LANDS, ALL BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 12, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

CITY OF PEWAUKEE PLAN COMMISSION APPROVAL

APPROVED by the City of Pewaukee Plan Commission on this _____ day of _____ 20____.

Steve Bierce, Chairman

Date

Ami Hurd, Deputy Clerk

Date

COMMON COUNCIL CERTIFICATE OF APPROVAL

I certify that this Certified Survey Map was approved under Resolution File No. _____, adopted by the Common Council of the City of Pewaukee on _____, and is hereby approved.

Steve Bierce, Village President

Date

Ami Hurd, Deputy Clerk

Date

This instrument was drafted by James G. Schneider

Sheet 5 of 5 Sheets

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 6.**

DATE: September 19, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding the Site and Building Plans for Shorepoint Church for Property Located at the Southwest Corner of Duplainville Road and Capitol Drive for the Purpose of Constructing an Approximately 27,000 Square Foot Church (PWC 0912983, PWC 0912984, PWC 0912985)

BACKGROUND:

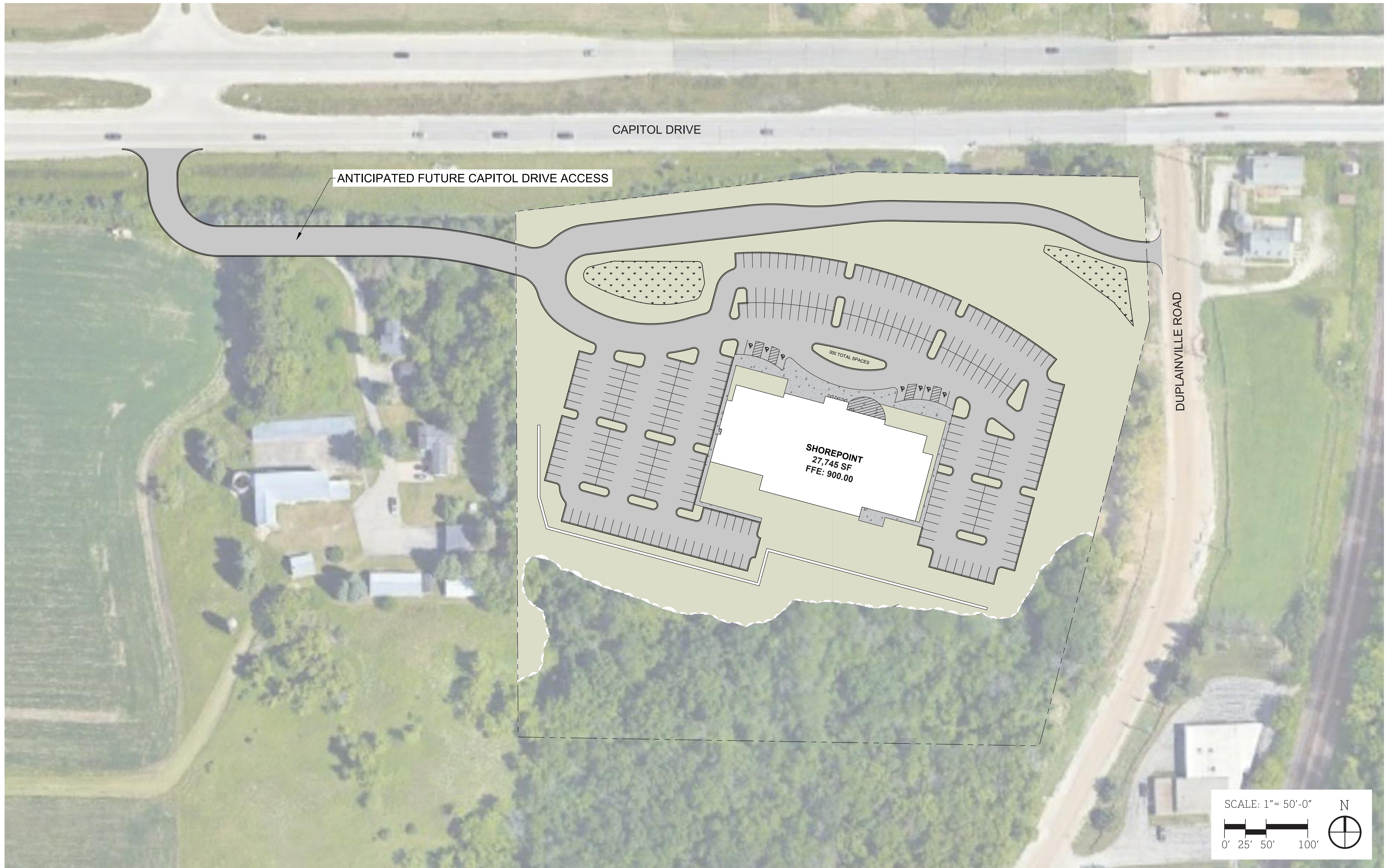
FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

- Shorepoint Church future access exhibit
- Shorepoint Church site graphic - area churches
- Shorepoint Church civil engineering
- Shorepoint Church architectural plans & elevations
- Shorepoint Church lighting plan
- Shorepoint Church landscape plan
- Shorepoint Church updated TIA
- Shorepoint Church responses



CAPITOL DRIVE

ANTICIPATED FUTURE CAPITOL DRIVE ACCESS

DUPLAINVILLE ROAD

SHOREPOINT
27,745 SF
FFE: 900.00

300 TOTAL SPACES

SCALE: 1"= 50'-0" N
0' 25' 50' 100'

SHOREPOINT CHURCH - ANTICIPATED FUTURE ACCESS

VANMAN ARCHITECTS

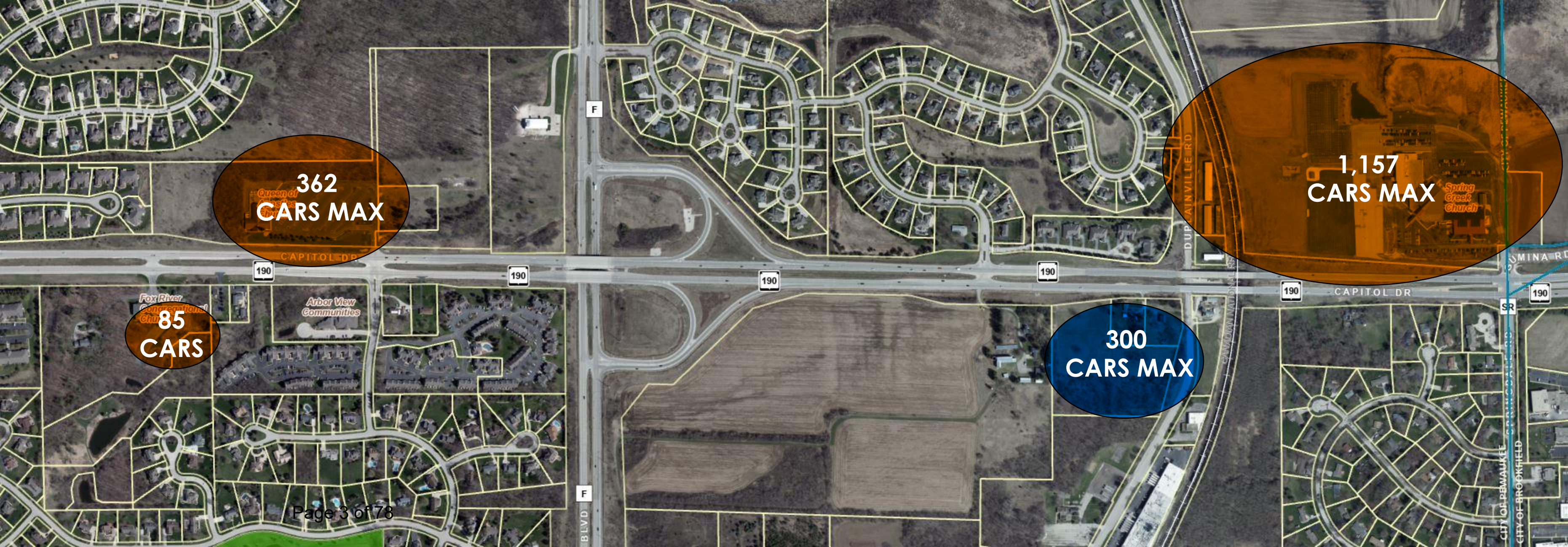
AUGUST 30, 2024

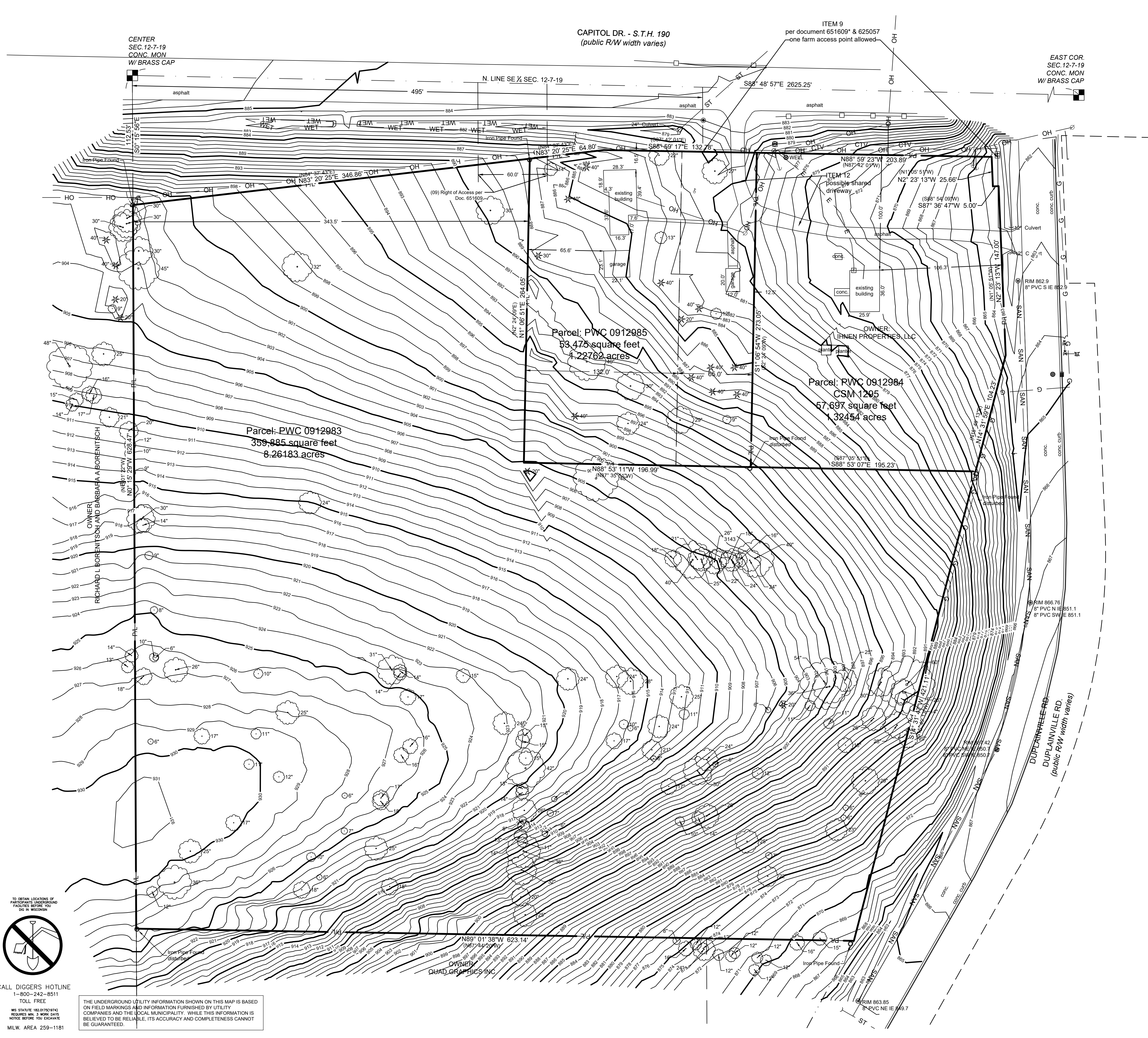
**362
CARS MAX**

**1,157
CARS MAX**

**85
CARS**

**300
CARS MAX**



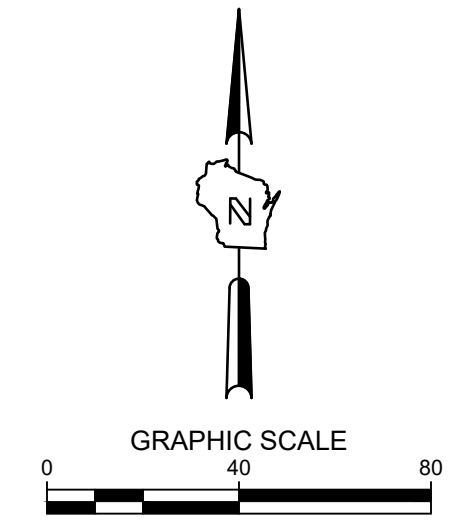


LEGEND:

- SECTION 1/4 SECTION LINE
- PROPERTY LINE
- - - EASEMENT
- X-X CHAIN LINK FENCE
- GUARD RAIL
- METAL FENCE
- WOOD FENCE
- ~ TREE LINE
- OH OVERHEAD UTILITY LINE
- E ELECTRIC
- T TELEPHONE
- FO FIBER OPTIC
- CTV CABLE TV
- SAN SANITARY SEWER
- FS FORCE MAIN
- ST STORM SEWER
- W WATER MAIN
- G GAS
- 670 EXISTING CONTOUR
- WET WETLAND
- FP FLOODPLAIN
- ⊕ UNKNOWN MANHOLE
- ⊕ SANITARY MANHOLE
- ⊕ STORM MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊕ MMSD MANHOLE
- ⊕ TELEPHONE MANHOLE
- ⊕ CLEANOUT
- ⊕ CATCH BASIN
- ⊕ CATCH BASIN (ROUND)
- ⊕ ROOF DRAIN
- ⊕ CULVERT END
- ⊕ HYDRANT
- ⊕ WATER VALVE
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ GAS METER
- ⊕ ELECTRIC METER
- ⊕ UTILITY PEDESTAL
- ⊕ HANDHOLE
- ⊕ VENT
- ⊕ MONITORING WELL
- IRON PIPE FOUND/SET
- ⊕ REBAR FOUND/SET
- ⊕ CHISELED CROSS FOUND/SET
- ⊕ PK NAIL FOUND/SET
- ⊕ SPIKE/NAIL
- ⊕ MONUMENT
- ⊕ BENCHMARK
- ⊕ SIGN
- ⊕ PARKING METER
- ⊕ FLAG POLE
- ⊕ DECIDUOUS TREE
- ⊕ CONIFEROUS TREE
- ⊕ BUSH
- ⊕ POST
- ⊕ SOIL BORING
- ⊕ TRAFFIC SIGNAL
- ⊕ LIGHT POLE
- ⊕ UTILITY POLE
- ⊕ GUY WIRE
- ⊕ GUY POLE

- GENERAL NOTES:
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 2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY --- ON 09/18/2023.
 4. DATUM FOR THE PROJECT SURVEY IS USGS NAVD 88. BENCHMARK FOR THE PROJECT SURVEY IS ---.
 5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.

THE SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210



SHOREPOINT CHURCH
N34W22407 CAPITOL DRIVE
PEWAUKEE, WI 53072
SITE SURVEY

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE

NO. REVISION	DATE

PROJECT NO:	22074
DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.05
DRAWN BY:	JTR
CHECKED BY:	PJI
APPROVED BY:	---
SHEET NO:	C001



CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 MS STATUTE 182.07(2)(PM)
 REQUIRES MIN. 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181

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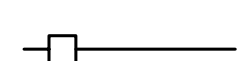

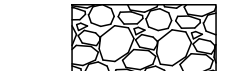

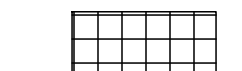

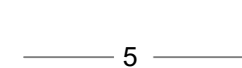





CENTER
SEC. 12-7-19
CONC. MON.
W/ BRASS CAP

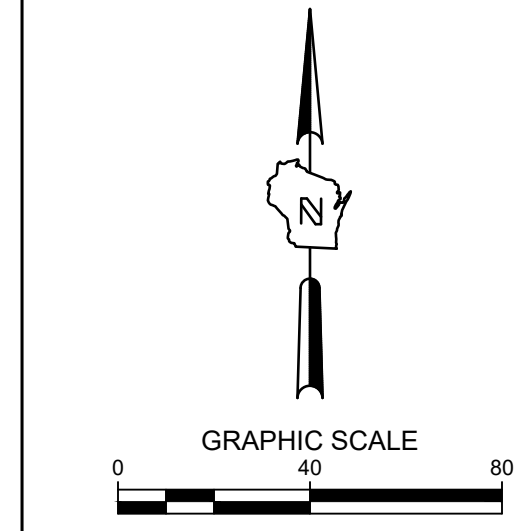
CAPITOL DR. - S.T.H. 190
(public R/W width varies)

ITEM 9
per document 651609* & 625057
one farm access point allowed

EAST COR.
SEC. 12-7-19
CONC. MON.
W/ BRASS CAP

LEGEND:

-  PROPOSED SILT FENCE
-  PROPOSED INLET PROTECTION
-  PROPOSED TRACKING PAD
-  PROPOSED DITCH CHECK EROSION BALES
-  PROPOSED EROSION MATTING WISDOT APPROVED CLASS 1 TYPE B
-  EXISTING CONTOUR
-  PROPOSED CONTOUR
-  UTILITY REMOVAL
-  CURB REMOVAL
-  SAWCUT
-  STRUCTURE REMOVAL
-  PAVEMENT REMOVAL



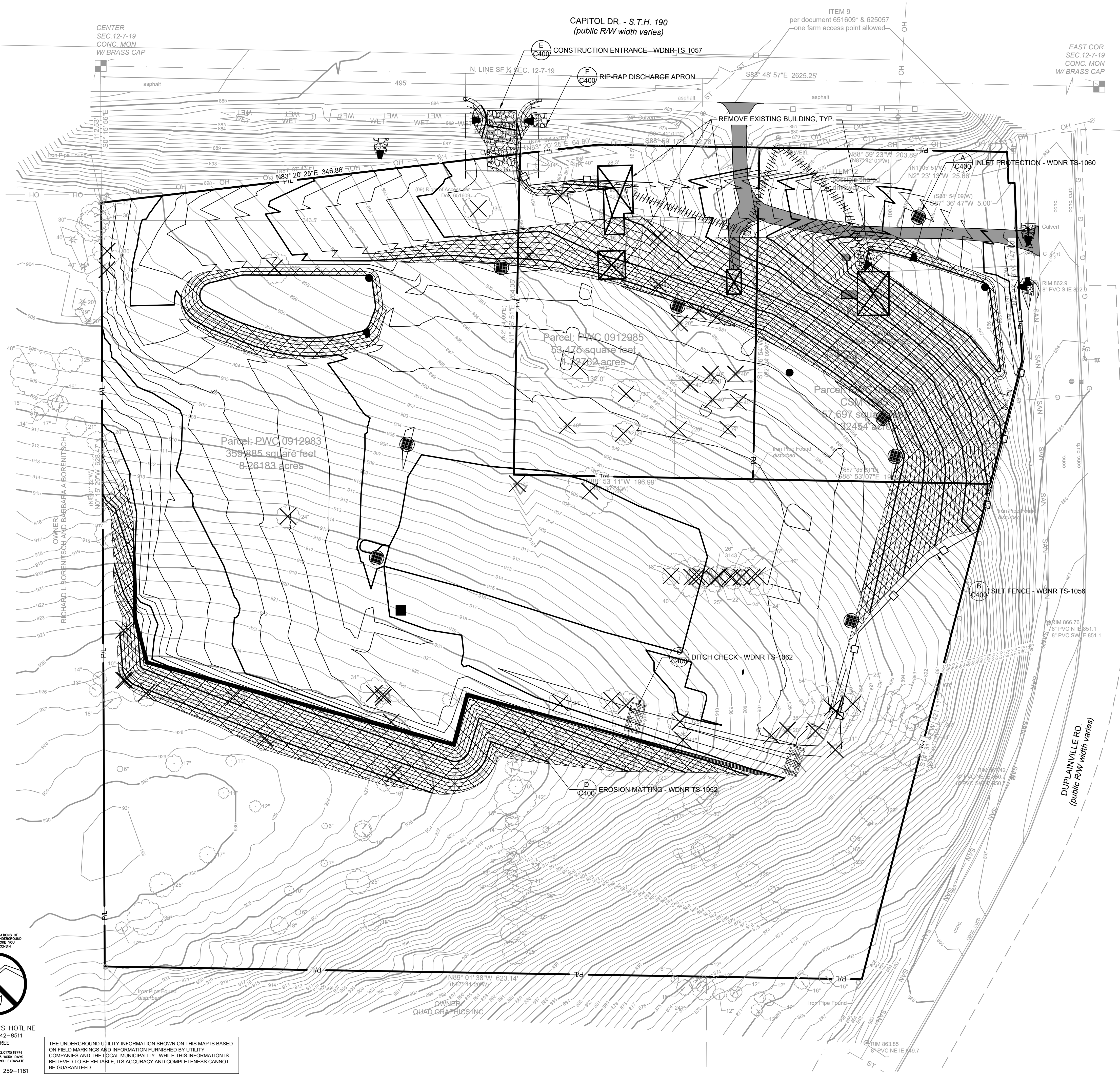
SHOREPOINT CHURCH
N34W22407 CAPITOL DRIVE
PEWAUKEE, WI 53072

SITE PREPARATION & EROSION CONTROL

**PRELIMINARY
NOT FOR
CONSTRUCTION**

ISSUANCE	DATE
----	----
NO. REVISION	DATE
----	----

PROJECT NO:	22074
DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.05
DRAWN BY:	JTR
CHECKED BY:	PJI
APPROVED BY:	----
SHEET NO:	C002



- GENERAL NOTES:**
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 5. SEE SHEET C400 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
 6. DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.

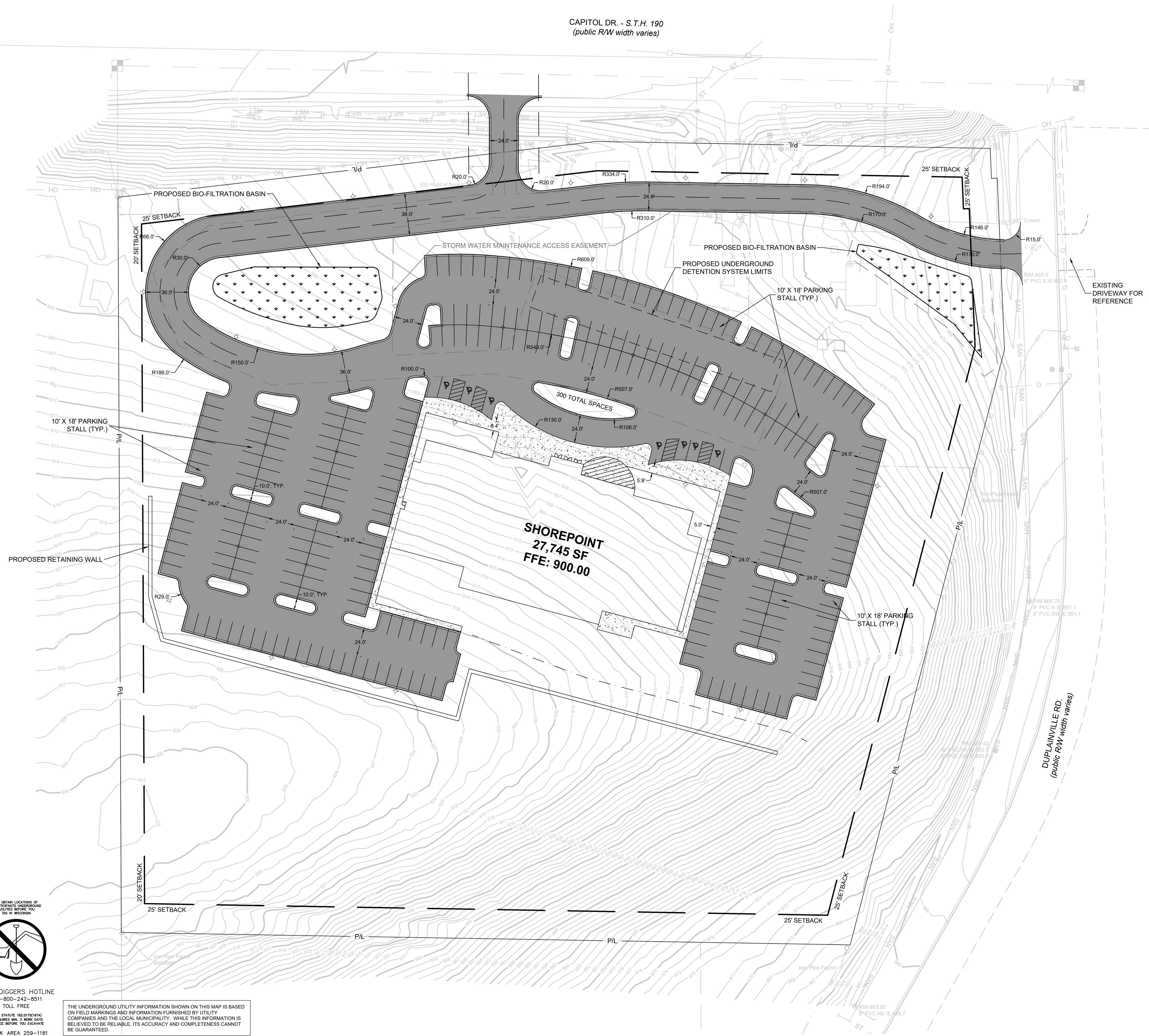


CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

MS STATUTE 182.07(2)(b)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

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CAPITOL DR. - S.T.H. 190
(public R/W width varies)



SITE INFORMATION		
SITE AREA	471061	10.814 AC
SITE DISTURBED AREA	363493	8.345 AC
EXISTING IMPERVIOUS AREA	6756	0.155 AC 1.4 %
PROPOSED IMPERVIOUS AREA	173609	3.986 AC 36.9 %
TOTAL PARKING SPACES	298	
ADA PARKING SPACES	7	

LEGEND:

- 5" THICK CONCRETE WALK
- ASPHALT SURFACE
- CURB & GUTTER (ACCEPT)
- CURB & GUTTER (REJECT)

THE SIGMA GROUP
Single Source. Sound Solutions.
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

GRAPHIC SCALE
0 40 80

SHOREPOINT CHURCH
N34W22407 CAPITOL DRIVE
PEWAUKEE, WI 53072

SITE PLAN

**PRELIMINARY
NOT FOR
CONSTRUCTION**

ISSUANCE	DATE
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----	----

NO. REVISION	DATE
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----	----
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- GENERAL NOTES:**
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 - DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
 - WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
 - EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

PROJECT NO:	22074
DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.05
DRAWN BY:	KJB
CHECKED BY:	PJI
APPROVED BY:	----
SHEET NO:	C100



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
MS STATUTE 182.07(2)(97A)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

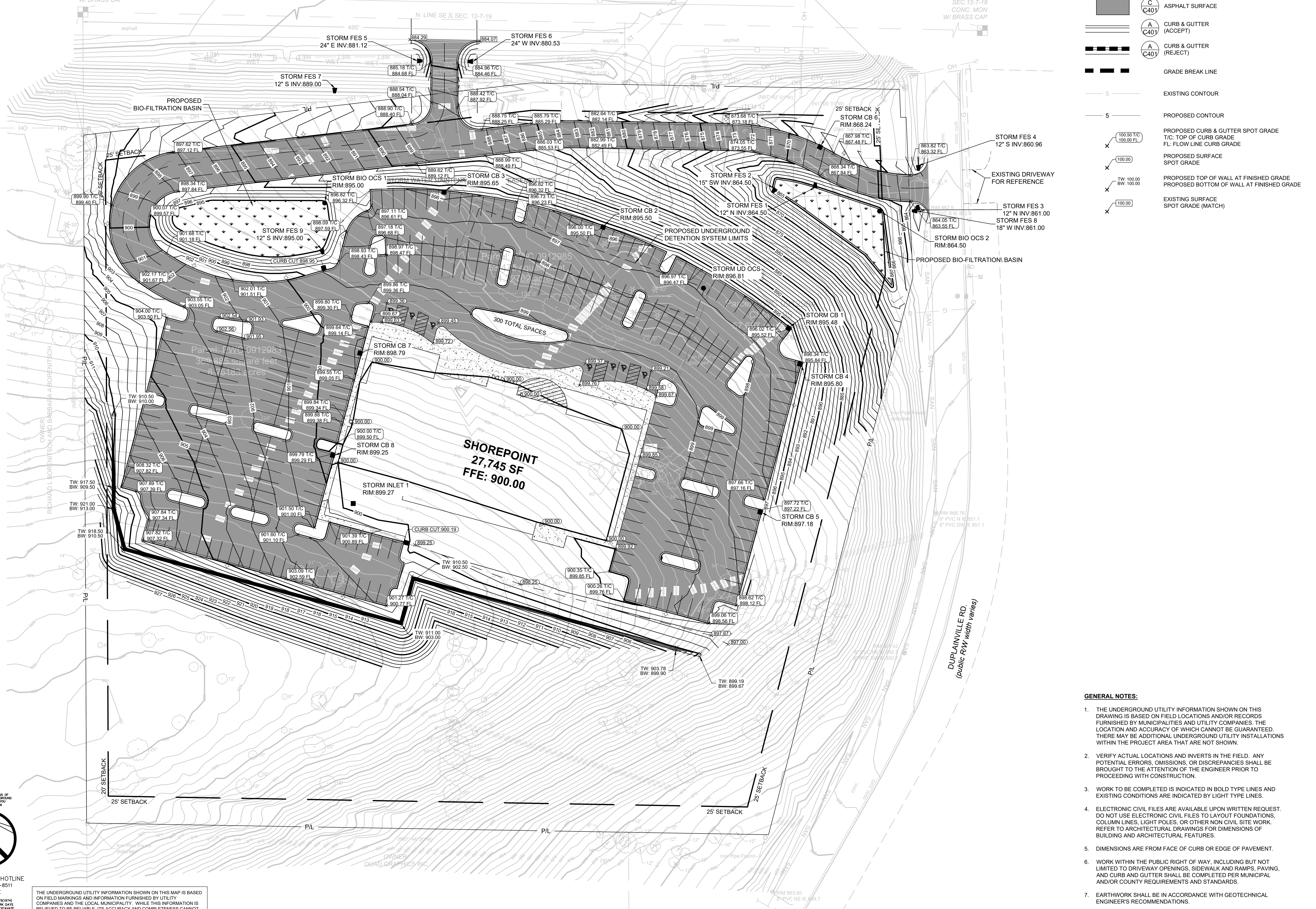
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CENTER
SEC. 12-7-19
CONC. MON
W/ BRASS CAP

CAPITOL DR. - S.T.H. 190
(public R/W width varies)

ITEM 9
per document 651609* & 625057
one farm access point allowed

EAST COR.
SEC. 12-7-19
CONC. MON
W/ BRASS CAP



LEGEND:

- 5" THICK CONCRETE WALK
- ASPHALT SURFACE
- CURB & GUTTER (ACCEPT)
- CURB & GUTTER (REJECT)
- GRADE BREAK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED CURB & GUTTER SPOT GRADE
T/C: TOP OF CURB GRADE
F/L: FLOW LINE CURB GRADE
- PROPOSED SURFACE SPOT GRADE
- PROPOSED TOP OF WALL AT FINISHED GRADE
PROPOSED BOTTOM OF WALL AT FINISHED GRADE
- EXISTING SURFACE SPOT GRADE (MATCH)



GRAPHIC SCALE
0 40 80

SHOREPOINT CHURCH
N34W22407 CAPITOL DRIVE
PEWAUKEE, WI 53072
GRADING PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

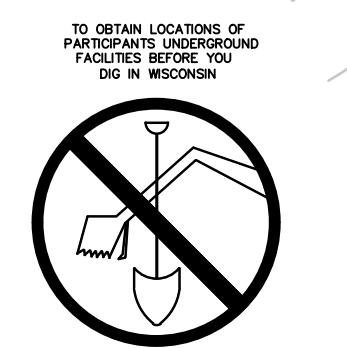
ISSUANCE	DATE
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NO. REVISION	DATE
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PROJECT NO:	22074
DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.05
DRAWN BY:	JTR
CHECKED BY:	PJI
APPROVED BY:	----
SHEET NO:	C200

GENERAL NOTES:

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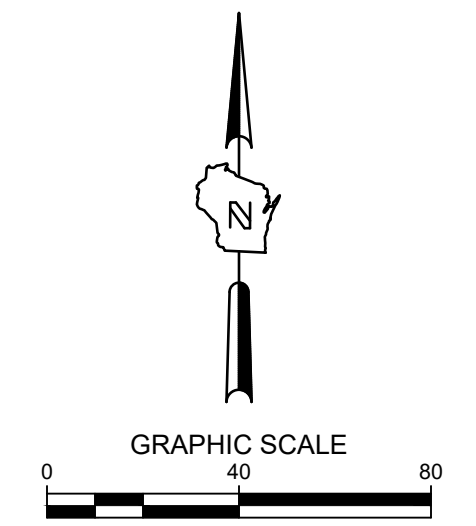


CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
MILW. AREA 259-1181

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LEGEND:

	PROPOSED WATER SERVICE
	PROPOSED SANITARY SERVICE
	PROPOSED STORM SEWER
	PROPOSED DRAIN TILE (UNDERDRAIN)
	PROPOSED ELECTRICAL SERVICE
	PROPOSED TELEPHONE SERVICE
	PROPOSED GAS SERVICE
	PROPOSED CITY UNDERGROUND CONDUIT
	PROPOSED STORM INLET
	PROPOSED OUTLET CONTROL STRUCTURE
	PROPOSED FLARED END SECTION
	PROPOSED SANITARY MANHOLE
	PROPOSED HYDRANT ASSEMBLY



GENERAL NOTES:

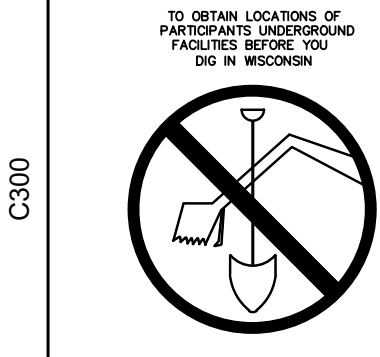
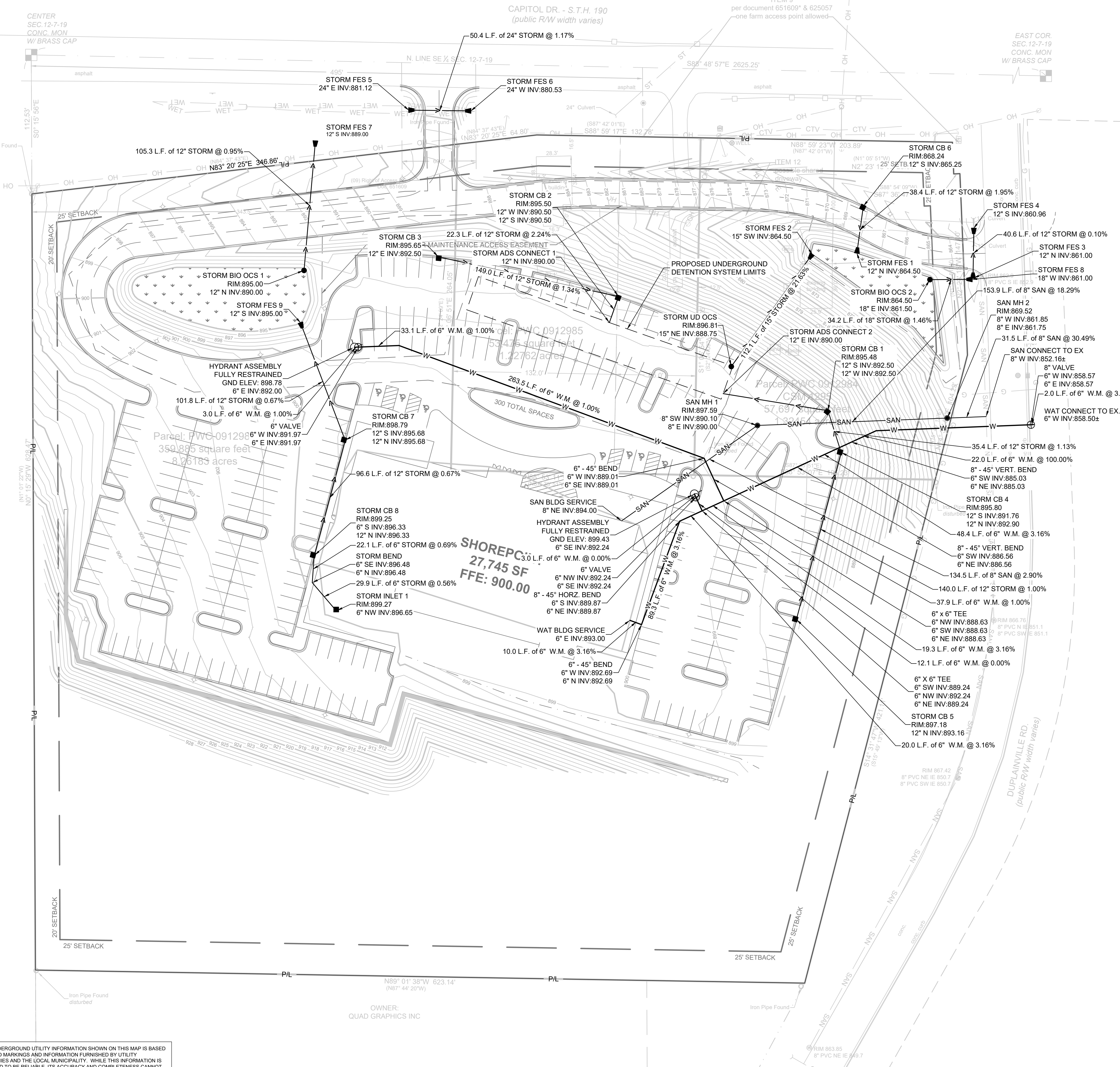
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5. ALL UTILITIES WITHIN 5 FEET OF PAVED AREAS SHALL REQUIRE GRANULAR BACKFILL. SLURRY BACKFILL IS REQUIRED FOR ALL WORK IN PUBLIC RIGHT OF WAY.
6. PRIVATE STORM INLETS IN PAVEMENT SHALL REQUIRE DRAIN TILE STUBS OF 10 FEET IN TWO DIRECTIONS FOR SUBDRAINAGE. RIM GRADE FOR STORM INLETS IN CURB AND GUTTER ARE FLOW LINE GRADES.
7. WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW MATERIAL AND INSTALLATION REQUIREMENTS PER MUNICIPAL AND/OR COUNTY.
8. PRIVATE STORM SEWER 12-INCH DIAMETER OR LARGER SHALL BE HDPE. BELOW 12-INCH DIAMETER SHALL BE PVC SDR-35 ASTM D3034. PRIVATE WATER MAIN SHALL BE CLASS 235 DR 18 PVC CONFORMING TO AWWA C-900. PRIVATE SANITARY SEWER SHALL BE PVC SDR-35 ASTM D3034.
9. COORDINATE FINAL LOCATION AND DESIGN OF PRIVATE UTILITY SERVICES (ELECTRIC, GAS, PHONE, CABLE) WITH UTILITY COMPANIES.
10. IF PROJECT IS DESIGN BUILD MEP, THE GENERAL CONTRACTOR IS REQUIRED TO PROVIDE FINAL SEWER AND WATER DESIGN SHOWING LOCATION, INVERTS AND SIZES TO THE ENGINEER FOR FINAL REVIEW AND VERIFICATION PRIOR TO STARTING UNDERGROUND UTILITY CONSTRUCTION.
11. WATER MAIN CONNECTION: TAP WATER MAIN WITH SIZE AND LOCATION INDICATED ON PLAN IN ACCORDANCE WITH LOCAL WATER UTILITY REQUIREMENTS. COORDINATE CONNECTION WITH LOCAL WATER UTILITY. ALL JOINTS SHALL BE RESTRAINED FROM CONNECTION OF WATER MAIN TO BUILDING WALL. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS. INSTALL MEGA-LUG OR APPROVED EQUAL TIGHT TO WALL FOR RESTRAINT FOR ALL BUILDING WALL PENETRATIONS AS APPROVED BY LOCAL PLUMBING INSPECTOR AND WATER UTILITY. INSTALL THRUST BLOCKING AND MEGA-LUG AT BEND BELOW FLOOR FOR ALL FLOOR PENETRATIONS.
12. INSTALL JOINT RESTRAINT AND CONCRETE THRUST BLOCKS AT ALL OFFSET FITTINGS (TEES, BENDS, DEAD ENDS, VALVES, REDUCERS) USING MEGA-LUG OR APPROVED EQUAL. CONCRETE THRUST BLOCKS SHALL BE INSTALLED PER FILE NO'S:44.45.46 FROM THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. SEE DETAIL FOR MINIMUM LENGTH OF RESTRAINED JOINT REQUIRED. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS.

SHOREPOINT CHURCH
N34W22407 CAPITOL DRIVE
PEWAUKEE, WI 53072

UTILITY PLAN

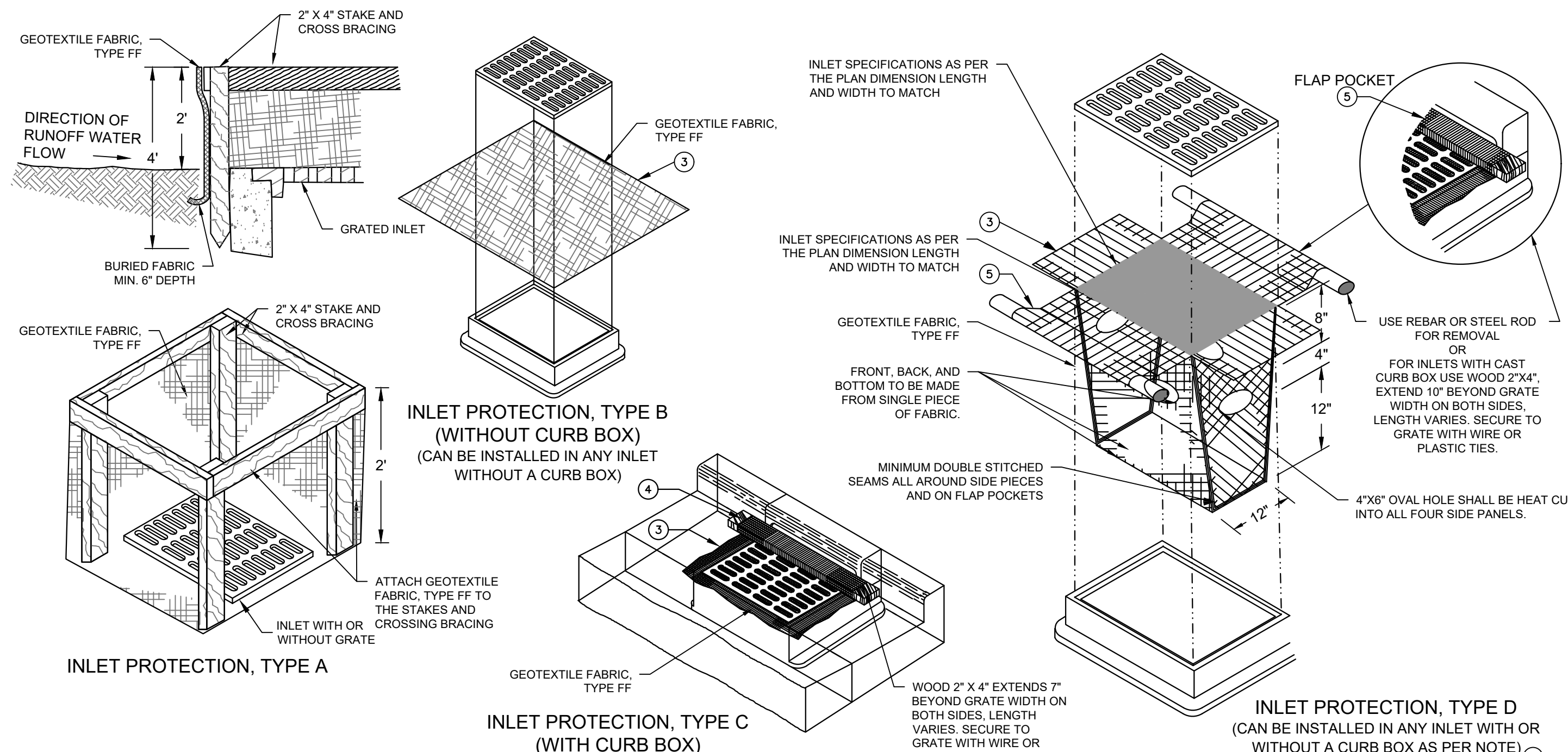
PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE
NO. REVISION	DATE
PROJECT NO:	22074
DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.05
DRAWN BY:	JRJ
CHECKED BY:	PJI
APPROVED BY:	---
SHEET NO:	C300



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

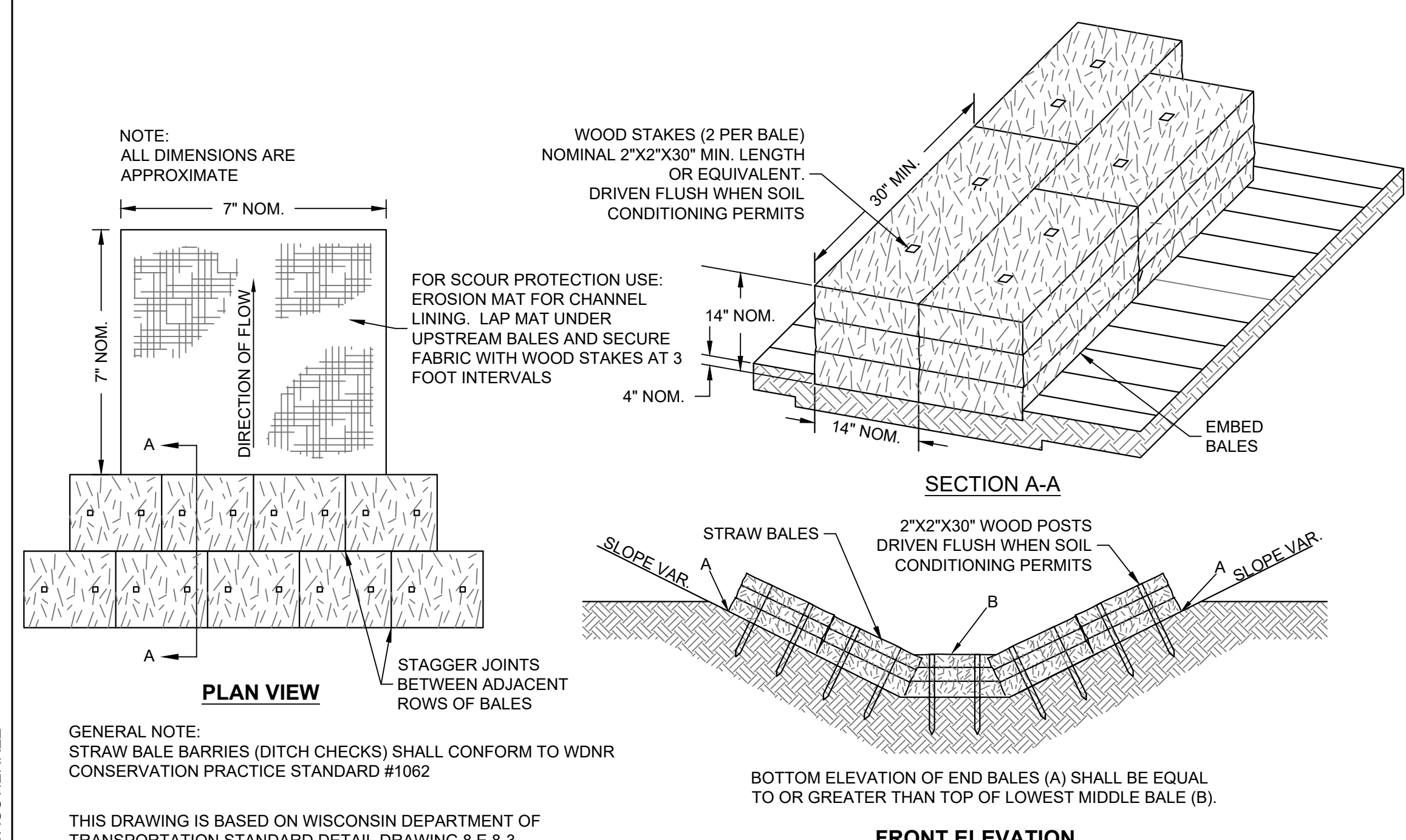
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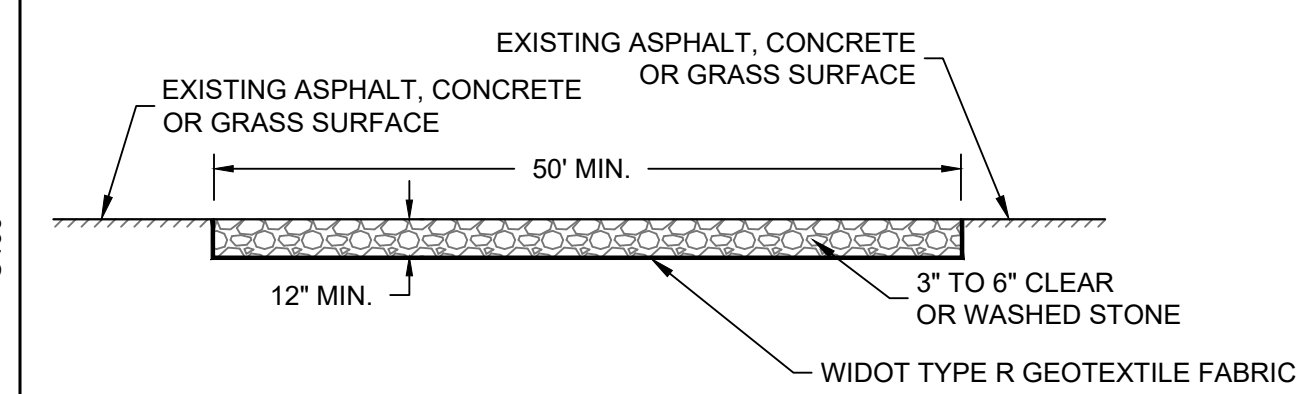
- GENERAL NOTES:**
1. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
 2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 3. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 4. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.
 6. INLET PROTECTION SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1060.
 7. THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2.

- INSTALLATION NOTES:**
- TYPE B & C**
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- TYPE D**
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACES AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

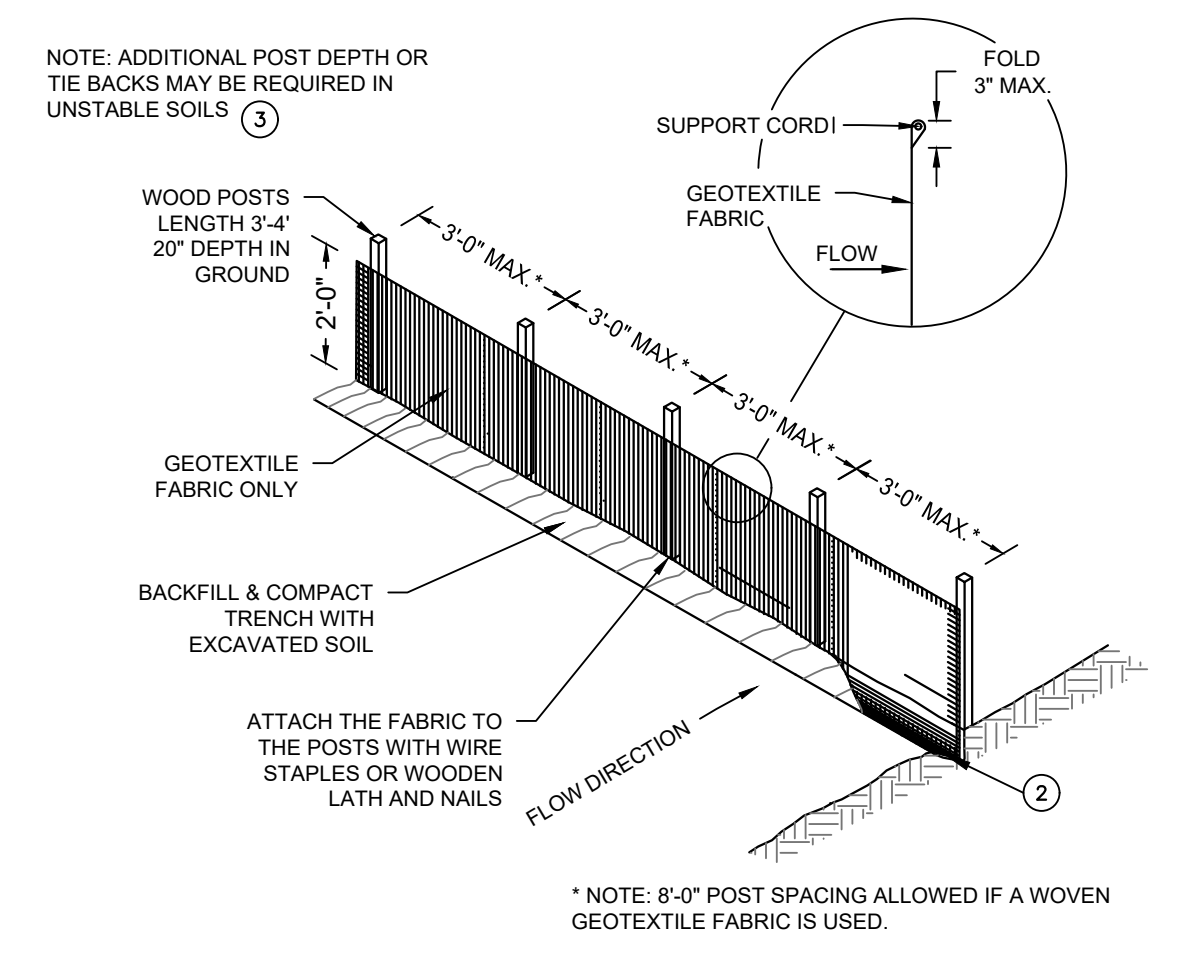
A INLET PROTECTION - WDNR TS-1060
SCALE: NTS



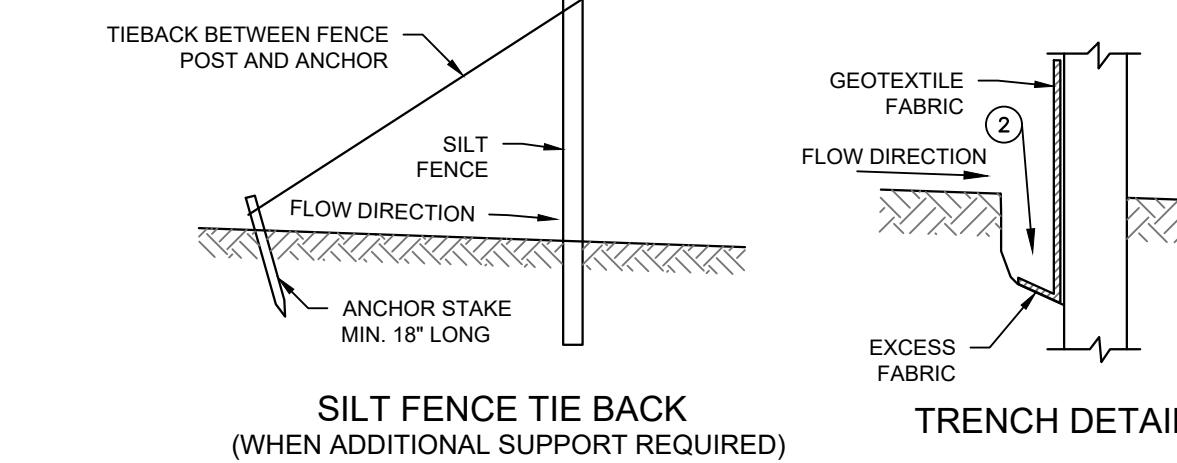
C DITCH CHECK - WDNR TS-1062
SCALE: NTS



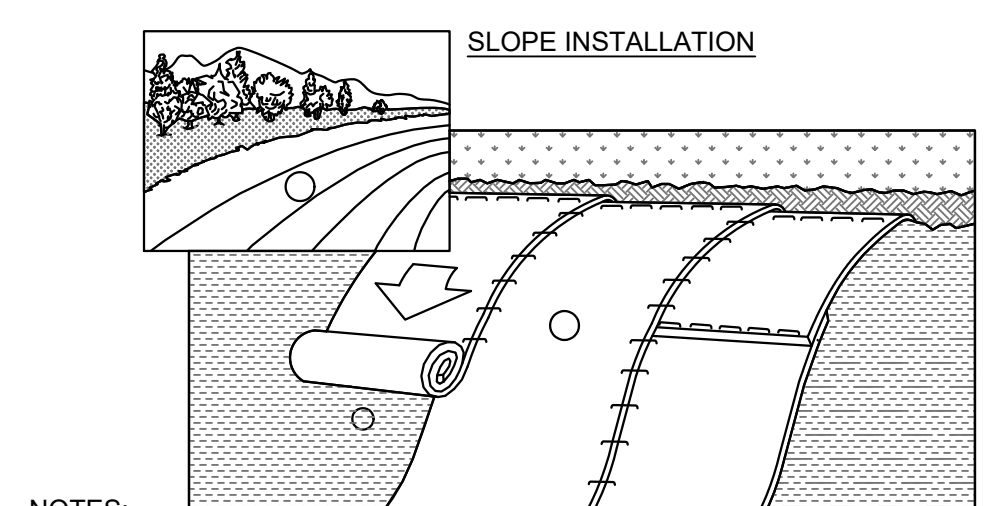
E CONSTRUCTION ENTRANCE - WDNR TS-1057
SCALE: NTS



B SILT FENCE - WDNR TS-1056
SCALE: NTS

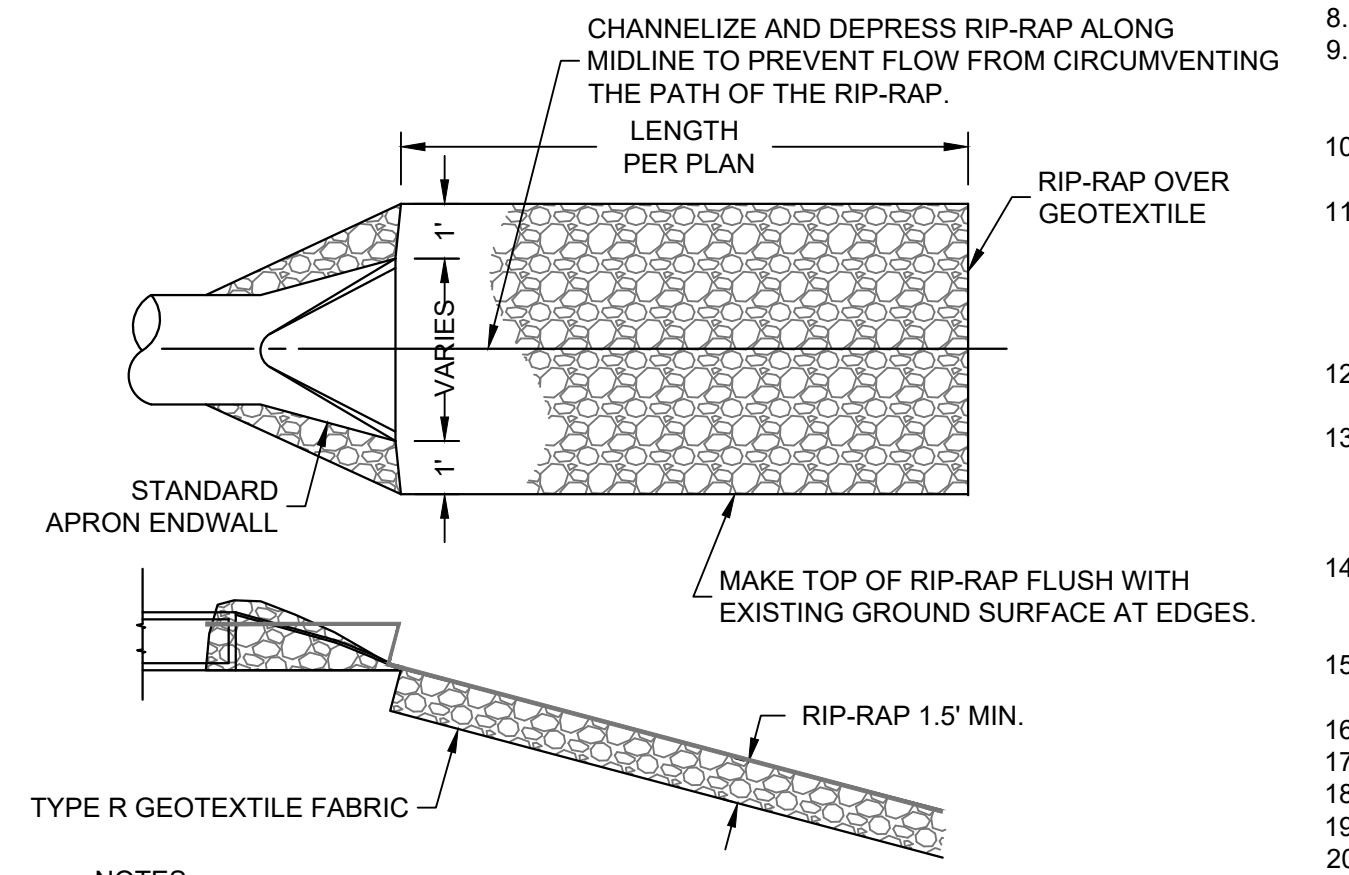


B SILT FENCE - WDNR TS-1056
SCALE: NTS



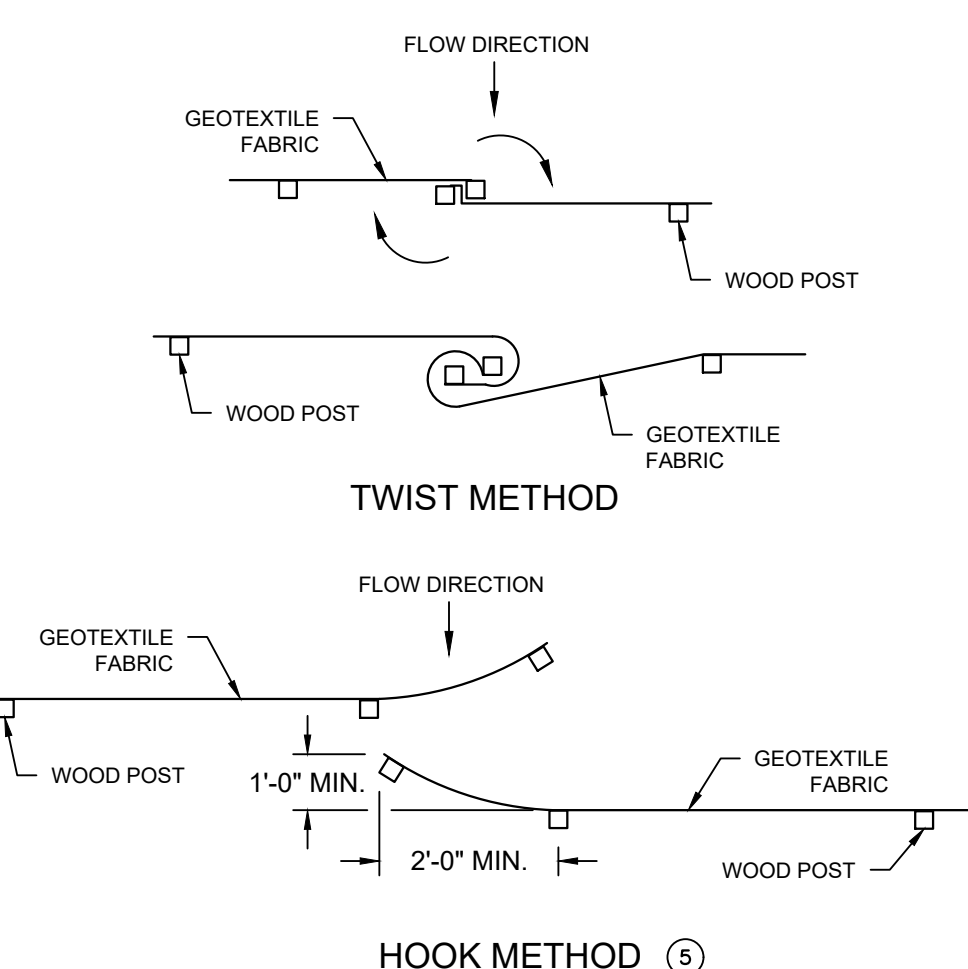
- NOTES:**
1. ECRMs (EROSION CONTROL REVEGATIVE MATS) SHALL BE INSTALLED AFTER ALL TOPSOILING, FERTILIZING, LIMING, AND SEEDING IS COMPLETE.
 2. THE MAT SHALL BE IN FIRM AND INTIMATE CONTACT WITH THE SOIL. IT SHALL BE INSTALLED AND ANCHORED PER THE MANUFACTURER'S RECOMMENDATION.
 3. TRMs (TURF-REINFORCEMENT MAT) SHALL BE INSTALLED IN CONJUNCTION WITH THE TOPSOILING OPERATION AND SHALL BE FOLLOWED BY ECRM INSTALLATION.
 4. AT TIME OF INSTALLATION, DOCUMENT THE MANUFACTURER AND MAT TYPE BY RETENTION OF MATERIAL LABELS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. RETAIN THIS DOCUMENTATION UNTIL THE SITE HAS BEEN STABILIZED.
 5. EROSION MATTING SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1052.
 6. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 7. WHERE A TRM IS INSTALLED, THE TRM LOCATION SHALL BE AS-BUILT PRIOR TO PLACEMENT OF TOPSOIL AND ECRM PLACEMENT. PROVIDE AS-BUILT LOCATION TO THE ENGINEER.

D EROSION MATTING - WDNR TS-1052
SCALE: NTS



- NOTES:**
1. INSTALL RIP-RAP WHERE SHOWN ON PLANS.
 2. FOR PERMANENT POOL (WET) DETENTION BASINS: EXTEND RIP-RAP FROM OUTFALL TO AT LEAST 10 FEET BEYOND THE NORMAL WATER LEVEL.
 3. RIP-RAP SHALL BE MEDIUM RIP-RAP PER WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
 4. GEOTEXTILE FABRIC SHALL BE TYPE R PER WISDOT STANDARD SPECIFICATIONS PER HIGHWAY AND STRUCTURE CONSTRUCTION.

F RIP-RAP DISCHARGE APRON
SCALE: 1" = 1'



JOINING TWO LENGTHS OF SILT FENCE

- GENERAL NOTES:**
1. HORIZONTAL BRACE REQUIRED WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 2. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/2" X 1-1/2" OF OAK OR HICKORY.
 4. WHERE SILT FENCE CROSSES A CULVERT, SILT FENCE SHALL BE DIVERTED OVER THE CULVERT OVER THE CULVERT TO NOT RESTRICT FLOW.
 5. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ON THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST OR ROTATE, AT LEAST 180 DEGREES. B) HOOK THE END OF EACH SILT FENCE LENGTHS.
 6. SILT FENCE SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1056.
 7. THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 9-6

CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCING AND INLET PROTECTION.
3. INITIATE STOCKPILING OF IMPORTED MATERIAL. PLACE SILT FENCE AROUND STOCKPILE(S).
4. STRIP TOPSOIL FROM STORM WATER BASIN LOCATION AND STOCKPILE.
5. CONSTRUCT STORM WATER BASIN AND INSTALL TEMPORARY OUTLET AND EMERGENCY OVERFLOW. BASIN IS TO BE USED AS A SEDIMENTATION BASIN DURING THE COURSE OF CONSTRUCTION.
6. CONSTRUCT DIVERSION SWALES, DIRECT RUNOFF TO STORM BASIN. INSTALL ASSOCIATED DITCH CHECKS.
7. INSTALL RIP-RAP AT STORM WATER BASIN AS SHOWN ON THE PLANS.
8. STRIP TOPSOIL FROM REMAINDER OF SITE IN A PROGRESSIVE MANNER, AND STOCKPILE.
9. PERFORM ROUGH SITE GRADING. STABILIZE FINISHED AREAS AS THE WORK PROGRESSES. USE EROSION MATTING WHERE CALLED FOR ON THE PLANS. PER WDNR TECHNICAL STANDARD 1059. AREAS THAT RECEIVE TEMPORARY SEEDING SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 2 INCHES. AREAS THAT RECEIVE PERMANENT SEEDING SHALL HAVE A MINIMAL TOPSOIL DEPTH OF 4 INCHES.
10. PREPARE BUILDING PAD AND BEGIN FOUNDATIONS WORK FOR BUILDING.
11. INSTALL UTILITIES. INSTALL ANY ADDITIONAL INLET PROTECTION ON NEW STORM SEWER AND INSTALL RIP-RAP AT NEW STORM SEWER OUTFALLS.
12. REMOVE TEMPORARY OUTLET CONTROL STRUCTURE ON BASIN AND INSTALL PAVEMENTS.
13. STABILIZE AREAS REMAINING WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING AND TOPSOILING.
14. REMOVE EXCESS SEDIMENT FROM STORMWATER BASINS AND RETURN BASINS TO THEIR DESIGN DIMENSIONS AND VOLUMES.
15. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.

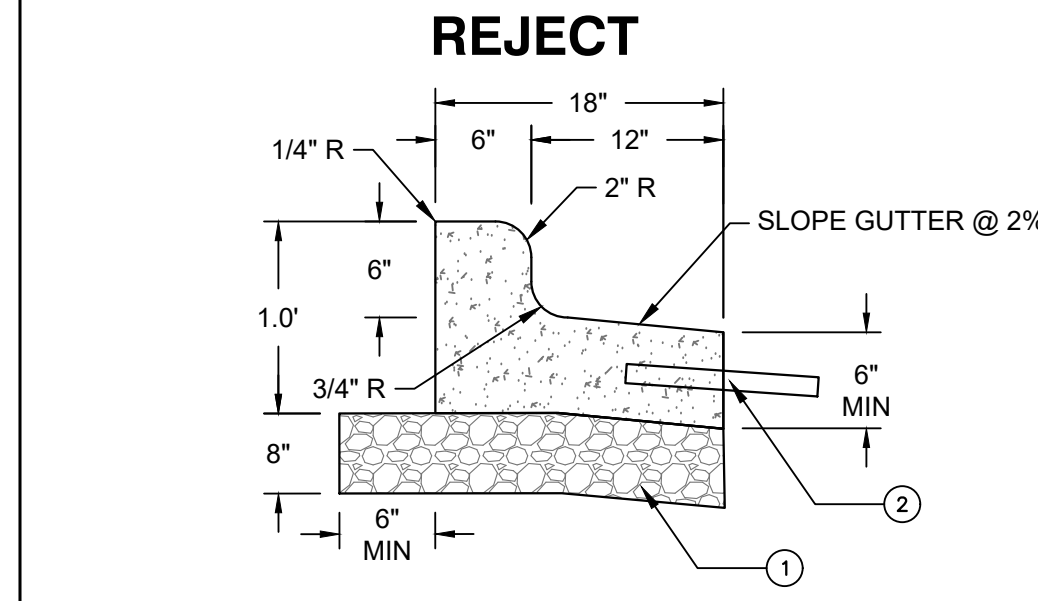
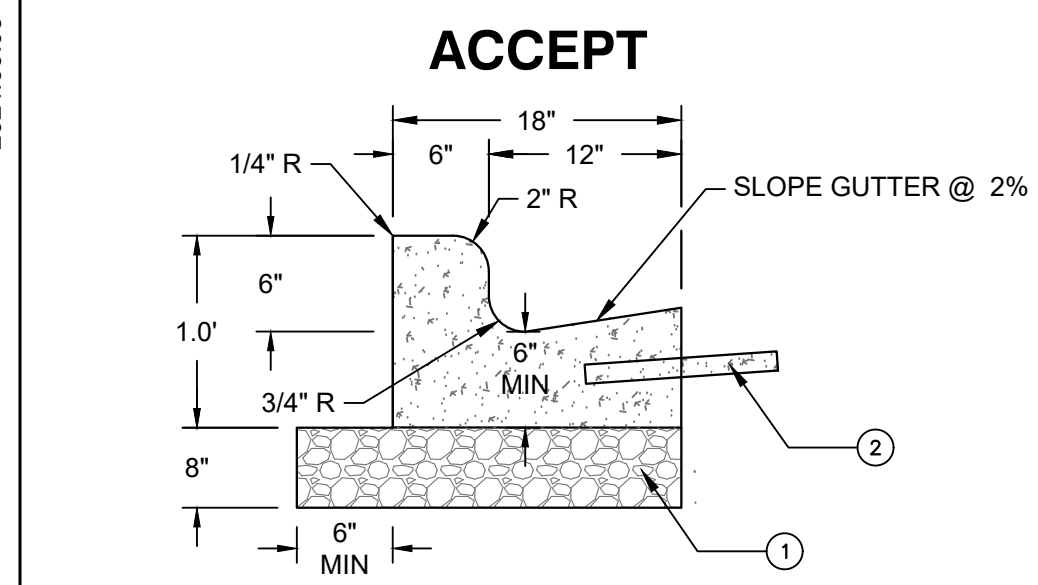
EROSION CONTROL NOTES:

1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY. DOCUMENT AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH WDNR NR216 REQUIREMENTS.
4. SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
5. FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
6. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
7. PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN ADJACENT STREETS FREE OF DUST AND DIRT.
8. SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ANY TOPSOIL AND FILL STOCKPILES.
9. SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE MEASURES SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
10. WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
11. TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING. TO THE SATISFACTION OF THE MUNICIPALITY, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR PRACTICE SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NOTIFY MUNICIPALITY OF ANY CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
12. SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY.
13. OBTAIN PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
14. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.
15. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY PRACTICES, SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS, FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE REMOVED.
16. NOTIFY THE LOCAL MUNICIPALITY HAVING JURISDICTION WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
17. OBTAIN PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
18. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.
19. CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE DISTURBANCE OF EXISTING VEGETATION DURING CONSTRUCTION.
20. CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE COMPACTION OF TOPSOIL AND PRESERVE TOPSOIL IN GREENSPACE AREAS.
21. WASH WATER FROM VEHICLES AND WHEEL WASHING SHALL BE CONTAINED AND TREATED PRIOR TO DISCHARGE.
22. CONTRACTOR SHALL MAINTAIN SPILL KITS ON-SITE.
23. PERMANENT TURF SEEDING OF DISTURBED AREA MUST OCCUR PRIOR TO SEPTEMBER 15TH. IF ADEQUATE TIME IS NOT AVAILABLE TO APPLY PERMANENT SEEDING PRIOR TO SEPTEMBER 15TH, THEN DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH AN ANNUAL RYE GRASS PER WDNR TECHNICAL STANDARD 1059, WHERE THE TEMPORARY SEEDING MUST OCCUR PRIOR TO OCTOBER 15TH.
24. IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15TH, APPLY SOIL STABILIZERS AND DORMANT SEED TO DISTURBED AREA PER WDNR TECHNICAL STANDARD 1050. INSPECT ANIONIC PAM APPLICATION AT A MINIMUM FREQUENCY OF EVERY TWO MONTHS AND REAPPLY AS NECESSARY.

SHOREPOINT CHURCH
N34W22407 CAPITOL DRIVE
PEWAUKEE, WI 53072

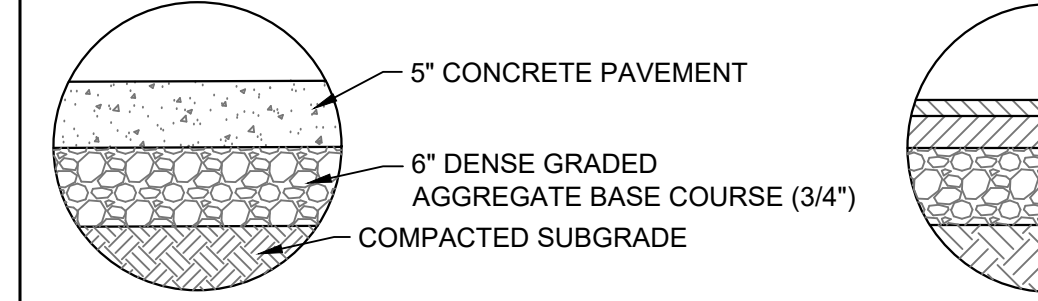
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NO. REVISION	DATE
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PROJECT NO:	22074
DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.05
DRAWN BY:	JTR
CHECKED BY:	PJI
APPROVED BY:	---
SHEET NO:	C400

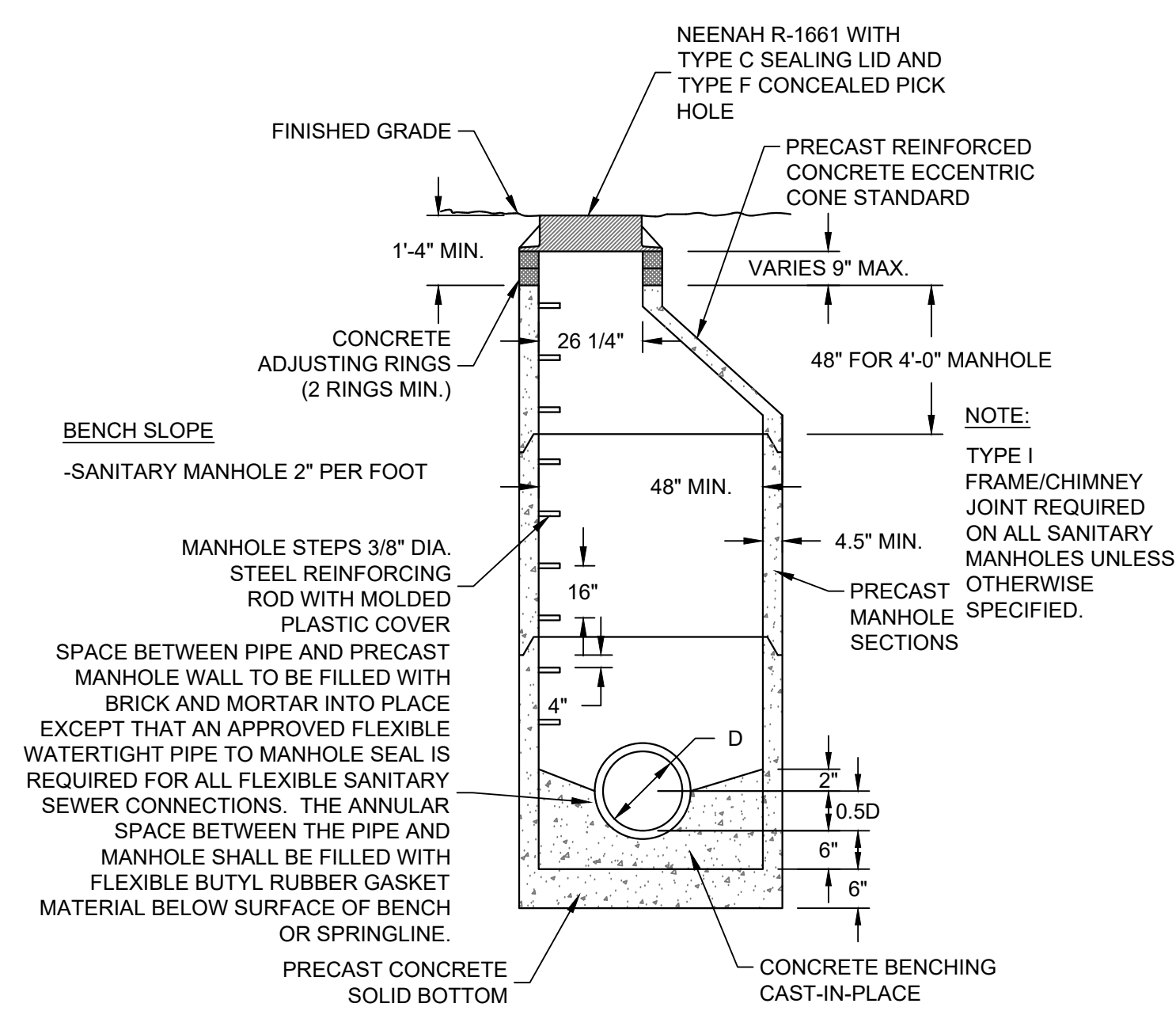


NOTES:
 1. 1-1/4" DENSE GRADED AGGREGATE BASE COURSE.
 2. TIE-BAR IF ADJACENT TO CONCRETE (NO. 4 X 2'-0" DEFORMED TIE BARS SPACED AT 3'-0" C-C).
 3. THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MINIMUM GUTTER THICKNESS IS MAINTAINED.

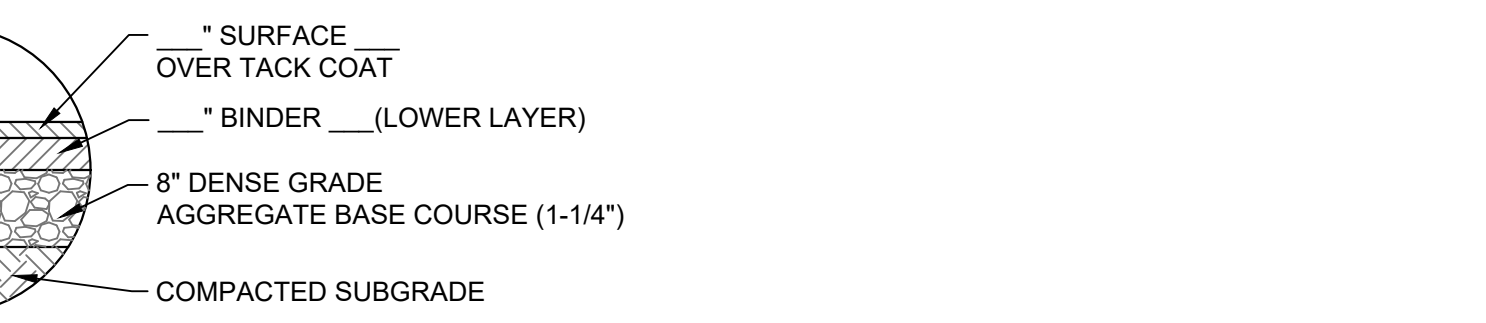
A 18 INCH CONCRETE CURB AND GUTTER
SCALE: 1" = 1'



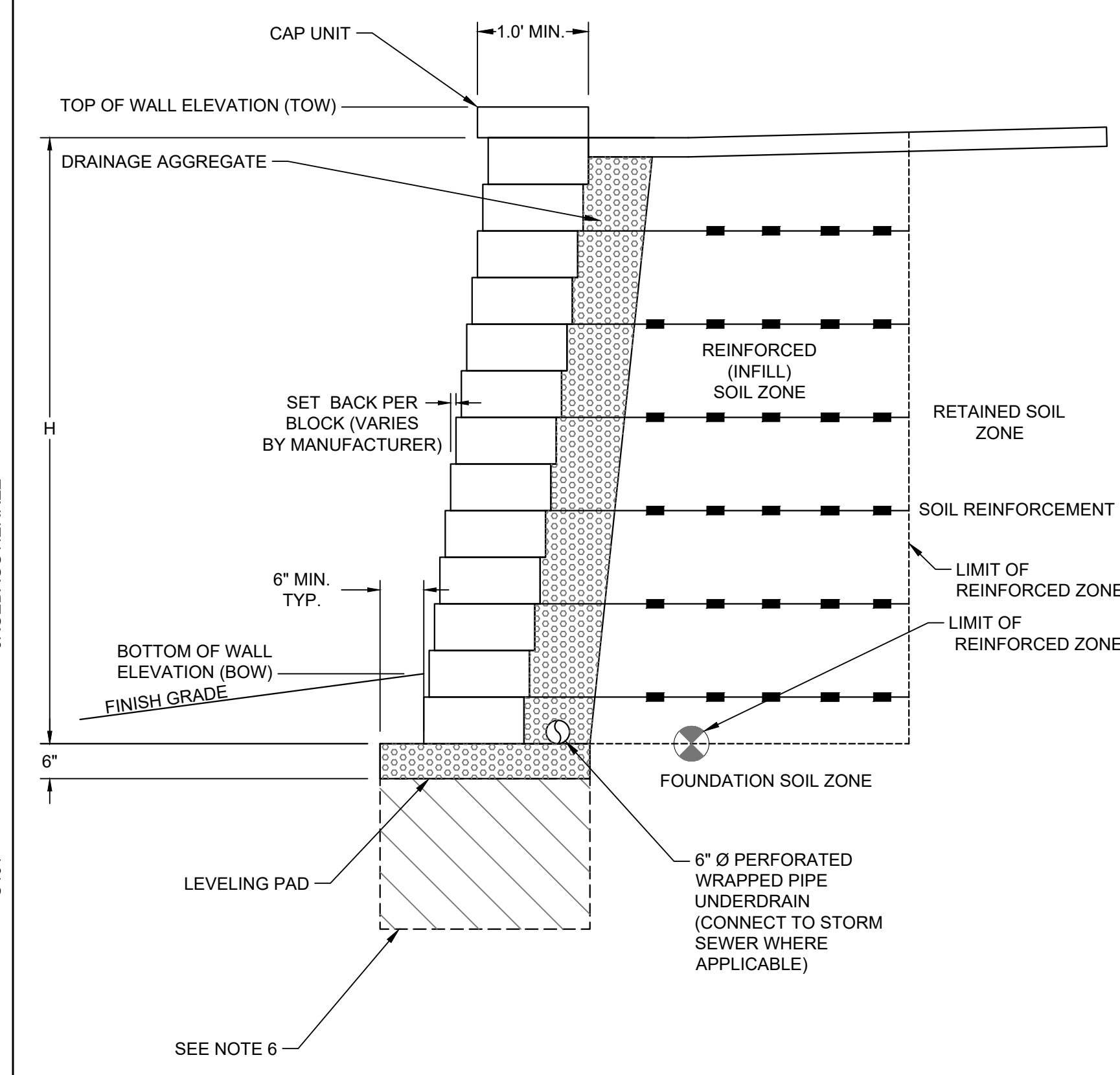
B CONCRETE SIDEWALK SECTION
SCALE: 1" = 1'



D PRECAST SANITARY MANHOLE
SCALE: 1" = 1'



C ASPHALT PAVEMENT SECTION
SCALE: 1" = 1'

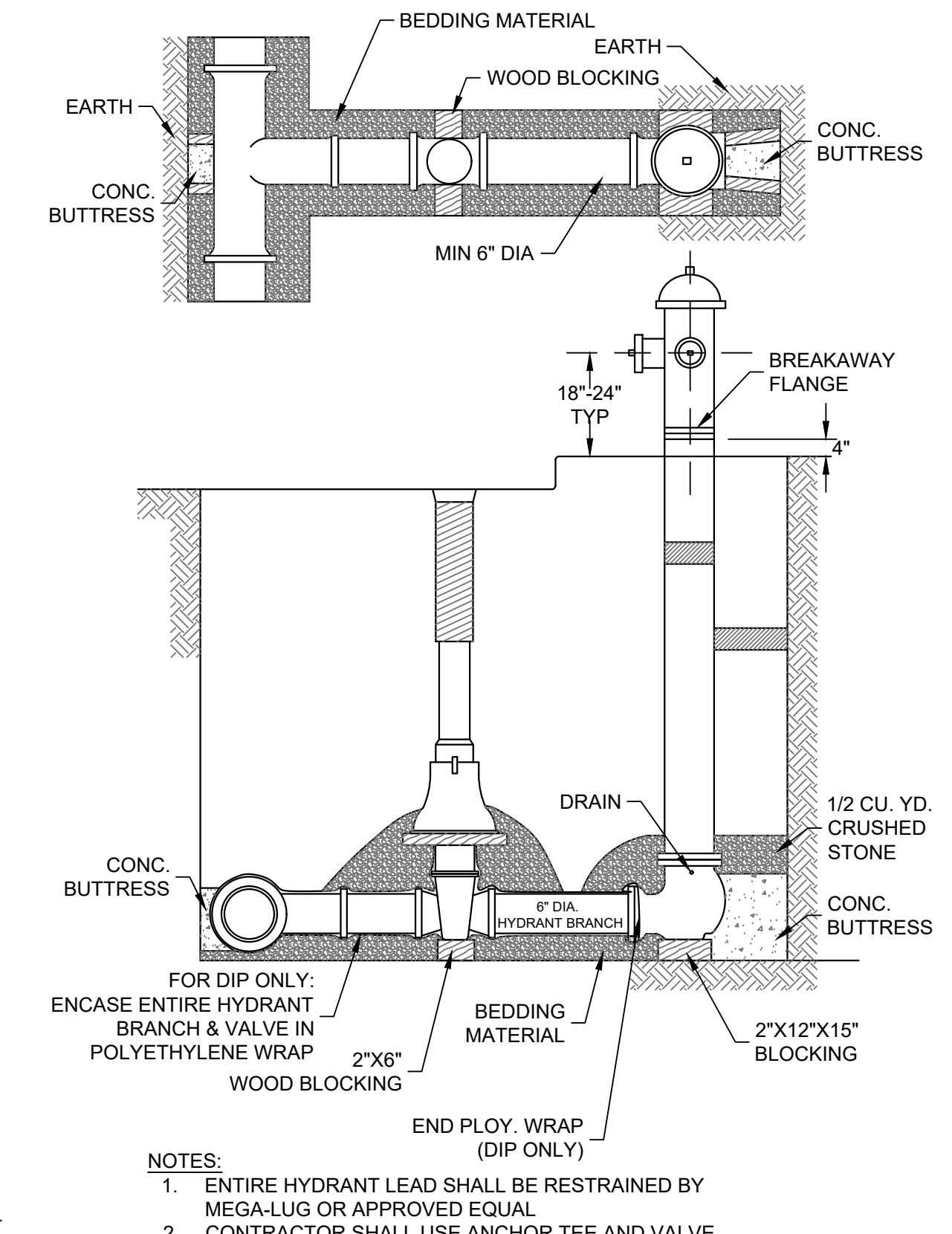


F MODULAR BLOCK MSE WALL
SCALE: 1" = 1'

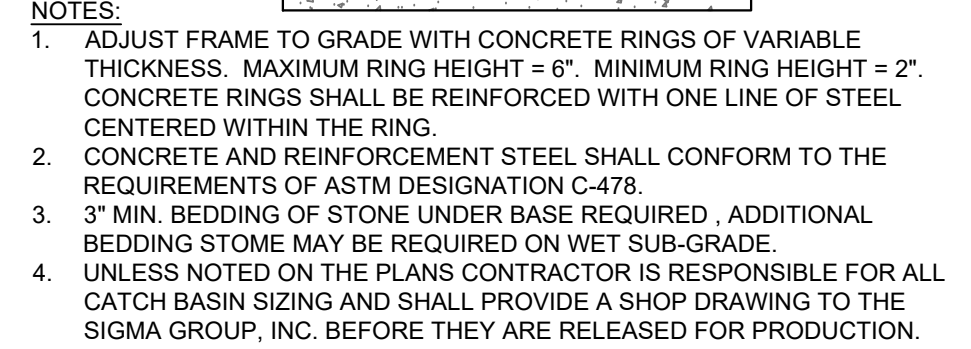
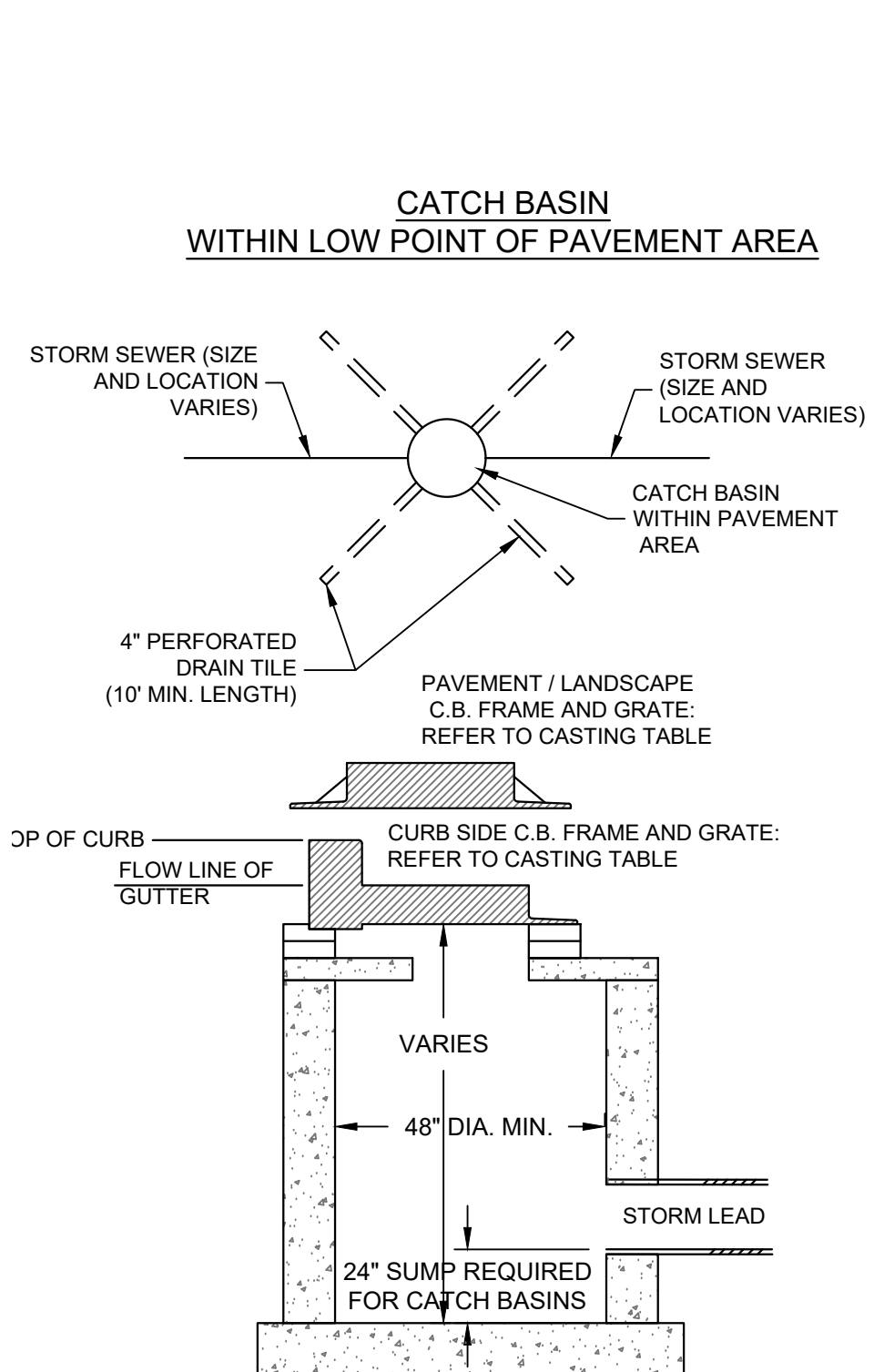
NOTES:
 1. CONSTRUCT MANHOLE IN ACCORDANCE WITH FILE NO. 12 OF THE STATE STANDARD SPECIFICATIONS FOR SEWER AND WATER.
 2. ADJUST FRAME TO GRADE WITH CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT = 6". MINIMUM RING HEIGHT = 2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING. WHERE NECESSARY RINGS SHALL BE GROOVED TO RECEIVE STEP.
 3. CONCRETE AND REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION C-478.
 4. JOINTS SHALL BE WATERTIGHT AND SHALL BE MADE USING FLEXIBLE RUBBER TYPE GASKETS.
 5. AREA OF CIRCUMFERENTIAL STEEL = 0.12 SQ. INCH PER LINEAL FOOT MIN.
 6. 3" OF BEDDING STONE UNDER BASE.
 7. ALL SANITARY MANHOLES SHALL BE PROVIDED WITH EXTERNAL CHIMNEY SEALS AND SELF-SEALING LIDS WITH CONCEALED PICK HOLES.
 8. UNLESS NOTED ON THE PLANS, THE CONTRACTOR IS RESPONSIBLE FOR ALL MANHOLE SIZING AND SHALL PROVIDE A SHOP DRAWING TO THE SIGMA GROUP, INC. BEFORE THEY ARE RELEASED FOR PRODUCTION.

NOTES:
 1. RETAINING WALL SYSTEM SHALL BE KEYSTONE, ROCKWOOD, OR APPROVED EQUAL.
 2. TYPICAL SECTION IS FOR CONCEPTUAL DESIGN ONLY. THE CONTRACTOR SHALL PROVIDE COMPLETE DESIGN, PLANS, DETAILS, SPECIFICATIONS, AND STAMPED AND SEALED SHOP DRAWINGS AND STABILITY CALCULATIONS FOR THE RETAINING WALLS TO THE ENGINEER. THE RETAINING WALL MANUFACTURER SHALL PROVIDE TECHNICAL ASSISTANCE TO THE CONTRACTOR DURING CONSTRUCTION. THE COST OF THESE ITEMS SHALL BE INCLUDED.
 3. STAMPED AND SEALED RETAINING WALL DESIGN, PLANS, DETAILS AND CALCULATIONS SHALL BE PROVIDED TO THE CITY.
 4. GEOGRID REINFORCEMENT SPACING AND LENGTH PER MANUFACTURER'S ENGINEER RECOMMENDATIONS.
 5. GEOTECHNICAL ENGINEER MAY REQUIRE THAT ADDITIONAL DRAIN PIPING IS NEEDED DEPENDENT UPON SOILS ENCOUNTERED DURING WALL CONSTRUCTION.
 6. WALL STRUCTURE TO BE VERIFIED WITH GEOTECHNICAL ENGINEER.
 7. ANY SPECIAL TREATMENT SOILS BELOW LEVELING PAD WHICH ARE SUBJECT TO FROST HEAVE SHALL BE DESIGNED BY STRUCTURAL ENGINEER OF RECORD.
 8. PLANS, ELEVATIONS, AND DETAILS SHOWN ON THESE DRAWINGS ARE INTENDED TO INDICATE WALL LOCATIONS, LENGTHS, HEIGHTS, AND DETAILS COMMON TO THE WALL SYSTEM SELECTED. THE CONTRACTOR SHALL VERIFY THAT THE WALL SYSTEM SELECTED WILL CONFORM TO THE REQUIRED ALIGNMENTS AND DETAILS.
 9. THE RETAINING WALL IS TO BE DESIGNED USING THE ELEVATIONS GIVEN ON THIS SHEET AND GRADING PLAN SHEETS.
 10. STYLE AND COLOR OF THE MODULAR BLOCK SHALL BE SELECTED BY THE OWNER AND ARCHITECT
 11. PROTECTIVE RAILINGS/GUARD RAILS REQUIRED FOR ALL RETAINING WALLS ADJACENT TO PEDESTRIAN PATHS TO BE VERIFIED BY WALL DESIGNER, ARCHITECT, AND LOCAL JURISDICTION.

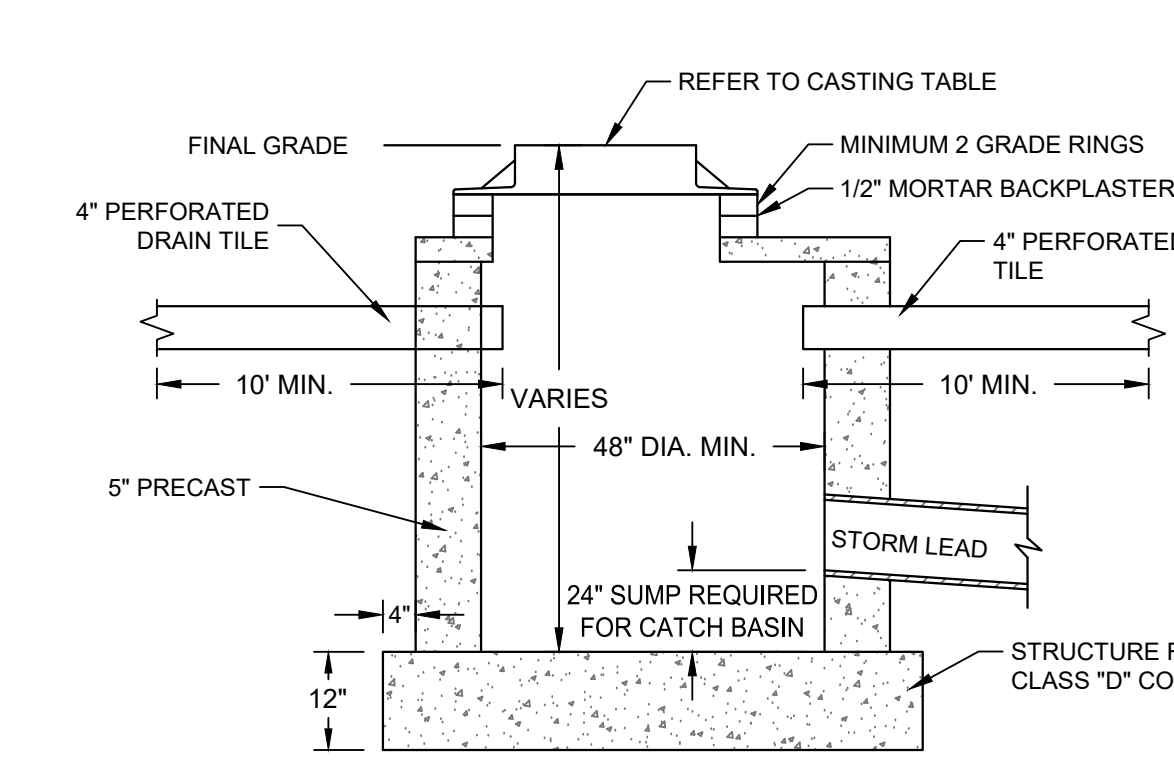
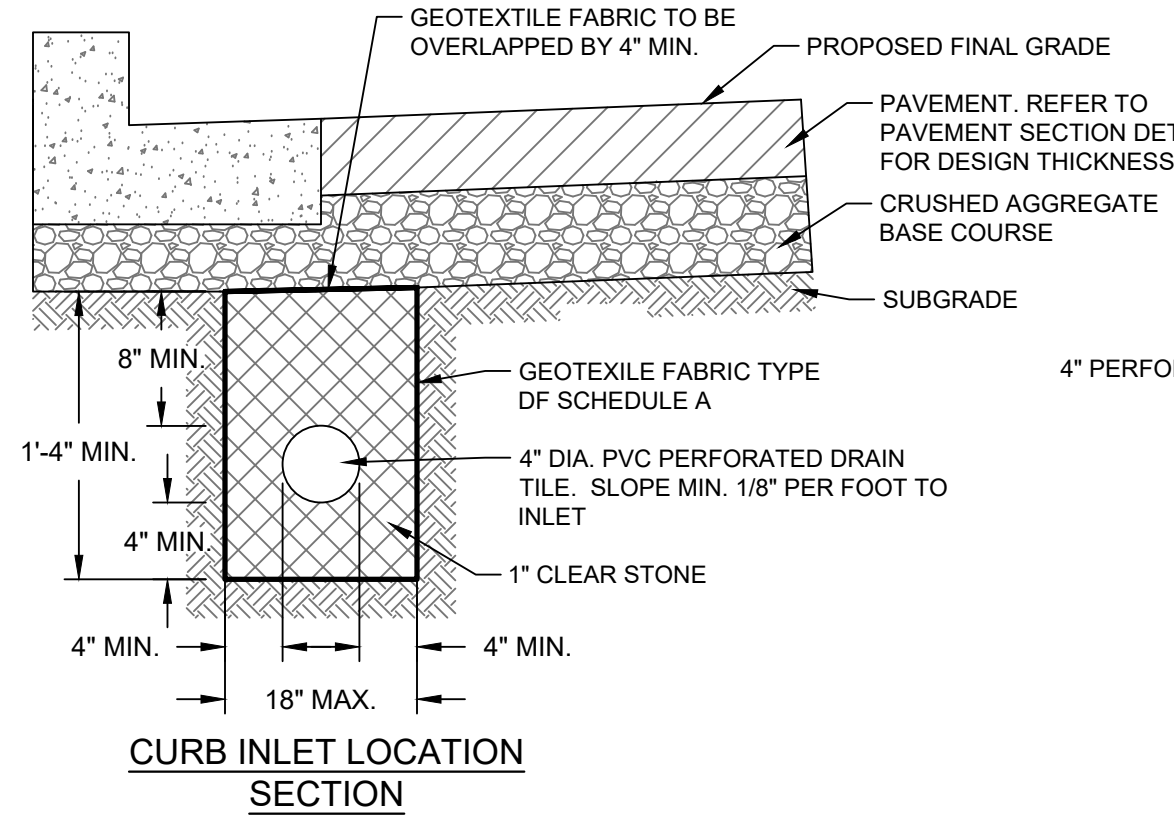
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 3. CONCRETE AND REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION C-478.
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 5. AREA OF CIRCUMFERENTIAL STEEL = 0.12 SQ. INCH PER LINEAL FOOT MIN.
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G HYDRANT SETTING
SCALE: 1" = 1'

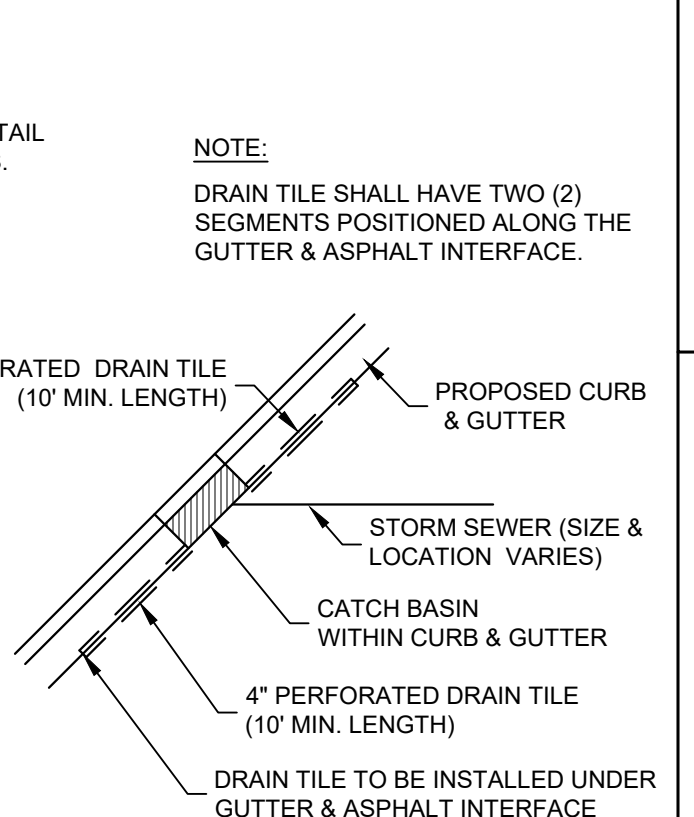


E INLET AND CATCH BASIN
SCALE: 1" = 1'



	IF 18" CURB & GUTTER		IF 24" CURB & GUTTER		IF 30" CURB & GUTTER	
	CASTING	GRATE	CASTING	GRATE	CASTING	GRATE
CURB INLET	NEENAH R-3067	A	NEENAH R-3067	A	NEENAH R-3229H	C
AREA INLET	NEENAH R-2050	C				

CATCH BASIN / INLET CASTING TABLE



CURB INLET WITHIN CURB & GUTTER PLAN

FITTING TYPE	WATER MAIN JOINT RESTRAINT DISTANCE (FT) PER FITTING					
	4" DIAMETER	6" DIAMETER	8" DIAMETER	12" DIAMETER	16" DIAMETER	20" DIAMETER
HORIZONTAL BEND - 11.25°	5	5	5	5	8	8
HORIZONTAL BEND - 22.5°	8	8	8	10	10	15
HORIZONTAL BEND - 45°	10	10	12	16	20	26
HORIZONTAL BEND - 90°	16	20	25	32	40	52
* RESTRAIN LARGER SIZED PIPE						
REDUCER - DIA. X 4"	-	25	50	60	80	130
REDUCER - DIA. X 6"	-	-	25	60	100	125
REDUCER - DIA. X 8"	-	-	-	50	80	120
REDUCER - DIA. X 12"	-	-	-	-	50	100
REDUCER - DIA. X 16"	-	-	-	-	-	50
DEAD END	40	40	60	90	120	150
TEE OR CROSS - RUN	10	10	10	20	30	40
TEE - 4" BRANCH	8	6	6	6	6	6
TEE - 6" BRANCH	-	8	6	6	6	6
TEE - 8" BRANCH	-	-	10	6	6	6
TEE - 12" BRANCH	-	-	-	12	6	6
TEE - 16" BRANCH	-	-	-	-	30	10
TEE - 20" BRANCH	-	-	-	-	-	50
VERTICAL BEND - 45° - UPPER	12	20	26	40	50	60
VERTICAL BEND - 45° - LOWER	5	5	6	10	12	14
VERTICAL BEND - 22.5° - UPPER	8	10	14	18	24	28
VERTICAL BEND - 22.5° - LOWER	4	5	5	8	8	8
VERTICAL BEND - 11.25° - UPPER	6	6	8	10	12	14
VERTICAL BEND - 11.25° - LOWER	4	4	4	4	4	6

* WHERE RESTRAINT LENGTHS ARE NOT IDENTIFIED ON THE PLANS, THE VALUES IN THIS TABLE SHALL BE PROVIDED AS A MINIMUM

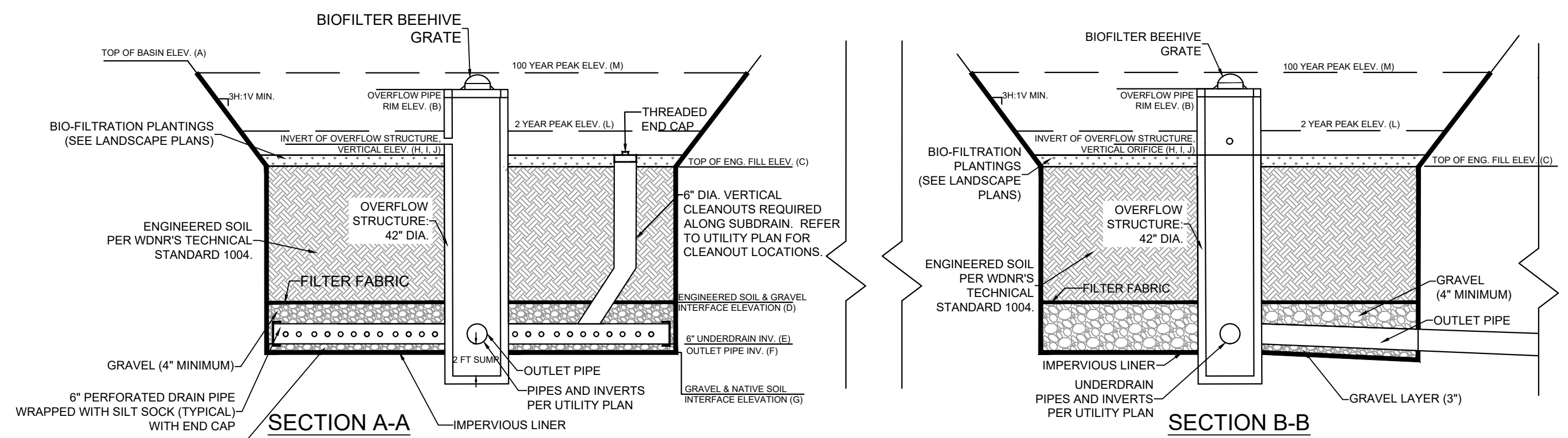
H JOINT RESTRAINT TABLE
SCALE: 1" = 1'



SHOREPOINT CHURCH
 N34W22407 CAPITOL DRIVE
 PEWAUKEE, WI 53072

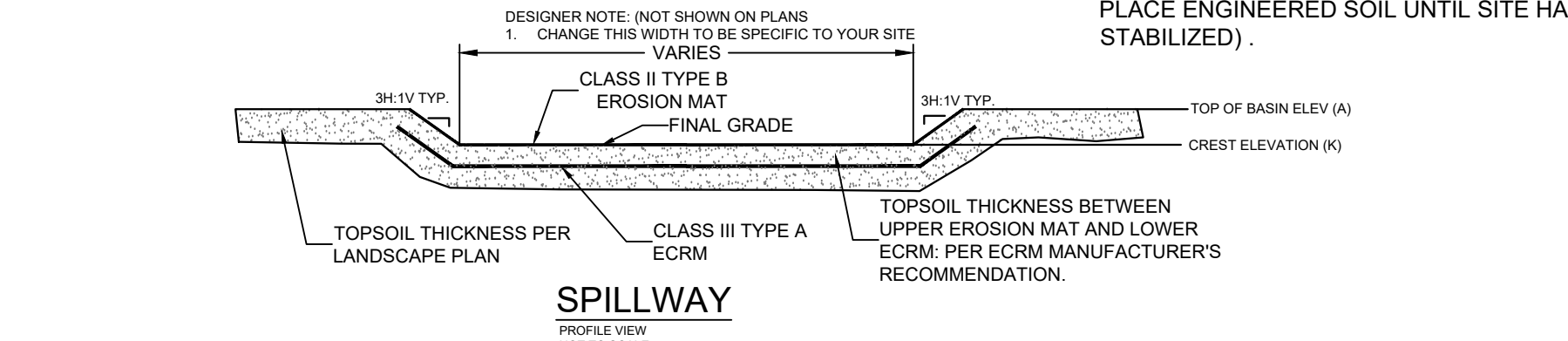
PRELIMINARY
 NOT FOR
 CONSTRUCTION

ISSUANCE	DATE
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NO. REVISION	DATE
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DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.05
DRAWN BY:	JTR
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APPROVED BY:	----
SHEET NO:	C401

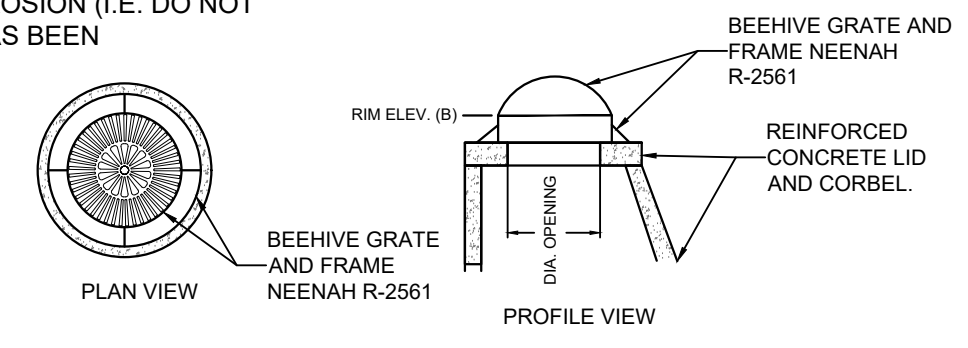


TYPICAL BIO-FILTRATION DETAILS (BIO-FILTRATION BASIN 1)

NOTE: BIO-INFILTRATION BASIN SHALL NOT BE BROUGHT ONLINE UNTIL AREA DRAINING TO THE BASIN HAS ACHIEVED 90% STABILIZATION FROM EROSION (I.E. DO NOT PLACE ENGINEERED SOIL UNTIL SITE HAS BEEN STABILIZED).



SPILLWAY

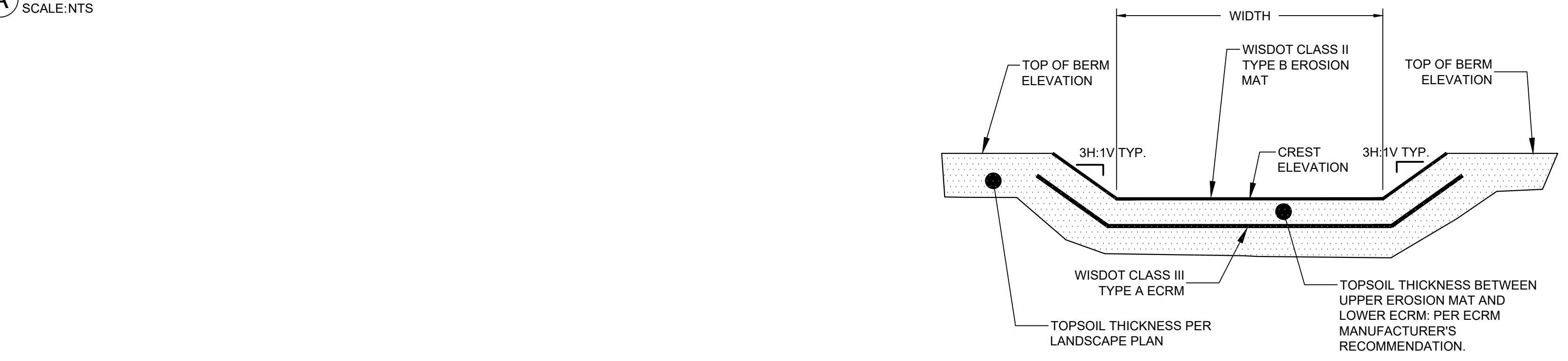


BIOFILTRATION AREA - GRATE DETAIL

- NOTE:
 1. BIO-FILTRATION BASINS THAT HAVE MULTIPLE VERTICAL ORIFICES SHALL BE INSTALLED AT THE SAME ELEVATION AS IDENTIFIED IN THE TABLE.
 2. MULTIPLE VERTICAL ORIFICES SHALL HAVE A MINIMUM OF 12 INCHES HORIZONTAL SEPARATION.

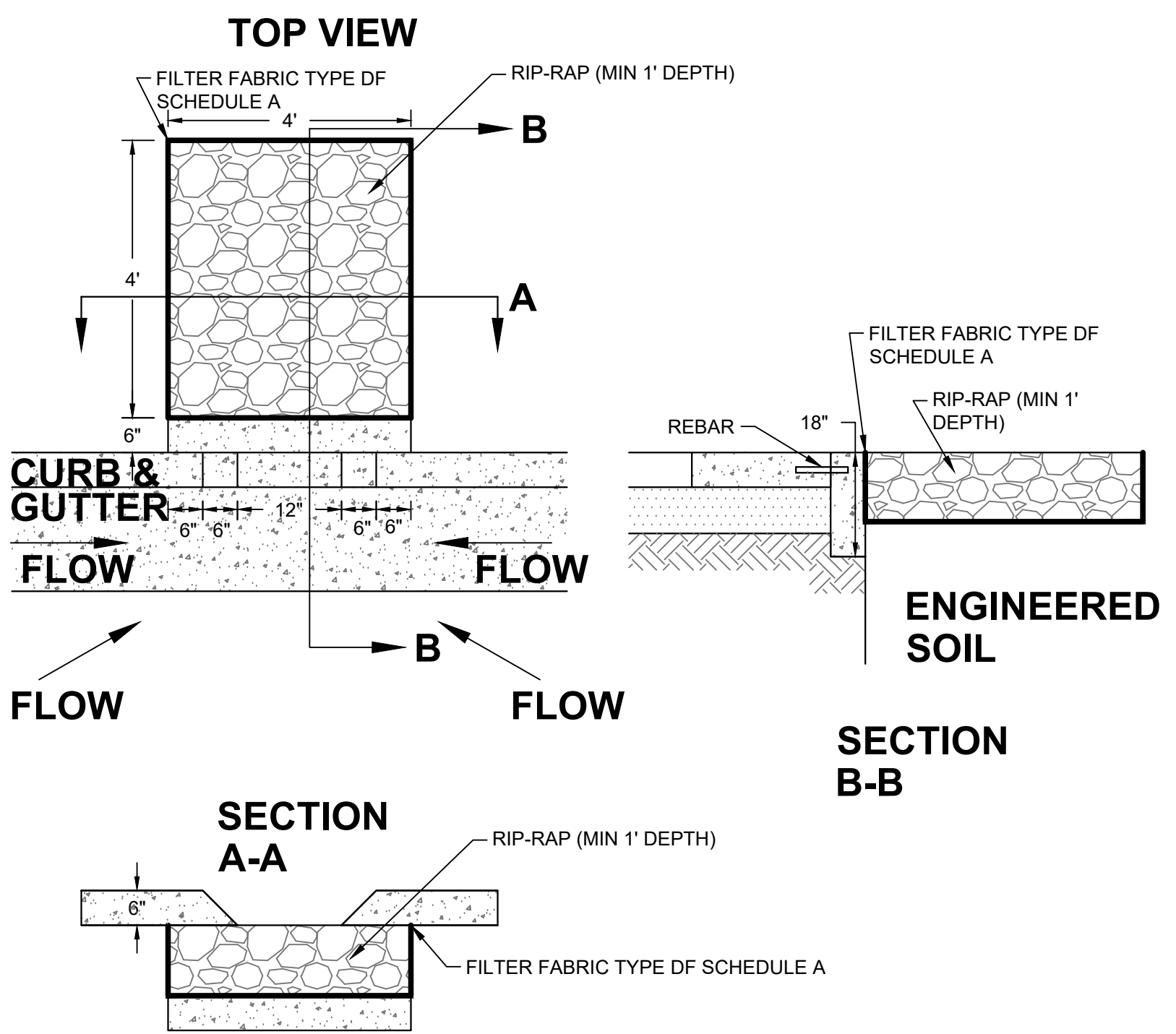
BIO-FILTRATION SUMMARY TABLE														
BIO-FILTRATION AREA	(A) TOP OF POND	(B) OVERFLOW RIM ELEVATION	(C) TOP OF ENGINEERED FILL ELEVATION	(D) ENGINEERED SOIL AND GRAVEL INTERFACE ELEVATION	(E) 6" DIA. UNDERDRAIN ELEVATION	(F) OUTLET PIPE SIZE	(G) OUTLET PIPE ELEVATION	(H) GRAVEL AND NATIVE SOIL INTERFACE ELEVATION	(I) VERTICAL ORIFICE DIAMETER (INCH)	(J) VERTICAL ORIFICE ELEVATION	(K) # OF VERTICAL ORIFICES	(L) SPILLWAY CREST ELEVATION	(M) 2 YR WATER ELEVATION	(N) 100 YR WATER ELEVATION
BIO 1	897.00	895.60	895.00	892.00	890.00	12	890.00	890.00	3	895.00	1	896.00	893.42	895.99
BIO 2	866.50	864.90	864.50	863.00	861.50	18	861.50	861.50	3	864.50	2	865.50	864.64	865.50

A BIOFILTRATION BASIN SCALE: NTS

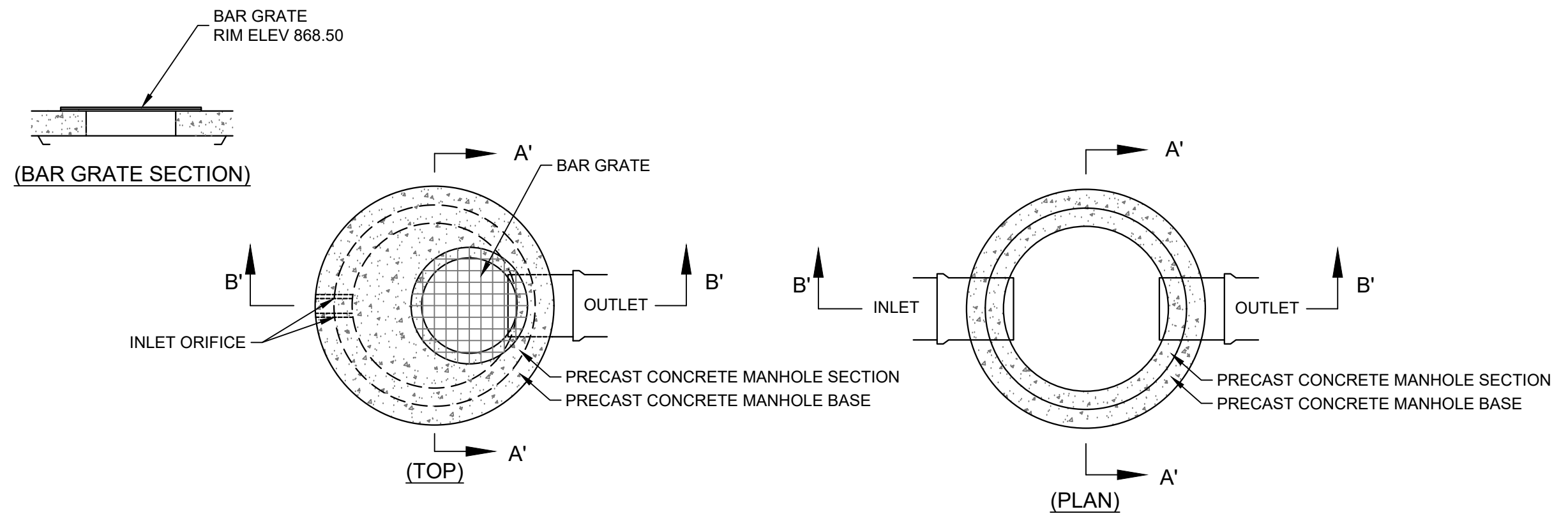


EMERGENCY SPILLWAY CONSTRUCTION INFORMATION					
WET DETENTION POND BASIN	TOP OF BERM (FT)	CREST ELEVATION (FT)	WIDTH (FT)	HEIGHT (FT)(min.)	100-YEAR HWL (FT)
	870.00	869.00	10	1'-0"	868.87

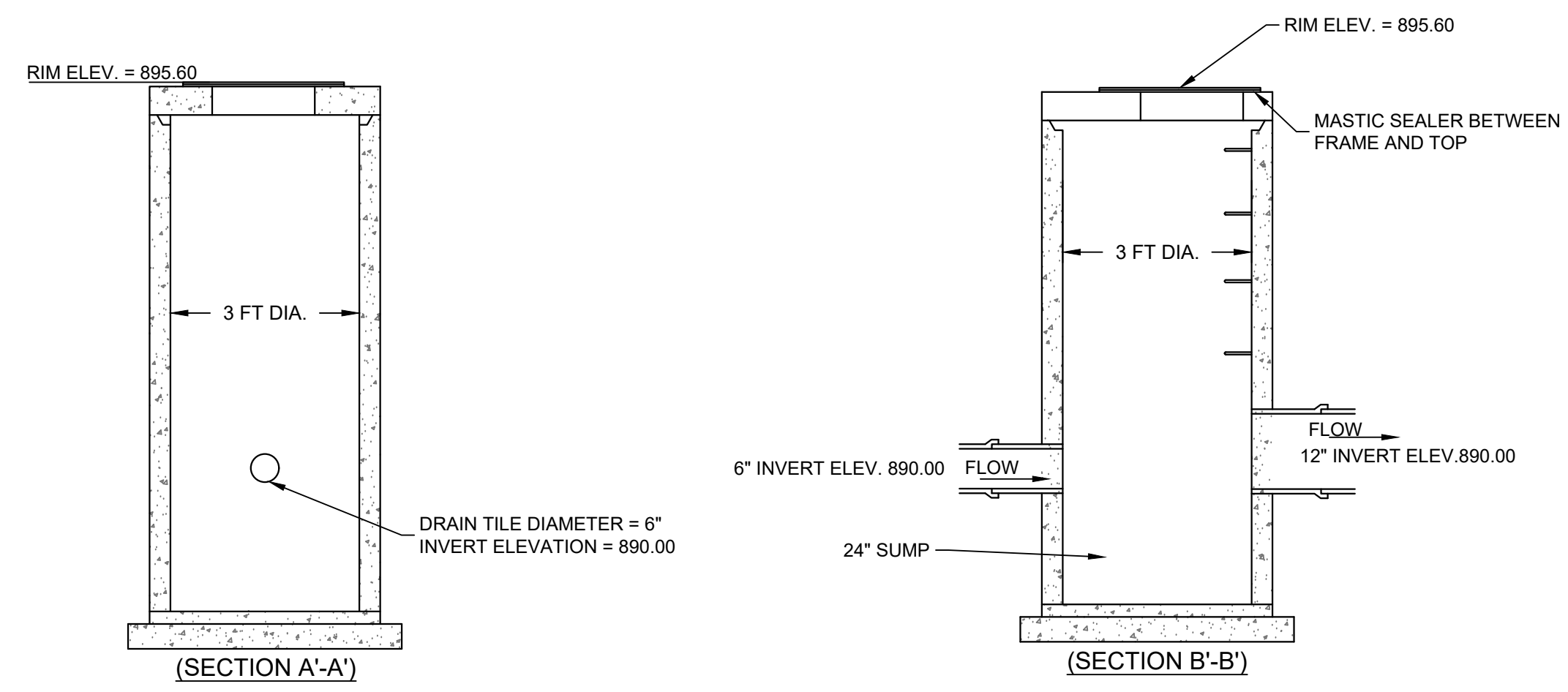
D EMERGENCY SPILLWAY WITH MATTING SCALE: NTS



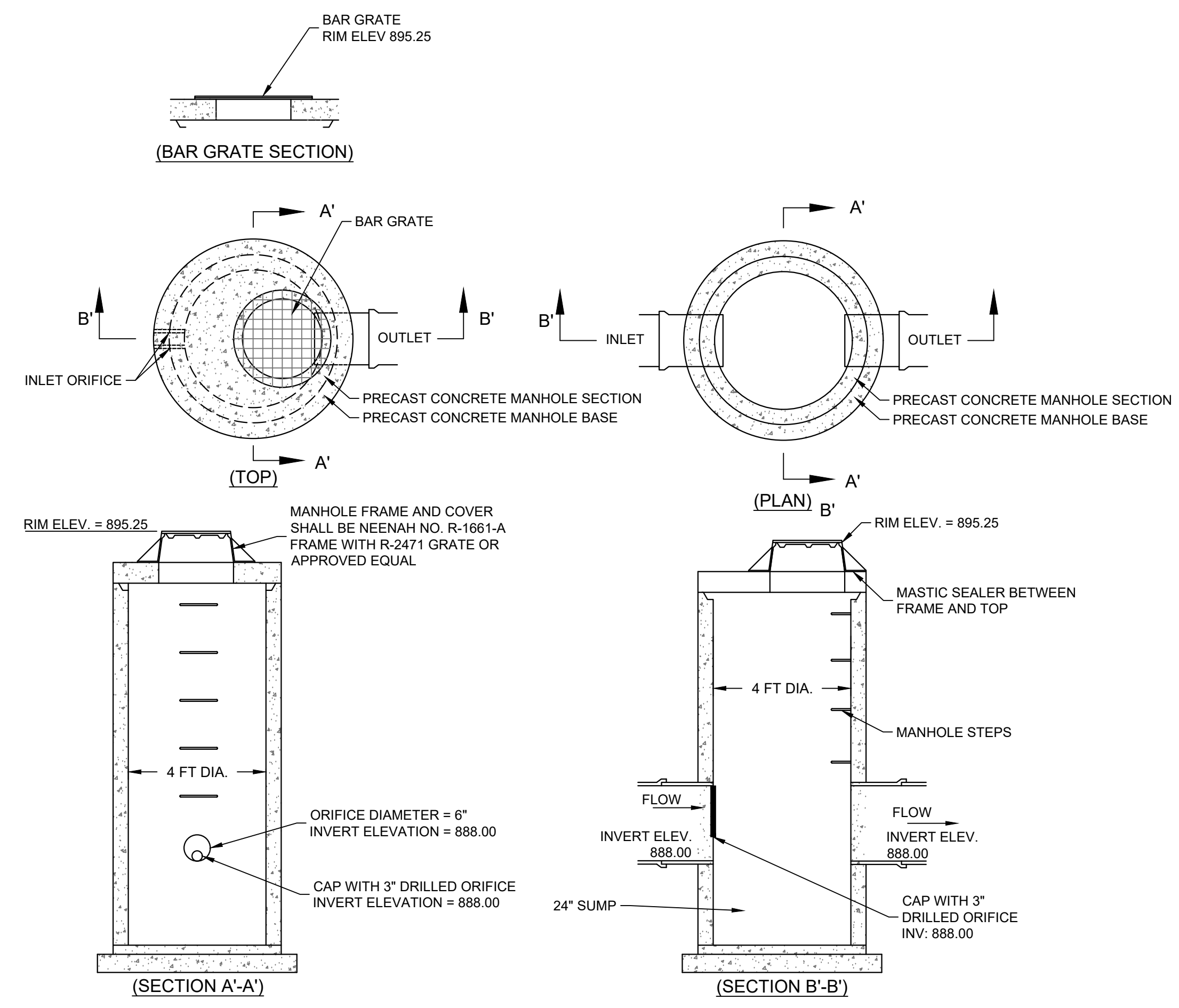
E CURB CUT OPENING SCALE: 1" = 1'



B BIO-FILTRATION OCS 1 SCALE: NTS



C BIO-FILTRATION OCS 2 SCALE: NTS



SHOREPOINT CHURCH
 N34W22407 CAPITOL DRIVE
 PEWAUKEE, WI 53072

DETAILS

PRELIMINARY NOT FOR CONSTRUCTION

ISSUANCE	DATE

NO. REVISION	DATE

PROJECT NO:	22074
DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.05
DRAWN BY:	JTR
CHECKED BY:	PJI
APPROVED BY:	---

SHEET NO: **C402**

GENERAL:

- 1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR THEIR ACCURACY OR COMPLETENESS.
2. CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLANS.

SITE CLEARING:

- 1. EXCEPT FOR STRIPPED TOPSOIL OR OTHER MATERIALS INDICATED TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM PROJECT SITE.
2. MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING SITE-CLEARING OPERATIONS.
3. SALVAGE IMPROVEMENTS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED AND STORE ON OWNER'S PREMISES WHERE INDICATED.

SITE WATER SERVICE:

- 1. COMPLY WITH STANDARDS OF STATE PLUMBING CODE (SPS CH. 382, 384), LOCAL WATER UTILITY REQUIREMENTS AND STANDARDS OF AUTHORITIES HAVING JURISDICTION FOR FIRE-SUPPRESSION AND WATER SERVICE PIPING INCLUDING MATERIALS, FITTINGS, APPURTENANCES, INSTALLATION, TESTING, SERVICE TAPS, ETC.
2. DO NOT INTERRUPT SERVICE TO FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED BY OWNERS OF SUCH FACILITIES AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY WATER-DISTRIBUTION SERVICE.
3. WATER SERVICE PIPING MAY BE EITHER DUCTILE IRON WATER PIPE OR PVC WATER PIPE AS ALLOWED BY THE LOCAL WATER UTILITY.

SITE WATER SERVICE CONT.:

- 17. BEDDING AND COVER FOR WATER SERVICE PIPING SHALL BE IN ACCORDANCE WITH SECTION 4.3.3 AND FILE NO. 36 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
18. INSTALL TRACER WIRE FOR NON-METALLIC WATER SERVICES IN ACCORDANCE WITH SPS SECTION 382.40(8)(K), TRACER WIRE INSULATION COLOR SHALL BE BLUE FOR POTABLE WATER SERVICE PIPING.
19. DUCTILE-IRON PIPING, RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTION 4.4.2 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

SANITARY SEWERAGE:

- 1. ALL PRIVATE SANITARY SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS.
2. ALL PUBLIC SANITARY SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION (STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS.
3. PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH CHAPTER 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

STORM DRAINAGE:

- 1. ALL PRIVATE STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS.
2. ALL PUBLIC STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION (STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS.
3. PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH CHAPTER 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

EARTH MOVING:

- 1. ALL EARTH WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER PRESENTED IN THE SITE GEOTECHNICAL REPORT, GEOTECHNICAL ENGINEER RECOMMENDATIONS MADE IN THE FIELD AND THESE SPECIFICATIONS.
2. CONTRACTOR SHALL PROVIDE MATERIAL TEST REPORTS FROM A QUALIFIED TESTING AGENCY INDICATING TEST RESULTS FOR CLASSIFICATION ACCORDING TO ASTM D2487 AND LABORATORY COMPACTION CURVES ACCORDING TO ASTM D 1557 FOR EACH ON-SITE AND OFF-SITE SOIL MATERIAL PROPOSED FOR FILL AND BACKFILL.
3. CONTRACTOR SHALL PROVIDE PREEXCAVATION PHOTOS OR VIDEOS SHOWING EXISTING CONDITIONS OF ADJOINING STRUCTURES AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY EARTHWORK OPERATIONS.



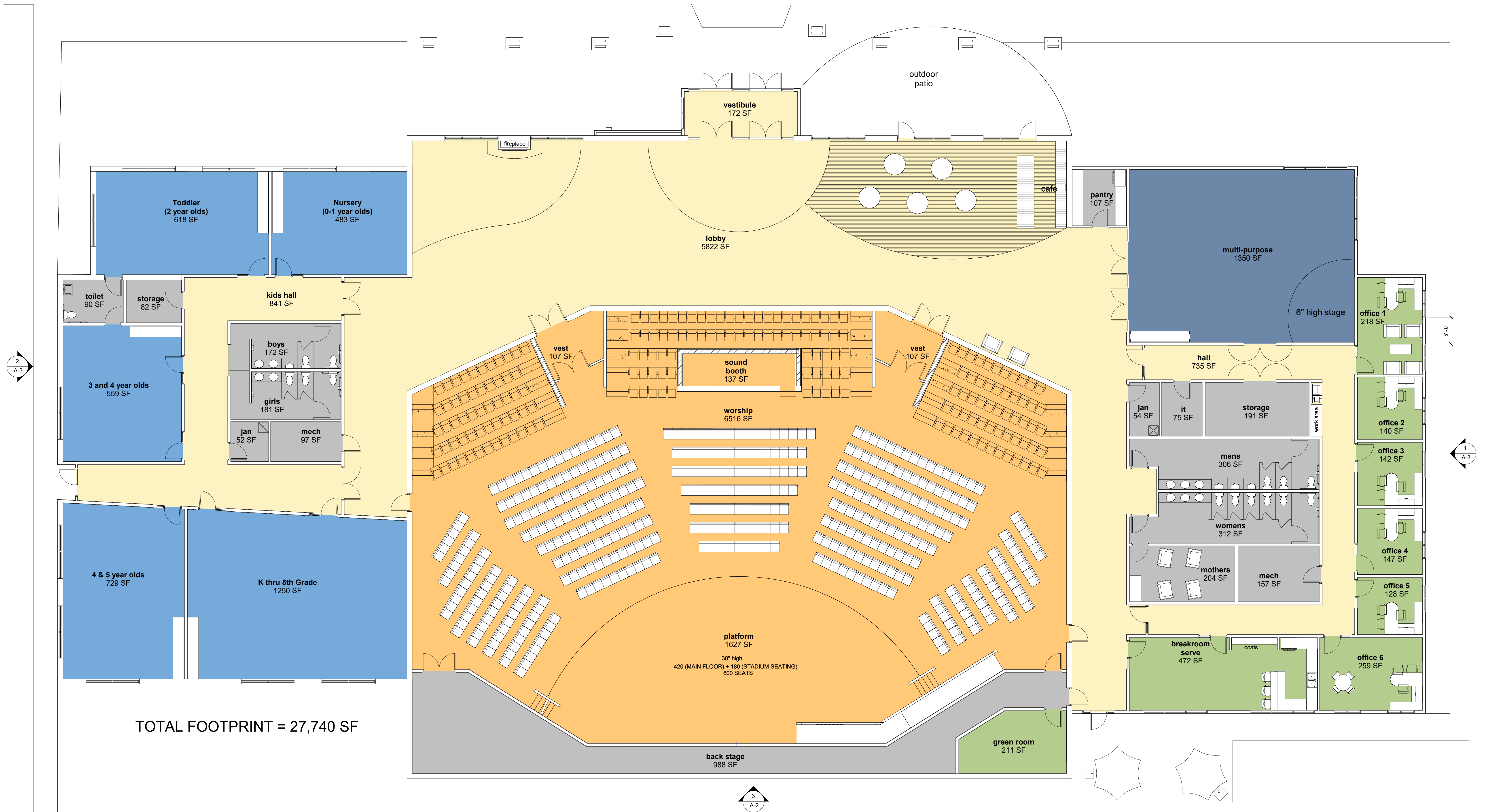
SHOREPOINT CHURCH
N34W22407 CAPITOL DRIVE
PEWAUKEE, WI 53072

PRELIMINARY
NOT FOR
CONSTRUCTION

Table with columns: ISSUANCE, DATE, NO. REVISION, DATE. It contains multiple rows of dashed lines indicating a revision history.

Table with columns: PROJECT NO., DESIGN DATE, PLOT DATE, DRAWN BY, CHECKED BY, APPROVED BY, SHEET NO. Values include 22074, 2023.11.16, 2024.09.05, JTR, PJJ, and C500.

C500

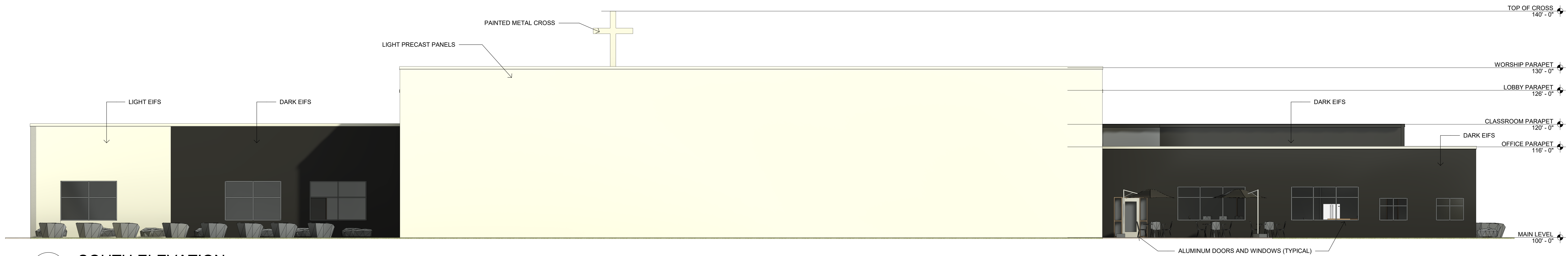


SHOREPOINT CHURCH

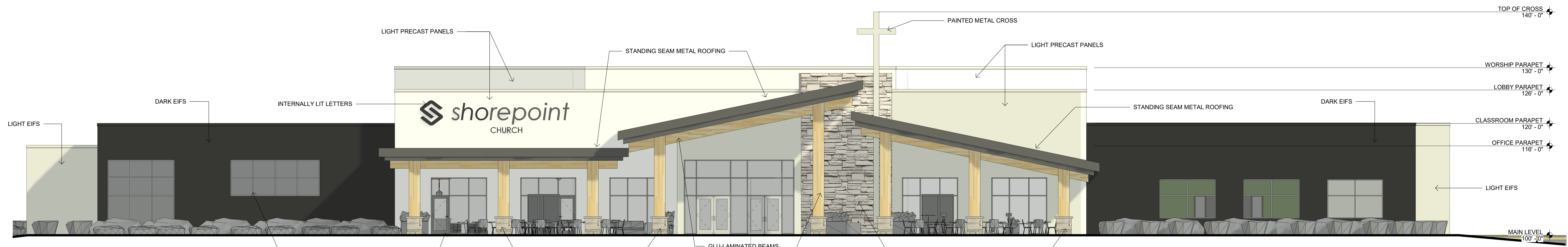
A-1

September 9, 2024





3 SOUTH ELEVATION
 A-2 SCALE: 1/8" = 1'-0"



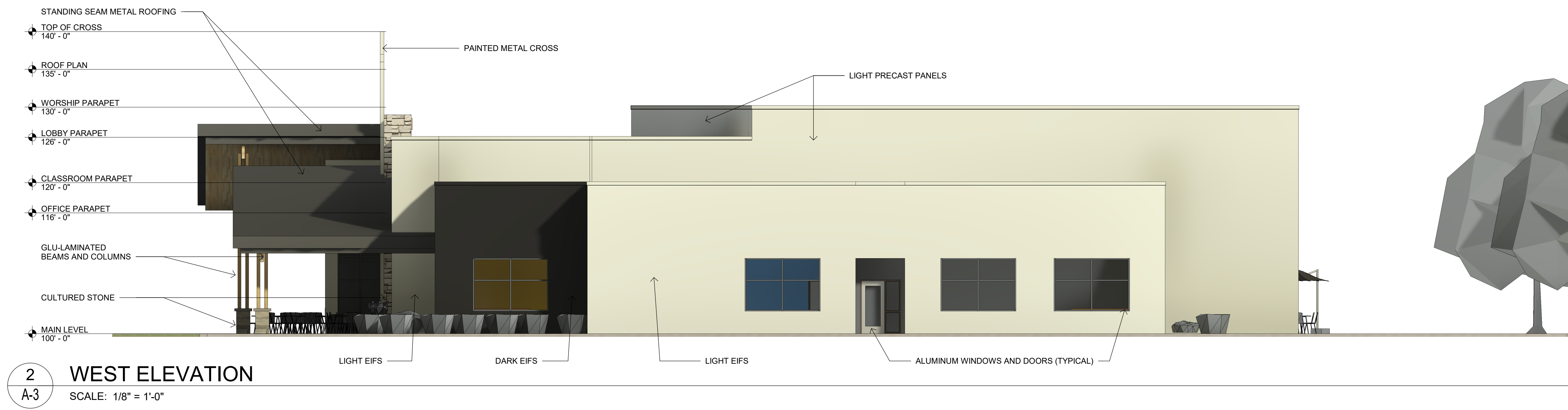
1 NORTH ELEVATION
 A-2 SCALE: 1/8" = 1'-0"

SHOREPOINT CHURCH

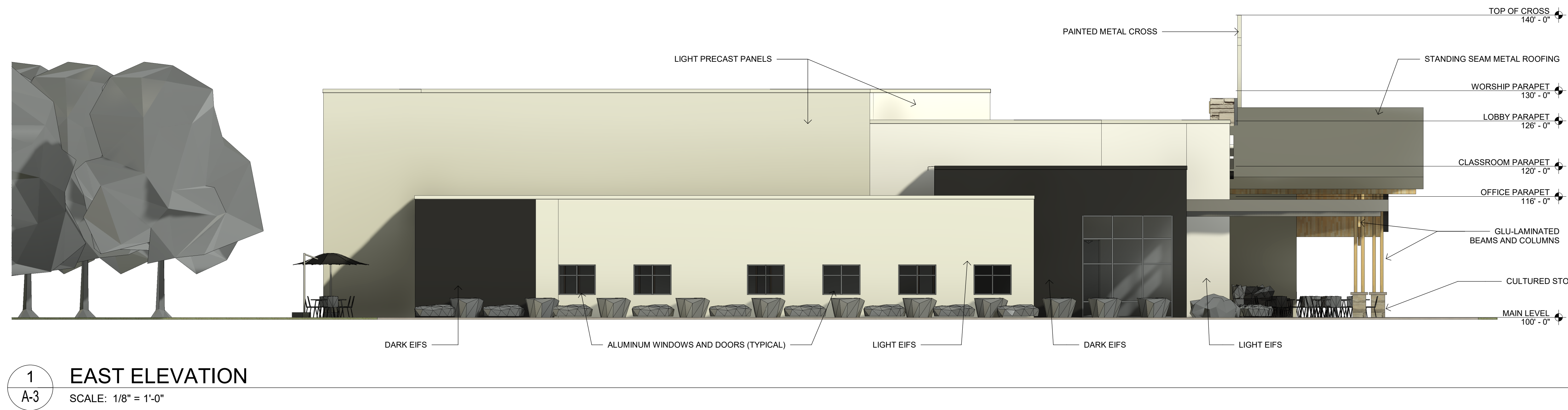
A-2

September 9, 2024





2 WEST ELEVATION
A-3 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
A-3 SCALE: 1/8" = 1'-0"

SHOREPOINT CHURCH

A-3

September 9, 2024





SHOREPOINT CHURCH

A-4

September 9, 2024



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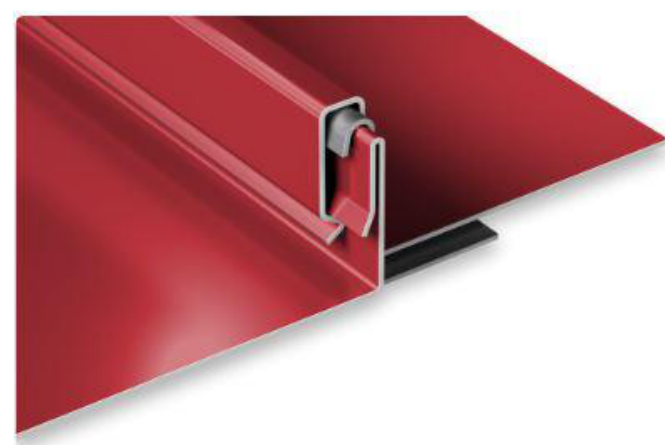
A-7

September 9, 2024



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Snap-Clad
Metal Roofing Panels

Share Spec Sheet

Features

- ✔ Architectural/structural panel
- ✔ Factory-applied sealant available
- ✔ Continuous interlock
- ✔ Labor-saving one-piece design
- ✔ Pencil ribs upon request
- ✔ Striations upon request
- ✔ 35-year non-prorated finish warranty
- ✔ Maximum factory-produced panel length is 64' (check w/factory for longer lengths)
- ✔ Weathertightness warranty available



CULTURED STONE OR NATURAL STONE

METAL ROOFING AT SLOPED ROOFS



HORIZONTAL AND VERTICAL JOINTS



LIGHT COLORED SMOOTH EIFS

DARK COLORED SMOOTH EIFS

EIFS (EXTERIOR INSULATION FINISHING SYSTEM)



GLU-LAMINATED BEAMS AND COLUMNS



PANELS TO INCLUDE VERTICAL AND HORIZONTAL JOINTS

ARCHITECTURAL PRECAST PANELS

COMBINATION OF TEXTURED PANELS AND SMOOTH PANELS



Office Building
Indianapolis, IN

ROOF TOP EQUIPMENT SCREENS

ENVISOR®
ROOF SCREENS

ROOF SCREENS WITH SOARING GOOD LOOKS

Elevate standards with Envisor®, combining durability and aesthetics. Envisor® offers affordability and sophistication, streamlining code adherence and harmonizing with diverse designs. Moreover, its installation doesn't necessitate rooftop penetration, granting a sleek, contemporary appearance.

ZERO ROOFTOP PENETRATION
Screens attach directly to equipment, bypassing rooftop penetration which is the root cause of leaks and damage

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Practical solution for municipal screening requirements of HVAC units, chillers, air handlers, and more

EASY MAINTENANCE
UV and rust resistant finishes for tough environments, with sliding panels for easy service access

ARCHITECTURAL DESIGN
Meticulously crafted to echo the building's aesthetic



CITYSCAPESINC.COM

ROOF TOP SCREENS TO MATCH BUILDING MATERIALS / COLORS

SHOREPOINT CHURCH

A-8

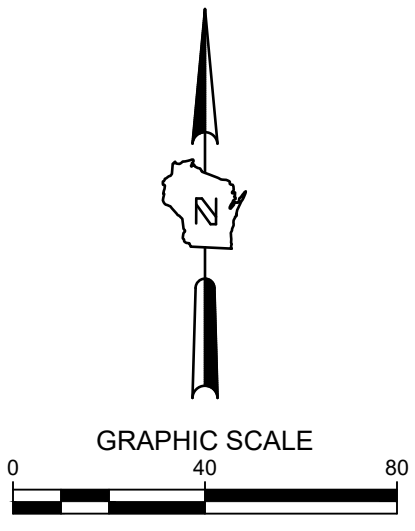
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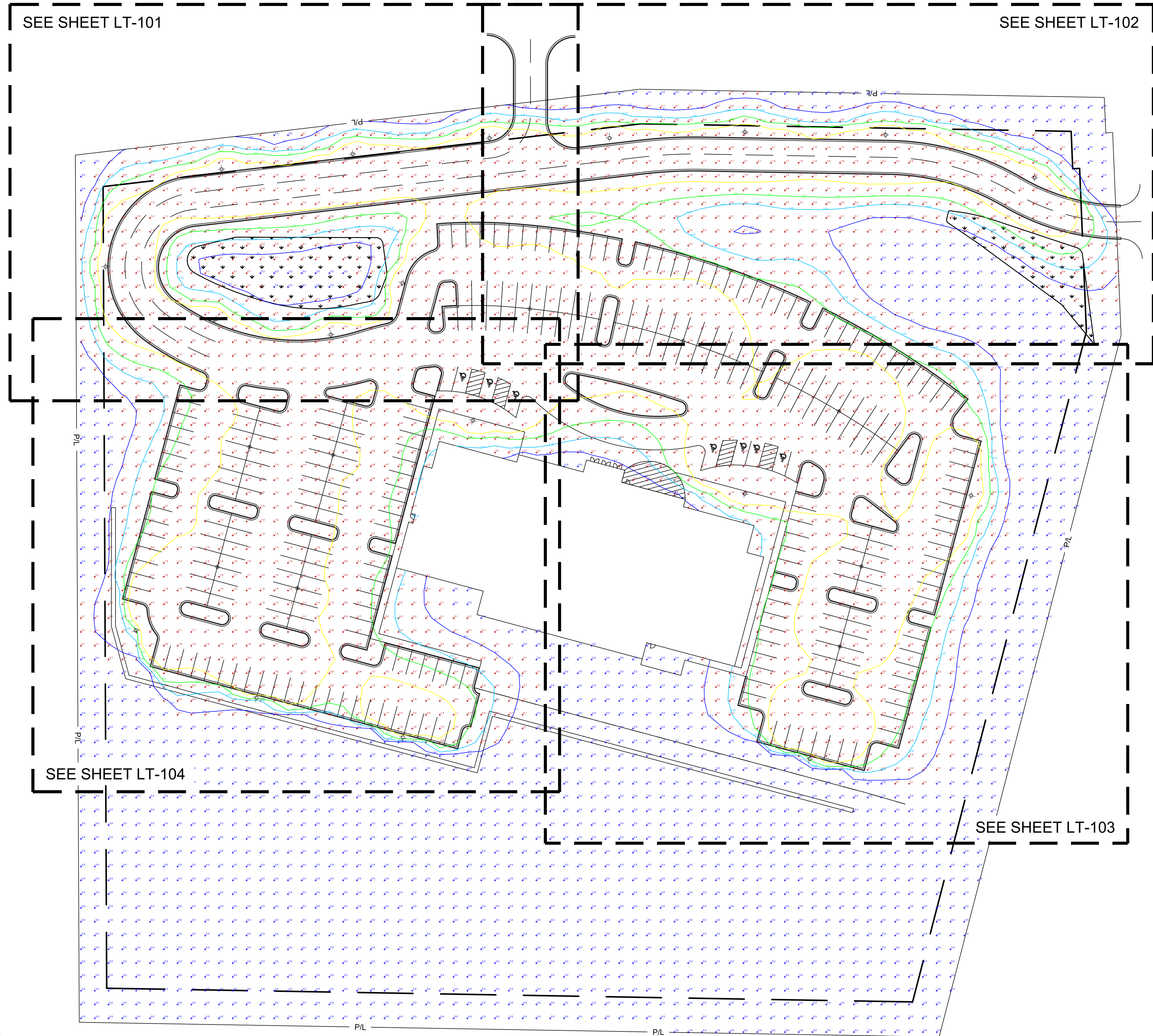
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Label	Quantity	Catalog Number	Description	Mount Height	Lamp	Lamp Lumens	Watts
A	3	DSX1 LED P5 40K 70CRI T5W	D-Series Size 1 Area Luminaire P5 Performance Package Type 5 Wide	20FT	40K 70CRI	18708	138
B	6	DSX1 LED P2 40K 80CRI T5W	D-Series Size 1 Area Luminaire P2 Performance Package Type 5 Wide	20FT	40K 70CRI	9506	68
C	4	DSX1 LED P2 40K 70CRI BLC4 EGS	D-Series Size 1 Area Luminaire P2 Performance Package Type 4 Extreme Backlight Control External Glare Shield	20FT	40K 70CRI	6750	68
D	14	DSX1 LED P2 40K 70CRI T2M EGS	D-Series Size 1 Area Luminaire P2 Performance Package Type 2 Medium External Glare Shield	20FT	40K 70CRI	8049	68



Minimum: 0.3FC
 Maximum: 2.8FC
 Average: 1.3FC

- 0.1
- 0.25
- 0.5
- 1
- 3



SHOREPOINT CHURCH
 N34W22407 CAPITOL DRIVE
 PEWAUKEE, WI 53072
 LIGHTING PLAN OVERVIEW

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

ISSUANCE	DATE
NO. REVISION	DATE

PROJECT NO:	22074
DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.06
DRAWN BY:	KJB
CHECKED BY:	PJI
APPROVED BY:	---
SHEET NO:	LT-100

LT-100

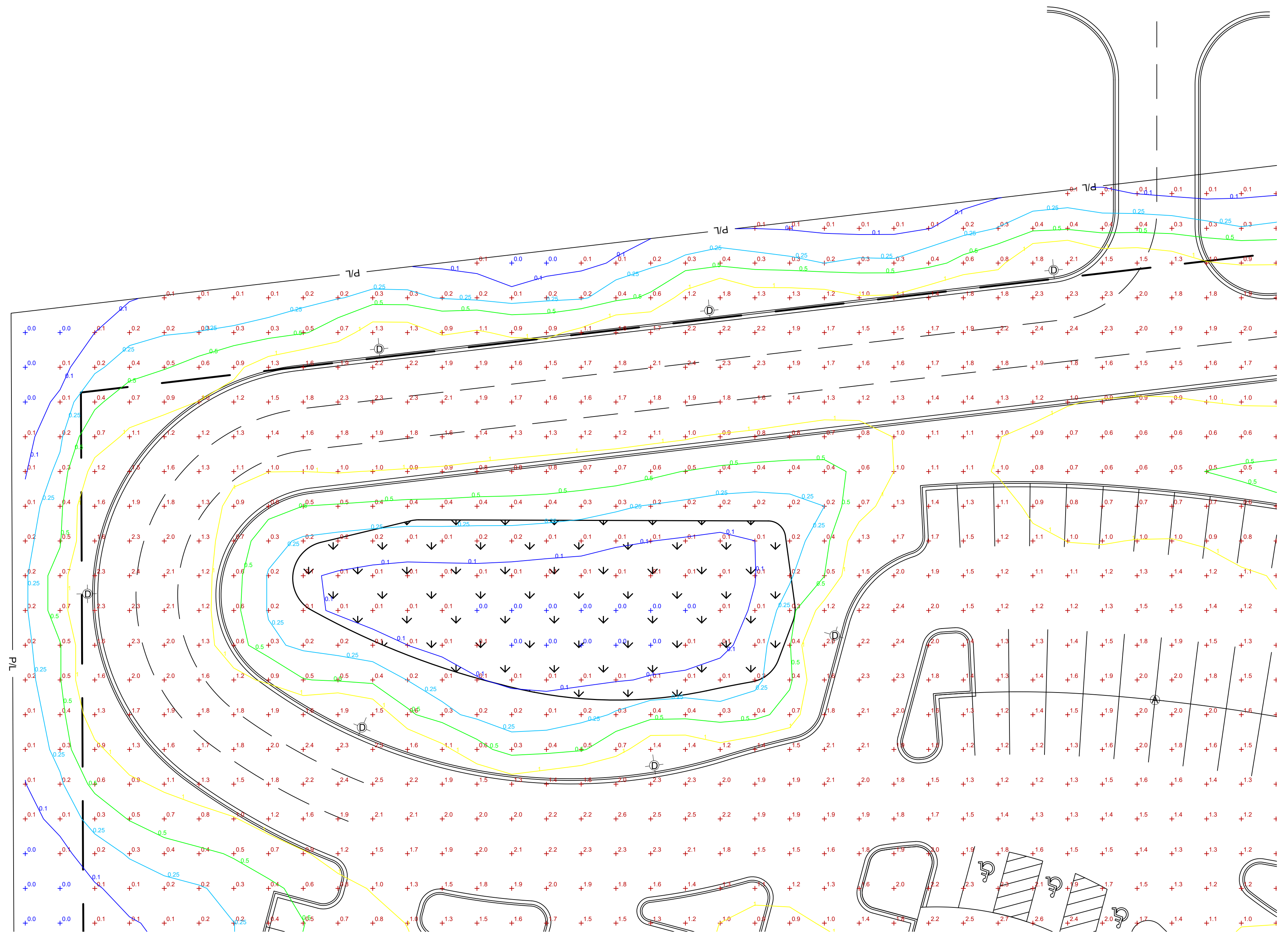
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 ADJACENT UNDERGROUND
 UTILITIES BEFORE YOU
 DIG IN WISCONSIN

CALL DIGGERS HOTLINE
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 TOLL FREE
 WIS. STATUTE 182.07(2)(b)
 REQUIRES MIN. 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181

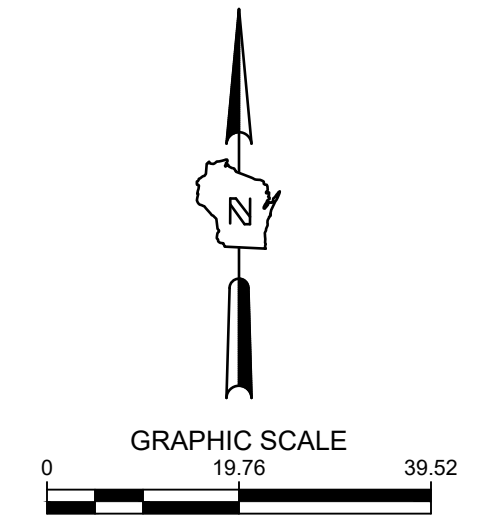
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Label	Quantity	Catalog Number	Description	Mount Height	Lamp	Lamp Lumens	Watts
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C	4	DSX1 LED P2 40K 70CRI BLC4 EGS	D-Series Size 1 Area Luminaire P2 Performance Package Type 4 Extreme Backlight Control External Glare Shield	20FT	40K 70CRI	6750	68
D	14	DSX1 LED P2 40K 70CRI T2M EGS	D-Series Size 1 Area Luminaire P2 Performance Package Type 2 Medium External Glare Shield	20FT	40K 70CRI	8049	68

- 0.1 Minimum: 0.3FC
- 0.25 Maximum: 2.8FC
- 0.5 Average: 1.3FC
- 1
- 3



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SHOREPOINT CHURCH
 N34W22407 CAPITOL DRIVE
 PEWAUKEE, WI 53072
 LIGHTING PLAN

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ISSUANCE	DATE
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PROJECT NO:	22074
DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.06
DRAWN BY:	KJB
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APPROVED BY:	---
SHEET NO:	

LT-101



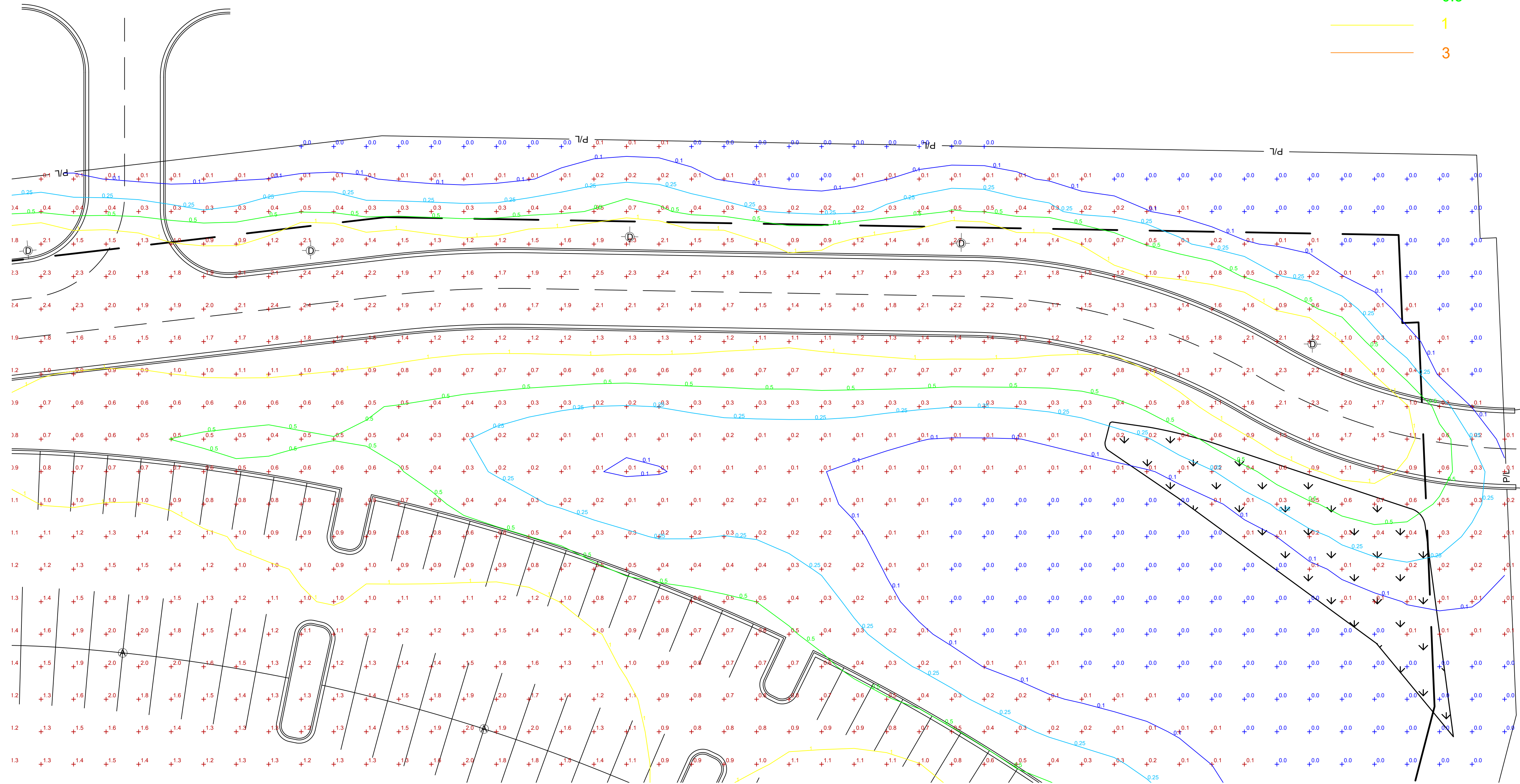
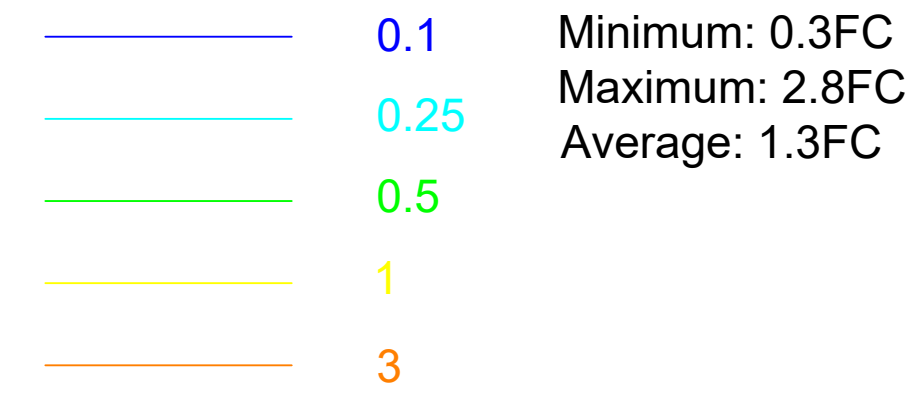
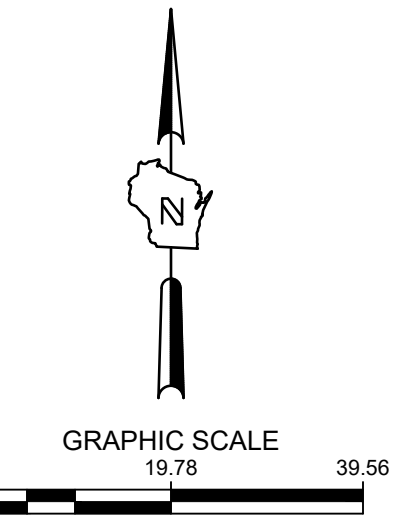
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 MS STATUTE 182.07(2)(b)
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2024.09.06

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A	3	DSX1 LED P5 40K 70CRI T5W	D-Series Size 1 Area Luminaire P5 Performance Package Type 5 Wide	20FT	40K 70CRI	18708	138
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C	4	DSX1 LED P2 40K 70CRI BLC4 EGS	D-Series Size 1 Area Luminaire P2 Performance Package Type 4 Extreme Backlight Control External Glare Shield	20FT	40K 70CRI	6750	68
D	14	DSX1 LED P2 40K 70CRI T2M EGS	D-Series Size 1 Area Luminaire P2 Performance Package Type 2 Medium External Glare Shield	20FT	40K 70CRI	8049	68

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LIGHTING PLAN

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ISSUANCE DATE

NO. REVISION DATE

PROJECT NO:	22074
DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.06
DRAWN BY:	KJB
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APPROVED BY:	----
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LT-102

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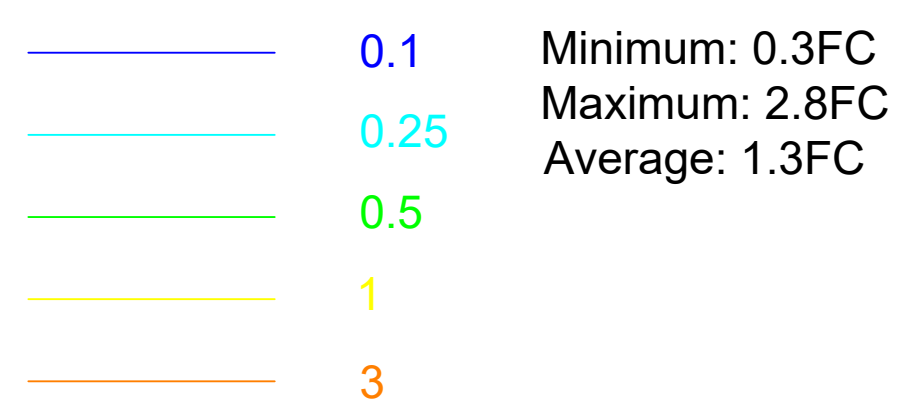
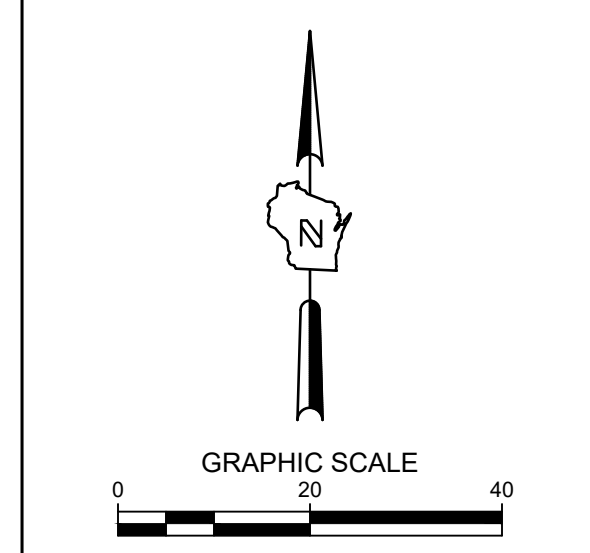
JRICCHIO

LT-102

22074

Label	Quantity	Catalog Number	Description	Mount Height	Lamp	Lamp Lumens	Watts
A	3	DSX1 LED P5 40K 70CRI T5W	D-Series Size 1 Area Luminaire P5 Performance Package Type 5 Wide	20FT	40K 70CRI	18708	138
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Minimum: 0.3FC
 Maximum: 2.8FC
 Average: 1.3FC

SHOREPOINT CHURCH
 N34W22407 CAPITOL DRIVE
 PEWAUKEE, WI 53072
 LIGHTING PLAN

**PRELIMINARY
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ISSUANCE	DATE
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PROJECT NO:	22074
DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.06
DRAWN BY:	KJB
CHECKED BY:	PJI
APPROVED BY:	---
SHEET NO:	LT-103

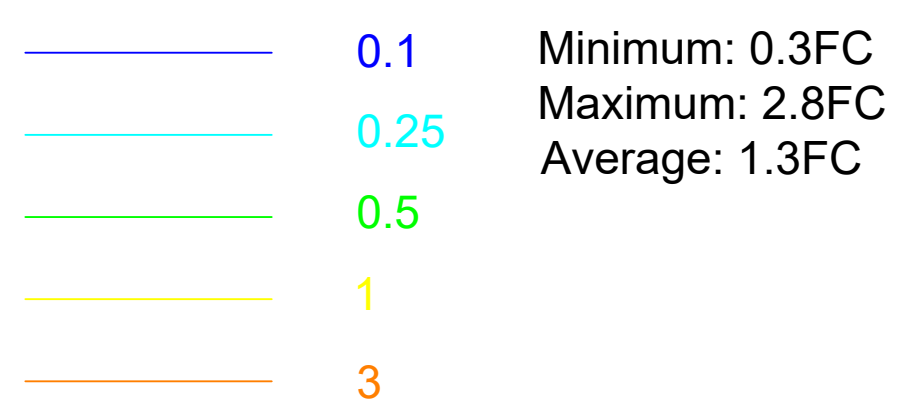
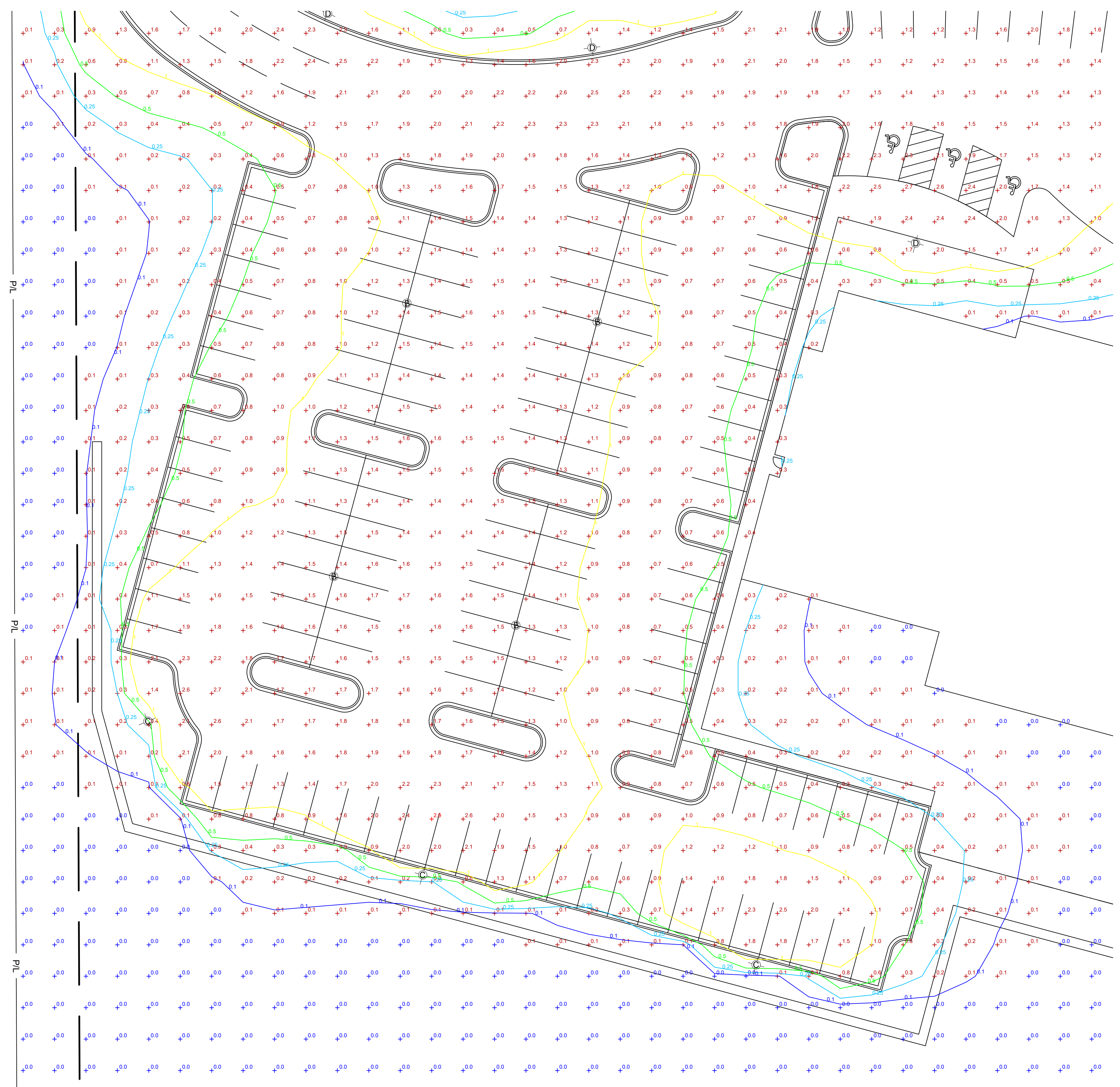
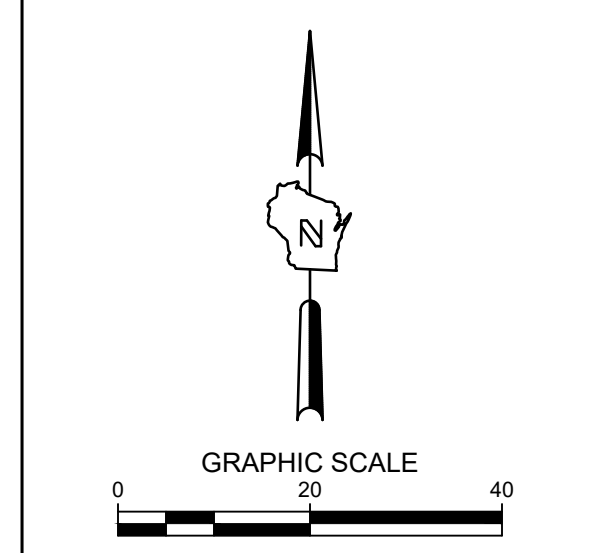
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LT-104



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D-Series Size 1 LED Area Luminaire



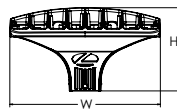
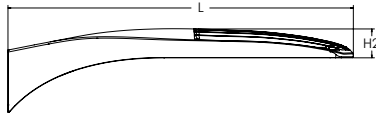
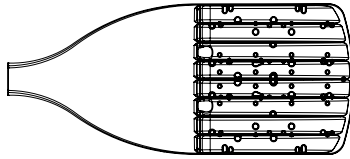
Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

d#series

Specifications

EPA:	0.69 ft ² (0.06 m ²)
Length:	32.71" (83.1 cm)
Width:	14.26" (36.2 cm)
Height H1:	7.88" (20.0 cm)
Height H2:	2.73" (6.9 cm)
Weight:	34 lbs (15.4 kg)



Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEDs	Color temperature ²	Color Rendering Index ²	Distribution	Voltage	Mounting
DSX1 LED	Forward optics P1 P6 P2 P7 P3 P8 P4 P9 P5 Rotated optics P10 ¹ P12 ¹ P11 ¹ P13 ¹	(this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K (this section 80CRI only, extended lead times apply) 27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	70CRI 70CRI 70CRI 80CRI 80CRI 80CRI 80CRI	AFR Automotive front row T1S Type I short T2M Type II medium T3M Type III medium T3LG Type III low glare ³ T4M Type IV medium T4LG Type IV low glare ³ TFTM Forward throw medium T5M Type V medium T5LG Type V low glare T5W Type V wide BLC3 Type III backlight control ³ BLC4 Type IV backlight control ³ LCCO Left corner cutoff ³ RCCO Right corner cutoff ³	MVOLT (120V-277V) ⁴ HVOLT (347V-480V) ^{5,6} XVOLT (277V - 480V) ^{7,8} 120 ^{16,26} 208 ^{16,26} 240 ^{16,26} 277 ^{16,26} 347 ^{16,26} 480 ^{16,26}	Shipped included SPA Square pole mounting (#8 drilling) RPA Round pole mounting (#8 drilling) SPA5 Square pole mounting #5 drilling ⁹ RPA5 Round pole mounting #5 drilling ⁹ SPA8N Square narrow pole mounting #8 drilling WBA Wall bracket ¹⁰ MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)

Control options	Other options	Finish (required)	
Shipped installed NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{11,12,20,21} PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{13,20,21} PER NEMA twist-lock receptacle only (controls ordered separately) ¹⁴ PERS Five-pin receptacle only (controls ordered separate) ^{14,21}	PER7 Seven-pin receptacle only (controls ordered separate) ^{14,21} FAO Field adjustable output ^{15,21} BL30 Bi-level switched dimming, 30% ^{16,21} BL50 Bi-level switched dimming, 50% ^{16,21} DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁷ DS Dual switching ^{18,19,21}	Shipped installed SPD20KV 20KV surge protection HS Houseside shield (black finish standard) ²² L90 Left rotated optics ¹ R90 Right rotated optics ¹ CCE Coastal Construction ²³ HA 50°C ambient operation ²⁴ BAA Buy America(n) Act Compliant SF Single fuse (120, 277, 347V) ²⁶ DF Double fuse (208, 240, 480V) ²⁶ Shipped separately EGSR External Glare Shield (reversible, field install required, matches housing finish) BSDB Bird Spikes (field install required)	DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



CAPITOL DR. - S.T.H. 190
(public R/W width varies)

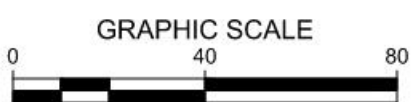
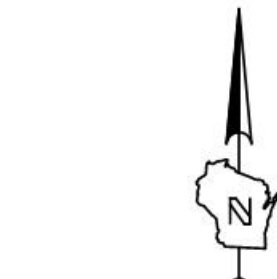
(09) Right of Access per
Doc. 651609

LANDSCAPE LEGEND:

- TURF SEED
- NO-MOW TURF
- HARDWOOD BARK MULCH PLANT BED
- STONE MULCH MAINTENANCE EDGE
- PERENNIAL PLUGS
- DECORATIVE STONE DRY CREEK BED
- EXISTING WOODLANDS
- PROPERTY LINE
- SEEDING BOUNDARY
- SHOVEL CUT EDGE
- METAL EDGING
- SHEET MATCHLINE
- PROPOSED LIGHTPOLE
(SEE LIGHTING PLAN)

LEGEND:

- 5' THICK CONCRETE WALK
- ASPHALT SURFACE



SHOREPOINT CHURCH

N34W22407 CAPITOL DRIVE

PEWAUKEE, WI 53072

OVERALL LANDSCAPE PLAN

**PRELIMINARY
NOT FOR
CONSTRUCTION**

ISSUANCE DATE

NO. REVISION DATE

PROJECT NO:	22074
DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.05
DRAWN BY:	HLJ
CHECKED BY:	PJI
APPROVED BY:	---
SHEET NO:	L100

L100



OVERALL TREE SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
DECIDUOUS TREES					
	AS2	Acer x freemanii 'Sienna' / Sienna Glen® Maple	2.5" Cal.	B&B	14
	CO	Carya ovata / Shagbark Hickory	3" Cal.	B&B	3
	GD	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	2.5" Cal.	B&B	4
	QS	Quercus x schuettei / Swamp Bur Oak	2.5" Cal.	B&B	6
	UA	Ulmus americana 'Princeton' / Princeton American Elm	2.5" Cal.	B&B	10
CONIFEROUS TREES					
	LL	Larix laricina / Tamarack	2.5" Cal.	B&B	11
EVERGREEN TREES					
	AC2	Abies concolor / White Fir	6' Ht.	B&B	3
	JX	Juniperus x 'J.N Select Blue' / Star Power® Juniper	6' Ht.	B&B	10
	PA	Picea abies / Norway Spruce	6' Ht.	B&B	3
	PC	Picea abies 'Cupressina' / Cupressina Norway Spruce	6' Ht.	B&B	1
	TG	Thuja standishii x plicata 'Green Giant' / Green Giant Arborvitae	6' Ht.	B&B	13
ORNAMENTAL TREES					
	AG2	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	8' Ht. (Multi-Stem)	B&B	3
	CC3	Cercis canadensis / Eastern Redbud	8' Ht. (Multi-Stem)	B&B	10
	MR2	Malus x 'JFS-KW5' / Royal Raindrops® Crabapple	2" Cal.	B&B	13
	MR	Malus x 'Reizam' / Rejoice™ Crabapple	2" Cal.	B&B	9

LANDSCAPE GENERAL NOTES:

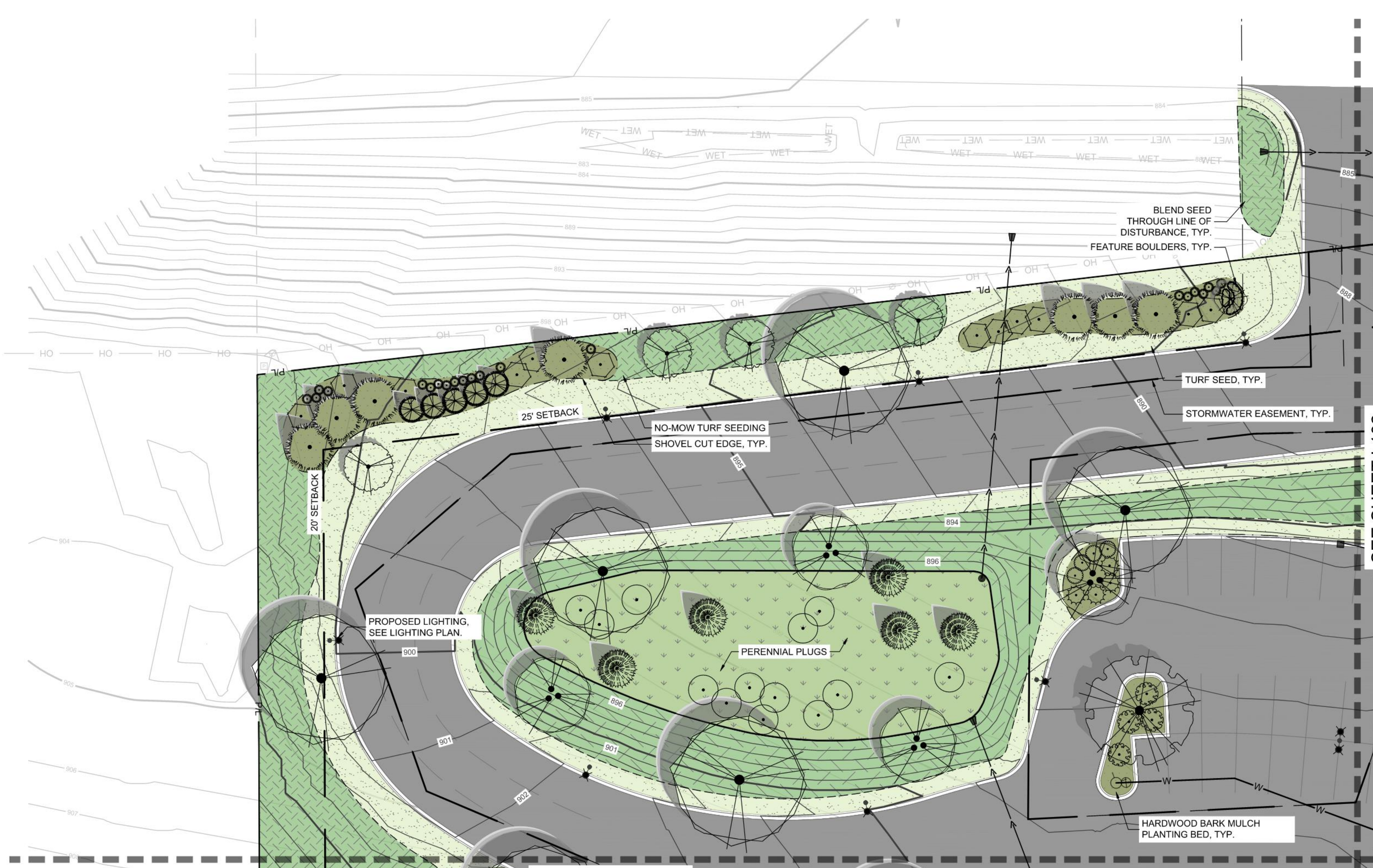
1. VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
2. INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
3. COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
4. RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
5. CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF, GRASSES AND PLANTS. THESE SECTIONS PROVIDE ADDITIONAL INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
6. PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.

TO OBTAIN LOCATIONS OF
UNDERGROUND UTILITIES AND
FACILITIES BEFORE YOU
DIG OR DRILL:
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
NE STATE STATUTE 182.07(1)(b)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

CALL DIGGERS HOTLINE





LANDSCAPE LEGEND:

- TURF SEED
- NO-MOW TURF
- HARDWOOD BARK MULCH PLANT BED
- STONE MULCH MAINTENANCE EDGE
- PERENNIAL PLUGS
- DECORATIVE STONE DRY CREEK BED
- EXISTING WOODLANDS
- PROPERTY LINE
- SEEDING BOUNDARY
- SHOVEL CUT EDGE
- METAL EDGING
- SHEET MATCHLINE
- PROPOSED LIGHTPOLE (SEE LIGHTING PLAN)

LEGEND:

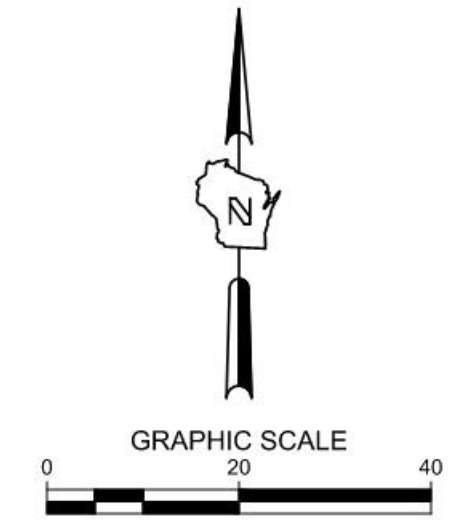
- 5" THICK CONCRETE WALK
- ASPHALT SURFACE

PLANT SCHEDULE L101

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
DECIDUOUS TREES					
AS2		Acer x freemanii 'Sienna' / Sienna Glen® Maple	2.5" Cal.	B&B	5
GD		Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	2.5" Cal.	B&B	1
CONIFEROUS TREES					
LL		Larix laricina / Tamarack	2.5" Cal.	B&B	6
EVERGREEN TREES					
JX		Juniperus x 'J.N Select Blue' / Star Power® Juniper	6" Ht.	B&B	5
TG		Thuja standishii x plicata 'Green Giant' / Green Giant Arborvitae	6" Ht.	B&B	7
ORNAMENTAL TREES					
CC3		Cercis canadensis / Eastern Redbud	8" Ht. (Multi-Stem)	B&B	4
MR2		Malus x 'JFS-KW5' / Royal Raindrops® Crabapple	2" Cal.	B&B	4
MR		Malus x 'Rejzam' / Rejoice™ Crabapple	2" Cal.	B&B	1
DECIDUOUS SHRUBS					
CS2		Cornus sericea 'Cardinal' / Cardinal Red Twig Dogwood	3 gal.	Cont.	13
HL		Hydrangea paniculata 'Limelight' / Limelight Panicle Hydrangea	7 gal.	Cont.	12
RA		Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal.	Cont.	4
SM		Syringa patula 'Miss Kim' / Miss Kim Korean Lilac	3 gal.	Cont.	4
EVERGREEN SHRUBS					
JY		Juniperus horizontalis 'Youngstown' / Creeping Juniper	3 gal.	Cont.	4
ORNAMENTAL GRASSES					
PN		Panicum virgatum 'Northwind' / Northwind Switch Grass	1 gal.	Cont.	21
PERENNIALS					
ES		Echinacea x 'G0052Y' / Summersong™ Firefinch™ Coneflower	10 Flat	18" o.c.	5
LG		Leucanthemum x superbum 'Goldfinch' / Goldfinch Shasta Daisy	10 Flat	18" o.c.	13

- LANDSCAPE GENERAL NOTES:**
- VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
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THE SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210



SHOREPOINT CHURCH
 N34W22407 CAPITOL DRIVE
 PEWAUKEE, WI 53072
 LANDSCAPE ENLARGEMENT

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

ISSUANCE DATE

NO. REVISION DATE

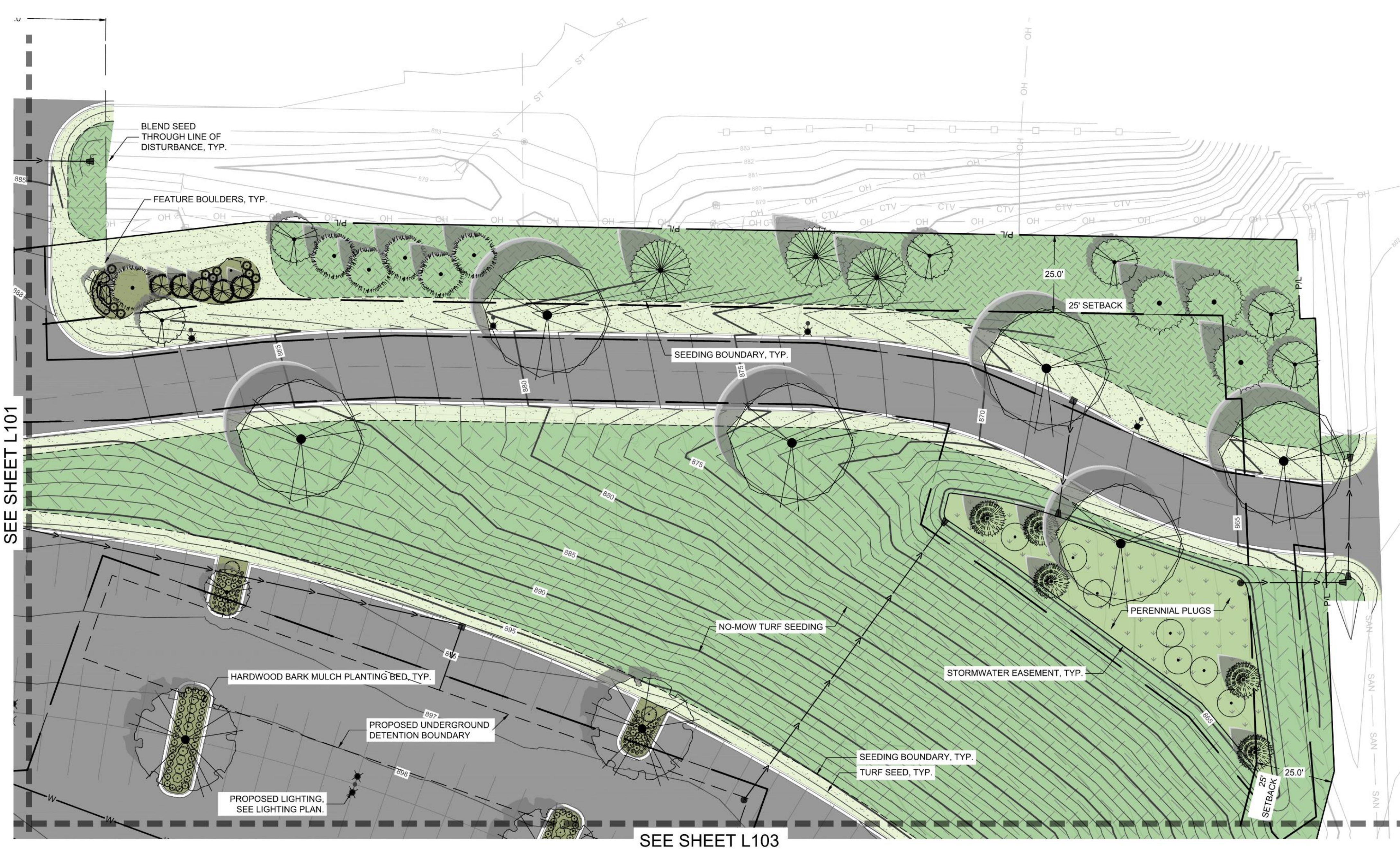
PROJECT NO: 22074
 DESIGN DATE: 2023.11.16
 PLOT DATE: 2024.09.05
 DRAWN BY: HLY
 CHECKED BY: PJI
 APPROVED BY: ---
 SHEET NO:

L101

TO OBTAIN LOCATIONS OF
 UTILITIES, CONTACT THE
 FACILITIES DEPARTMENT
 OF THE CITY OF MILWAUKEE.

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 MS STATUTE 182.07(2)(PM)
 REQUIRES MIN. 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181

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LANDSCAPE LEGEND:

- TURF SEED
- NO-MOW TURF
- HARDWOOD BARK MULCH PLANT BED
- STONE MULCH MAINTENANCE EDGE
- PERENNIAL PLUGS
- DECORATIVE STONE DRY CREEK BED
- EXISTING WOODLANDS
- PROPERTY LINE
- SEEDING BOUNDARY, TYP.
- SHOVEL CUT EDGE
- METAL EDGING
- SHEET MATCHLINE
- PROPOSED LIGHTPOLE (SEE LIGHTING PLAN)

LEGEND:

- 5" THICK CONCRETE WALK
- ASPHALT SURFACE

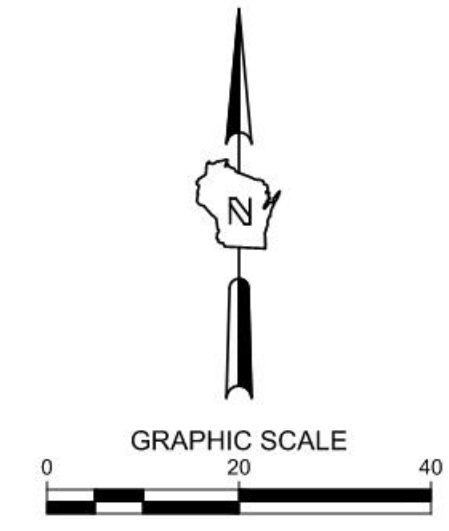
PLANT SCHEDULE L102

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	
DECIDUOUS TREES						
	AS2	Acer x freemanii 'Sienna' / Sienna Glen® Maple	2.5" Cal.	B&B	6	
	GD	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	2.5" Cal.	B&B	2	
CONIFEROUS TREES						
	LL	Larix laricina / Tamarack	2.5" Cal.	B&B	5	
EVERGREEN TREES						
	AC2	Abies concolor / White Fir	6' Ht.	B&B	3	
	JX	Juniperus x 'J.N Select Blue' / Star Power® Juniper	6' Ht.	B&B	5	
	PA	Picea abies / Norway Spruce	6' Ht.	B&B	3	
	TG	Thuja standishii x plicata 'Green Giant' / Green Giant Arborvitae	6' Ht.	B&B	6	
ORNAMENTAL TREES						
	MR2	Malus x 'JFS-KWS' / Royal Raindrops® Crabapple	2" Cal.	B&B	7	
	MR	Malus x 'Rejzam' / Rejoice™ Crabapple	2" Cal.	B&B	1	
DECIDUOUS SHRUBS						
	CS2	Cornus sericea 'Cardinal' / Cardinal Red Twig Dogwood	3 gal.	Cont.	7	
	HB	Hydrangea paniculata 'ILVOBO' / Bobo® Panicle Hydrangea	3 gal.	Cont.	8	
	HL	Hydrangea paniculata 'Limelight' / Limelight Panicle Hydrangea	7 gal.	Cont.	1	
	SM	Syringa patula 'Miss Kim' / Miss Kim Korean Lilac	3 gal.	Cont.	2	
ORNAMENTAL GRASSES						
	PN	Panicum virgatum 'Northwind' / Northwind Switch Grass	1 gal.	Cont.	9	
PERENNIALS						
	HR	Hemerocallis x 'Rosy Returns' / Rosy Returns Daylily	1 gal.	Cont.	42	
	HX	Hemerocallis x 'Sunday Gloves' / Sunday Gloves Daylily	1 gal.	Cont.	62	
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING	QTY
PERENNIALS						
	ES	Echinacea x 'G0052Y' / Summersong™ Firefinch™ Coneflower	10 Flat		18" o.c.	8
	LG	Leucanthemum x superbum 'Goldfinch' / Goldfinch Shasta Daisy	10 Flat		18" o.c.	15

LANDSCAPE GENERAL NOTES:

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SHOREPOINT CHURCH
 N34W22407 CAPITOL DRIVE
 PEWAUKEE, WI 53072
 LANDSCAPE ENLARGEMENT

**PRELIMINARY
NOT FOR
CONSTRUCTION**

ISSUANCE	DATE
NO. REVISION	DATE

PROJECT NO:	22074
DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.05
DRAWN BY:	HLJ
CHECKED BY:	PJI
APPROVED BY:	---
SHEET NO:	L102

SEE SHEET L101

SEE SHEET L103

TO OBTAIN LOCATIONS OF
 ADJACENT LANDSCAPE
 FACILITIES BEFORE YOU
 DIG IN WISCONSIN

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

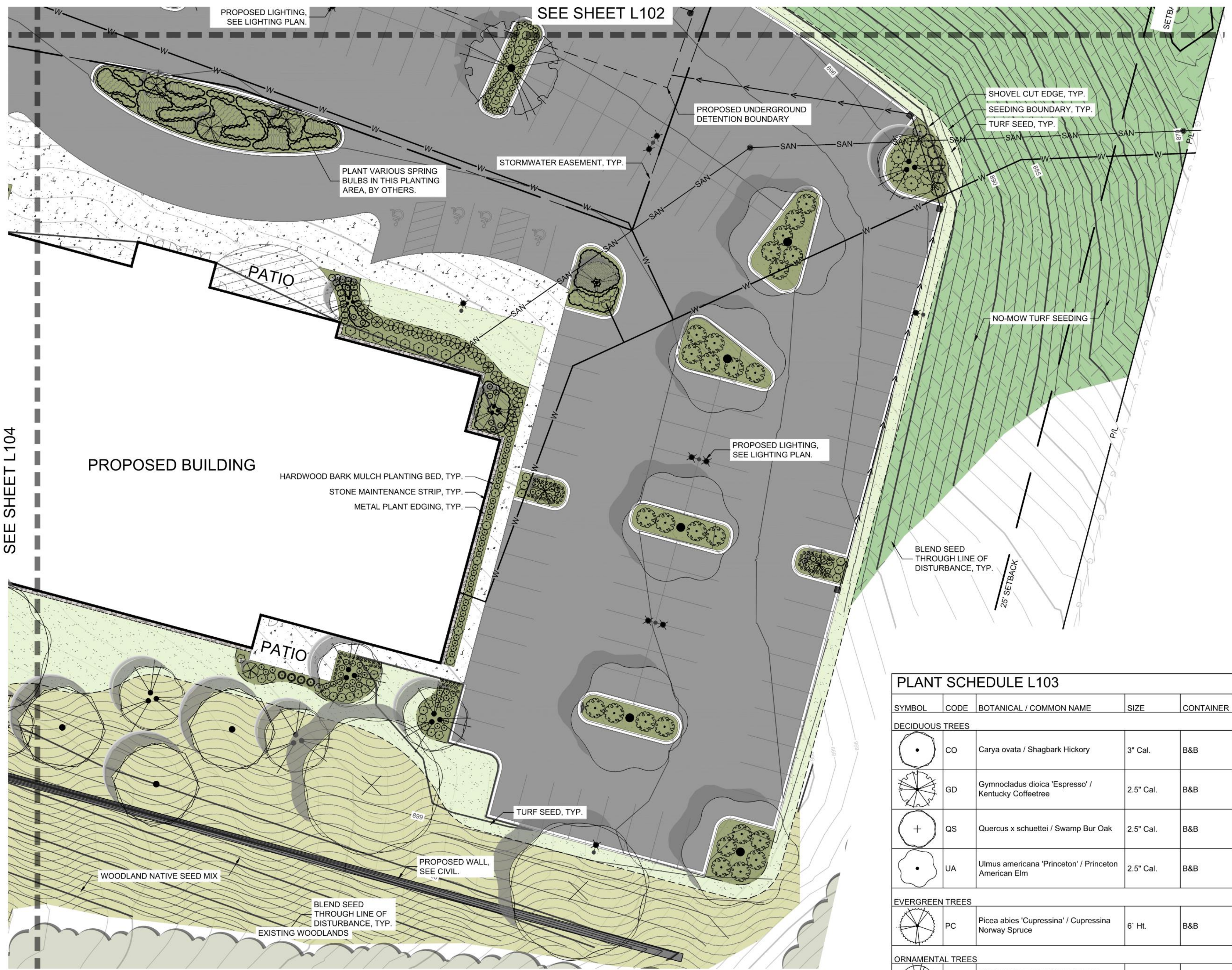
WIS. STATUTE 182.07(2)(b)74
 REQUIRES MIN. 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181

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2024.09.05

L103

22074

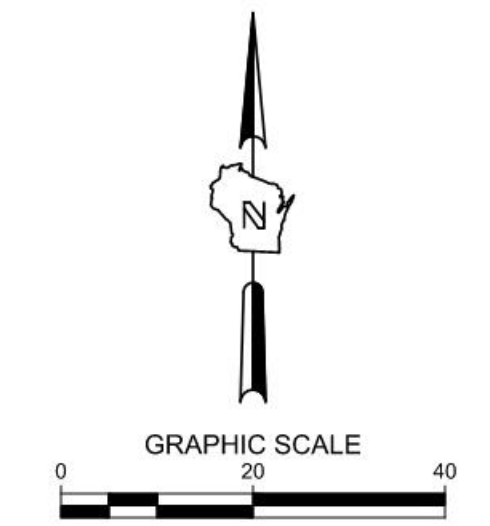


LANDSCAPE LEGEND:

- TURF SEED
- NO-MOW TURF
- HARDWOOD BARK MULCH PLANT BED
- STONE MULCH MAINTENANCE EDGE
- PERENNIAL PLUGS
- DECORATIVE STONE DRY CREEK BED
- EXISTING WOODLANDS
- PROPERTY LINE
- SEEDING BOUNDARY
- SHOVEL CUT EDGE
- METAL EDGING
- SHEET MATCHLINE
- PROPOSED LIGHTPOLE (SEE LIGHTING PLAN)

LEGEND:

- 5" THICK CONCRETE WALK
- ASPHALT SURFACE



SEE SHEET L104

PLANT SCHEDULE L103

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
DECIDUOUS TREES					
[Symbol]	CO	Carya ovata / Shagbark Hickory	3" Cal.	B&B	3
[Symbol]	GD	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	2.5" Cal.	B&B	1
[Symbol]	QS	Quercus x schuetteii / Swamp Bur Oak	2.5" Cal.	B&B	2
[Symbol]	UA	Ulmus americana 'Princeton' / Princeton American Elm	2.5" Cal.	B&B	5
EVERGREEN TREES					
[Symbol]	PC	Picea abies 'Cupressina' / Cupressina Norway Spruce	6' Ht.	B&B	1
ORNAMENTAL TREES					
[Symbol]	AG2	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	8' Ht. (Multi-Stem)	B&B	2
[Symbol]	CC3	Cercis canadensis / Eastern Redbud	8' Ht. (Multi-Stem)	B&B	5
[Symbol]	MR2	Malus x 'JFS-KW5' / Royal Raindrops® Crabapple	2" Cal.	B&B	1
[Symbol]	MR	Malus x 'Rejzam' / Rejance™ Crabapple	2" Cal.	B&B	5
DECIDUOUS SHRUBS					
[Symbol]	HA	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea	3 gal.	Cont.	9
[Symbol]	HB	Hydrangea paniculata 'ILVOBO' / Bobo® Panicle Hydrangea	3 gal.	Cont.	39
[Symbol]	RA	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal.	Cont.	26
[Symbol]	SM	Syringa patula 'Miss Kim' / Miss Kim Korean Lilac	3 gal.	Cont.	6

EVERGREEN SHRUBS

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING	QTY
[Symbol]	BG	Buxus x 'Glencoe' / Chicagoland Green® Boxwood	5 gal.	Cont.		19
[Symbol]	BG2	Buxus x 'Green Mound' / Green Mound Boxwood	3 gal.	Cont.		20
[Symbol]	BG5	Buxus x 'Green Mountain' / Green Mountain Boxwood	3 gal.	Cont.		2
[Symbol]	JY	Juniperus horizontalis 'Youngstown' / Creeping Juniper	3 gal.	Cont.		6

ORNAMENTAL GRASSES

[Symbol]	PN	Panicum virgatum 'Northwind' / Northwind Switch Grass	1 gal.	Cont.		4
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PERENNIALS

[Symbol]	DA	Dicentra spectabilis 'Alba' / White Japanese Bleeding heart	1 gal.	Cont.		9
[Symbol]	HR	Hemerocallis x 'Rosy Returns' / Rosy Returns Daylily	1 gal.	Cont.		68
[Symbol]	HX	Hemerocallis x 'Sunday Gloves' / Sunday Gloves Daylily	1 gal.	Cont.		115

SYMBOL CODE BOTANICAL / COMMON NAME

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING	QTY
[Symbol]	PG2	Pachysandra terminalis 'Green Carpet' / Green Carpet Japanese Pachysandra	10 Flat		12" o.c.	207

PERENNIALS

[Symbol]	AB	Amsonia x 'Blue Ice' / Blue Ice Bluestar	10 Flat		24" o.c.	151
[Symbol]	ES	Echinacea x 'G0052Y' / Summersong™ Firefinch™ Coneflower	10 Flat		18" o.c.	172
[Symbol]	LG	Leucanthemum x superbum 'Goldfinch' / Goldfinch Shasta Daisy	10 Flat		18" o.c.	138

SHOREPOINT CHURCH
N34W22407 CAPITOL DRIVE
PEWAUKEE, WI 53072
LANDSCAPE ENLARGEMENT

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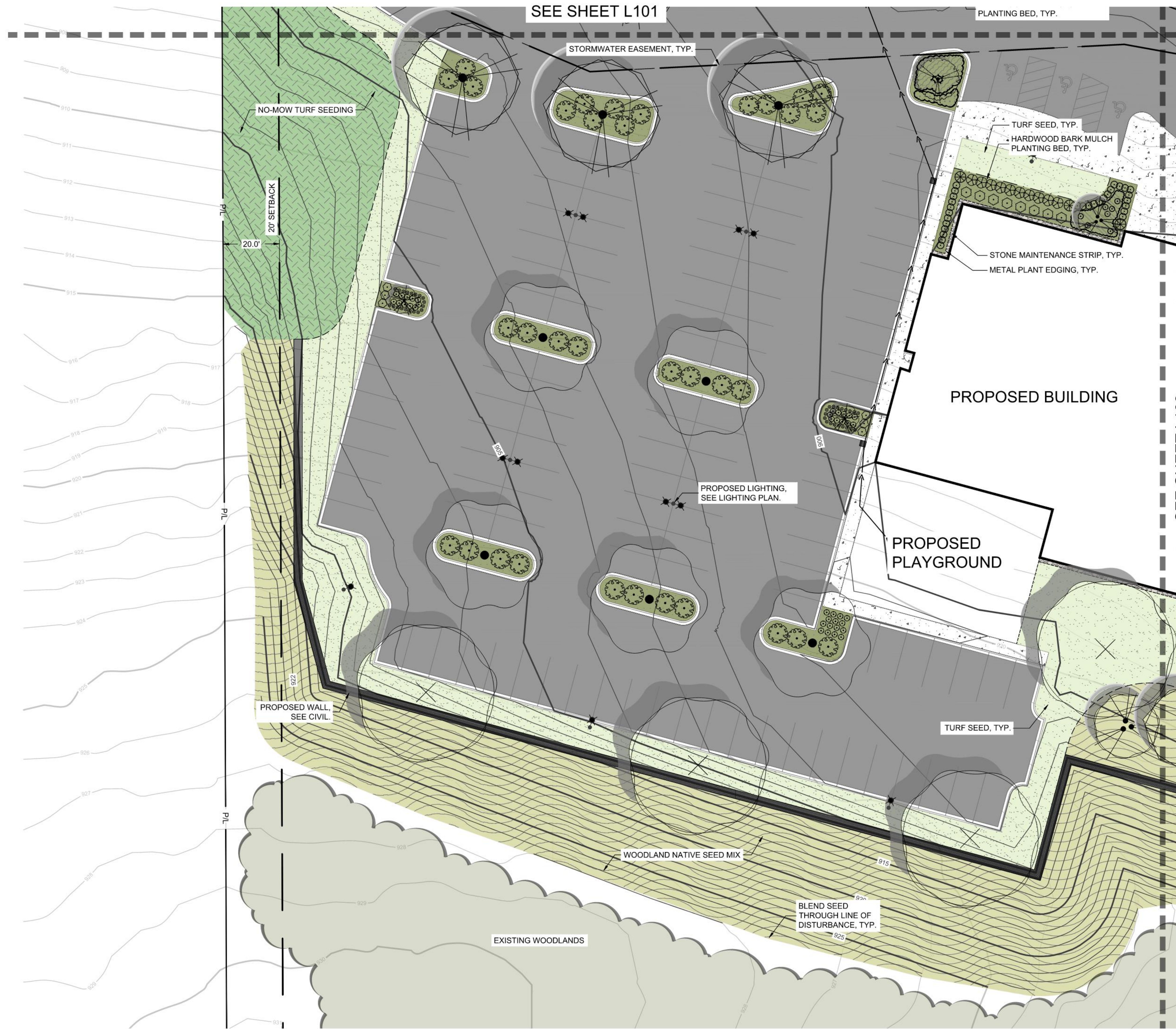
L103

TO OBTAIN LOCATIONS OF UTILITIES AND RECORD DRAWINGS FACILITIES BEFORE YOU DO ANY EXCAVATION

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

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MILW. AREA 259-1181

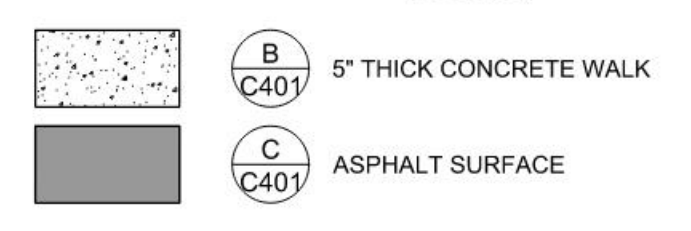
THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



LANDSCAPE LEGEND:



LEGEND:



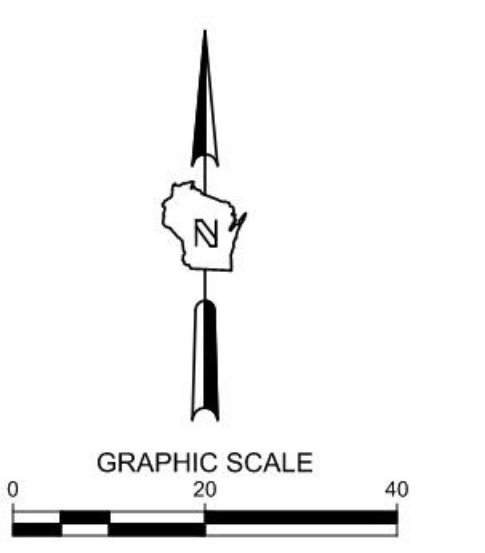
PLANT SCHEDULE L104

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	
DECIDUOUS TREES						
AS2	AS2	Acer x freemanii 'Sienna' / Sienna Glen® Maple	2.5" Cal.	B&B	3	
QS	QS	Quercus x schuettei / Swamp Bur Oak	2.5" Cal.	B&B	4	
UA	UA	Ulmus americana 'Princeton' / Princeton American Elm	2.5" Cal.	B&B	5	
ORNAMENTAL TREES						
AG2	AG2	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	8' Ht. (Multi-Stem)	B&B	1	
CC3	CC3	Cercis canadensis / Eastern Redbud	8' Ht. (Multi-Stem)	B&B	1	
MR2	MR2	Malus x 'JFS-KW5' / Royal Raindrops® Crabapple	2" Cal.	B&B	1	
MR	MR	Malus x 'Rejzam' / Rejoice™ Crabapple	2" Cal.	B&B	2	
DECIDUOUS SHRUBS						
HA	HA	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea	3 gal.	Cont.	8	
HB	HB	Hydrangea paniculata 'ILVOBO' / Bobo® Panicle Hydrangea	3 gal.	Cont.	6	
RA	RA	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal.	Cont.	34	
EVERGREEN SHRUBS						
BG	BG	Buxus x 'Glencoe' / Chicagoland Green® Boxwood	5 gal.	Cont.	10	
BG2	BG2	Buxus x 'Green Mound' / Green Mound Boxwood	3 gal.	Cont.	29	
BG5	BG5	Buxus x 'Green Mountain' / Green Mountain Boxwood	3 gal.	Cont.	3	
PERENNIALS						
DA	DA	Dicentra spectabilis 'Alba' / White Japanese Bleeding heart	1 gal.	Cont.	7	
HR	HR	Hemerocallis x 'Rosy Returns' / Rosy Returns Daylily	1 gal.	Cont.	38	
HX	HX	Hemerocallis x 'Sunday Gloves' / Sunday Gloves Daylily	1 gal.	Cont.	37	
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING	QTY
GROUND COVER						
PG2	PG2	Pachysandra terminalis 'Green Carpet' / Green Carpet Japanese Pachysandra	10 Flat		12" o.c.	170
PERENNIALS						
AB	AB	Amsonia x 'Blue Ice' / Blue Ice Bluestar	10 Flat		24" o.c.	49
ES	ES	Echinacea x 'G0052Y' / Summersong™ Firefinch™ Coneflower	10 Flat		18" o.c.	26

LANDSCAPE GENERAL NOTES:

1. VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
2. INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
3. COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
4. RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
5. CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF, GRASSES AND PLANTS. THESE SECTIONS PROVIDE ADDITIONAL INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
6. PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.

THE SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210



SHOREPOINT CHURCH
 N34W22407 CAPITOL DRIVE
 PEWAUKEE, WI 53072
 LANDSCAPE ENLARGEMENT

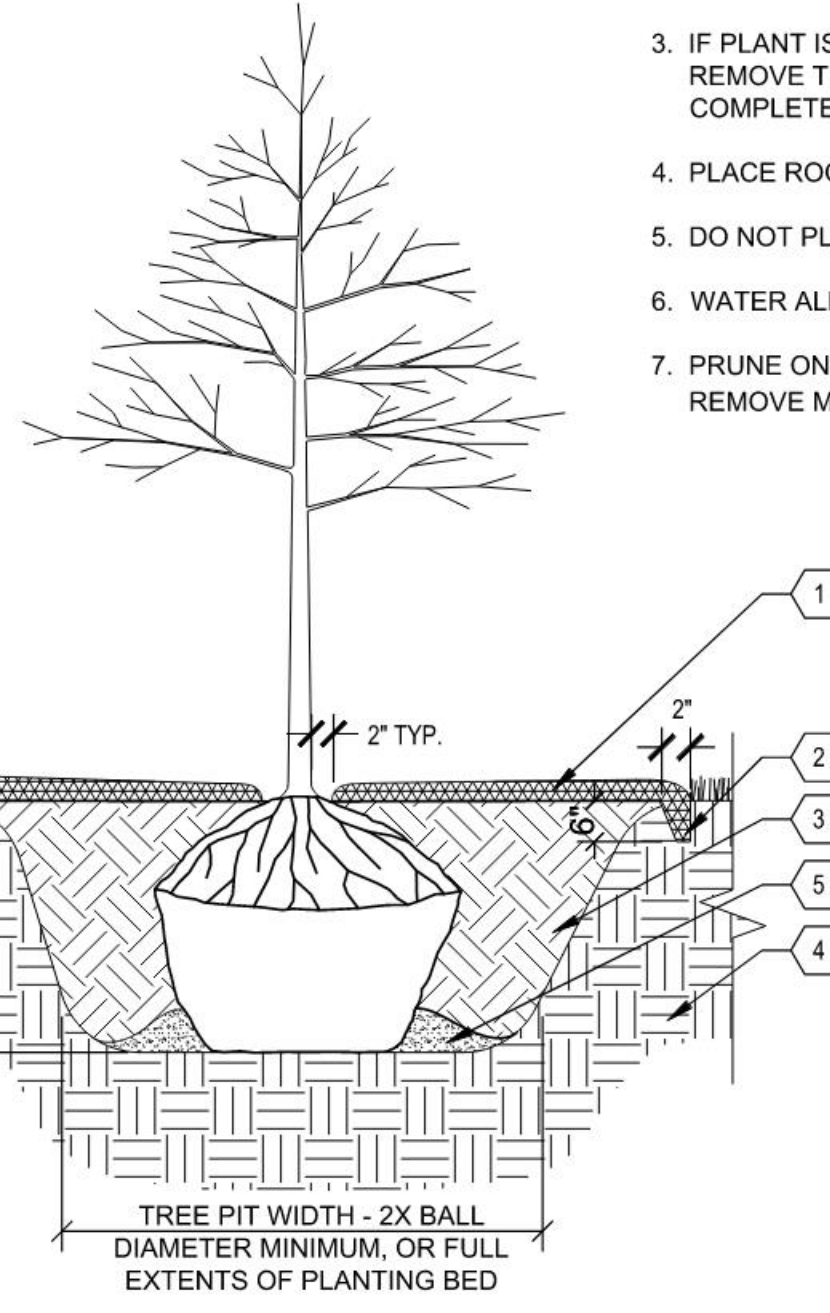
**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

ISSUANCE	DATE
NO. REVISION	DATE
PROJECT NO:	22074
DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.05
DRAWN BY:	HLV
CHECKED BY:	PJI
APPROVED BY:	---
SHEET NO:	L104



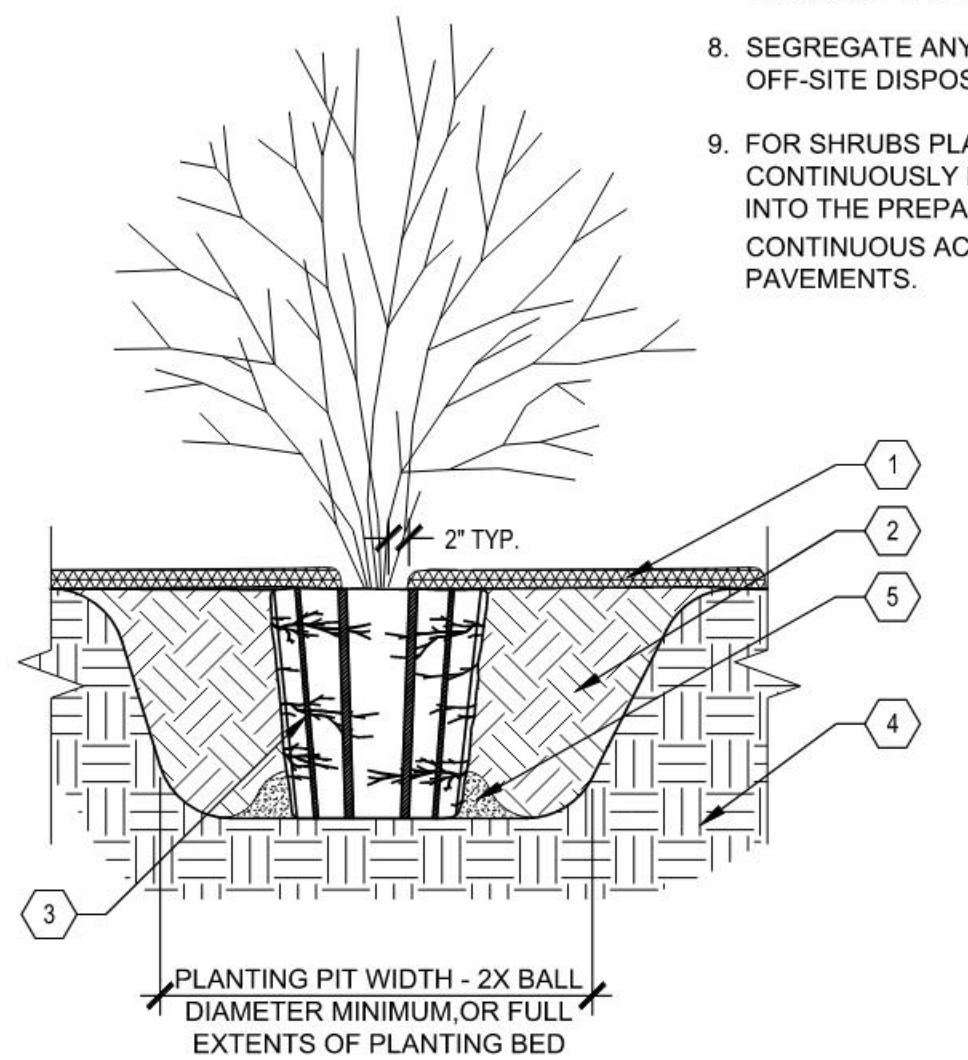
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 WE STATE (48.07(197A))
 REQUIRES MIN. 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181

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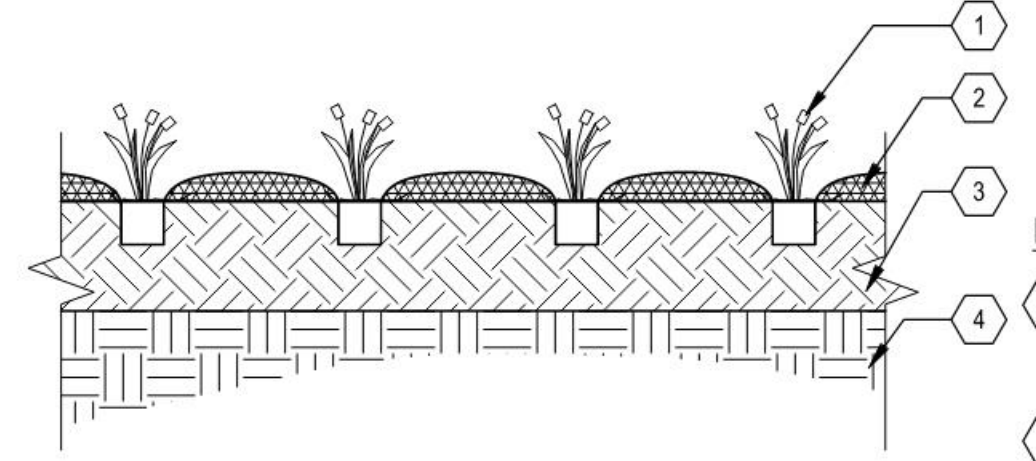
KEYED LEGEND

- 1 3" DEPTH SHREDDED HARDWOOD BARK MULCH. PROVIDE 4'-0" DIAMETER MULCH RINGS AT THE BASE OF ANY TREES PLANTED IN LAWN.
- 2 PROVIDE SPADED EDGE, 2" WIDE, 6" DEEP FOR ENTIRE PERIMETER OF BARK MULCH RINGS AT BASE OF TREES PLANTED IN LAWNS
- 3 PLANTING SOIL. PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED.
- 4 PREPARED SUBGRADE
- 5 TAMP SOIL AROUND BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT BALL DOES NOT SHIFT



KEYED LEGEND

- 1 3" DEPTH TWICE-SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE INDICATED, KEEP 2" CLEAR OF STEMS
- 2 PLANTING SOIL AS SPECIFIED. PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED
- 3 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND PERIMETER
- 4 PREPARED SUBGRADE
- 5 TAMP SOIL AROUND BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT BALL DOES NOT SHIFT



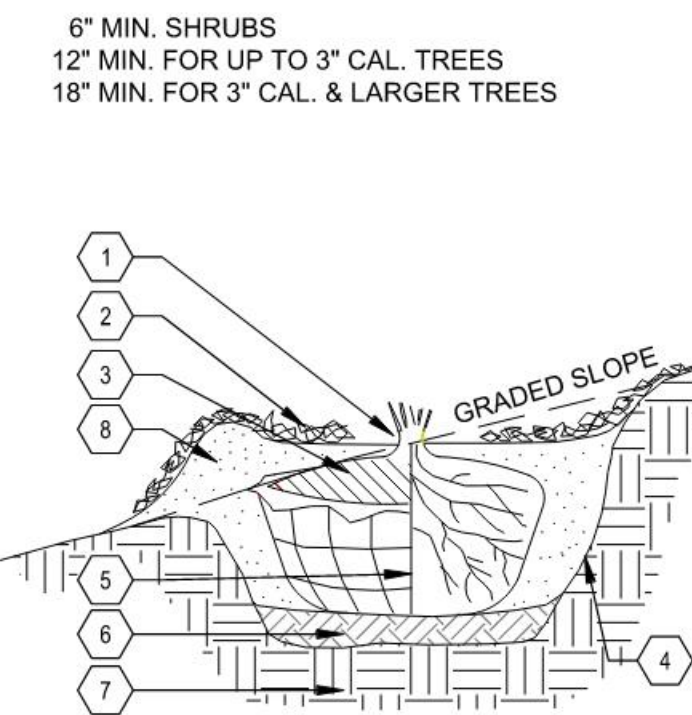
KEYED LEGEND

- 1 PERENNIAL, ORNAMENTAL GRASS, OR GROUNDCOVER PLUG, SEE LANDSCAPE PLAN SHEETS
- 2 3" DEPTH TWICE-SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE INDICATED, KEEP 3" CLEAR OF STEMS
- 3 PLANTING SOIL, PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED
- 4 PREPARED SUBGRADE

A TYPICAL TREE PLANTING
SCALE: N.T.S.

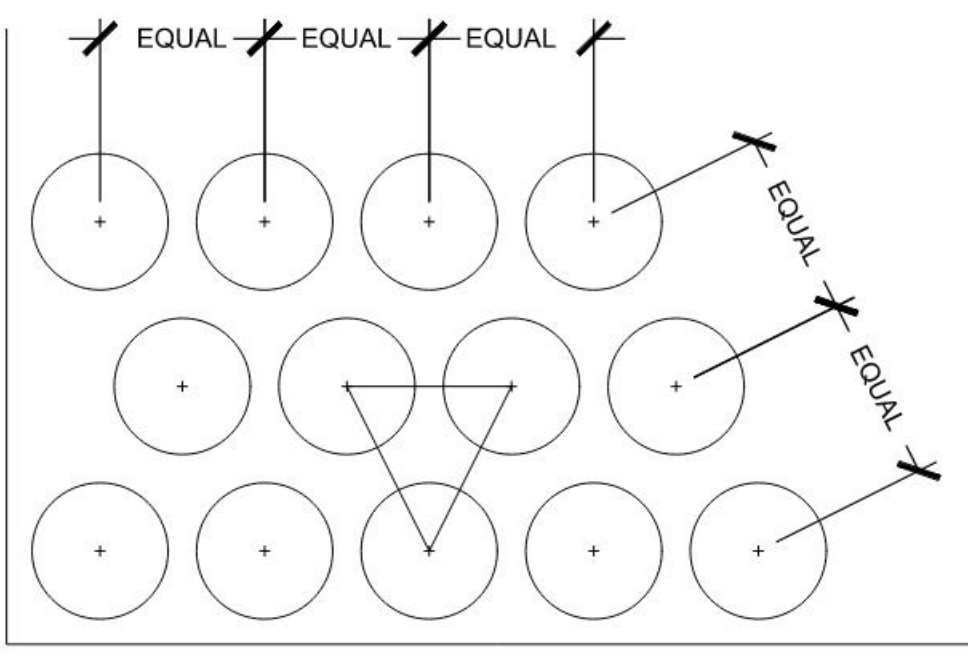
B TYPICAL SHRUB PLANTING
SCALE: N.T.S.

C TYPICAL PERENNIAL & ORNAMENTAL GRASS PLANTING
SCALE: N.T.S.



KEYED LEGEND

- 1 SET ROOT FLARE COLLAR AT SLOPE LINE
- 2 3" DEEP MULCH. DO NOT COVER ROOT FLARE
- 3 BALLED AND BURLAPPED PLANT
- 4 PLANTING BACKFILL, SCARIFY SIDES OF PLANT PIT.
- 5 BARE ROOT OR CONTAINER SHRUB
- 6 SCARIFY TO 4" DEPTH AND RECOMPACT. DEPTH AS REQUIRED
- 7 PREPARED SUBGRADE
- 8 ROUND TOPPED SOIL BERM 4" HIGH X 8" WIDE ABOVE ROOT BALL SURFACE AROUND THE TREE. BERM SHALL BE CENTERED ON DOWNHILL SIDE OF THE ROOTBALL FOR AT LEAST 245°.

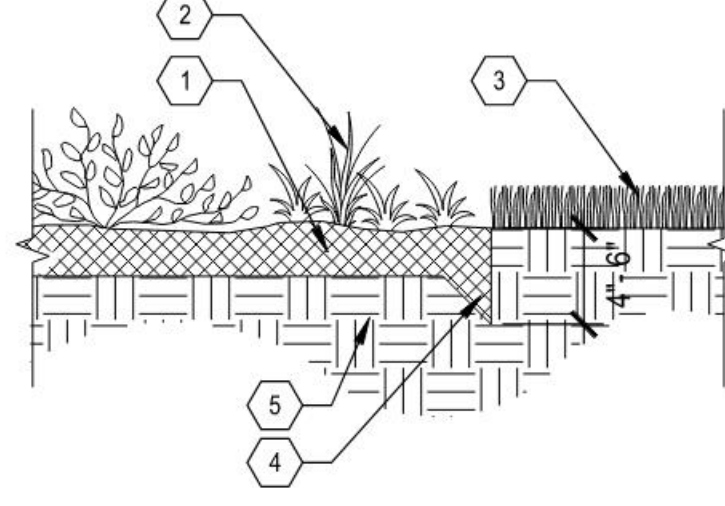


NOTES:

- 1. SET FINISH GRADE OF PLANTING AREA 2" BELOW FINISH SURFACE OF PAVING, CURB, OR HEADER
- 2. SEE PLANTING SCHEDULE FOR SPACING OF ALL SHRUBS AND GROUNDCOVERS
- 3. ALL SHRUBS / GROUNDCOVER TO BE PLANTED AT EQUAL SPACING (TRIANGULAR) UNLESS OTHERWISE INDICATED ON PLANS.
- 4. TO DETERMINE APPROPRIATE PLANT QUANTITIES REFER TO THE PLANTING SCHEDULE OR PLAN.

KEYED LEGEND

- 1 EDGE OF ADJACENT PAVEMENT
- 2 SHRUB, PERENNIAL OR ORNAMENTAL GRASS PLANT CENTER LOCATION



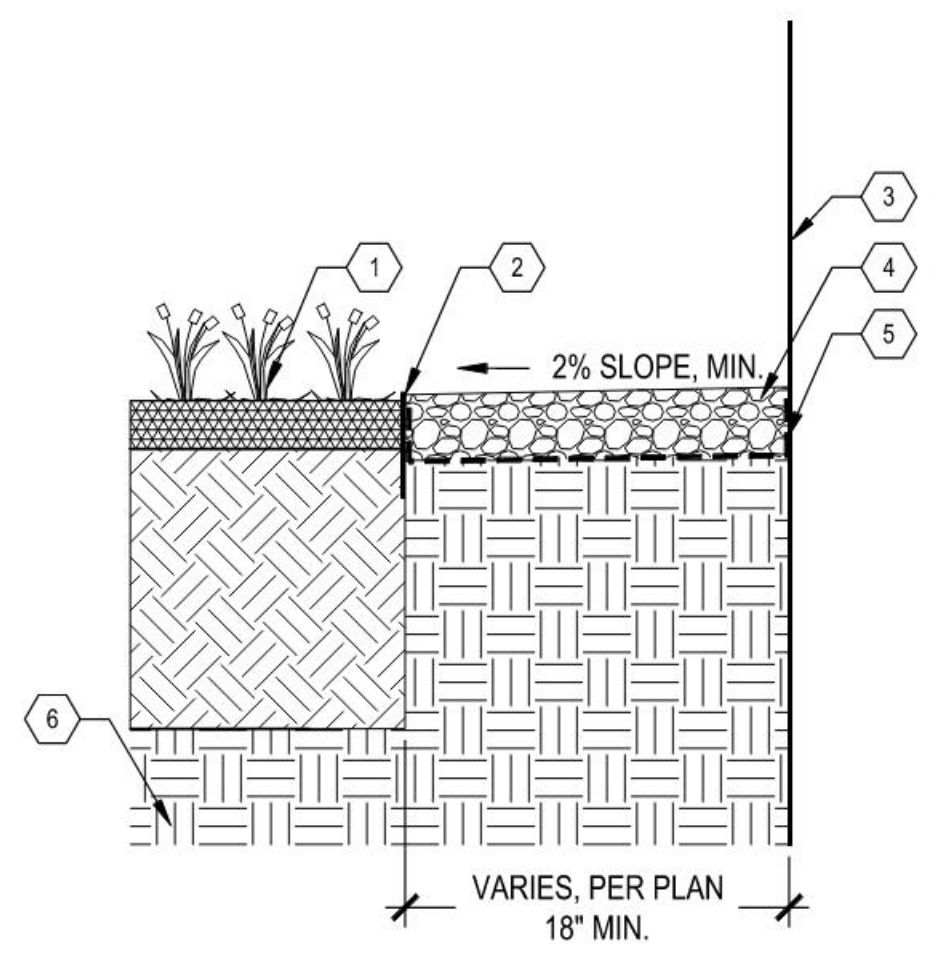
KEYED LEGEND

- 1 3" DEPTH OF MULCH LAYER
- 2 SHRUB PLANTING BED
- 3 LAWN ADJACENT TO PLANTING BED
- 4 45 DEGREE ANGLE SHOVEL CUT EDGE TOWARD PLANTING BED
- 5 COMPACTED SUBGRADE

F SHOVEL CUT PLANT EDGE
SCALE: N.T.S.

D TREE PLANTING ON SLOPE
SCALE: N.T.S.

E TYPICAL PLANT SPACING
SCALE: N.T.S.



KEYED LEGEND

- 1 ADJACENT PLANTING BED
- 2 BLACK ANODIZED ALUMINUM EDGING
- 3 BUILDING FACE
- 4 3" DEPTH STONE MULCH
- 5 WOVEN GEOTEXTILE FILTER FABRIC, WRAP UP SIDES OF BUILDING AND EDGING
- 6 PREPARED SUBGRADE

G STONE MAINTENANCE EDGE
SCALE: N.T.S.

SHOREPOINT CHURCH
 N34W22407 CAPITOL DRIVE
 PEWAUKEE, WI 53072

LANDSCAPE DETAILS

**PRELIMINARY
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ISSUANCE	DATE
NO. REVISION	DATE

PROJECT NO:	22074
DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.05
DRAWN BY:	HLY
CHECKED BY:	PJI
APPROVED BY:	---

SHEET NO: **L200**

PLANTING QUALITY ASSURANCE

- 1. PLANTS ARE TO BE INSPECTED UPON DELIVERY TO PROJECT SITE AND THE LANDSCAPE ARCHITECT OR OWNER'S PROJECT REPRESENTATIVE MAY REJECT ANY SPECIMENS NO LONGER MEETING THE SPECIFIED STANDARDS OR THAT HAVE BEEN DAMAGED IN TRANSIT.
2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES AND VARIETY/HYBRID/CULTIVAR SPECIFIED, AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES...
3. TREES:
3.1. SHALL BE TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, COMPACTNESS AND SYMMETRY...
3.2. WITH A DAMAGED, CUT OR CROOKED LEADER, ABRASION OF BARK, SUNSCALD, FROST CRACK...
3.3. SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS, AND BE FREE FROM PHYSICAL DAMAGE...
3.4. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH SOLID BALLS OF A DIAMETER NOT LESS THAN THAT RECOMMENDED BY THE AMERICAN STANDARDS FOR NURSERY STOCK...
4. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED WITHIN THE PLANT SCHEDULE.

PLANTING PROJECT CONDITIONS:

- 1. VERIFY SERVICE AND UTILITY LOCATIONS, AND DIMENSIONS OF CONSTRUCTION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.
2. INTERRUPTION OF EXISTING SERVICES OR UTILITIES; DO NOT INTERRUPT SERVICES OR UTILITIES UNLESS PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY SERVICES OR UTILITIES ACCORDING TO REQUIREMENTS INDICATED:
2.1. NOTIFY OWNER'S PROJECT REPRESENTATIVE NO FEWER THAN TWO DAYS IN ADVANCE OF PROPOSED INTERRUPTION OF EACH SERVICE OR UTILITY.
2.2. DO NOT PROCEED WITH INTERRUPTION OF SERVICES OR UTILITIES WITHOUT REPRESENTATIVE'S WRITTEN PERMISSION.
3. PLANTING RESTRICTIONS: PLANTING SHALL OCCUR DURING THE FOLLOWING ACCEPTABLE INSTALLATION PERIODS:
3.1. DECIDUOUS TREES AND SHRUBS - APRIL 15 TO OCTOBER 15.
3.2. NATIVE SEEDING AND TURFGRASS: APRIL 15 - OCTOBER 15
4. WEATHER LIMITATIONS: PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING TO BE PERFORMED WHEN BENEFICIAL AND OPTIMUM RESULTS MAY BE OBTAINED...
5. CONTRACTOR SHALL PROTECT ALL EXISTING AND/OR NEWLY INSTALLED PLANTS, LAWNS, AND GRASS AREAS FROM DAMAGE AT ALL TIMES...
6. EXAMINE AREAS TO RECEIVE PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE...
6.1. VERIFY THAT NO FOREIGN OR DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE CURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, OR ACID HAS BEEN DEPOSITED IN SOIL WITHIN PLANTING AREAS.
6.2. DO NOT MIX OR PLACE SOILS IN FROZEN, WET, OR MUDDY CONDITIONS.

PLANTING DELIVERY, STORAGE, & HANDLING:

- 1. BULK MATERIALS:
1.1. DO NOT DUMP OR STORE BULK MATERIALS NEAR STRUCTURES, UTILITIES, WALKWAYS AND PAVEMENTS, OR ON EXISTING TURF AREAS OR PLANTS.
2. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WIND BURN, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE...
3. HANDLE PLANTING STOCK BY ROOT BALL.
4. DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY...
4.1. SET BALLED STOCK ON GROUND AND COVER BALL WITH SOIL, PEAT MOSS, SAWDUST, OR OTHER ACCEPTABLE MATERIAL.
4.2. WATER ROOT SYSTEMS OF PLANTS STORED ON-SITE DEEPLY AND THOROUGHLY WITH A FINE-MIST SPRAY...
5. EXCAVATION FOR TREES & SHRUBS
5.1. EXCAVATE CIRCULAR PLANTING PITS AS INDICATED IN DRAWINGS...
5.2. DO NOT EXCAVATE DEEPER THAN DEPTH OF THE ROOT BALL...
5.3. IF AREA UNDER THE PLANT WAS INITIALLY DUG TOO DEEP, ADD SOIL TO RAISE IT TO CORRECT LEVEL...
5.4. MAINTAIN REQUIRED ANGLES OF REPOSE OF ADJACENT MATERIALS AS SHOWN IN DRAWINGS...
5.5. MAINTAIN SUPERVISION OF EXCAVATIONS DURING WORKING HOURS...
5.6. KEEP EXCAVATIONS COVERED OR OTHERWISE PROTECTED WHEN UNATTENDED BY INSTALLER'S PERSONNEL.
6. SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY BE USED AS PLANTING SOIL IF THEY CONFORM TO THE REQUIREMENTS LISTED IN THESE SPECIFICATIONS.
7. NOTIFY OWNER'S PROJECT REPRESENTATIVE IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS.
8. NOTIFY OWNER'S PROJECT REPRESENTATIVE IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PLANTING PITS.

EXCAVATION FOR TREES & SHRUBS

TREE & SHRUB PLANTING

- 1. BEFORE PLANTING VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL. IF ROOT FLARE IS NOT VISIBLE, REMOVE SOIL IN A LEVEL MANNER FROM THE ROOT BALL TO WHERE THE TOP-MOST ROOT EMERGES FROM THE TRUNK...
2. PLANTS FOUND TO HAVE STEM GIRDLING ROOTS AND/OR KINKED ROOTS AT THE TIME OF PLANTING WILL BE REJECTED AND REPLACEMENTS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
3. REMOVE ALL TWINE, STRING, WIRE, AND ALL OTHER NON-BIODEGRADABLE MATERIAL ENTIRELY FROM ROOT BALL AREA.
4. REMOVE ONLY DEAD, DYING, OR BROKEN BRANCHES. DO NOT PRUNE FOR SHAPE. DO CUT TREE LEADERS.
5. SET BALLED AND BURLAPPED STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 2 INCHES ABOVE ADJACENT FINISH GRADES.
5.1. USE SOIL MATERIALS FROM EXCAVATION FOR BACKFILL.
5.2. CAREFULLY CUT AND REMOVE BURLAP, ROPE, AND WIRE BASKETS FROM THE ENTIRE ROOT BALL...
5.3. BACKFILL AROUND ROOT BALL IN LAYERS, TAMPING TO SETTLE SOIL AND ELIMINATE VOIDS AND AIR POCKETS...
5.4. CONTINUE BACKFILLING PROCESS. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF SOIL.

TREE & SHRUB MATERIAL:

- 1. GENERAL: FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN AND DRAWINGS...
1.1. TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK...
1.2. COLLECTED STOCK. DO NOT USE PLANTS HARVESTED FROM THE WILD...
1.3. PLANT MATERIAL SHALL BE PROVIDED IN THE CONTAINER TYPE INDICATED IN THE DRAWINGS...
2. FURNISH TREES WITH ROOT BALLS MEASURED FROM TOP OF ROOT BALL. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
3. SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD.

PLANTING SOIL:

- PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE WIDTH OF LANDSCAPE AREAS, AND A MINIMUM OF 3X THE DIAMETER OF THE ROOT BALL LENGTHWISE
1. INSTALL PLANTING SOIL FOR PLANT BEDS IN 6" LIFTS, MINIMUM 8" DEPTH.
2. DO NOT APPLY PLANTING SOIL TO SATURATED OR FROZEN SUBGRADES.
3. PLANTING SOIL SHALL BE A MIX OF 6-PARTS TOPSOIL, 1-PART COMPOST...
3.1. THE PROJECT WILL ACCEPT ONLY CLEAN, SALVAGED OR IMPORTED TOPSOIL...
3.2. STRIPPED, SALVAGED, OR MINED TOPSOIL MUST BE TAKEN FROM THE TOP 6-INCHES OF THE A-HORIZON...
4. STANDARD PROFILE, COMMERCIAL-GRADE, EXTRUDED ALUMINUM EDGING, FABRICATED IN STANDARD LENGTHS WITH INTERLOCKING SECTIONS WITH LOOPS STAMPED FROM FACE OF SECTIONS TO RECEIVE STAKES.
4.1. BASIS OF DESIGN: CLEANLINE BY PERMALOC OR APPROVED EQUAL.
4.2. EDGING SIZE: 3/16-INCH-WIDE BY 5.5 INCHES DEEP
4.3. STAKES: ALUMINUM, ASTM 221, ALLOY 6061-T6, 18-INCHES LONG.
4.4. FINISH: BLACK DURAFLEX
4.5. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, AVAILABLE MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK...
5. INSTALL METAL EDGE IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
6. ENSURE THAT METAL EDGING IS PROPERLY INSTALLED AND SECURED BEFORE INSTALLING STONE MULCH.

METAL EDGING

- 1. STANDARD PROFILE, COMMERCIAL-GRADE, EXTRUDED ALUMINUM EDGING, FABRICATED IN STANDARD LENGTHS WITH INTERLOCKING SECTIONS WITH LOOPS STAMPED FROM FACE OF SECTIONS TO RECEIVE STAKES.
1.1. BASIS OF DESIGN: CLEANLINE BY PERMALOC OR APPROVED EQUAL.
1.2. EDGING SIZE: 3/16-INCH-WIDE BY 5.5 INCHES DEEP
1.3. STAKES: ALUMINUM, ASTM 221, ALLOY 6061-T6, 18-INCHES LONG.
1.4. FINISH: BLACK DURAFLEX
1.5. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, AVAILABLE MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK...
2. INSTALL METAL EDGE IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
3. ENSURE THAT METAL EDGING IS PROPERLY INSTALLED AND SECURED BEFORE INSTALLING STONE MULCH.

STONE MULCH MATERIAL & INSTALLATION:

- 1. SHALL BE HARD, DURABLE, STONE, WASHED FREE OF LOAM, SAND, CLAY, AND OTHER FOREIGN SUBSTANCES, OF THE FOLLOWING TYPE, SIZE RANGE, AND COLOR:
1.1. MATERIAL: ANGULAR WASHED STONE.
1.2. SIZE: 1-1/2" DIAMETER
1.3. DEPTH: 3" MINIMUM DEPTH PLACED IN ONE LIFT
1.4. COLOR RANGE: BLEND OF DARK GREY & BLUE TONES
1.5. BASIS OF DESIGN: 1-1/2" 'AMERICAN HERITAGE' AGGREGATE BY COUNTY MATERIALS.
2. LIGHTLY COMPACT AREAS TO RECEIVE STONE MULCH
3. INSTALL WEED BARRIER FABRIC IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS...
4. PLACE AND FINISH STONE MULCH AS INDICATED IN DRAWINGS, ENSURING A SMOOTH, LEVEL TOP SURFACE FOR ALL STONE MULCH AREAS HELD APPROXIMATELY 1/2" BELOW THE TOP SURFACE OF ADJACENT PAVED AREAS OR METAL EDGING.

BARK MULCH MATERIAL & INSTALLATION

- 1. TWICE-SHREDDED HARDWOOD BARK MULCH TO BE PROVIDED AS TOP-DRESSING FOR ALL AT-GRADE PLANTING BEDS IN LOCATIONS INDICATED ON PLANTING PLANS.
1.1. SIZE RANGE: MAXIMUM 2.5" TO 3"
1.2. COLOR: NATURAL, UN-DYED
1.3. PROVIDE 3" DEPTH MULCH FOR ALL PLANTING BEDS INDICATED AS BARK MULCH PLANTING BED.
2. KEEP BARK MULCH 2" CLEAR OF ALL STEMS OF PLANT MATERIAL.

TURF SEEDING:

- 1. DELIVERY:
1.1. DELIVER PACKAGED SEED MATERIALS IN ORIGINAL, UNOPENED CONTAINERS LABELED AS TO NAME AND ADDRESS OF SUPPLIER, SPECIFIC BLEND OF SEED, AND INDICATION OF CONFORMANCE WITH STATE AND FEDERAL LAWS, AS APPLICABLE.
2. PROJECT CONDITIONS:
2.1. SEED DURING ONE OF THE FOLLOWING PERIODS.
2.1.1. SPRING SEEDING SEASON: APRIL 1 TO JUNE 15.
2.1.2. FALL SEEDING SEASON: AUGUST 15 TO OCTOBER 1.
3. PRODUCTS
3.0.1. PROVIDE THE FOLLOWING FOR TURFGRASS SEED BASIS OF DESIGN: REINDEERS DELUXE 50 SEED MIX OR APPROVED EQUAL
3.0.2. TURFGRASS SEED MIX TO BE FERTILIZED WITH 'SCOTT'S STARTER FERTILIZER' BY THE 'SCOTT'S MIRACLE-GRO COMPANY' OR APPROVED EQUAL.
4. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN MET.
5. REMOVE ANY AND ALL UNDESIRABLE VEGETATION THAT HAS GERMINATED IN THE AREAS TO BE SEEDED OR SODDED...
6. FINISH GRADING: GRADE AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE...
7. MOISTEN PREPARED AREA BEFORE SEEDING IF SOIL IS DRY...
8. NO SEEDING SHALL OCCUR ON FROZEN GROUND OR AT TEMPERATURES LOWER THAN 32 DEGREES FARENHEIT...
9. SEEDING RATES TO BE PERFORMED IN ACCORDANCE WITH SEED SUPPLIER RECOMMENDATIONS.

NATIVE SEEDING:

- 1. PROVIDE THE FOLLOWING SEED TYPES FROM: AGRECOL LLC 10101 N. CASEY ROAD EVANSVILLE, WISCONSIN 53536:
1.1. AGRECOL'S 'XXXXXX' MIX' FOR AREAS SHOWN AS 'XXXXXXX SEED MIX'
1.2. AGRECOL'S 'XXXXXX' SEED MIX' FOR AREAS SHOWN AS 'XXXXXXXXXX SEED MIX'
1.3. REFER TO DETAIL XXXXXX ON SHEET L2XX, FOR SEED MIX COMPOSITION.
2. REFER TO CIVIL PLANS FOR LOCATIONS AND EXTENTS OF EROSION CONTROL MAT...
3. WITHIN 4 WEEKS FOLLOWING THE ISSUANCE OF THE NOTICE TO PROCEED...
4. ALL SEED MATERIAL SHALL ORIGINATE FROM LOCAL SOURCES TO THE EXTENT POSSIBLE...
5. ALL SEEDING ZONE BOUNDARIES SHALL BE SURVEYED AND STAKED ON THE PROJECT SITE...
6. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST SEED LIMITS WITHOUT ADJUSTING TOTAL SEEDED AREAS...
7. COORDINATION IS REQUIRED TO ENSURE RAINFALL/GROUNDWATER SEEPAGE DOES NOT RESULT IN SOIL MOISTURE CONDITIONS THAT WILL CAUSE EXCESSIVE RUTTING...
8. WHERE SEEDING OCCURS IN CLOSE PROXIMITY TO OTHER SITE IMPROVEMENTS OR AREAS TO REMAIN UNDISTURBED...
9. FOLLOWING NATIVE SEED MIX INSTALLATION...
10. GENERAL INSTALLATION:
10.1. SEEDING OF NATIVE SEED MIXES SHALL OCCUR IN THE EARLY SPRING:
10.1.1. APRIL 15 THROUGH MAY 31.
10.2. DO NOT SOW SEED DURING ADVERSE WEATHER...
10.3. DO NOT SOW SEED IN AREAS WHERE STANDING WATER IS PRESENT.
11. GRADE PREPARATION:
11.1. SUBGRADE AND FINISH GRADE PREPARATION SHALL BE IN ACCORDANCE...
11.2. PRIOR TO SEEDING, REPAIR ANY RUTS, RILLS, OR GULLIES...
11.3. IF THE PREPARED GRADE IS ERODED OR COMPACTED...
11.4. IMMEDIATELY BEFORE SEEDING, SCARIFY, LOOSEN, FLOAT, AND DRAG TOPSOIL...
11.5. NO FURTHER GRADE PREPARATION IS REQUIRED.
12. IF REQUIRED DUE TO CONSTRUCTION SEQUENCING...
12.1. IF SEEDED MAY 15 THROUGH SEPTEMBER 1: MIX OF 32 POUNDS PER ACRE OF SEED OATS...
12.2. IF SEEDED SEPTEMBER 1 THROUGH OCTOBER 15: 20 POUNDS PER ACRE WINTER WHEAT...
13. BROADCASTING:
13.1. FOR SPRING SEEDING OF NATIVE SEED...
13.2. INCREASE THE VOLUME OF THE BROADCASTED SEED MIX...
13.2.1. USE HALF OF THE TOTAL SEED QUANTITY...
13.2.2. LIGHT SEEDS, AWNED SEEDS, OR BEADED SEEDS...
13.2.3. RAKE OR DRAG THE SEED INTO THE SOIL...
14. DRILL SEEDER OR DROP SEEDER/SPREADER:
14.1. FOR SPRING DRILL SEEDING...
14.2. CHECK THE EQUIPMENT FREQUENTLY...

- 14.3. IF THE EQUIPMENT IS NOT EQUIPPED WITH A ROLLER...
14.3.1. DO NOT MIX THE NATIVE SEED WITH ANY CARRIER MATERIAL.
14.3.2. EVENLY DISTRIBUTE THE SEED ACROSS THE ENTIRE SITE...
14.4. KEEP THE TOPSOIL MOIST...
15. ALL AREAS OVER WHICH HAULING OPERATIONS HAVE BEEN CONDUCTED...
16. UPON COMPLETION OF SEED INSTALLATION...
17. RESTORE ANY EXISTING AREAS DAMAGED BY OPERATIONS...
18. ANY DAMAGE BY THE CONTRACTOR TO ESTABLISHED OR NEWLY SEEDED AREAS...

CLEAN-UP AND PROTECTION

- 1. DURING PLANTING, KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN...
2. PROTECT PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS...
3. AFTER INSTALLATION REMOVE ALL NURSERY TAGS, NURSERY STAKES, TIE TAPE, LABELS, WIRE, STRING, AND OTHER DEBRIS...

VEGETATION MONITORING AND MANAGEMENT

MANAGEMENT AND MONITORING: THE MANAGEMENT AND MONITORING OF NATIVE PLANTINGS...
UNDESIRABLE PLANT CONTROL: OVERALL MANAGEMENT OF VEGETATED AREAS MAY INCLUDE...
SHORT-TERM VEGETATION MANAGEMENT: SHORT-TERM VEGETATION MANAGEMENT (MAINTENANCE PERIOD...

INSPECTIONS SHOULD BE MADE FREQUENTLY DURING THE GROWING SEASON...
LONG TERM VEGETATION MANAGEMENT: LONG-TERM MANAGEMENT (AFTER MAINTENANCE AGREEMENT ENDS)...

MOWING FREQUENCIES:

MOWING FREQUENCIES WILL DEPEND ON FIELD CONDITIONS...
MOWING SHOULD BE DONE THREE (3) TIMES DURING THE ESTABLISHMENT PERIOD:

ACTIVITY	TIMING	SUGGESTED MOWING HEIGHTS	REASON
FIRST MOWING	LATE MAY - EARLY JUNE	NO LESS THAN (6) INCHES	TARGET EARLY WEEDS
SECOND MOWING	EARLY AUGUST	NO LESS THAN (12) INCHES	CONTROL WARM SEASON WEED GROWTH
THIRD MOWING	LATE OCTOBER		VEGETATION SHOULD BE DORMANT

MOWING TIMES ARE APPROXIMATE: ACTUAL MOWING TIMES SHOULD BE BASED ON THE GROWTH OF NATURAL GRASSES AND UNDESIRABLE WEEDS.

AFTER THE DESIRED VEGETATION HAS BECOME ESTABLISHED THE FIRST AND SECOND MOWINGS (MAY, AUGUST) MAY NOT BE NECESSARY...
BURNING (IF APPROPRIATE FOR SITE): PRIOR TO BURNING, CONTACT WITH THE LOCAL MUNICIPALITY / FIRE DEPARTMENT IS REQUIRED...

IF ALLOWED BY LOCAL CODE AND ORDINANCES, ONLY BURN WHEN THE DEAD VEGETATION MATTER CAN SUSTAIN FIRE...
L300



SHOREPOINT CHURCH
N34W22407 CAPITOL DRIVE
PEWAUKEE, WI 53072
LANDSCAPE SPECIFICATIONS



ISSUANCE	DATE
----	----
NO. REVISION	DATE
----	----
PROJECT NO:	22074
DESIGN DATE:	2023.11.16
PLOT DATE:	2024.09.05
DRAWN BY:	HLJ
CHECKED BY:	PJI
APPROVED BY:	----
SHEET NO:	L300



Shorepoint Church Development Traffic Impact Analysis

WisDOT Log #254207

City of Pewaukee
Waukesha County, Wisconsin

September 16, 2024



TRAFFIC IMPACT ANALYSIS
FOR:

SHOREPOINT CHURCH DEVELOPMENT

CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN
(WisDOT Log #254207)

DATE SUBMITTED: September 16, 2024

PREPARED FOR:

Vanman Architects and Builders
6701 W 23rd Street
Minneapolis, MN 55426
Phone: (763) 541-9552
Contact Persons: Angie Knodel

PREPARED BY:

Traffic Analysis & Design, Inc.
P.O. Box 128
Cedarburg, WI 53012
Phone: (800) 605-3091

Contact Persons: Don Lee, P.E.

(WisDOT TIA Certification # SE05-804-046)

John Bieberitz, P.E., PTOE

(WisDOT TIA Certification # SE05-804-044)

“I certify that this Traffic Impact Analysis has been prepared by me or under my immediate supervision and that I have experience and training in the field of traffic and transportation engineering.”

Donald J. Lee, P.E.
Wisconsin Registration #35214-006
Traffic Analysis & Design, Inc.

**Shorepoint Church Development
Traffic Impact Analysis
Table of Contents**

LIST OF EXHIBITS ii

LIST OF APPENDICES iii

CHAPTER I – INTRODUCTION & EXECUTIVE SUMMARY 1

 Part A – Purpose of Report and Study Objectives 1

 Part B – Executive Summary 1

CHAPTER II – PROPOSED DEVELOPMENT 4

 Part A – On-Site Development 4

 Part B – Study Area 4

 Part C – Off-Site Land Use and Development 5

 Part D – Site Accessibility 5

CHAPTER III – ANALYSIS OF EXISTING CONDITIONS 6

 Part A – Physical Characteristics 6

 Part B – Traffic Volumes 6

 Part C – Capacity Level of Service 6

 Part D – Sources of Data 7

CHAPTER IV – DEVELOPMENT TRAFFIC 8

 Part A – Traffic Forecasting 8

 Part B – Build Traffic 8

CHAPTER V – TRAFFIC AND IMPROVEMENT ANALYSIS 9

 Part A – Site Access 9

 Part B – Capacity Level of Service Analysis 9

 Part C – Queueing Analysis 9

 Part D – Pedestrian, Bicycle and Transit Considerations 10

 Part E – Speed Considerations/Sight Distance 10

CHAPTER VI – RECOMMENDATIONS AND CONCLUSION 11

 Part A – Recommendations 11

 Part B – Conclusion 12

LIST OF EXHIBITS

- Exhibit 1-1Project Overview Map
- Exhibit 1-2A.....Conceptual Site Plan
- Exhibit 1-2B.....Conceptual Floor Plan
- Exhibit 1-3Recommended Modifications

- Exhibit 2-1Project Overview Map
- Exhibit 2-2A.....Conceptual Site Plan
- Exhibit 2-2B.....Conceptual Floor Plan
- Exhibit 2-3Anticipated Staging Detail

- Exhibit 3-1Existing Transportation Detail
- Exhibit 3-2Existing Traffic Volumes
- Exhibit 3-3Existing Traffic Operations – Without Modifications

- Exhibit 4-3On-Site Trip Generation & Distribution Tables
- Exhibit 4-4Trip Distribution Diagram
- Exhibit 4-5A.....On-Site New Trips - Both Access Driveways
- Exhibit 4-5B.....On-Site New Trips - West Access Driveway Only
- Exhibit 4-11A....Full Build (Both Access Driveways) Traffic
- Exhibit 4-11B....Full Build (West Access Driveway Only) Traffic

- Exhibit 5-3A.....Full Build (Both Access Driveways) Traffic Operations – Without Modifications
- Exhibit 5-3B.....Full Build (West Access Driveway Only) Traffic Operations – Without Modifications

- Exhibit 5-12A....Full Build (Both Access Driveways) Traffic Operations – With Modifications
- Exhibit 5-12B....Full Build (West Access Driveway Only) Traffic Operations – With Modifications

- Exhibit 5-18Existing Traffic Volumes – Maximum Queue Lengths
- Exhibit 5-19A....Full Build (Both Access Driveways) Traffic – Maximum Queue Lengths
- Exhibit 5-19B....Full Build (West Access Driveway Only) Traffic – Maximum Queue Lengths
- Exhibit 5-27Intersection Sight Distance Analysis

LIST OF APPENDICES

Appendix A...Traffic

PHF & Truck Percentage Summary Table
Existing Turning Movement Counts
Saturation Flow Rate Calculations
Existing Traffic Signal Timings & Plans
ISD Calculations
Trip Generation Comparison

Appendix B ...Existing Peak Hour Analysis Outputs

Year 2024 Existing Traffic

Appendix C ...Build Peak Hour Analysis Outputs

Year 2026 Full Build (Both Access Driveways) Traffic
Year 2026 Full Build (West Access Driveway Only) Traffic

Appendix D...Improvement Peak Hour Analysis Outputs

Year 2026 Full Build (Both Access Driveways) Traffic – with Modifications
Year 2026 Full Build (West Access Driveway Only) Traffic – with Modifications

CHAPTER I – INTRODUCTION & EXECUTIVE SUMMARY

PART A – PURPOSE OF REPORT AND STUDY OBJECTIVES

A church development is being proposed to be located along the south side of the State Trunk Highway (STH) 190, west of Duplainville Road in the City of Pewaukee, Wisconsin. Traffic Analysis & Design, Inc. has been retained to determine the additional traffic expected to be generated by the development and to identify roadway modifications, if any, attributed to the new development for the opening year (2026) full build traffic scenario.

This report documents the procedures, findings, and conclusions of the traffic impact analysis. The analysis identifies recommended modifications based on existing intersection geometrics and additional traffic expected to be generated by the proposed development within the limits of the study area.

PART B – EXECUTIVE SUMMARY

The executive summary includes a description of the study area, description of the proposed development and conclusions based on the findings of the TIA.

B1. Location of Study Site with Respect to Area Roadway Network

Based on discussions with WisDOT and the City of Pewaukee and as shown in [Exhibit 1-1](#), the study area for the proposed church development includes the following intersections:

- Node 100: STH 190 with Wethersfield Road (one-way stop control)
- Node 200: STH 190 with Proposed West Driveway (one-way stop control)
- Node 300: STH 190 with Springdale Road/Gumina Road (traffic signal control)
- Node 400: Duplainville Road with Proposed East driveway (one-way stop control)

B2. On-Site Development Description and Timings

As shown on the conceptual site plans in [Exhibit 1-2A](#), the following land uses are assumed for the proposed development site:

- Church – 350 attendees per service (27,745 square feet with 600 total seats)

A floor plan for the proposed church is also provided in [Exhibit 1-2B](#). As shown, in addition to the worship space, the church is expected to include classrooms, meeting rooms and common spaces for gathering before and after services. The classrooms are not intended for weekday school use. Parking is proposed along the north, east and west sides of the building with 300 total spaces provided.

Based on discussions with the church administration, service schedules are planned for Sunday mornings at 9:00am and 10:30am with services lasting 60 to 70 minutes. This is the same schedule as the adjacent Spring Creek Church located at the Capitol Drive intersection with Springdale Road. Attendance at the two services for the proposed church are expected to be similar.

It is anticipated that the full buildout will occur in Year 2026; therefore, full build out of the church development site is included in the year 2026 full build traffic scenario.

B3. Off-Site Development Description and Timings

No off-site developments were identified within the study area.

B4. Generated Traffic

Upon full build-out, the proposed church development is expected to generate 305 new trips (150 entering/155 exiting) during each of the Sunday morning services.

B5. Site Access

As shown on the conceptual site plan in [Exhibit 1-2A](#), two access driveways are proposed for the church development. A right-in/right-out driveway is proposed along Capitol Drive, located about 1,200-feet east of Wethersfield Road. A second potential full access driveway is proposed along Duplainville Road, located immediately south of the Capitol Drive overpass bridge. The TIA analyzed the study intersections with and without the second access on Duplainville Road.

B6. Year 2024 Existing Traffic – Recommended Modifications

The study area intersections were analyzed based on the procedures set forth in the *Highway Capacity Manual* (HCM), 6th Edition. Intersection operation is defined by “level of service.” Level of Service (LOS) is a quantitative measure that refers to the overall quality of flow at an intersection ranging from very good, represented by LOS ‘A,’ to very poor, represented by LOS ‘F.’ For the purpose of this study, LOS D or better was used to define desirable peak hour operating conditions.

The Year 2024 existing traffic volumes do not include any proposed development. The analysis was conducted using existing intersection geometrics and traffic control. No modifications are recommended to accommodate the Year 2024 existing traffic volume conditions.

All movements at the study area intersections are currently operating acceptably at LOS D or better under the Year 2024 existing traffic volume conditions under current traffic volume conditions during the two Sunday morning peak periods except the southbound movements at the Capitol Drive intersection with Wethersfield Road which are currently operating at LOS F during the typical Sunday morning 11:30 am peak hour.

B7. Year 2026 Full Build Traffic – Recommended Modifications

Year 2026 full build (with development) traffic volumes include full build out of the church development site located along the south side of the STH 190 immediately west of Duplainville Road. The following modifications, as shown in [Exhibit 1-3](#), are recommended to accommodate the full build traffic volumes.

Node 100: STH 190 & Wethersfield Road

- No modifications recommended.

Node 200: STH 190 & Proposed West Driveway

- Provide a new right-in/right-out driveway on the south approach as shown on the site plan.
- Provide stop sign control on the south approach of the new access driveway.
- Provide a dedicated right-turn lane on the west approach.

Node 300: STH 190 & Springdale Road/Gumina Road

- No modifications recommended.

Node 400: Duplainville Road & Proposed East Driveway

- Provide a full access driveway on the west approach as shown on the site plan.
- Provide stop sign control on the west approach of the new access driveway.

Higher delays are currently being experienced for the southbound movements at the Capitol Drive intersection with Wethersfield Road during the typical late Sunday morning service discharge peak hour. However, with excess capacity at the intersection (V/C less than 0.25), relatively low volumes on this southbound approach (less than 20 vehicles during any peak hour) and queues of only about 1 vehicle, no modifications are recommended for this condition.

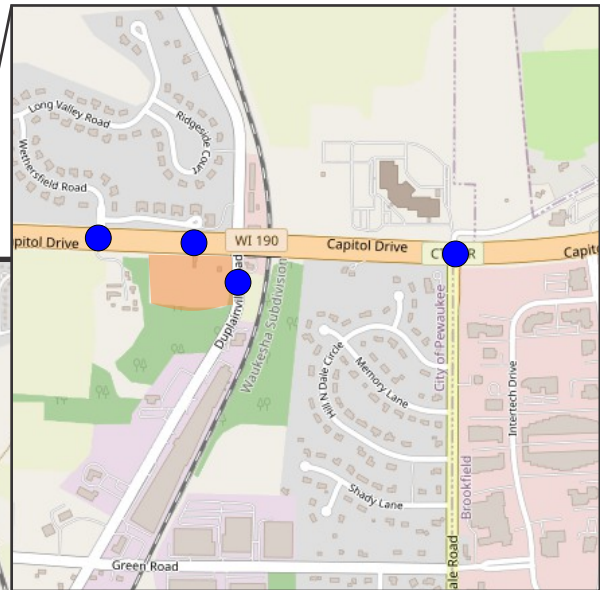
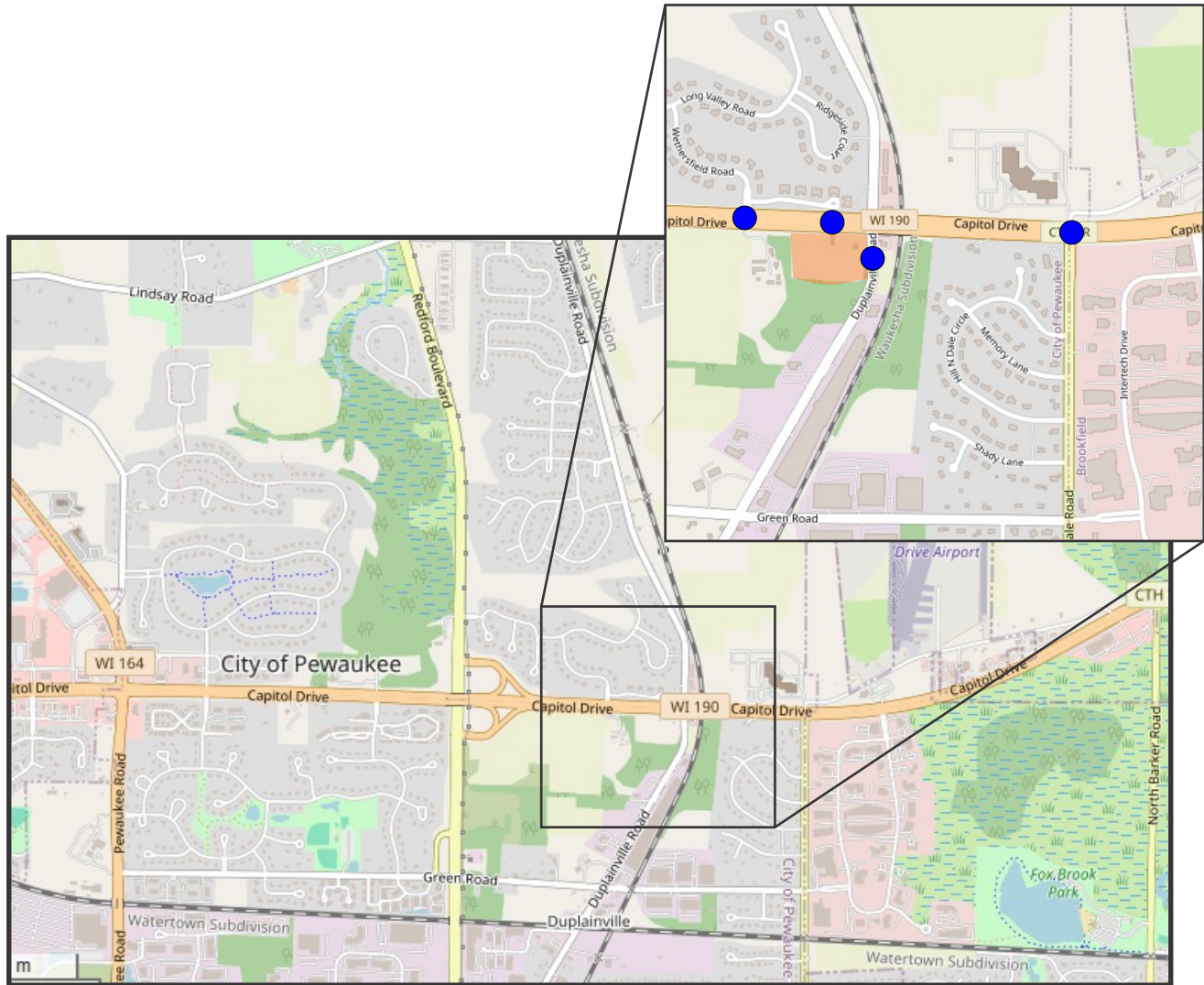
Under the full build traffic conditions, regardless of the access scenario constructed, delays for the southbound movements on Wethersfield Road are expected to increase during both Sunday morning service peak periods. However, under both peak periods, the capacity ratios are still less than 0.31 with queues of about 1 vehicle reported. No modifications are recommended for this condition.

Most members are expected to utilize Capitol Drive to access the site with very little traffic expected to use Duplainville Road. However, acceptable operational delays with minimal queuing are expected at both access driveways under either access option (with or without the additional access driveway onto Duplainville Road). Therefore, providing two access driveways to allow for additional access options is recommended.

Sight distance was also evaluated at the Capitol Drive intersection with the proposed access drive and all required sight distance requirements are expected to be met. Except as noted, all movements at the study area intersections are expected to continue to operate at acceptable levels at LOS D or better under the year 2026 full build (with proposed development) traffic conditions.

B8. Conclusion

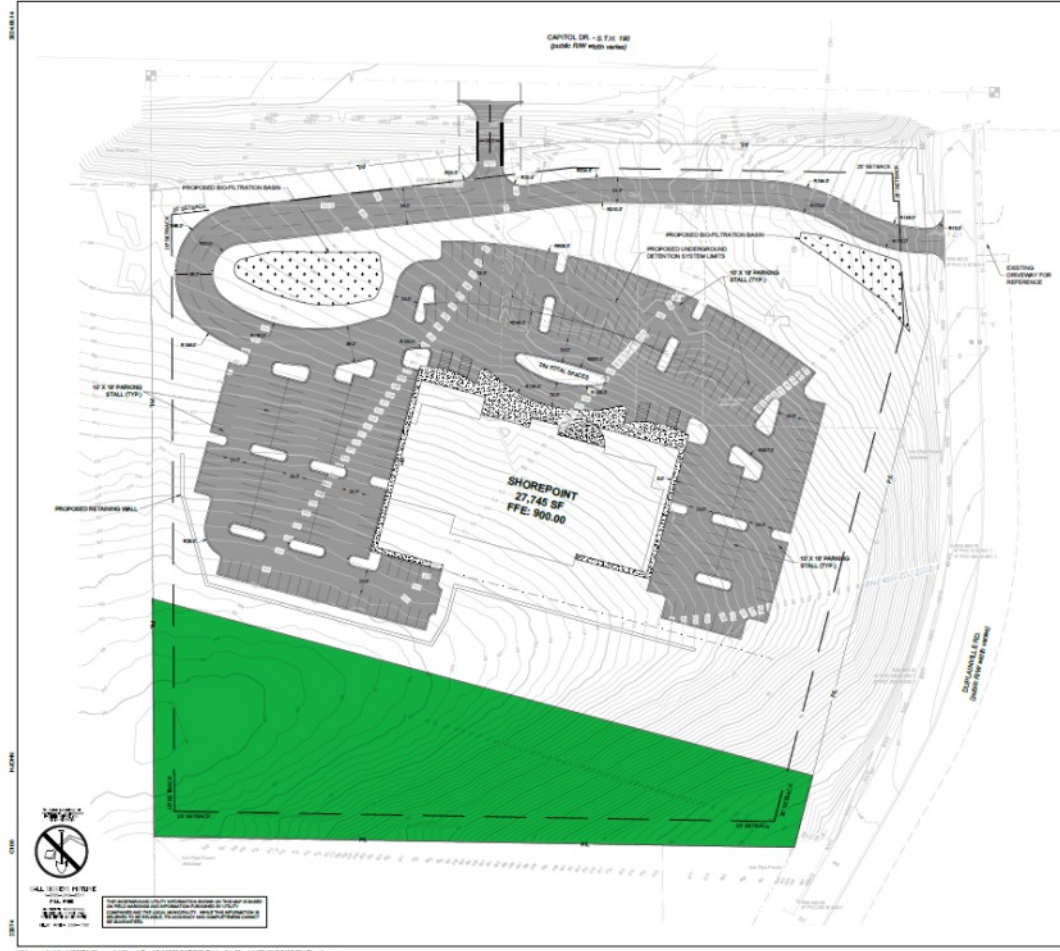
Except as noted, all movements at the study area intersections are expected to operate safely and efficiently through the opening year with the full build out of the development and the modifications identified in this TIA.



LEGEND

- Study Area Intersection
- Proposed Site Location





SITE INFORMATION	
SITE AREA	15.19 AC
SITE CAPTURED AREA	8.09 AC
EXISTING IMPERVIOUS AREA	0.32 AC (2.1%)
PROPOSED IMPERVIOUS AREA	10.84 AC (71.3%)
TOTAL IMPERVIOUS	11.16 AC (73.4%)
PERMISSIBLE SPACES	7



SHOREPOINT CHURCH
 N34W22407 CAPITOL DRIVE
 PEWAUKEE, WI 53072

SITE PLAN

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUANCE	DATE

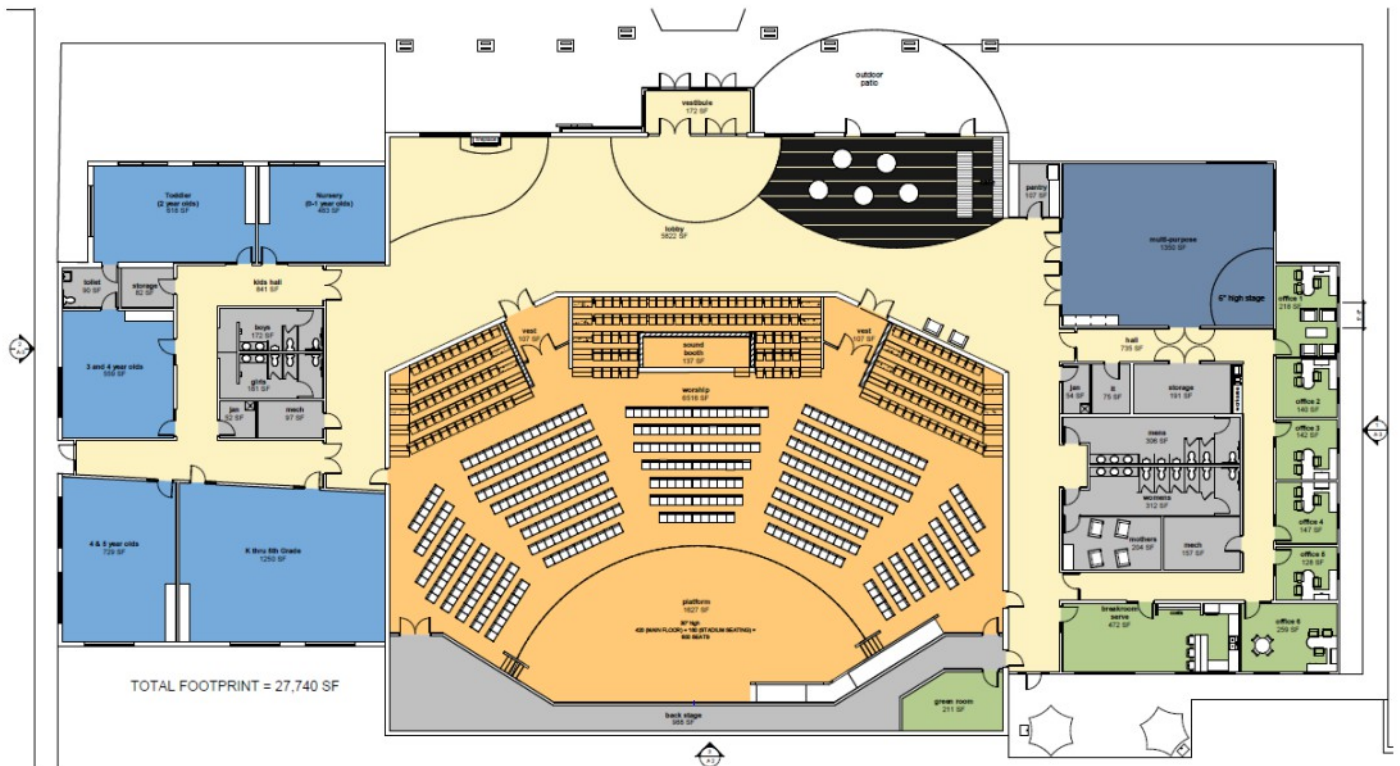
NO. REVISION	DATE

PROJECT NO:	23074
PROJECT NAME:	PROJECT 18
SHEET DATE:	10/28/24
DRAWN BY:	KJB
CHECKED BY:	KJB
APPROVED BY:	---
SHEET NO.:	C100

- GENERAL NOTES**
- THE INFORMATION CONTAINED HEREIN IS FOR CONSTRUCTION PURPOSES ONLY. IT IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE DESIGNER ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.
 - VERIFY ALL LOCATIONS AND HEIGHTS IN THE FIELD. ALL UTILITIES, SURVEYING, AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND THE INTERNATIONAL ELECTRIC CODE (IEC).
 - ELECTRICITY, GAS, AND WATER SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND THE INTERNATIONAL ELECTRIC CODE (IEC).
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ELECTRIC CODE (IEC).



**EXHIBIT 1-2A
CONCEPTUAL SITE PLAN**



SHOREPOINT CHURCH


A-1 **Vab VANMAN** architects and builders
 June 14, 2024

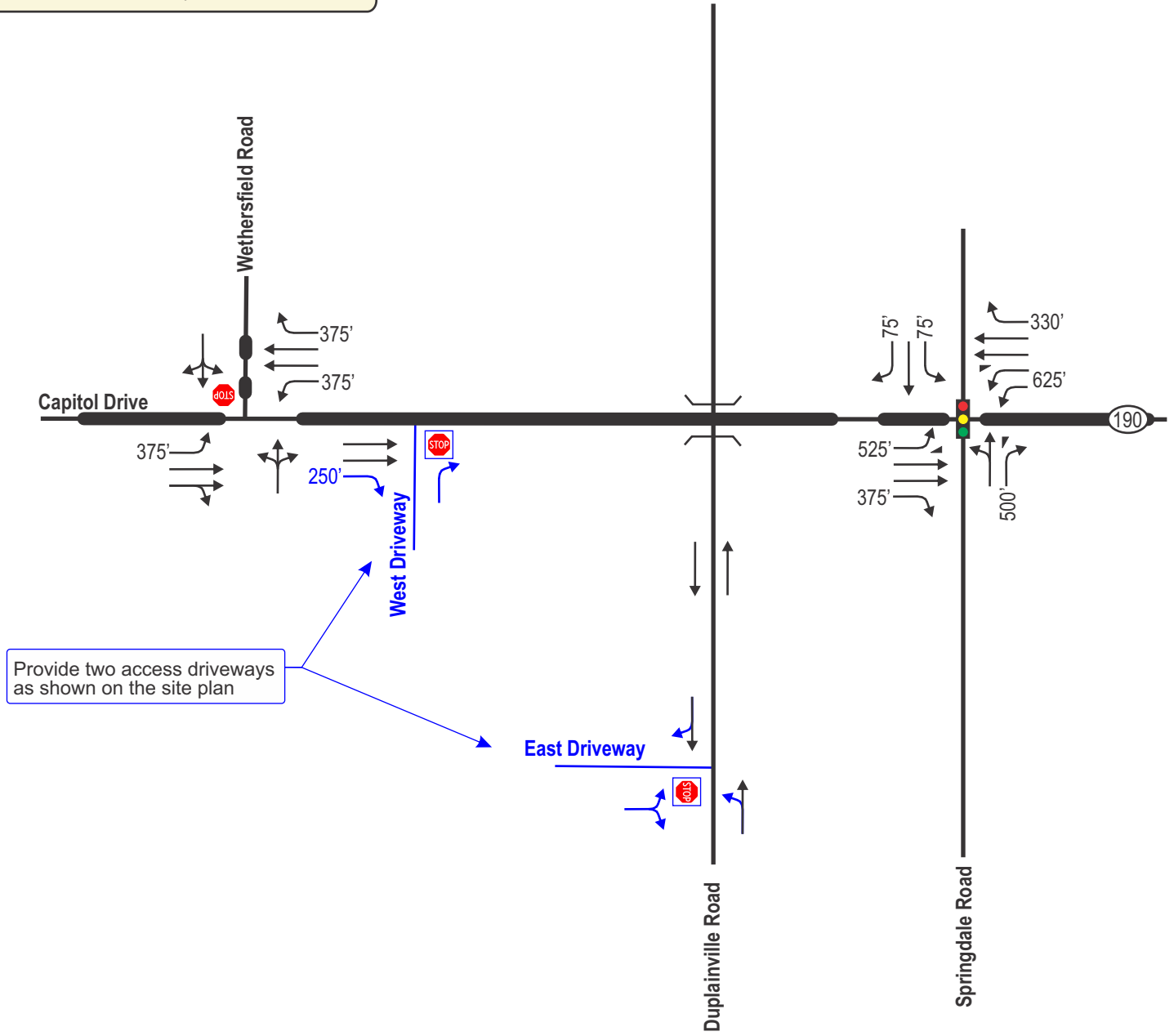


EXHIBIT 1-2B CONCEPTUAL FLOOR PLAN

PEWAUKEE, WISCONSIN

LEGEND

-  Stop Sign Control
- XX' Storage Length (In Feet)
- Existing Lane Configuration
- Proposed Lane Configuration
- BLUE** Total Traffic Proposed Modifications



CHAPTER II – PROPOSED DEVELOPMENT

PART A – ON-SITE DEVELOPMENT

A1. Development Description and Site Location

A church development is being proposed to be located along the south side of STH 190, west of Duplainville Road in the City of Pewaukee, Wisconsin. Two access driveways are proposed for the church development. A right-in/right-out driveway is proposed along Capitol Drive, located about 1,200-feet east of Wethersfield Road. A second potential full access driveway is proposed along Duplainville Road, located immediately south of the Capitol Drive overpass bridge. The TIA analyzed the study intersections with and without the second access on Duplainville Road. A street map illustrating the location of the proposed development is shown in [Exhibit 2-1](#).

A2. Land Use and Development Timing

The existing development site currently consists of a single residential property with an access driveway onto Capitol Drive and a second access driveway onto Duplainville Road. The western and southern portion of the parcel consist of an open field with trees along the western and southern edges of the parcel. A residential property is located immediately to the west of the site with agricultural land uses surrounding (south and west) this western neighbor parcel. Additional residential land uses also exist on the north side of Capitol Drive and further to the east along the south side of Capitol Drive. A large congregation church (Spring Creek Church) is also located to the east, on the north side of Capitol Drive at Springdale Road/Gumina Road. Finally, light industrial properties are located along both sides of Duplainville Road to the south and southeast of the site.

As shown on the conceptual site plans in [Exhibit 2-2A](#), the following land uses are assumed for the proposed development site:

- Church – 350 attendees per service (27,745 square feet with 600 total seats)

A floor plan for the proposed church is also provided in [Exhibit 2-2B](#). As shown, in addition to the worship space, the church is expected to include classrooms, meeting rooms and common spaces for gathering before and after services. The classrooms are not intended for weekday school use. Parking is proposed along the north, east and west sides of the building with 300 total spaces provided.

Based on discussions with the church administration, service schedules are planned for Sunday mornings at 9:00am and 10:30am with services lasting 60 to 70 minutes. This is the same schedule as the adjacent Spring Creek Church located at the Capitol Drive intersection with Springdale Road. Attendance at the two services for the proposed church are expected to be similar.

It is anticipated that the full buildout will occur in Year 2026. A staging detail is provided in [Exhibit 2-3](#).

PART B – STUDY AREA

B1. Influence Area

The proposed church is located along STH 190 and in close proximity to STH 164, STH 16 and CTH F to the west. The majority of the new traffic is expected to be either local or regional traffic.

B2. Area of Significant Traffic Impact

Based on discussions with WisDOT and the City of Pewaukee, the study area for the proposed church development includes the following intersections, as shown on Exhibit 2-1:

- Node 100: STH 190 with Wethersfield Road (one-way stop control)
- Node 200: STH 190 with Proposed West Driveway (one-way stop control)
- Node 300: STH 190 with Springdale Road/Gumina Road (traffic signal control)
- Node 400: Duplainville Road with Proposed East driveway (one-way stop control)

PART C – OFF-SITE LAND USE AND DEVELOPMENT

No off-site developments were identified within the study area.

PART D – SITE ACCESSIBILITY

D1. Study Area Roadways

The study area roadways are discussed below:

Capitol Drive (STH 190) is a four-lane divided Principal Arterial that runs east/west through the study area with a posted speed limit of 45 miles per hour (mph) to the west of Springdale Road and 55 mph to the east. The 2022 Average Annual Daily Traffic (AADT) volume along STH 190 was 24,300 vehicles per day (vpd) immediately west of Wethersfield Road and 29,600-vpd east of Springdale Road.

Wethersfield Road is a two-lane north/south undivided local roadway that intersects Capitol Drive as the north approach of a conventional one-way stop controlled “T” intersection and provides access to a residential neighborhood to the north. The posted speed limit on Wethersfield Road is 25 mph. There are currently no WisDOT AADT volumes along Wethersfield Road.

Duplainville Road is a two-lane north/south undivided Major Collector with a posted speed limit of 35 mph within the limits of the study area. There is no access between Duplainville Road and Capitol Drive. Duplainville Road has a 2009 AADT of 2,100-vpd immediately south of Capitol Drive and 2,300 (2015 count) to the north of Capitol Drive.

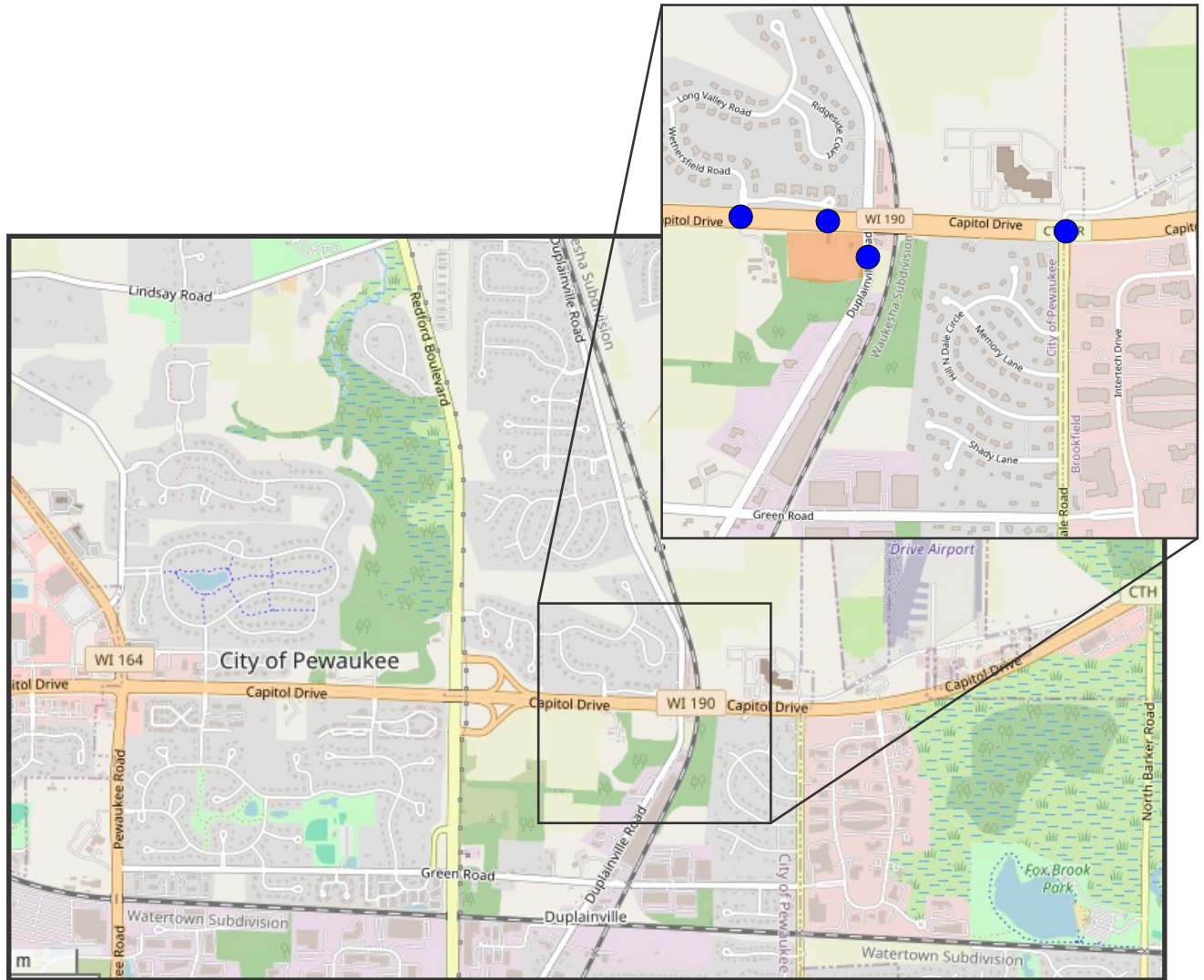
Springdale Road (CTH SR) is a two-lane north/south undivided Minor Arterial that intersects Capitol Drive from the south. North of Capitol Drive, the roadway is designated as Gumina Road. The posted speed limit on Springdale Road is 35 mph within the limits of the study area. Springdale Road has a 2022 AADT of 6,400-vpd immediately south of Capitol Drive.

Based on the WisDOT Improvement Program GIS maps, resurfacing of Capitol Drive is currently occurring to the west of CTH F, located about 1.0-miles west of the proposed development site. The work is planned to occur in the 2024 construction season (<https://wisdot.maps.arcgis.com/home/index.html>). No other improvement projects are currently anticipated within the general area.

D2. Alternative Modes of Transportation

The development site is in a generally suburban area with no sidewalks along the study area roadways; however, a multi-use trail is located along the east side of Duplainville Road. No on-street bicycle accommodations exist along the study area roadways; however wider paved shoulders are provided along Capitol Drive and narrow paved shoulders are provided along Duplainville Road and Springdale Road.

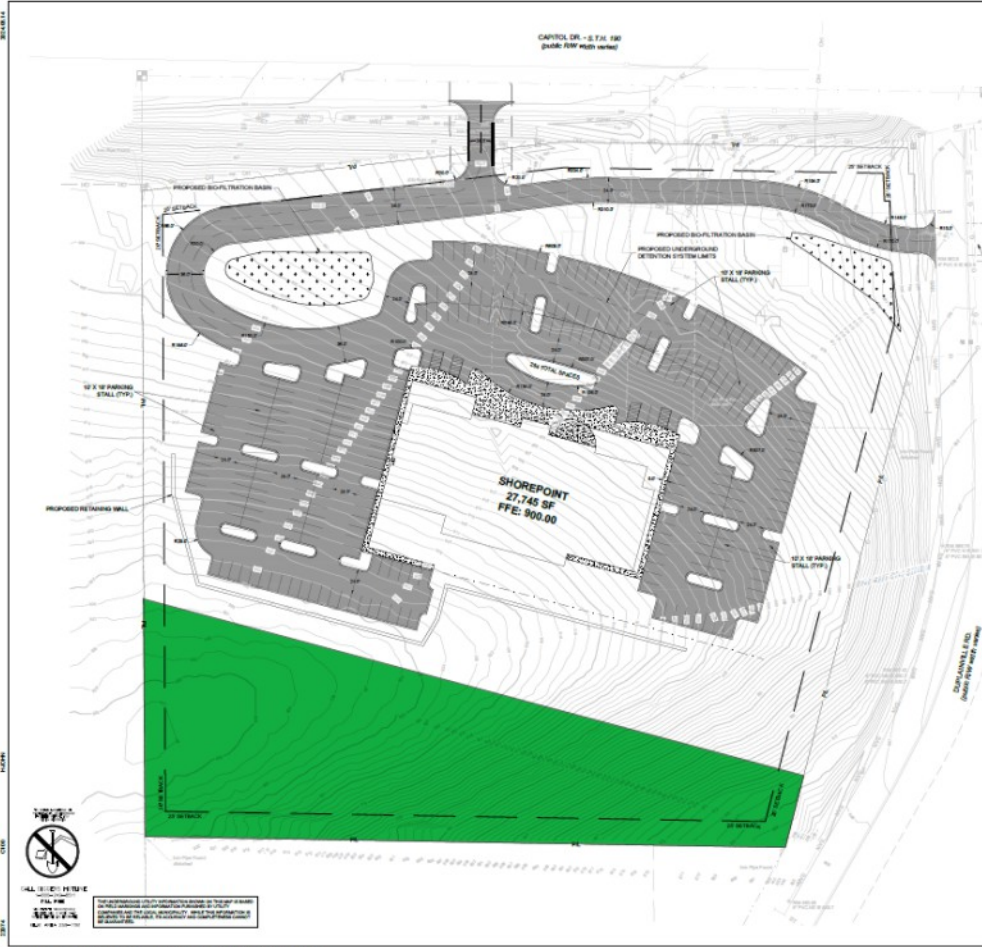
No regularly scheduled bus service exists in the study area.



LEGEND

- Study Area Intersection
- Proposed Site Location

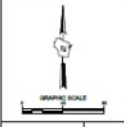




SITE INFORMATION		
SITE AREA	47,081	12,814 AC
SITE DISTURBED AREA	26,043	6,386 AC
EXISTING IMPERVIOUS AREA	2,708	0.676 AC
PROPOSED IMPERVIOUS AREA	10,946	2.735 AC
TOTAL IMPERVIOUS AREAS	13,654	3.411 AC
PERMISSIBLE SPACES	7	



LEGEND	
[Symbol]	5' THICK CONCRETE WALL
[Symbol]	ASPHALT DRIVEWAY
[Symbol]	CURB & GUTTER
[Symbol]	PAVING
[Symbol]	EXISTING DRIVEWAY FOR REFERENCE



SHOREPOINT CHURCH
 N34W22407 CAPITOL DRIVE
 PEWAUKEE, WI 53072

PRELIMINARY
 NOT FOR
 CONSTRUCTION

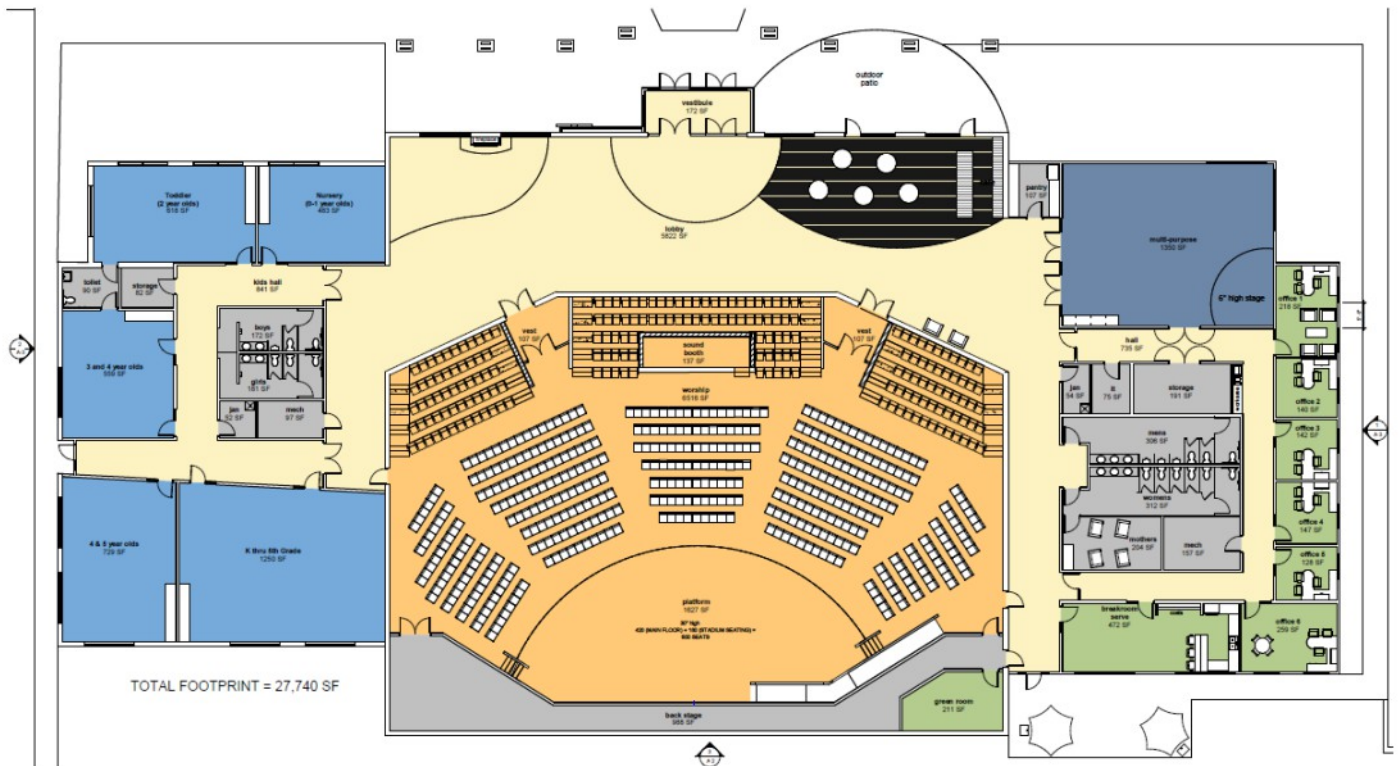
REVISION	
NO.	DATE

PROJECT NO.	22074
PROJECT NAME	PROJECT 18
DATE	10/18/24
DRAWN BY	KJB
CHECKED BY	KJB
APPROVED BY	---
SHEET NO.	C100



EXHIBIT 2-2A CONCEPTUAL SITE PLAN

PEWAUKEE, WISCONSIN

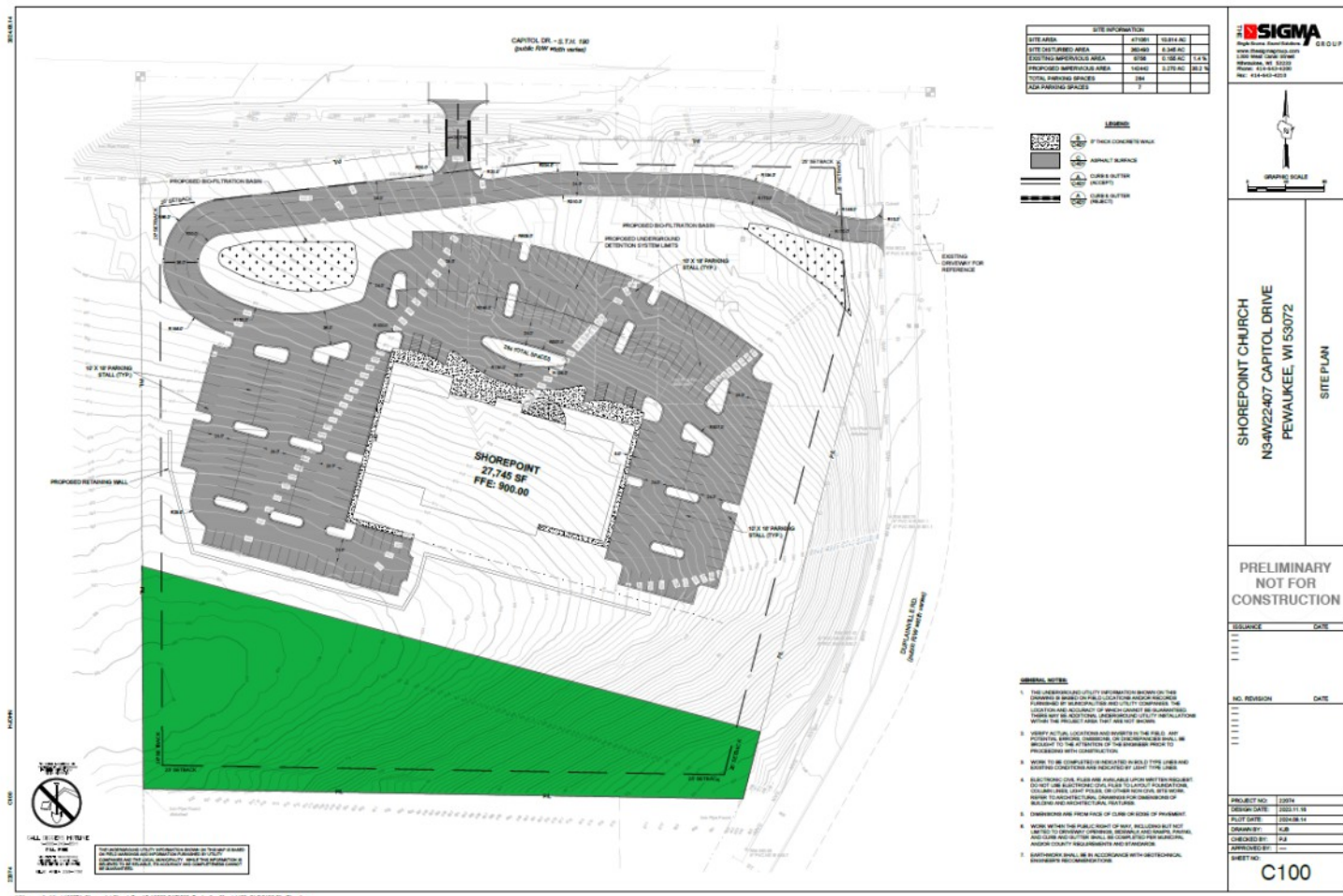


SHOREPOINT CHURCH

A-1 **Vab VANMAN** architects and builders
 June 14, 2024



TO BE CONSTRUCTED IN ONE SINGLE STAGE



**EXHIBIT 2-3
ANTICIPATED STAGING DETAIL**

PEWAUKEE, WISCONSIN

CHAPTER III – ANALYSIS OF EXISTING CONDITIONS

PART A – PHYSICAL CHARACTERISTICS

[Exhibit 3-1](#) shows the existing transportation detail for the study area intersections. More specifically, the exhibit illustrates intersection lane configurations, intersection traffic controls, posted speed limits and approximate intersection spacing.

PART B – TRAFFIC VOLUMES

As previously stated, service schedules at the proposed church are planned for Sunday mornings at 9:00am and 10:30am with services lasting 60 to 70 minutes. Therefore, Sunday morning (8:30am to 12:30pm) turning movement counts were conducted by TADI at the STH 190 intersections with Wethersfield Road and Springdale Road in mid-August of 2024. To collect bidirectional traffic along Duplainville Road, a Wavetronix radar count was also completed on Duplainville Road, immediately south of Capitol Drive during this same time period.

Based on the August 2024 turning movement count data collected and coinciding with the proposed church service schedule departure times, the weekend/Sunday peak hours were determined to occur during the following times:

- Sunday morning (AM) peak hour: 10:15am - 11:15am
- Sunday afternoon (PM) peak hour: 11:30am - 12:30pm

The existing peak hour traffic volumes, balanced along the STH 190 corridor, are shown in [Exhibit 3-2](#). All traffic count data used to determine peak hour factors and truck percentages have been included in the [appendix](#) of this study.

PART C – CAPACITY LEVEL OF SERVICE

C1. Level of Service Definitions

The study area intersections were analyzed based on the procedures set forth in the *Highway Capacity Manual (HCM), 6th Edition*. Intersection operation is defined by “level of service.” Level of Service (LOS) is a quantitative measure that refers to the overall quality of flow at an intersection ranging from very good, represented by LOS ‘A,’ to very poor, represented by LOS ‘F.’ For the purpose of this study, LOS D or better was used to define desirable peak hour operating conditions. Descriptions of the various levels of service are as follows:

Level of Service Definitions

LOS	Signalized Intersections Control Delay/Vehicle (sec/veh)	Unsignalized Intersections Avg. Control Delay (sec/veh)	Relative Delay
A	≤10	≤10	Short Delays
	Free-flow traffic operations at average travel speeds. Vehicles completely unimpeded in ability to maneuver. Minimal delay at signalized intersections.		
B	> 10 - 20	> 10 - 15	
	Reasonably unimpeded traffic operations at average travel speeds. Vehicle maneuverability slightly restricted. Low traffic delays.		
C	> 20 - 35	> 15 - 25	
	Stable traffic operations. Lane changes becoming more restricted. Travel speeds reduced to half of average free flow travel speeds. Longer intersection delays.		
D	> 35 - 55	> 25 - 35	Moderate Delays
	Small increases in traffic flow can cause increased delays. Delays likely attributable to increased traffic, reduced signal progression, and adverse timing.		
E	> 55 - 80	> 35 - 50	
	Significant delays. Travel speeds reduced to one-third of average free flow travel speed.		
F	> 80	> 50	Long Delays
	Extremely low speeds. Intersection congestion. Long delays. Extensive traffic queues at intersections.		

Source: Highway Capacity Manual, Transportation Research Board, Washington, D.C., 2010

C2. Year 2024 Existing Traffic Operations – No Modifications

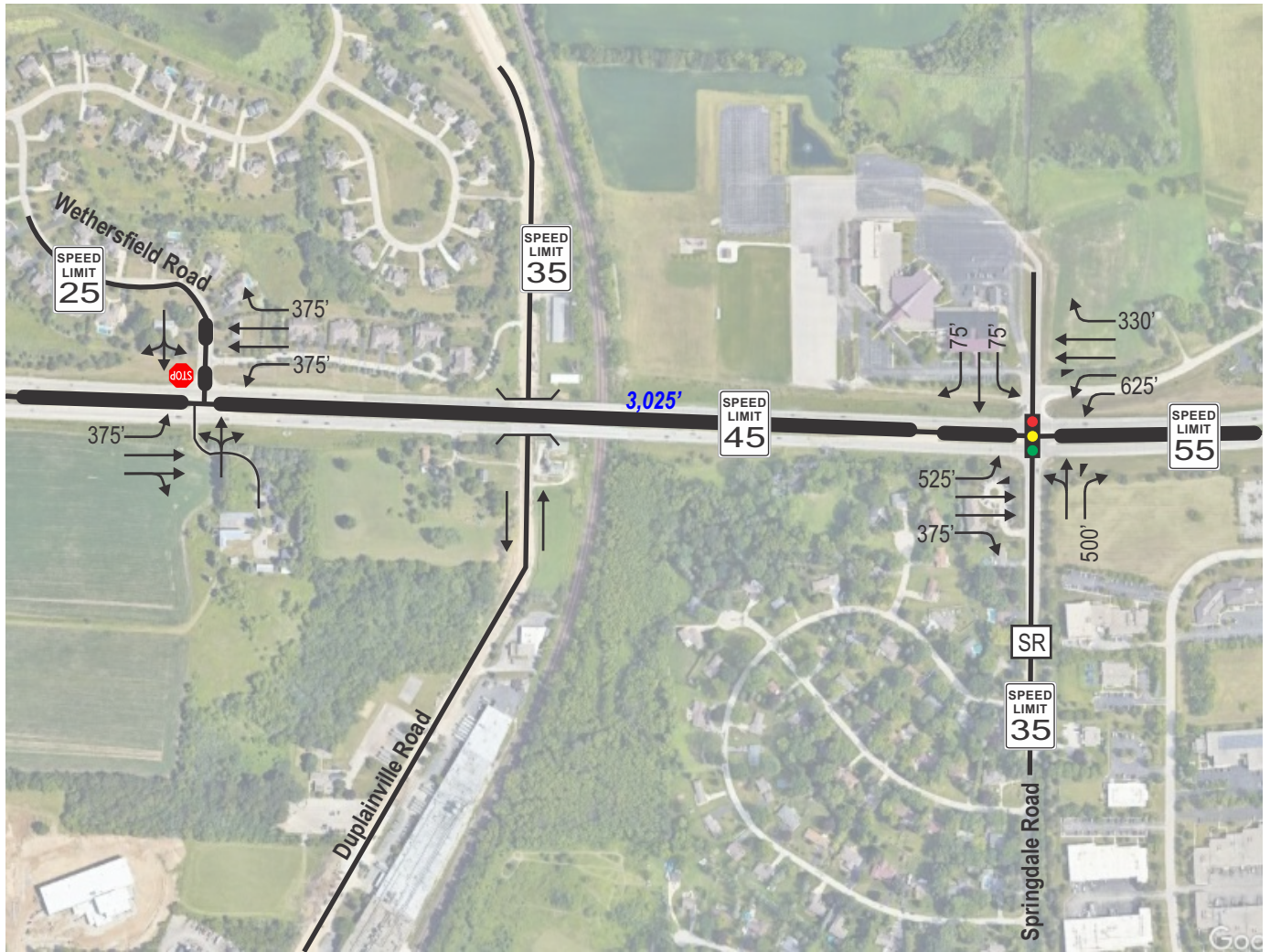
Exhibit 3-3 shows the Year 2024 existing traffic peak hour operating conditions at the study area intersections. The Year 2024 existing traffic analysis was conducted using the existing lane configurations shown in Exhibit 3-1 and the Year 2024 existing traffic volumes shown in Exhibit 3-2.

As shown in Exhibit 3-3, all study area intersections are currently operating acceptably at LOS D or better operations under the Year 2024 existing traffic volumes and current conditions during the identified Sunday peak periods except the southbound movements at the Capitol Drive intersection with Wethersfield Road which are currently operating at LOS F during the typical Sunday morning 11:30 am peak hour.

PART D – SOURCES OF DATA

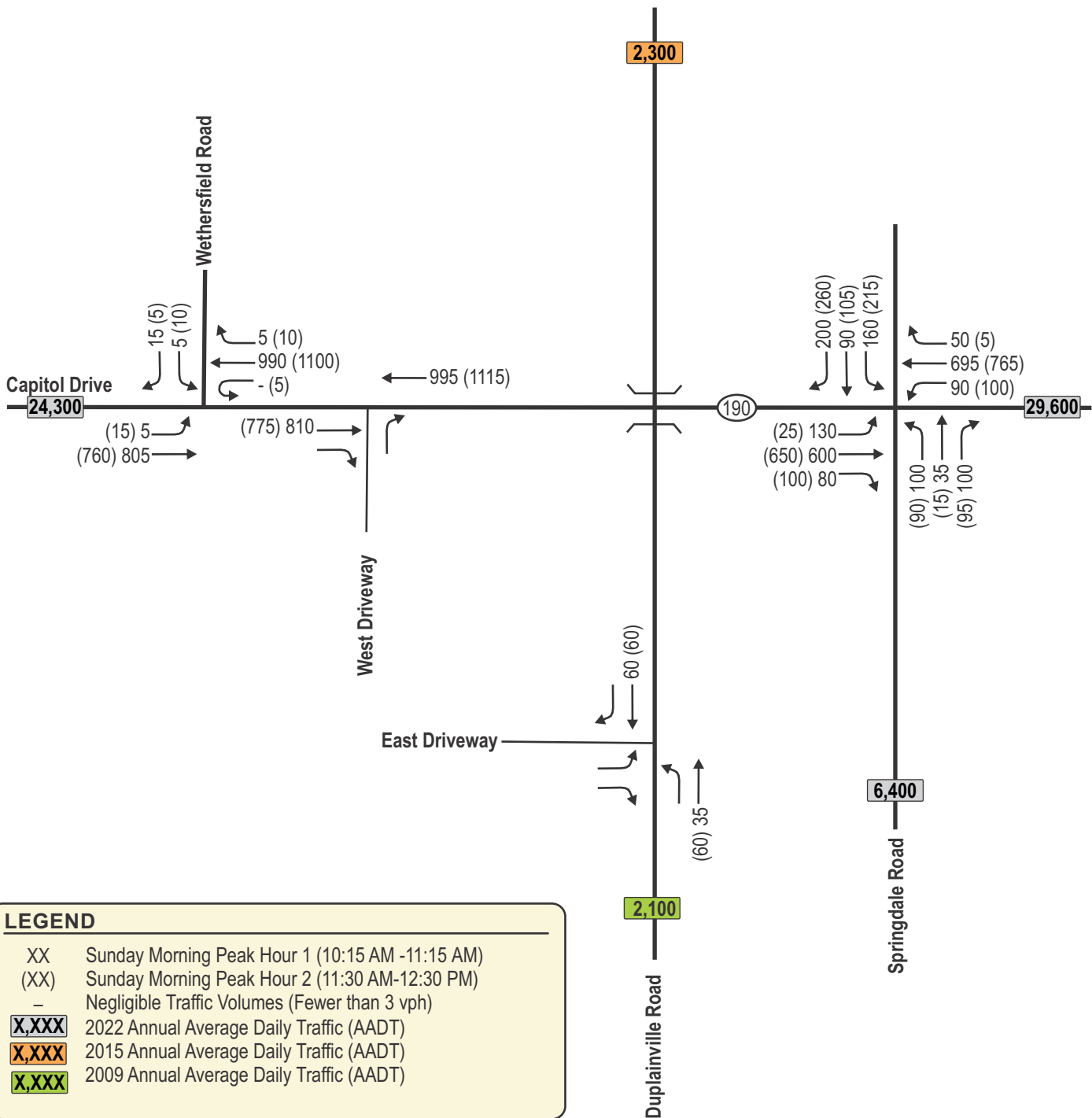
The following sources of data were obtained for use in conducting this traffic study:

- Turning movement traffic counts – TADI
- Existing transportation detail – TADI and Google™ Earth
- Existing sight distance imagery – Google™ Earth
- Existing traffic signal plans and timings – WisDOT
- On-site development information – Vanman Architects and Builders



LEGEND

- Traffic Signal Control
- Stop Sign Control
- Existing Lane Configuration
- Existing Storage Length (in Feet)
- Distance Between Roadways (in Feet)
- Divided Roadway Median
- Bridge



**Exhibit 3-3
Existing Traffic Peak Hour Operating Conditions
With Existing Geometrics and Traffic Control**

Intersection	Peak Hour	Metric	Level of Service (LOS) per Movement by Approach										I/S LOS & Delay		
			Eastbound			Westbound			Northbound			Southbound			
			↗	→	↘	↙	←	↖	↖	↑	↗	↘		↓	↙
Node 100: Capitol Drive/STH190 & Wethersfield Road <i>One-Way Stop Control</i>	AM 10:15	Lanes->	1	2		1	2	1					1		
		LOS	C	*		B	*	*					D		
		Delay	16.3	*		10.2	*	*					32.0		
		Queue	25'	*		25'	*	*					25'		
	AM 11:30	LOS	B	*		B	*	*					F		
		Delay	12.0	*		14.3	*	*					70.3		
		v/c	-	-		-	-	-					0.24		
		Queue	25'	*		25'	*	*					25'		
Node 200: Capitol Drive/STH190 & Proposed West Driveway <i>One-Way Stop Control</i>	AM 10:15	Lanes->	-	2		2			1			-			
		LOS	-	*		*				-			-		
		Delay	-	*		*				-			-		
	AM 11:30	Queue	-	*		*				-			-		
		LOS	-	*		*				-			-		
		Delay	-	*		*				-			-		
Node 300: Capitol Drive/STH190 & Springdale Road/Gumina Road <i>Traffic Signal Control</i>	AM 10:15	Lanes->	1	2	1	2	2	1	1	1	1	1	1		
		LOS	C	C	C	C	C	C	D	C	C	C	C	C	
		Delay	24.6	26.3	20.6	20.2	30.8	22.3	39.9	29.7	29.6	21.0	22.2	27.9	
	AM 11:30	Queue	140'	335'	65'	45'	455'	55'	215'	90'	170'	100'	135'		
		LOS	B	C	C	B	C	B	D	C	C	B	B	C	
		Delay	19.3	26.9	21.0	18.9	25.8	18.1	36.2	27.6	26.0	18.0	19.5	25.3	
Node 400: Duplainville Road & Proposed East Driveway <i>One-Way Stop Control</i>	AM 10:15	Lanes->	1			-			1	-	-	1			
		LOS	-			-			*	-	-	*			
		Delay	-			-			*	-	-	*			
	AM 11:30	Queue	-			-			*	-	-	*			
		LOS	-			-			*	-	-	*			
		Delay	-			-			*	-	-	*			
Queue	-			-			*	-	-	*					

(-) indicates a movement that is prohibited or does not exist; (*) indicates a freeflow movement.
Delay is reported in seconds. Queue is the maximum of the 50th & 95th percentile queue, measured in feet.

CHAPTER IV – DEVELOPMENT TRAFFIC

PART A – TRAFFIC FORECASTING

The expected traffic volumes generated by the proposed on-site church development were calculated based on trip rates or equations for land use “Church” published in the Institute of Transportation Engineer’s (ITE) *Trip Generation Manual, 11th Edition*. The use of trip rates or equations was determined based on procedures listed in the trip generation manual and in the *ITE Trip Generation Handbook, 3rd Edition*. A comparison of the new trips generated was completed looking at the three different units provided by ITE; specifically: seats, attendees and building square footage. Since the seats and square footage units show very similar results, the “seats” unit was utilized for this study. The comparison table is included in the [appendix](#) of this study.

A1. On-Site Trip Generation

The proposed church development trip generation and distribution tables under the full build out traffic scenario are shown on [Exhibit 4-3](#). Under the full buildout, the proposed church development is expected to generate 305 new trips (150 entering/155 exiting) during each of the Sunday morning services.

A2. Linked and Pass-by Trip Reductions

Based on the church land use for the proposed site, none of the new trips are expected to include linked or pass-by trip reductions. A linked trip occurs when a patron of one tenant visits another tenant prior to exiting the site. Pass-by trips occur when a motorist already on the roadway system stops at a development prior to continuing on their intended route.

A3. Trip Distribution

The trip distribution for the proposed on-site church development is listed below, shown in table format in [Exhibit 4-3](#) and graphically in [Exhibit 4-4](#). The trip distribution was determined based on the existing traffic counts, the type of proposed land use and the location of existing populations within the immediate study area. The trip distribution for the proposed development is as follows:

- 46% to/from the east on STH 190
- 48% to/from the west on STH 190
- 3% to/from the north on Duplainville Road
- 3% to/from the south on Duplainville Road

A4. Trip Assignment

The new trips assigned to the study area intersections for the proposed church development are shown as follows:

- On-Site New Trips with both access driveways – [Exhibit 4-5A](#)
- On-Site New Trips with the west access driveway only – [Exhibit 4-5B](#)

PART B – BUILD TRAFFIC

Full Build (Both Access Driveways) traffic volumes, which add the existing traffic volumes ([Exhibit 3-2](#)) to the proposed church new trips with both access driveways ([Exhibit 4-5A](#)) are shown on [Exhibit 4-11A](#).

Full Build (West Access Driveway Only) traffic volumes, which add the existing traffic volumes ([Exhibit 3-2](#)) to the proposed church new trips with the west access driveway only ([Exhibit 4-5B](#)) are shown on [Exhibit 4-11B](#).

Exhibit 4-3
On-Site Trip Generation Table¹

Land Use	ITE Code	Proposed Size	SUN Peak		
			In	Out	Total
Church	560	600 Seats	150 (49%)	155 (51%)	305 (0.51)
Total New Trips			150	155	305

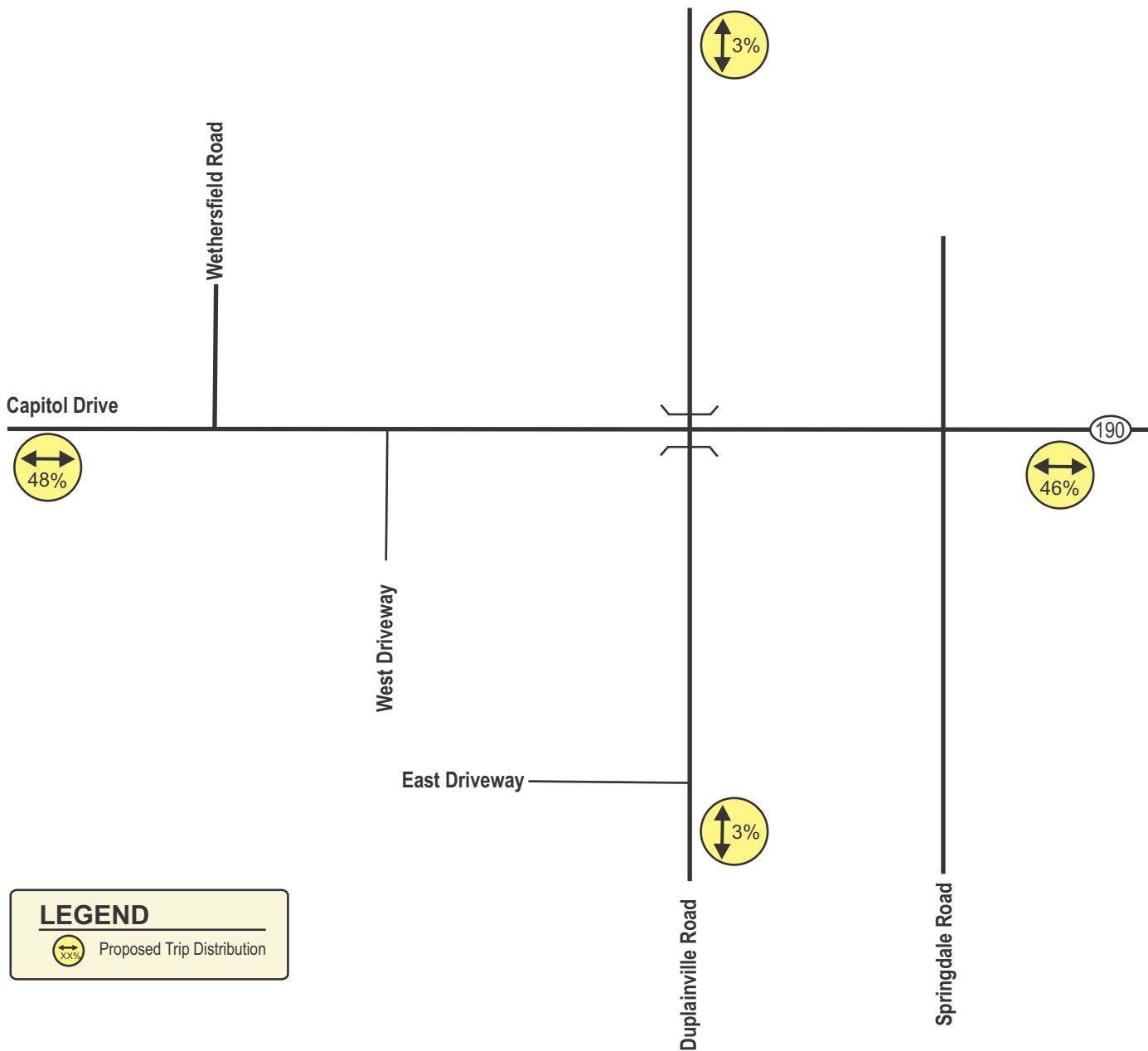
¹ ITE Trip Rates (X.XX) and/or Fitted Curve Equations (FCE) are from the ITE Trip Generation Manual,

TRIP DISTRIBUTION (New Trips - Both Access Driveways)

East on Capitol Drive	46%	70	70
West on Capitol Drive	48%	70	75
North on Duplainville Road	3%	5	5
South on Duplainville Road	3%	5	5
	100%	150	155

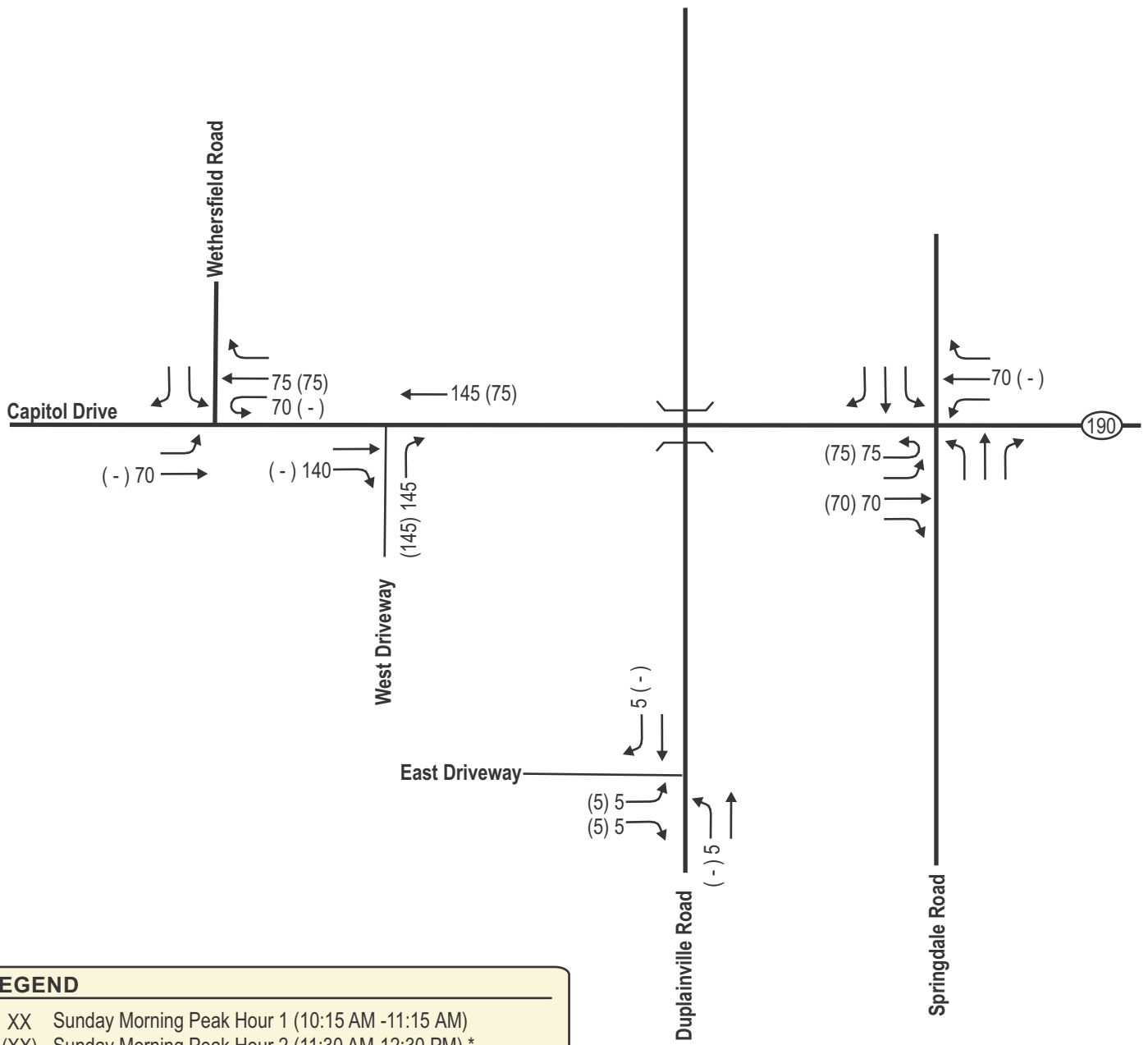
TRIP DISTRIBUTION (New Trips - West Access Driveway Only)

East on Capitol Drive	49%	75	75
West on Capitol Drive	51%	75	80
	100%	150	155



LEGEND

Proposed Trip Distribution



LEGEND

- XX Sunday Morning Peak Hour 1 (10:15 AM -11:15 AM)
- (XX) Sunday Morning Peak Hour 2 (11:30 AM-12:30 PM) *
- Negligible Traffic Volumes (Fewer than 3 vph)

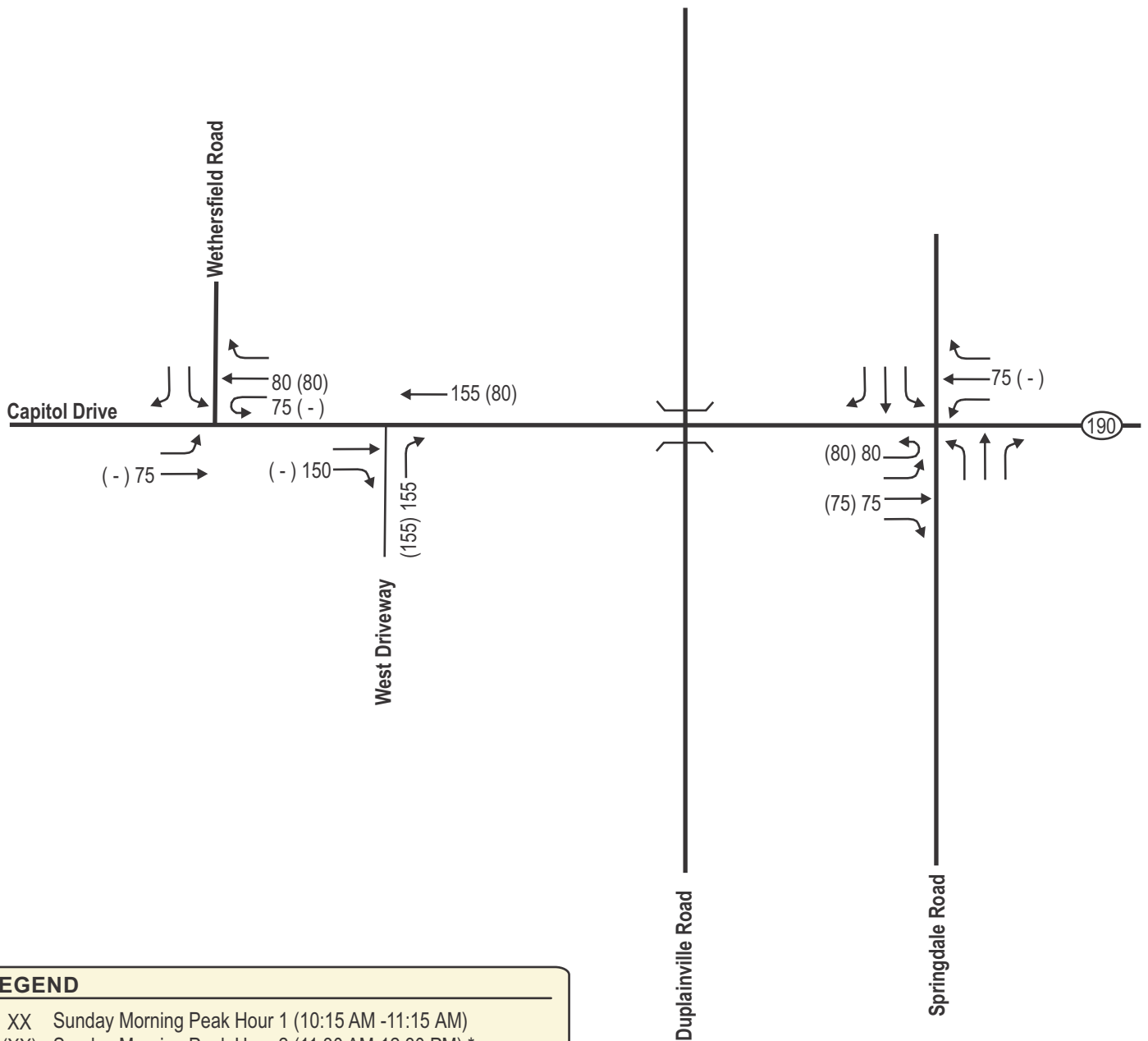
* New trips for Sunday morning peak hour 2 include outbound traffic only



NOT TO SCALE

**EXHIBIT 4-5A
ON-SITE NEW TRIPS
BOTH ACCESS DRIVEWAYS**

PEWAUKEE, WISCONSIN



LEGEND

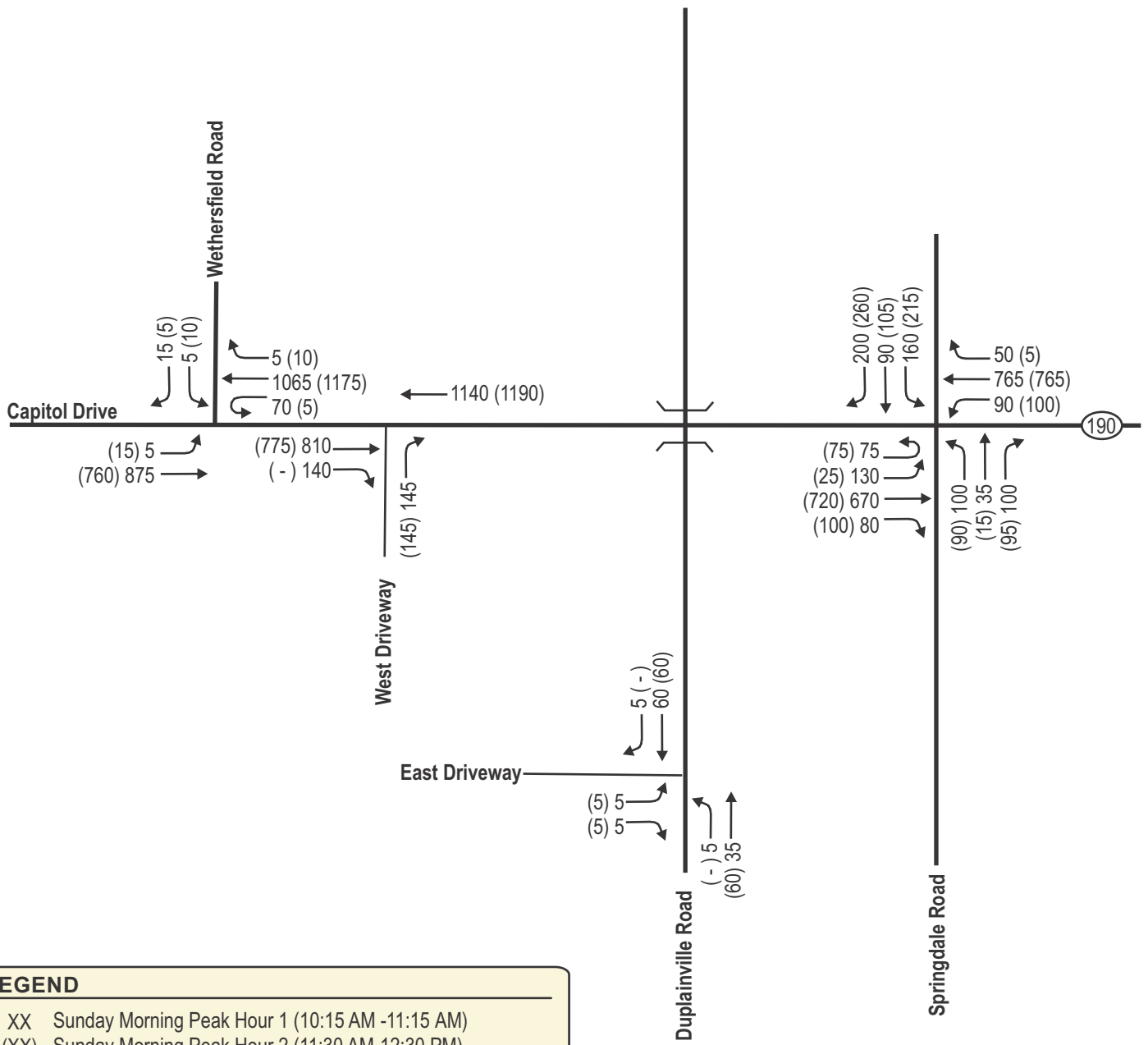
- XX Sunday Morning Peak Hour 1 (10:15 AM -11:15 AM)
- (XX) Sunday Morning Peak Hour 2 (11:30 AM-12:30 PM) *
- Negligible Traffic Volumes (Fewer than 3 vph)

* New trips for Sunday morning peak hour 2 include outbound traffic only



**EXHIBIT 4-5B
ON-SITE NEW TRIPS
WEST ACCESS DRIVEWAY ONLY**

PEWAUKEE, WISCONSIN



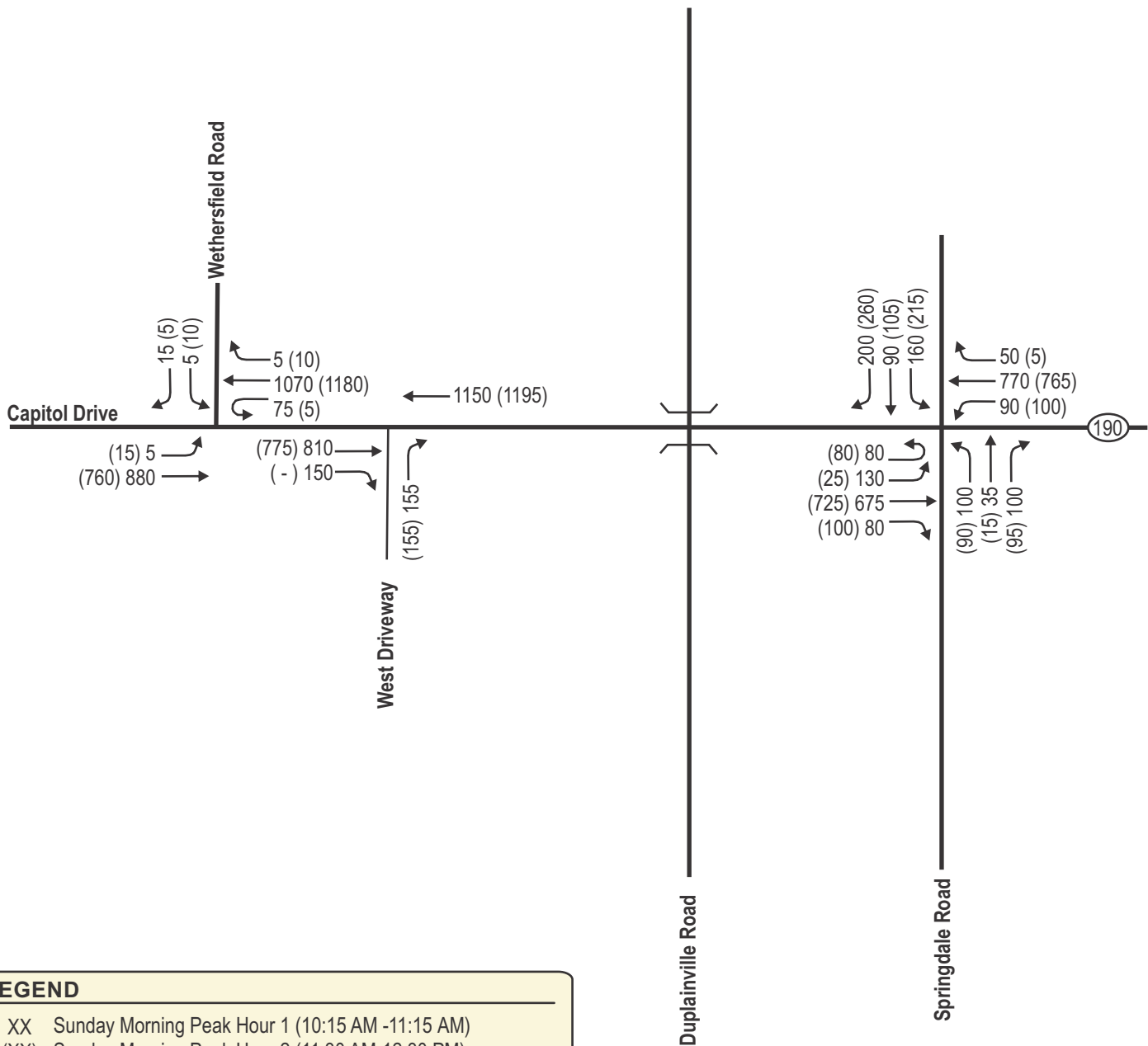
LEGEND

- XX Sunday Morning Peak Hour 1 (10:15 AM -11:15 AM)
- (XX) Sunday Morning Peak Hour 2 (11:30 AM-12:30 PM)
- Negligible Traffic Volumes (Fewer than 3 vph)



**EXHIBIT 4-11A
FULL BUILD TRAFFIC VOLUMES
BOTH ACCESS DRIVEWAYS**

PEWAUKEE, WISCONSIN



LEGEND

- XX Sunday Morning Peak Hour 1 (10:15 AM -11:15 AM)
- (XX) Sunday Morning Peak Hour 2 (11:30 AM-12:30 PM)
- Negligible Traffic Volumes (Fewer than 3 vph)



**EXHIBIT 4-11B
FULL BUILD TRAFFIC VOLUMES
WEST ACCESS DRIVEWAY ONLY**

PEWAUKEE, WISCONSIN

CHAPTER V – TRAFFIC AND IMPROVEMENT ANALYSIS

PART A – SITE ACCESS

Two access driveways are proposed for the church development. A right-in/right-out driveway is proposed along Capitol Drive, located about 1,200-feet east of Wethersfield Road. A second potential full access driveway is proposed along Duplainville Road, located immediately south of the Capitol Drive overpass bridge. The TIA analyzed the study intersections with and without the second access on Duplainville Road.

PART B – CAPACITY LEVEL OF SERVICE ANALYSIS

B1. Year 2026 Full Build (Both Access Driveways) Traffic Operating Conditions

[Exhibit 5-3A](#) shows the year 2026 Full Build (Both Access Driveways) traffic peak hour operating conditions at the study area intersections under the access scenario allowing both access driveways. Year 2026 Full Build (Both Access Driveways) traffic volumes include full build out of the church development site. The year 2026 Full Build (Both Access Driveways) traffic analysis was conducted using existing intersection configurations and traffic control.

As shown, all movements are expected to continue to operate at LOS D or better conditions during the identified Sunday peak periods under the year 2026 Full Build (Both Access Driveways) traffic volume scenario except the southbound movements at the Capitol Drive intersection with Wethersfield Road which are expected to operate at LOS F during both Sunday morning service peak hours.

[Exhibit 5-12A](#) shows the year 2026 Full Build (Both Access Driveways) traffic peak hour operating conditions, with recommended driveway modifications (as described in Chapter VI), at the study area intersections. As shown, no changes to the operations are shown.

B2. Year 2026 Full Build (West Access Driveway Only) Traffic Operating Conditions

[Exhibit 5-3B](#) shows the year 2026 Full Build (West Access Driveway Only) traffic peak hour operating conditions at the study area intersections under the access scenario allowing only the west access driveway. Year 2026 Full Build (West Access Driveway Only) traffic volumes include full build out of the church development site. The year 2026 Full Build (West Access Driveway Only) traffic analysis was conducted using existing intersection configurations and traffic control.

As shown, all movements are expected to continue to operate at LOS D or better conditions during the identified Sunday peak periods under the year 2026 Full Build (West Access Driveway Only) traffic volume scenario except the southbound movements at the Capitol Drive intersection with Wethersfield Road which are expected to operate at LOS F during both Sunday morning service peak hours.

[Exhibit 5-12B](#) shows the year 2026 Full Build (West Access Driveway Only) traffic peak hour operating conditions, with recommended driveway modifications (as described in Chapter VI), at the study area intersections. As shown, no changes to the operations are shown.

PART C – QUEUEING ANALYSIS

To estimate storage length requirements for turn bays at the study area intersections with modifications, a queuing analysis has been conducted. Note that the 95th percentile probable queue lengths were used for the design of turn bay storage at stop sign controlled intersections. The following is a list of where the results of the queuing analysis can be found.

- Year 2024 Existing Traffic Expected Maximum Queues – [Exhibit 3-3 & 5-18](#)
- Year 2026 Full Build (Both Access Driveways) Traffic Expected Maximum Queues – [Exhibit 5-12A & 5-19A](#)
- Year 2026 Full Build (West Access Driveway Only) Traffic Expected Maximum Queues – [Exhibit 5-12B & 5-19B](#)

PART D – PEDESTRIAN, BICYCLE AND TRANSIT CONSIDERATIONS

The development site is in a generally suburban area with no sidewalks along the study area roadways; however, a multi-use trail is located along the east side of Duplainville Road. No on-street bicycle accommodations exist along the study area roadways; however wider paved shoulders are provided along Capitol Drive and narrow paved shoulders are provided along Duplainville Road and Springdale Road.

No regularly scheduled bus service exists in the study area.

PART E – SPEED CONSIDERATIONS/SIGHT DISTANCE

Note that the sight distance measurements and photographs discussed in this report are based on on-line aerial and street view imagery at the proposed new driveway location. The party responsible for designing the intersection is responsible for cross-checking, verifying, and designing for all applicable sight distances.

The proposed access drive to Capitol Drive/STH 190 should be designed for intersection sight distance (ISD) in accordance with the latest edition of the American Association of State Highway Transportation Officials (AASHTO) *A Policy on Geometric Design of Highways and Streets* and in accordance with the latest WisDOT FDM design guidelines (Procedure 11-10-5).

Sight distance evaluation for the proposed access drive was completed using a design speed of 5 mph above the posted speed limit on Capitol Drive/STH 190, which equals 50 mph for right-turn movements (looking left) at the proposed right-in/right-out driveway. WisDOT minimum intersection sight distance calculations for the proposed access drive are provided in [Appendix A](#).

The controlling intersection sight distances for the proposed access drive are shown on [Exhibit 5-27](#). For the Capitol Drive/STH 190 intersection, the actual visibility for a vehicle at the proposed access drive is more than 800-feet when looking left onto Capitol Drive/STH 190. Since the actual visibility is greater than the AASHTO minimum ISD of 785-feet, right-turns from the proposed access drive can be made safely and with no restrictions. The pertinent photos taken from on-line street view imagery at the proposed access drive are shown on [Exhibit 5-27](#).

Exhibit 5-3A
Full Build (Both Access Driveways) Traffic Peak Hour Operating Conditions
With Existing Geometrics and Traffic Control

Intersection	Peak Hour	Metric	Level of Service (LOS) per Movement by Approach											I/S LOS & Delay	
			Eastbound			Westbound			Northbound			Southbound			
			↗	→	↘	↙	←	↖	↖	↑	↗	↘	↓		↙
Node 100: Capitol Drive/STH190 & Wethersfield Road <i>One-Way Stop Control</i>	AM 10:15	Lanes->	1	2		1	2	1		-			1		
		LOS	C	*		C	*	*		-			F		
		Delay	17.9	*		22.0	*	*		-			64.8		
		v/c	-	-		-	-	-		-			0.29		
	Queue	25'	*		30'	*	*		-			25'			
	AM 11:30	LOS	B	*		B	*	*		-			F		
		Delay	12.6	*		14.3	*	*		-			84.4		
		v/c	-	-		-	-	-		-			0.28		
		Queue	25'	*		25'	*	*		-			25'		
	Node 200: Capitol Drive/STH190 & Proposed West Driveway <i>One-Way Stop Control</i>	AM 10:15	Lanes->	-	2			2			1			-	
			LOS	-	*			*			C			-	
			Delay	-	*			*			18.0			-	
Queue		-	*			*			50'			-			
AM 11:30		LOS	-	*			*			B			-		
		Delay	-	*			*			14.3			-		
		Queue	-	*			*			35'			-		
Node 300: Capitol Drive/STH190 & Springdale Road/Gumina Road <i>Traffic Signal Control</i>		AM 10:15	Lanes->	1	2	1	2	2	1	1	1	1	1	1	
	LOS		D	C	C	C	D	C	D	D	D	C	C	C	
	Delay		35.4	27.3	20.4	23.5	39.2	26.1	48.4	36.8	36.9	26.4	28.0	33.6	
	Queue	280'	405'	70'	45'	600'	60'	235'	100'	195'	115'	155'			
	AM 11:30	LOS	C	C	C	B	C	C	D	C	C	B	C	C	
		Delay	22.3	27.5	20.8	19.8	28.6	20.0	39.2	30.1	28.5	19.8	21.6	27.0	
		Queue	95'	380'	75'	45'	445'	25'	165'	85'	210'	110'	165'		
	Node 400: Duplainville Road & Proposed East Driveway <i>One-Way Stop Control</i>	AM 10:15	Lanes->		1			-		1	-	-		1	
LOS				A			-		A	-	-		*		
Delay				9.0			-		7.4	-	-		*		
Queue			25'			-		25'	-	-		*			
AM 11:30		LOS		A			-		A	-	-		*		
		Delay		9.0			-		7.4	-	-		*		
		Queue		25'			-		25'	-	-		*		

(-) indicates a movement that is prohibited or does not exist; (*) indicates a freeflow movement.
 Delay is reported in seconds. Queue is the maximum of the 50th & 95th percentile queue, measured in feet.

Exhibit 5-3B
Full Build (West Access Driveway Only) Traffic Peak Hour Operating Conditions
With Existing Geometrics and Traffic Control

Intersection	Peak Hour	Metric	Level of Service (LOS) per Movement by Approach										I/S LOS & Delay		
			Eastbound			Westbound			Northbound			Southbound			
			↗	→	↘	↙	←	↖	↖	↑	↗	↘		↓	↙
Node 100: Capitol Drive/STH190 & Wethersfield Road <i>One-Way Stop Control</i>	<i>Lanes-></i>		1	2		1	2	1		-		1			
	AM 10:15	LOS	C	*		C	*	*		-		F			
		Delay	18.0	*		22.7	*	*		-		70.1			
		v/c	-	-		-	-	-		-		0.31			
		Queue	25'	*		35'	*	*		-		30'			
	AM 11:30	LOS	B	*		B	*	*		-		F			
		Delay	12.6	*		14.3	*	*		-		86.1			
		v/c	-	-		-	-	-		-		0.29			
		Queue	25'	*		25'	*	*		-		25'			
	Node 200: Capitol Drive/STH190 & Proposed West Driveway <i>One-Way Stop Control</i>	<i>Lanes-></i>		-	2			2			1		-		
AM 10:15		LOS	-	*		*				C		-			
		Delay	-	*		*				18.8		-			
		Queue	-	*		*				55'		-			
AM 11:30		LOS	-	*		*				B		-			
		Delay	-	*		*				14.5		-			
		Queue	-	*		*				35'		-			
Node 300: Capitol Drive/STH190 & Springdale Road/Gumina Road <i>Traffic Signal Control</i>		<i>Lanes-></i>		1	2	1	2	2	1	1	1	1	1	1	
		AM 10:15	LOS	D	C	C	C	D	C	D	D	D	C	C	C
			Delay	37.0	27.3	20.4	23.9	40.4	26.6	49.4	37.6	37.7	27.1	28.7	34.3
	Queue		285'	425'	70'	45'	615'	60'	235'	100'	195'	115'	160'		
	AM 11:30	LOS	C	C	C	B	C	C	D	C	C	C	C	C	
		Delay	22.6	27.6	20.7	19.9	28.8	20.2	39.5	30.4	28.7	20.0	21.7	27.2	
		Queue	95'	385'	75'	45'	450'	25'	165'	85'	215'	110'	165'		

(-) indicates a movement that is prohibited or does not exist; (*) indicates a freeflow movement.
 Delay is reported in seconds. Queue is the maximum of the 50th & 95th percentile queue, measured in feet.

Exhibit 5-12A
Full Build (Both Access Driveways) Traffic Peak Hour Operating Conditions
With Modified Geometrics and Traffic Control

Intersection	Peak Hour	Metric	Level of Service (LOS) per Movement by Approach											I/S LOS & Delay	
			Eastbound			Westbound			Northbound			Southbound			
			↗	→	↘	↙	←	↖	↖	↑	↗	↘	↓		↙
Node 100: Capitol Drive/STH190 & Wethersfield Road <i>One-Way Stop Control</i>		Lanes->	1	2	1	1	2	1	-	-	-	1	-		
	AM 10:15	LOS	C	*		C	*	*	-	-	-	F	-		
		Delay	17.9	*		22.0	*	*	-	-	-	64.8	-		
		v/c	-	-		-	-	-	-	-	-	0.29	-		
		Queue	25'	*		30'	*	*	-	-	-	25'	-		
	AM 11:30	LOS	B	*		B	*	*	-	-	-	F	-		
		Delay	12.6	*		14.3	*	*	-	-	-	84.4	-		
		v/c	-	-		-	-	-	-	-	-	0.28	-		
		Queue	25'	*		25'	*	*	-	-	-	25'	-		
	Node 200: Capitol Drive/STH190 & Proposed West Driveway <i>One-Way Stop Control</i>		Lanes->	-	2			2		1			-		
		AM 10:15	LOS	-	*			*		C			-		
			Delay	-	*			*		18.0			-		
Queue			-	*			*		50'			-			
AM 11:30		LOS	-	*			*		B			-			
		Delay	-	*			*		14.3			-			
		Queue	-	*			*		35'			-			
Node 300: Capitol Drive/STH190 & Springdale Road/Gumina Road <i>Traffic Signal Control</i>			Lanes->	1	2	1	2	2	1	1	1	1	1	1	
		AM 10:15	LOS	D	C	C	C	D	C	D	D	D	C	C	C
			Delay	35.4	27.3	20.4	23.5	39.2	26.1	48.4	36.8	36.9	26.4	28.0	33.6
			Queue	280'	405'	70'	45'	600'	60'	235'	100'	195'	115'	155'	
		AM 11:30	LOS	C	C	C	B	C	C	D	C	C	B	C	C
	Delay		22.3	27.5	20.8	19.8	28.6	20.0	39.2	30.1	28.5	19.8	21.6	27.0	
	Queue		95'	380'	75'	45'	445'	25'	165'	85'	210'	110'	165'		
	Node 400: Duplainville Road & Proposed East Driveway <i>One-Way Stop Control</i>		Lanes->	1					1	-	-	1			
		AM 10:15	LOS	A						A	-	-	*		
			Delay		9.0					7.4	-	-	*		
			Queue		25'					25'	-	-	*		
		AM 11:30	LOS	A						A	-	-	*		
Delay				9.0					7.4	-	-	*			
Queue				25'					25'	-	-	*			

(-) indicates a movement that is prohibited or does not exist; (*) indicates a freeflow movement.
 Delay is reported in seconds. Queue is the maximum of the 50th & 95th percentile queue, measured in feet.



EXHIBIT 5-12A
FULL BUILD TRAFFIC OPERATIONS
BOTH ACCESS DRIVEWAYS
WITH MODIFICATIONS

PEWAUKEE, WISCONSIN

Exhibit 5-12B
Full Build (West Access Driveway Only) Traffic Peak Hour Operating Conditions
With Modified Geometrics and Traffic Control

Intersection	Peak Hour	Metric	Level of Service (LOS) per Movement by Approach										I/S LOS & Delay		
			Eastbound			Westbound			Northbound			Southbound			
			↗	→	↘	↙	←	↖	↖	↑	↗	↘		↓	↙
Node 100: Capitol Drive/STH190 & Wethersfield Road <i>One-Way Stop Control</i>	<i>Lanes-></i>		1	2	1	1	2	1	-	-	-	1	-	-	-
	AM 10:15	LOS	C	*		C	*	*	-	-	-	F	-	-	-
		Delay	18.0	*		22.7	*	*	-	-	-	70.1	-	-	-
		v/c	-	-		-	-	-	-	-	-	0.31	-	-	-
		Queue	25'	*		35'	*	*	-	-	-	30'	-	-	-
	AM 11:30	LOS	B	*		B	*	*	-	-	-	F	-	-	-
		Delay	12.6	*		14.3	*	*	-	-	-	86.1	-	-	-
		v/c	-	-		-	-	-	-	-	-	0.29	-	-	-
		Queue	25'	*		25'	*	*	-	-	-	25'	-	-	-
	Node 200: Capitol Drive/STH190 & Proposed West Driveway <i>One-Way Stop Control</i>	<i>Lanes-></i>		-	2			2		1	-	-	-	-	-
AM 10:15		LOS	-	*		*	*	C	-	-	-	-	-	-	
		Delay	-	*		*	*	18.8	-	-	-	-	-	-	
		Queue	-	*		*	*	55'	-	-	-	-	-	-	
AM 11:30		LOS	-	*		*	*	B	-	-	-	-	-	-	
		Delay	-	*		*	*	14.5	-	-	-	-	-	-	
		Queue	-	*		*	*	35'	-	-	-	-	-	-	
Node 300: Capitol Drive/STH190 & Springdale Road/Gumina Road <i>Traffic Signal Control</i>		<i>Lanes-></i>		1	2	1	2	2	1	1	1	1	1	1	-
		AM 10:15	LOS	D	C	C	C	D	C	D	D	D	C	C	C
			Delay	37.0	27.3	20.4	23.9	40.4	26.6	49.4	37.6	37.7	27.1	28.7	34.3
	Queue		285'	425'	70'	45'	615'	60'	235'	100'	195'	115'	160'		
	AM 11:30	LOS	C	C	C	B	C	C	D	C	C	C	C	C	
		Delay	22.6	27.6	20.7	19.9	28.8	20.2	39.5	30.4	28.7	20.0	21.7	27.2	
		Queue	95'	385'	75'	45'	450'	25'	165'	85'	215'	110'	165'		





(-) indicates a movement that is prohibited or does not exist; (*) indicates a freeflow movement.
 Delay is reported in seconds. Queue is the maximum of the 50th & 95th percentile queue, measured in feet.

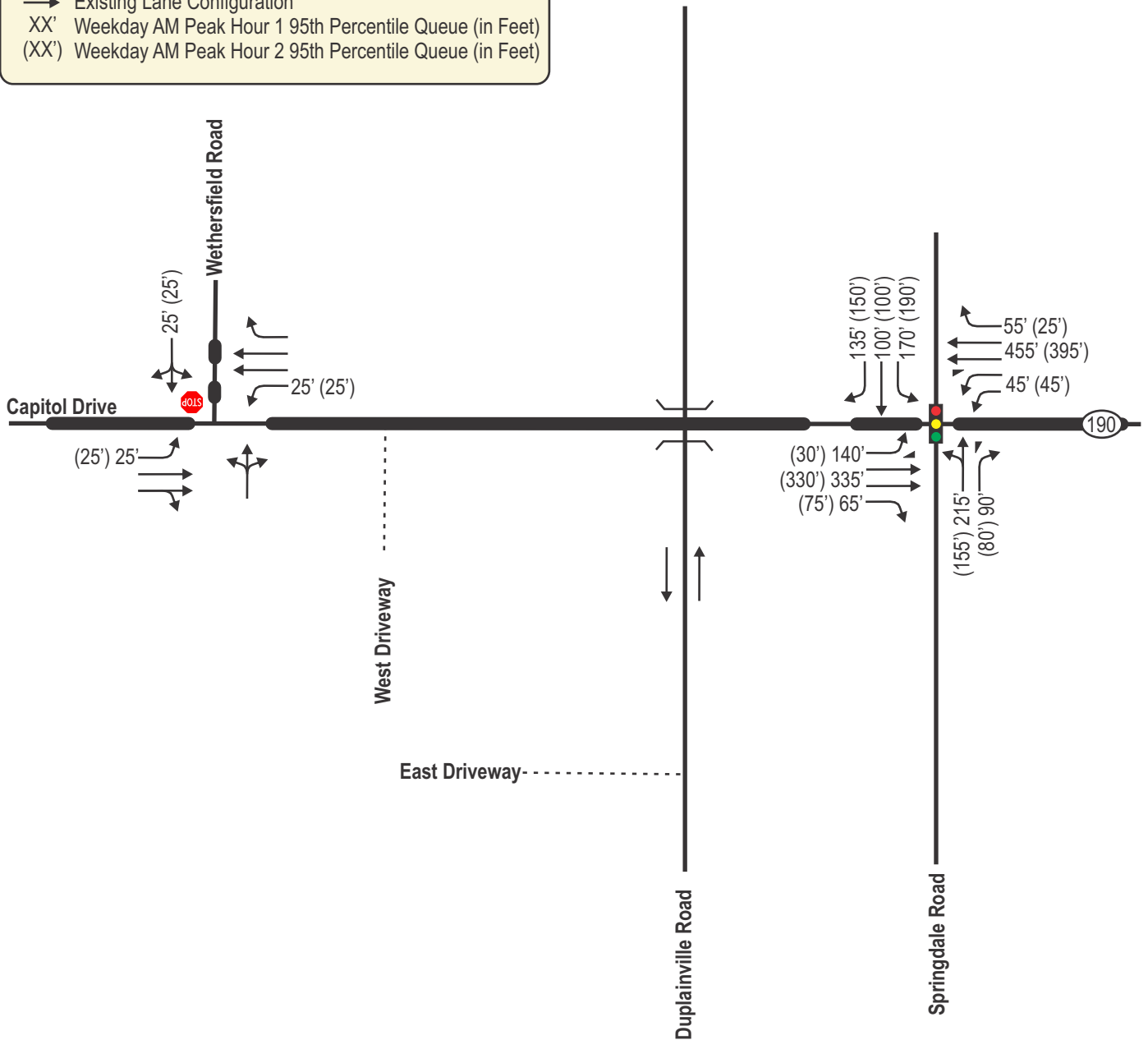


EXHIBIT 5-12B
FULL BUILD TRAFFIC OPERATIONS
WEST ACCESS DRIVEWAY ONLY
WITH MODIFICATIONS





PEWAUKEE, WISCONSIN

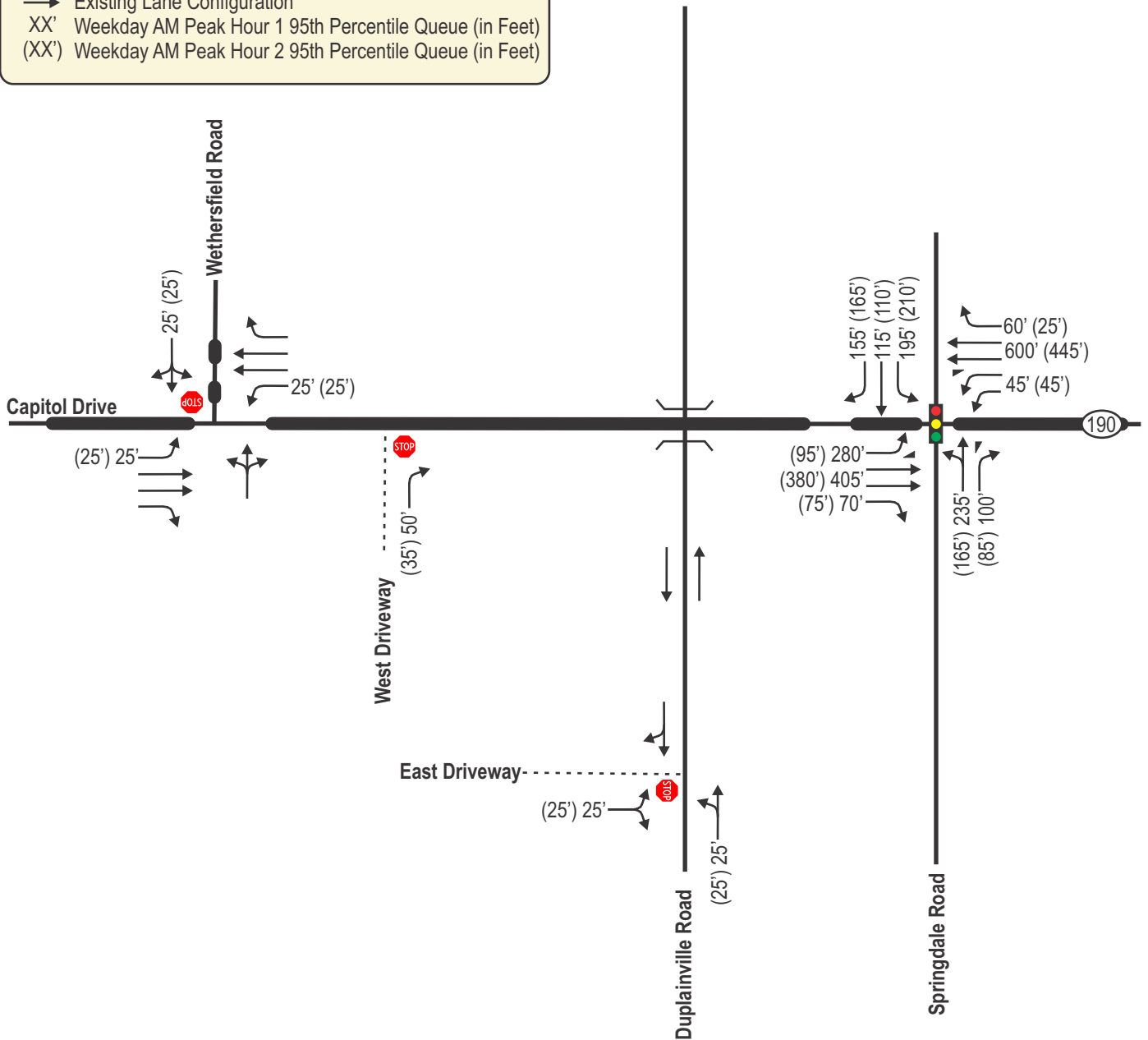
LEGEND

-  Traffic Control Signal
-  Stop Sign Control
-  Proposed Driveway
-  Existing Lane Configuration
- XX' Weekday AM Peak Hour 1 95th Percentile Queue (in Feet)
- (XX') Weekday AM Peak Hour 2 95th Percentile Queue (in Feet)







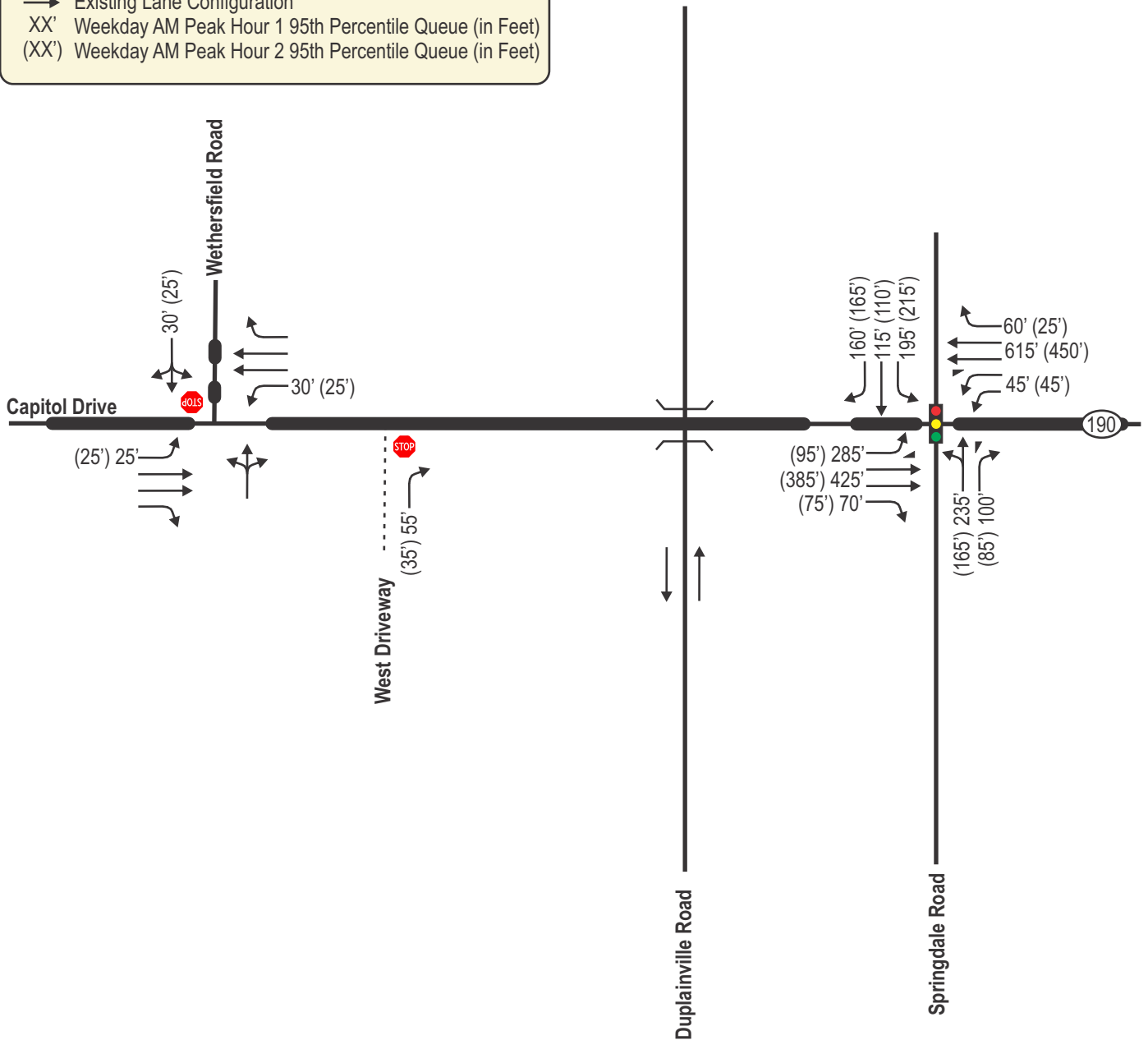
LEGEND

-  Traffic Control Signal
-  Stop Sign Control
-  Proposed Driveway
-  Existing Lane Configuration
- XX' Weekday AM Peak Hour 1 95th Percentile Queue (in Feet)
- (XX)' Weekday AM Peak Hour 2 95th Percentile Queue (in Feet)



LEGEND

-  Traffic Control Signal
-  Stop Sign Control
-  Proposed Driveway
-  Existing Lane Configuration
- XX' Weekday AM Peak Hour 1 95th Percentile Queue (in Feet)
- (XX)' Weekday AM Peak Hour 2 95th Percentile Queue (in Feet)





Aerial View Image: Google Earth (August 2022)

ISD MET



Street View Image: Google Earth (June 2024)

CAPITOL DRIVE - NB RIGHT-TURN OUT OF SITE
Looking left at EB traffic on Capitol Drive

Minimum WisDOT ISD distances at 50 mph Design Speed:

- Passenger Car: 665 feet
- Single-unit Truck: 785 feet

CHAPTER VI – RECOMMENDATIONS AND CONCLUSION

PART A – RECOMMENDATIONS

The study area intersections were analyzed based on the procedures set forth in the *Highway Capacity Manual* (HCM), 6th Edition. Intersection operation is defined by “level of service.” Level of Service (LOS) is a quantitative measure that refers to the overall quality of flow at an intersection ranging from very good, represented by LOS ‘A,’ to very poor, represented by LOS ‘F.’ For the purpose of this study, LOS D or better was used to define desirable peak hour operating conditions.

A1. Year 2024 Existing Traffic – Recommended Modifications

The Year 2024 existing traffic volumes do not include any proposed development. The analysis was conducted using existing intersection geometrics and traffic control. No modifications are recommended to accommodate the Year 2024 existing traffic volume conditions.

All movements at the study area intersections are currently operating acceptably at LOS D or better under the Year 2024 existing traffic volume conditions under current traffic volume conditions during the two Sunday morning peak periods except the southbound movements at the Capitol Drive intersection with Wethersfield Road which are currently operating at LOS F during the typical Sunday morning 11:30 am peak hour.

A2. Year 2026 Full Build Traffic – Recommended Modifications

Year 2026 full build (with development) traffic volumes include full build out of the church development site located along the south side of the STH 190 immediately west of Duplainville Road. The following modifications, as shown in [Exhibit 1-3](#), are recommended to accommodate the full build traffic volumes.

Node 100: STH 190 & Wethersfield Road

- No modifications recommended.

Node 200: STH 190 & Proposed West Driveway

- Provide a new right-in/right-out driveway on the south approach as shown on the site plan.
- Provide stop sign control on the south approach of the new access driveway.
- Provide a dedicated right-turn lane on the west approach.

Node 300: STH 190 & Springdale Road/Gumina Road

- No modifications recommended.

Node 400: Duplainville Road & Proposed East Driveway

- Provide a full access driveway on the west approach as shown on the site plan.
- Provide stop sign control on the west approach of the new access driveway.

Higher delays are currently being experienced for the southbound movements at the Capitol Drive intersection with Wethersfield Road during the typical late Sunday morning service discharge peak hour. However, with excess capacity at the intersection (V/C less than 0.25), relatively low volumes on this southbound approach (less than 20 vehicles during any peak hour) and queues of only about 1 vehicle, no modifications are recommended for this condition.

Under the full build traffic conditions, regardless of the access scenario constructed, delays for the southbound movements on Wethersfield Road are expected to increase during both Sunday morning service peak periods. However, under both peak periods, the capacity ratios are still less than 0.31 with queues of about 1 vehicle reported. No modifications are recommended for this condition.

Most members are expected to utilize Capitol Drive to access the site with very little traffic expected to use Duplainville Road. However, acceptable operational delays with minimal queuing are expected at both access driveways under either access option (with or without the additional access driveway onto Duplainville Road). Therefore, providing two access driveways to allow for additional access options is recommended.

Sight distance was also evaluated at the Capitol Drive intersection with the proposed access drive and all required sight distance requirements are expected to be met. Except as noted, all movements at the study area intersections are expected to continue to operate at acceptable levels at LOS D or better under the year 2026 full build (with proposed development) traffic conditions.

PART B – CONCLUSION

Except as noted, all movements at the study area intersections are expected to operate safely and efficiently through the opening year with the full build out of the development and the modifications identified in this TIA.

September 18, 2024



Office of the Planner & Community Development Director

Attn: Nick Fuchs, Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072

Below are responses for the staff report to the Plan Commission dated September 13, 2024 for the proposed development application for Shorepoint Church and the properties bearing Tax Key Nos. PWC 0912983, 0912984, and 0912985.

1. Certified Survey Map

The applicant will need to revise the signature lines of the CSM to include Colleen Brown as the Plan Commission Secretary for the Plan Commission Approval signature line and Kelly Tarczewski, City Clerk for the Common Council Approval signature line.

This will be modified and resubmitted as requested.

2. Site & Building Plans

Any dumpster enclosure kept onsite shall have its location and materials reviewed and approved by the City Planner.

This has been noted and trash enclosure intended to be the same materials as the exterior building.

3. Access

Staff recommends that the applicant provide a revised site plan, for Engineering Department review and approval, that shifts the Duplainville Road access location further south on the property.

Staff recommends that the future cross-access location shall be provided and constructed upon availability and development of the property to the west along with the removal of the existing access to Capitol Drive as well as the abandonment of the Duplainville Road access.

See attached letter from Shorepoint Church.

4. Traffic

All improvements as required by WisDOT in accordance with the Traffic Impact Analysis be completed prior to occupancy.

Shorepoint Church will be in compliance with WisDOTs requirements and regulations.

5. Architecture

The applicant shall verify that the proposed height of the cross complies with height regulations of the Capitol Airport.

A review package has been sent to the FAA for consideration.

Thanks again for your time and consideration on this project. Please reach out with any questions or any items of concern.

Sincerely,

A handwritten signature in black ink that reads 'Angie Knodel'.

Angie Knodel, AIA
Vanman Architects and Builders

262.444.3806

brian@shorepoint.cc

PO Box 41, Pewaukee, WI 53072

shorepoint
CHURCH

The City of Pewaukee
Attn: Planning and Community Development
W240 N3065 Pewaukee Road
Pewaukee, WI 53072

Re: Shorepoint Church — Future Access to Capitol Drive at Wethersfield Road

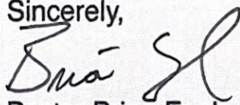
To: Planning and Community Development

Shorepoint Church will agree to move our Capitol Drive entrance to the west location aligned with Wethersfield Road when the land directly west of our property is developed and allows for access to our property from this location. Further, Shorepoint Church agrees to remove the old access to Capitol Drive at it's current location after the new access is granted and construction is completed.

Shorepoint Church has made in-person contact with the property owner of the land directly to the west of the church's property. The property owner has stated that they currently have no intention of selling the property and are not willing to grant easement or access to Capitol Drive at the Wethersfield location at this time.

It is the intent and desire of Shorepoint Church to work with WisDOT, City of Pewaukee and adjacent landowner, to provide safe access to all parties involved.

Sincerely,



Pastor Brian Engl
Shorepoint Church

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 7.**

DATE: September 19, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Recommendation to the Common Council for a Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee for Ken Weber Towing Service and Crossroads Church of Pewaukee, Inc. for Property Located at N27 W26541 Prospect Avenue from Government/Institutional to Retail/Service Commercial (PWC 0930985, PWC 0930984001)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

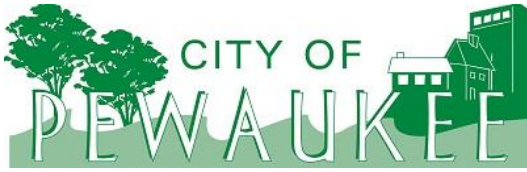
ATTACHMENTS:

Description

Ken Weber staff report 9.19.24

Ken Weber narrative

Ken Weber comp plan exhibit



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of September 19, 2024

Date: September 11, 2024

Project Name: Ken Weber Towing/Crossroads Church development project

Project Address/Tax Key No.: N27W26541 and N27W26560 Prospect Avenue/0930985 and 0930984001

Applicant: Ken Weber Towing and Crossroads Church

Property Owner: SUNDANCE LAND CO INC and FIRST BAPTIST CHURCH OF PEWAUKEE

Current Zoning: B-5 Highway Business District (PWC 0930984001) and I-1 Urban Institutional District (PWC 0930985)

2050 Land Use Map Designation: Retail/Service Commercial (PWC 0930984001) and Governmental/Institutional (PWC 0930985)

Use of Surrounding Properties: Single-family residential to the north and west, single-family residential and a BP gas station to the south, and multi-family residential to the east.

Project Description/Analysis

The applicants filed a Comprehensive Master Plan Amendment Application, Rezoning, and Certified Survey Map Application related to a request for Ken Weber Towing to acquire a portion of the adjacent Crossroads Church property.

Ken Weber Towing has indicated that they plan to expand the existing outdoor parking and storage area onto the portion of property being acquired; however, that is not being proposed at this time. Any future site or building modifications will require review and approval of a Site & Building Plan Review Application when proposed.

Comprehensive Master Plan Amendment

The Crossroads Church property is designated as Governmental/Institutional on the City's Year 2050 Land Use/Transportation Plan map. The Ken Weber Towing property is designated as Retail/Service Commercial.

As such, the portion of land to be acquired by Ken Weber Towing is proposed to be changed to Retail/Service Commercial to be consistent with the concurrent rezoning request described below.

Rezoning

The Crossroads Church property is currently zoned I-1 Urban Institutional District. The Ken Weber Towing property is zoned B-5 Highway Business District. As such, the portion of land to be acquired by Ken Weber Towing is proposed to be changed to B-5 Highway Business District. The rezoning is contingent upon and would be consistent with the approval of the Comprehensive Master Plan Amendment request.

Note that Ken Weber Towing is a Permitted Use in the B-5 Highway Business District.

Certified Survey Map

The Certified Survey Map Application is a reconfiguration of the Crossroads Church and Ken Weber Towing properties to allow Ken Weber Towing to acquire approximately 1.245 acres of the church property.

The area to be acquired is located to the west of Ken Weber Towing and is currently vacant. The site is wooded; however, in review of Wisconsin Department of Natural Resources and Southeastern Wisconsin Regional Planning Commission mapping, the property does not contain any wetlands or environmental corridor designations.

The CSM results in the Ken Weber Towing property having an area of 2.499-acres and the remaining Crossroads church property has an area of 2-acres, which meets the 2-acre minimum lot area standard of the I-1 District.

The B-5 District requires a minimum 15-foot side yard and 25-foot rear yard setback. Considering the adjacent single-family residential uses, staff recommends that a 40-foot bufferyard be established adjacent to abutting residentially zoned and used properties. The bufferyard shall be shown on the CSM with restrictions stating that this area shall be preserved unless otherwise approved by the Plan Commission. The bufferyard shall be reserved for plantings only; no structures or impervious surfaces shall be allowed. Note the Plan Commission may require increased setbacks per Section 17.0207a.(1) of the City's Zoning Code.

The proposed CSM moves the property line to the south of the church parking lot further north. This results in a setback that is less than 10-feet, which is not allowed per Section 17.0601c. Therefore, staff recommends that sufficient asphalt be removed to establish a minimum 10-foot setback for the parking lot located on the Crossroads Church property. The applicant is also requesting a setback for the playground located adjacent to the building closer to that property line than what currently exists.

With the above condition and site modification, both lots will conform to their respective zoning districts, including setbacks and minimum lot area and width requirements.

Staff is also recommending the two technical corrections below:

1. the Plan Commission Secretary for the Plan Commission Approval should be Colleen Brown, not Kelly Tarczewski.
2. Building and parking setbacks shall be shown on the Certified Survey Map.

Recommendation

A motion to recommend approval of the Comprehensive Master Plan Amendment to amend the future land use designation for a portion of the property located at N27W26541 Prospect Avenue from Government/Institutional to Retail/Service Commercial.

A motion to recommend approval of the Rezoning request to change the zoning from I-1 Urban Institutional District to B-5 Highway Business District for a portion of the property located at N27W26541 Prospect Avenue.

A motion to recommend approval of the Certified Survey Map to create a 2.499-acre parcel located at approximately N27W26560 Prospect Avenue.

PROJECT NARRATIVE:

**WEBER TOWING ACQUISITION OF
PART OF CROSSROADS CHURCH**

Sundance Land Company, Inc. is the owner of the land occupied by Ken Weber Towing Service at N27 W26560 Prospect Avenue (Weber Land). Immediately north and west of the Weber Land is the Crossroads Church Property located at N27 W26541 Prospect Avenue (Church Land). Ken Weber seeks to acquire the portion of the Church Land lying westerly of the Weber Land (“Acquired Property”). The Acquired Property and the Weber Land would then be combined into a single lot (“Lot 1”). This lot would be occupied solely by Ken Weber Towing Service for its purposes.

In order to complete this process, the Acquired Property will have to be rezoned from I-1 zoning, to B-5 zoning (same as the Weber Land). Upon approval of this zoning change and the proposed CSM, Weber intends to occupy the premises in compliance with all applicable zoning. No site plan approvals or building permits are sought at this time; but if improvements are needed permits will be requested in compliance with City ordinances.

COMP PLAN AMENDMENT EXHIBIT

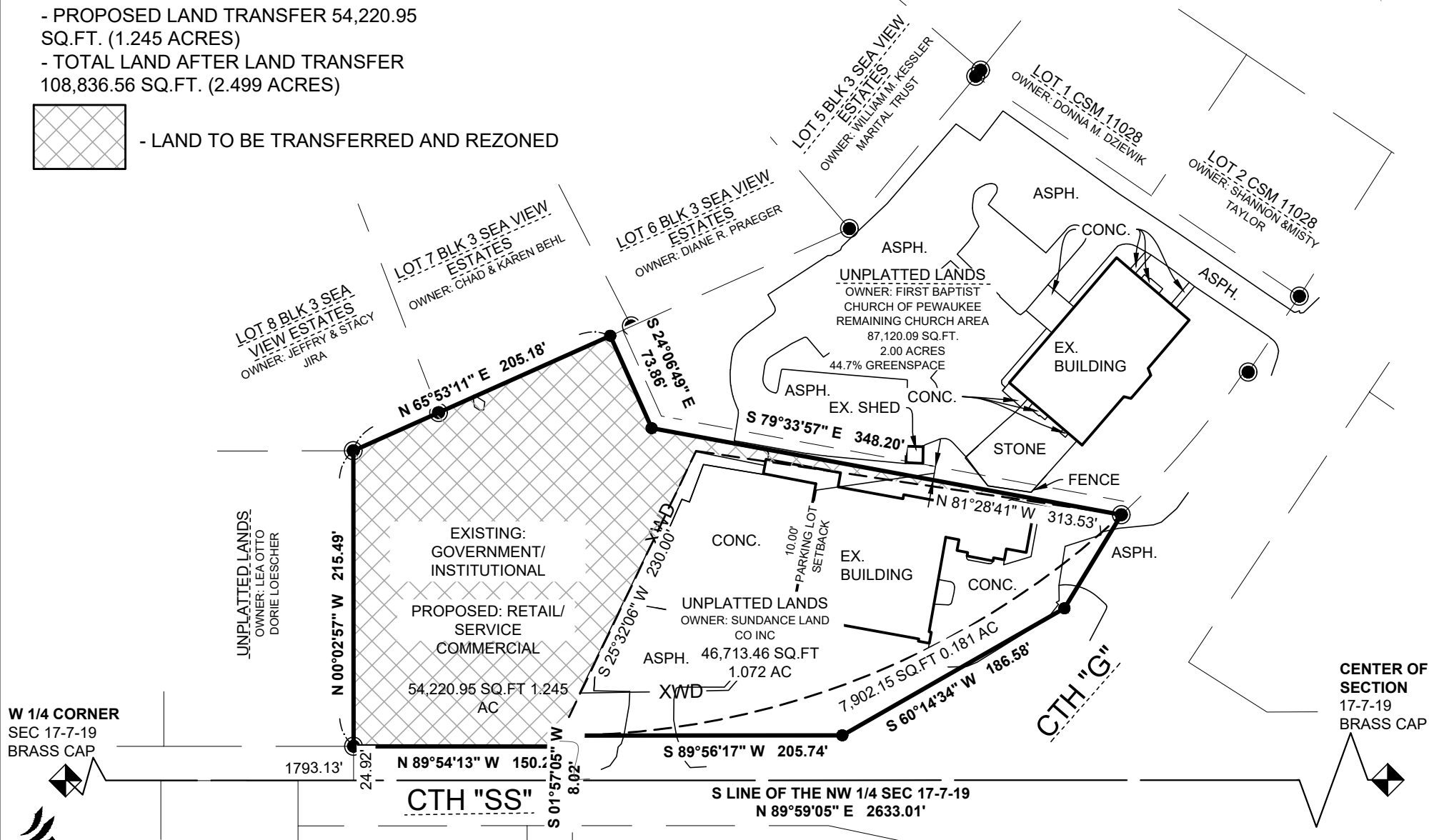
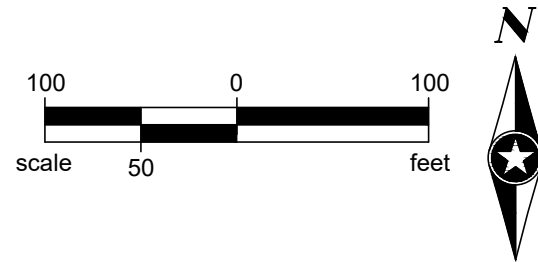
NOTES:

- CHURCH LOT REMAINING LAND 87,120.09 SQ.FT (2.00 ACRES)
- CHURCH LOT GREEN SPACE 44.70%
- CHURCH LOT GREEN SPACE AFTER PARKING LOT REMOVAL 45.6%
- PROPOSED LAND TRANSFER 54,220.95 SQ.FT. (1.245 ACRES)
- TOTAL LAND AFTER LAND TRANSFER 108,836.56 SQ.FT. (2.499 ACRES)



- LAND TO BE TRANSFERRED AND REZONED

BEING A PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, LOCATED IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

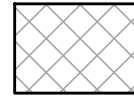


W 1/4 CORNER
SEC 17-7-19
BRASS CAP

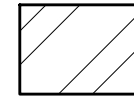
CENTER OF
SECTION
17-7-19
BRASS CAP



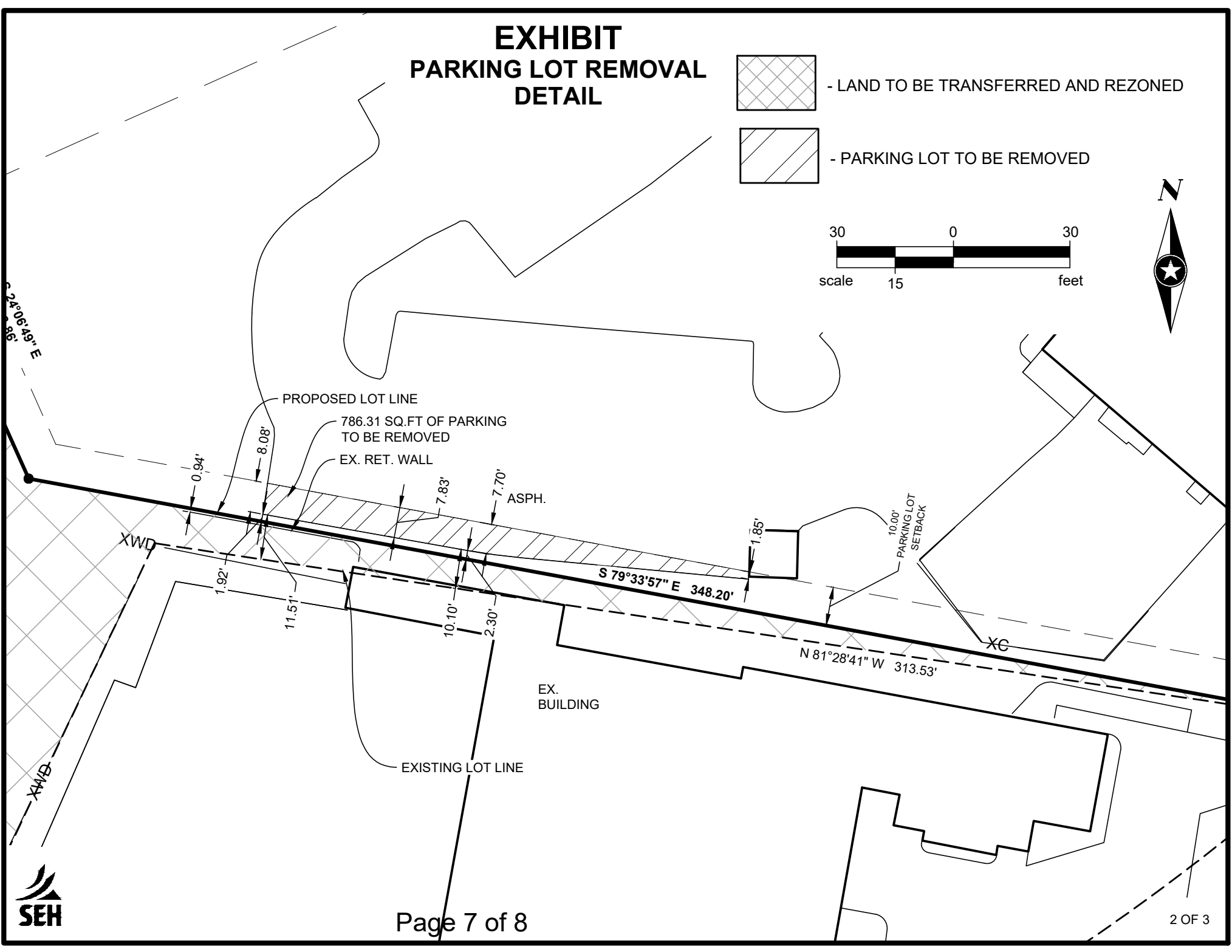
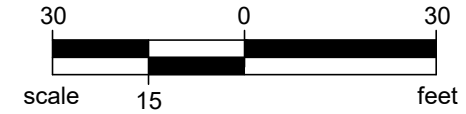
EXHIBIT PARKING LOT REMOVAL DETAIL



- LAND TO BE TRANSFERRED AND REZONED



- PARKING LOT TO BE REMOVED



EXHIBIT

BEING A PART OF THE SOUTHEAST 1/4 OF THE
NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH,
RANGE 19 EAST, LOCATED IN THE CITY OF PEWAUKEE,
WAUKESHA COUNTY, WISCONSIN

LAND TRANSFER AND REZONING

BEING A PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, LOCATED IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST 1/4 CORNER OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST; THENCE NORTH 89°59'05" EAST ALONG THE SOUTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION, A DISTANCE OF 1,793.13 FEET ; THENCE NORTH 0°02'57" WEST, 24.92 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF COUNTY HIGHWAY "SS" ALSO THE POINT OF BEGINNING; THENCE NORTH 0°02'57" WEST, 215.49 FEET TO A 1 INCH IRON PIPE ON THE SOUTH LINE OF BLOCK 3 OF SEA VIEW ESTATES; THENCE NORTH 65°53'11" EAST ALONG THE SOUTHERLY LINE OF BLOCK 3 OF SEA VIEW ESTATES, A DISTANCE OF 205.18 FEET TO A POINT ON THE SOUTH LINE OF BLOCK 3 OF SEA VIEW ESTATES; THENCE SOUTH 24°06'49" EAST, 73.86 FEET; THENCE SOUTH 79°33'57" EAST, 348.20 FEET TO THE WESTERLY RIGHT OF WAY OF COUNTY HIGHWAY "G"; NORTH 81°28'41" WEST, 313.53 FEET; THENCE SOUTH 25°32'06" WEST, 230.00 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY OF COUNTY HIGHWAY "SS"; THENCE SOUTH 1°57'05" WEST, 8.02 FEET TO A POINT ALONG THE NORTHERLY RIGHT OF WAY LINE OF COUNTY HIGHWAY "SS"; THENCE NORTH 89°54'13" WEST ALONG SAID NORTHERLY LINE, A DISTANCE OF 150.23 FEET TO THE POINT OF BEGINNING.

SAID LANDS CONTAIN 54,220.95 SQUARE FEET, 1.245 ACRES

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 8.**

DATE: September 19, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action and Public Hearing for Ken Weber Towing Service and Crossroads Church of Pewaukee, Inc. to Rezone a Portion of Property Located at N27 W26541 Prospect Avenue from I-1 Urban Institutional to B-5 Highway Business (PWC 0930985, PWC 0930984001)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

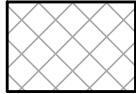
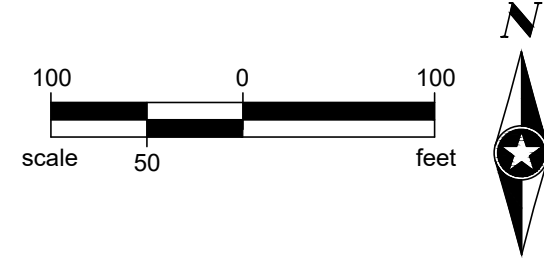
Ken Weber rezoning exhibit

EXHIBIT

NOTES:

- CHURCH LOT REMAINING LAND 87,120.09 SQ.FT (2.00 ACRES)
- CHURCH LOT GREEN SPACE 44.70%
- CHURCH LOT GREEN SPACE AFTER PARKING LOT REMOVAL 45.6%
- PROPOSED LAND TRANSFER 54,220.95 SQ.FT. (1.245 ACRES)
- TOTAL LAND AFTER LAND TRANSFER 108,836.56 SQ.FT. (2.499 ACRES)

BEING A PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, LOCATED IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN



- LAND TO BE TRANSFERRED AND REZONED

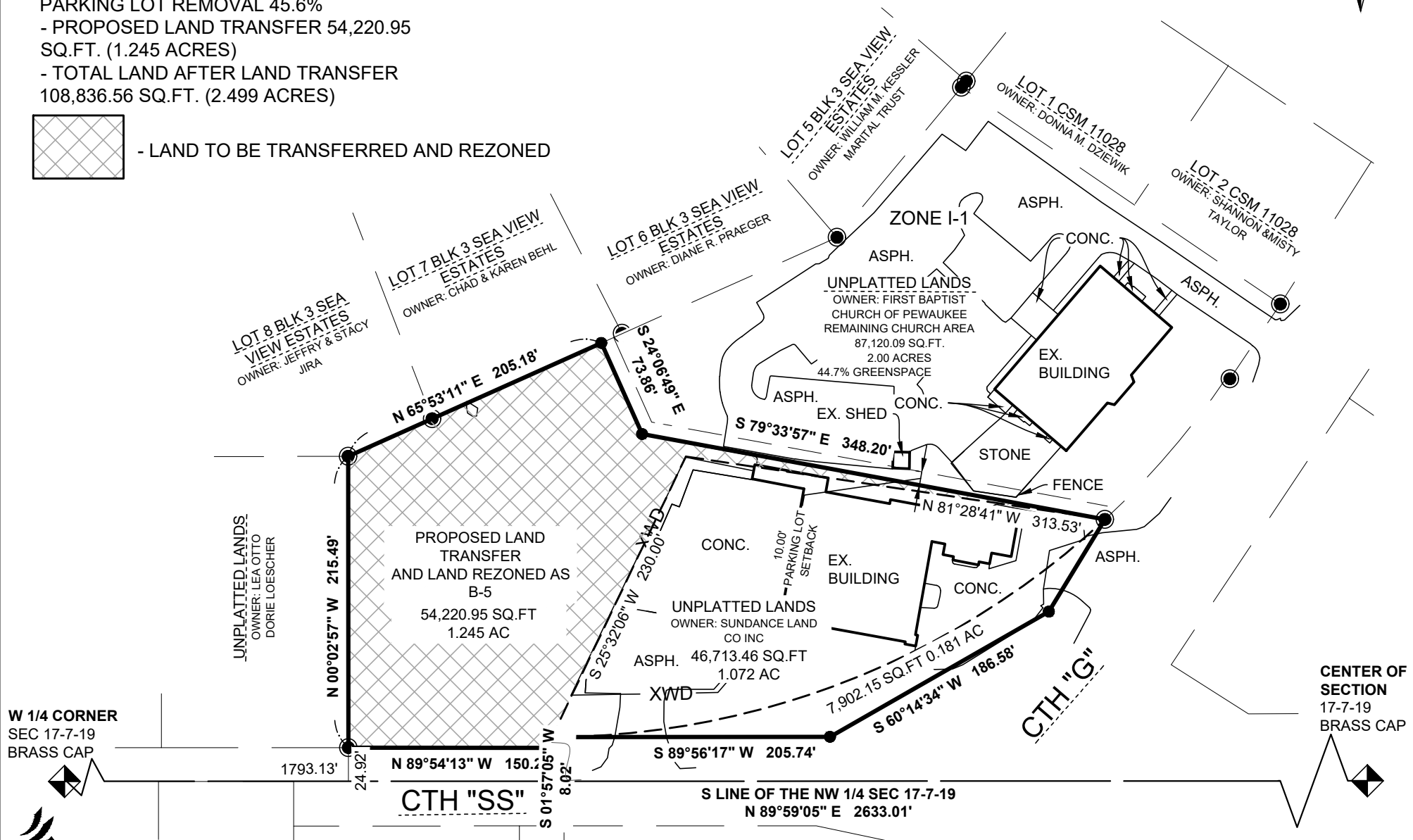
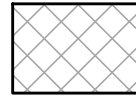
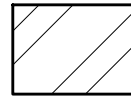


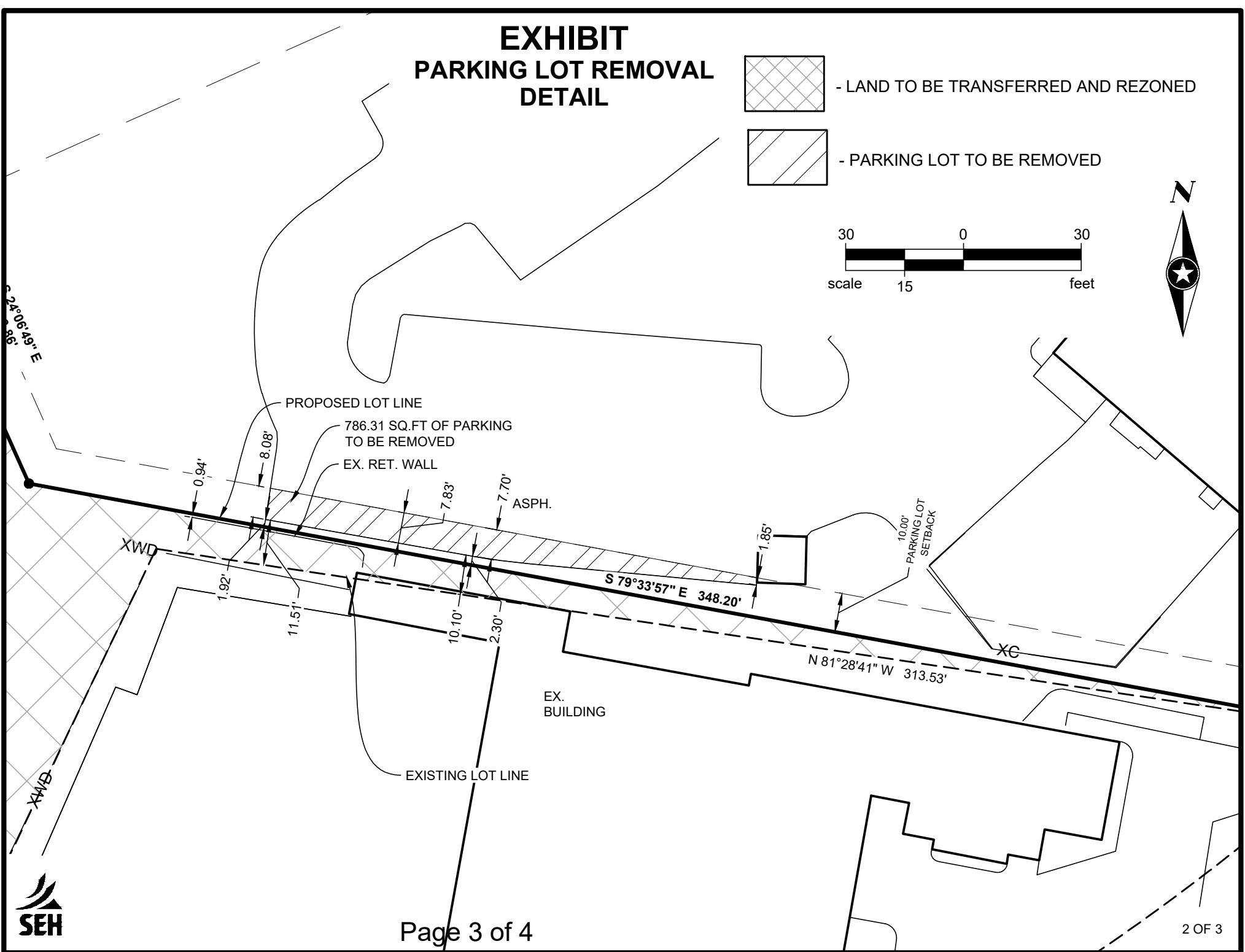
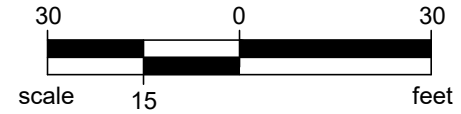
EXHIBIT PARKING LOT REMOVAL DETAIL



- LAND TO BE TRANSFERRED AND REZONED



- PARKING LOT TO BE REMOVED



EXHIBIT

BEING A PART OF THE SOUTHEAST 1/4 OF THE
NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH,
RANGE 19 EAST, LOCATED IN THE CITY OF PEWAUKEE,
WAUKESHA COUNTY, WISCONSIN

LAND TRANSFER AND REZONING

BEING A PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, LOCATED IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST 1/4 CORNER OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST; THENCE NORTH 89°59'05" EAST ALONG THE SOUTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION, A DISTANCE OF 1,793.13 FEET ; THENCE NORTH 0°02'57" WEST, 24.92 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF COUNTY HIGHWAY "SS" ALSO THE POINT OF BEGINNING; THENCE NORTH 0°02'57" WEST, 215.49 FEET TO A 1 INCH IRON PIPE ON THE SOUTH LINE OF BLOCK 3 OF SEA VIEW ESTATES; THENCE NORTH 65°53'11" EAST ALONG THE SOUTHERLY LINE OF BLOCK 3 OF SEA VIEW ESTATES, A DISTANCE OF 205.18 FEET TO A POINT ON THE SOUTH LINE OF BLOCK 3 OF SEA VIEW ESTATES; THENCE SOUTH 24°06'49" EAST, 73.86 FEET; THENCE SOUTH 79°33'57" EAST, 348.20 FEET TO THE WESTERLY RIGHT OF WAY OF COUNTY HIGHWAY "G"; NORTH 81°28'41" WEST, 313.53 FEET; THENCE SOUTH 25°32'06" WEST, 230.00 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY OF COUNTY HIGHWAY "SS"; THENCE SOUTH 1°57'05" WEST, 8.02 FEET TO A POINT ALONG THE NORTHERLY RIGHT OF WAY LINE OF COUNTY HIGHWAY "SS"; THENCE NORTH 89°54'13" WEST ALONG SAID NORTHERLY LINE, A DISTANCE OF 150.23 FEET TO THE POINT OF BEGINNING.

SAID LANDS CONTAIN 54,220.95 SQUARE FEET, 1.245 ACRES

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 9.**

DATE: September 19, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Certified Survey Map for Property Located at N27 W26541 Prospect Avenue and N27 W26560 Prospect Avenue for the Purpose of Attaching a Portion of the Crossroads Church of Pewaukee, Inc. Property to the Ken Weber Towing Service Property (PWC 0930985, PWC 0930984001)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Ken Weber CSM

CERTIFIED SURVEY MAP NO. _____

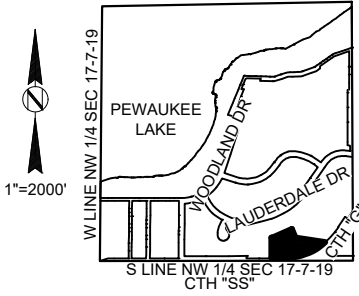
BEING A PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF
SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, LOCATED IN THE
CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

SURVEYOR:
KEITH A. KINDRED, PLS S-2082
SEH
501 MAPLE AVE
DELAFIELD, WI 53018
(414) 949-8919
KKINDRED@SEHINC.COM

SURVEY FOR:
SUNDANCE LAND CO., INC
N27W26560 PROSPECT AVE
PEWAUKEE, WI 53072

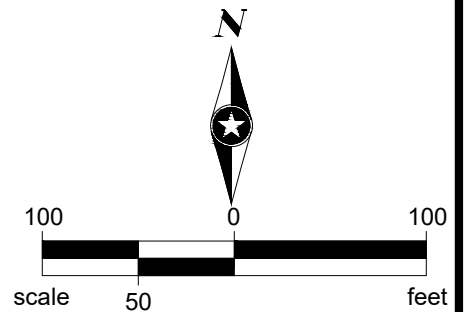
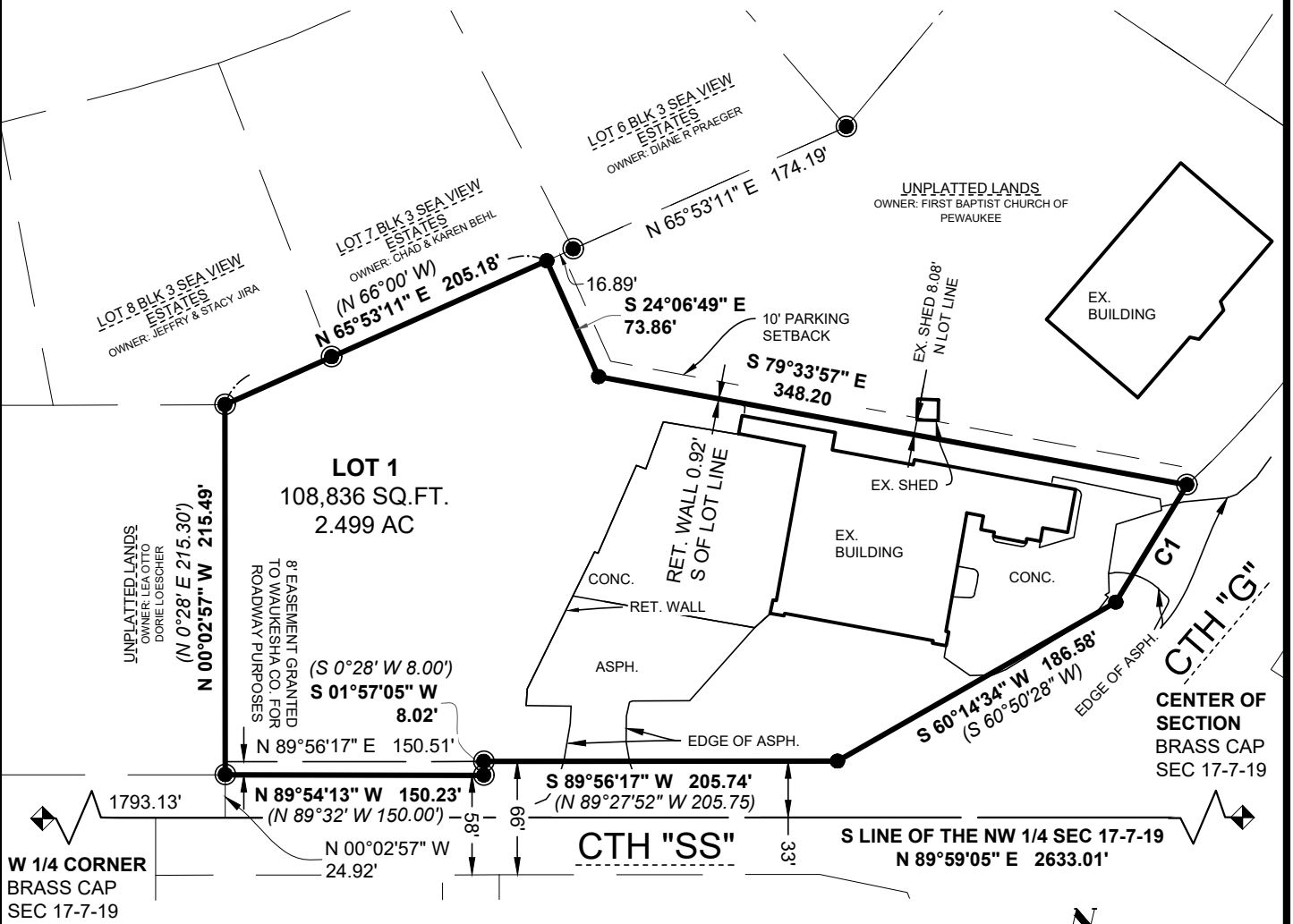
C/O LANGER & PETERSON, LLC
155 EAST CAPITOL DR. SUITE 3
HARTLAND, WISCONSIN 53029

LOCATION MAP



C1:
ARC LENGTH 79.87'
CHORD 79.87'
CH. BRG. S31°17'43"W
RADIUS 5782.49'
TAN BRG. 1 S31°41'27"W
TAN BRG. 2 S30°53'58"W
(CHORD S 31°49'45" W)

● - 1" IRON PIPE FOUND
● - 3/4" REBAR SET
◆ - SECTION CORNER AS DESCRIBED
(N00°00'00"W 000.00') - RECORDED AS / DEEDED AS
NOTE: A GRADING PLAN SHOWING CONTOURS AND EXISTING UTILITIES WILL BE PROVIDED PRIOR TO CONSTRUCTION



BEARINGS REFERENCED TO THE
SOUTH LINE OF THE NW 1/4 OF SEC
17-7-19, BEARING N89°59'05" E.
NAD 83, WISCONSIN STATE PLANE,
SOUTH ZONE, US FOOT (NSRS 2011)

DATED THIS 5TH DAY OF SEPTEMBER, 2024

THIS INSTRUMENT DRAFTED BY KENNETH BRAUNLING

SHEET 1 OF 4



CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, LOCATED IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

I, Keith A. Kindred, Professional Land Surveyor hereby certify.

That I have surveyed, divided, and mapped the lands being a part of the Southeast 1/4 of the Northwest 1/4 of Section 17, Township 7 North, Range 19 East, located in the city of Pewaukee, Waukesha County, Wisconsin, more fully described as follows;

Commencing at the West 1/4 corner of Section 17, Township 7 North, Range 19 East; thence North 89°59'05" East along the South line of the Northwest 1/4 of said Section, a distance of 1,793.13 feet; thence North 0°2'57" West, 24.92 feet to a point on the Northerly right of way line of County Highway "SS" also the point of beginning; thence North 0°2'57" West, 215.49 feet to a 1 inch iron pipe found on the South line of Block 3 of Sea View Estates; thence North 65°53'11" East along the Southerly line of Block 3 of Sea View Estates, a distance of 205.18 feet; thence South 24°6'49" East, 73.86 feet; thence South 79°33'57" East, 348.20 feet to the Westerly right of way of County Highway "G"; thence 79.87 feet along said right of way also being a curve to the right whose radius is 5,782.49 feet, chord bearing South 31°17'43" West, a distance of 79.87 feet; thence continuing along said right of way South 60°14'34" West, 186.58 feet to a point along the Northerly right of way of County Highway "SS"; thence continuing along said right of way South 89°56'17" West, 205.74 feet to a jog South in the Northerly right of way line; thence South 1°57'05" West, 8.02 feet to a point along the Northerly right of way line of County Highway "SS"; thence North 89°54'13" West along said Northerly line, a distance of 150.23 feet to the point of beginning.

Said lands contain 108,836.58 square feet, 2.499 acres

That I have made such survey, land division and plat by the direction of the owner(s) of said lands. That such survey is a correct representation of all the exterior boundaries of the lands surveyed and the division thereof made. That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes and the subdivision regulations of the chapter 18.0600 of the City of Pewaukee Municipal Code in surveying, dividing and mapping the same.

Dated this 5th day of September, 2024



Keith A Kindred, PLS 2082

CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, LOCATED IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

CORPORATE OWNER'S CERTIFICATE:

SUNDANCE LAND CO, INC, AN INCORPORATED COMPANY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, CERTIFIES THAT SAID INCORPORATION HAS CAUSED THE LAND ON THIS MAP TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED ON THIS MAP IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF PEWAUKEE.

SUNDANCE LAND CO, INC, DOES FURTHER CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION; CITY OF PEWAUKEE.

IN WITNESS WHEREOF, **SUNDANCE LAND CO, INC**, HAS CAUSED THESE PRESENTS

TO BE SIGNED BY _____, ON THIS _____ DAY OF _____, 20_____

STATE OF WISCONSIN)

_____ COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20____,

THE ABOVE NAMED _____ TO ME KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC

_____ COUNTY, WISCONSIN

MY COMMISSION EXPIRES _____



DATED THIS 5TH DAY OF SEPTEMBER, 2024

CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 19 EAST, LOCATED IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

PLAN COMMISSION APPROVAL:

APPROVED BY THE PLAN COMMISSION OF THE CITY OF PEWAUKEE THIS _____ DAY

OF _____, 20_____

STEVE BIERCE, PRESIDING OFFICER

KELLY TARCZEWSKI, CITY CLERK / TREASURER / CEMETERY SEXTON

COMMON COUNCIL APPROVAL:

APPROVED BY THE COMMON COUNCIL OF THE CITY OF PEWAUKEE THIS _____ DAY

OF _____, 20_____

STEVE BIERCE, MAYOR

KELLY TARCZEWSKI, CITY CLERK / TREASURER / CEMETERY SEXTON



Keith A. Kindred

DATED THIS 5TH DAY OF SEPTEMBER, 2024



**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 10.**

DATE: September 19, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion Regarding a Conceptual Review for Doug Kiser for the Review of a Proposed Private Park and Event Space for Property Located on Bluemound Road (PWC 0951995001)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

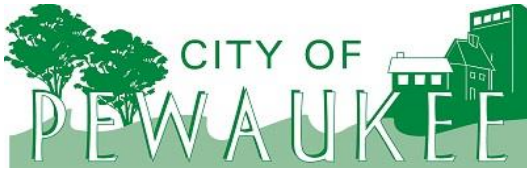
Description

Kiser staff report 9.19.24

Kiser conceptual review plan

P-1 District

B-3 District



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of September 19, 2024

Date: September 9, 2024

Project Name: Kiser Conceptual Review

Project Address/Tax Key No.: N15W24960 Bluemound Road / PWC 0951995001

Applicant: Douglas & Kim Kiser

Property Owner: ARCE HANDYMAN LLC

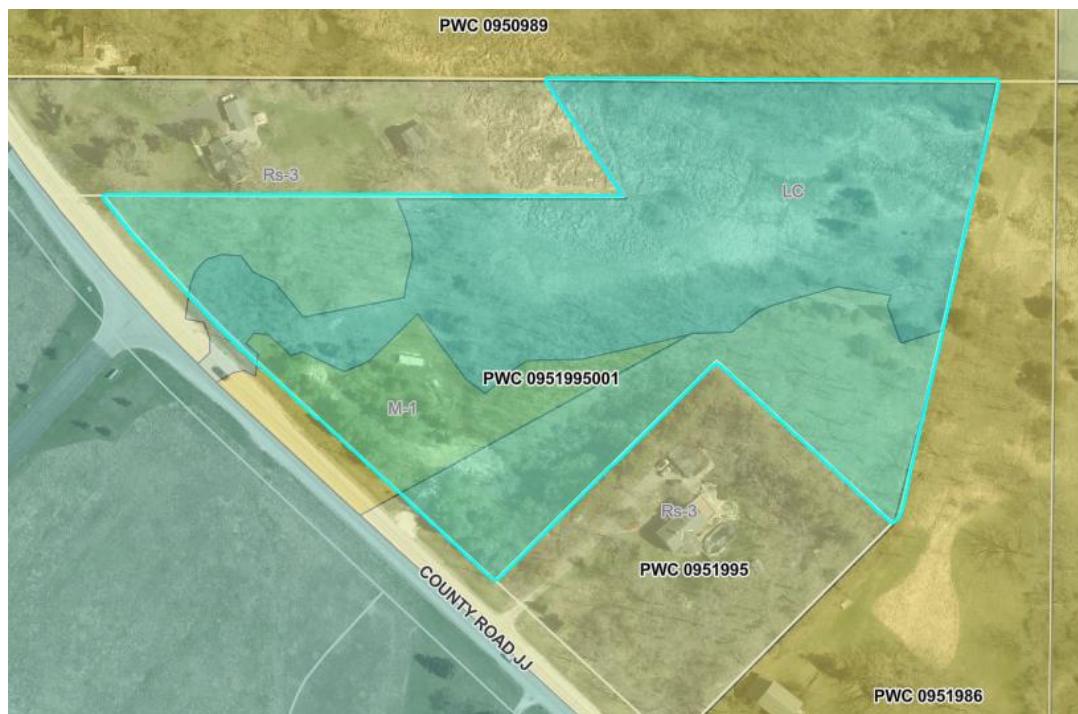
Current Zoning: M-1 General Wholesale Business/Warehouse District, Rs-3 Single-Family Residential District, and LC Lowland Conservancy District

2050 Land Use Map Designation: Manufacturing/Fabrication/Warehousing

Use of Surrounding Properties: Single-Family Residential to the north, south, east, and industrial and single-family to the west

Project Description/Analysis

The property owners to the north and south of the subject 7.52-acre property submitted conceptual plans for Plan Commission review of a proposed outdoor event space business use. This property is currently designated as Manufacturing/Fabrication/Warehousing on the City's Year 2050 Land Use/Transportation Plan map and zoned M-1 General Wholesale Business/Warehouse District, Rs-3 Single-Family Residential District, and LC Lowland Conservancy District. The image below illustrates those zoning boundaries.



The property was previously rezoned upon request of the current property owner for a landscape business use and possible future residential development. That project, however, did not move forward.

Proposed Use

According to the applicant, rentals of the site will be geared toward birthday parties, family reunions, and graduation parties, although it will not necessarily be limited to those uses. The Plan Commission should consider and comment on any uses that may not be acceptable or if other limitations on uses would be recommended, such as capacity/number of guests.

Events are proposed to be allowed between 7:30 a.m. and 11:00 p.m., including set up and cleanup of the event. It is recommended that the Plan Commission consider acceptable hours for this project. Staff has concerns about extending hours too late in the evening, particularly if music is allowed given the property's location and proximity to residential uses.

The P-1 District is arguably the most appropriate district considering the intent of the district is to allow both public and private recreational uses. The Plan Commission could consider the proposed event space use to be similar to those uses listed within the district, which is attached. Alternatively, the B-3 General Business District may be an option as well (see attached).

Note that both zoning districts would require a Conditional Use Permit along with a Rezoning Application, Comprehensive Master Plan Amendment Application, and Site & Building Plan Review Application for any proposed structures or site improvements.

Site Plan & Improvements

The application materials describe having up to two tents and eight portable restrooms.

The applicant has indicated that the existing gravel drive and parking area would be utilized for this use. Staff would anticipate recommending the driveway be paved and at least a portion of the parking lot to be in conformance with Section 17.0432g.(1) (below) and 17.0601 of the Zoning Code, which both require paved parking. The B-3 District contains similar language requiring off-street parking to be paved.

P-1

g. Parking and Loading Space

(1) There shall be sufficient paved off-street parking and loading space provided to accommodate users of the park or open space area and such parking and loading areas shall be adequately screened as determined by the Plan Commission (see section 17.0600).

(2) There shall be no parking or loading area within 30 feet of a street right-of-way.

Staff has made the applicant aware that there were no approvals granted for the gravel parking area. This area may not be in compliance with the 30-foot setback noted above in sub (2). Furthermore, any structures or impervious surfaces, including gravel, that were placed within the wetland or 25-foot wetland setback, must be removed.

Recommendation

No action required.

Generally, staff has concerns with this type of use being located within the proximity of residential properties, granted the two nearest residential properties are owned by the applicants. Concerns with these types of uses are primarily related to hours of operations and noise. Event type uses are typically not compatible with single-family uses.

It is recommended that sufficient feedback be provided to allow the applicant to determine whether to proceed or not with detailed development plans and the required applications.

Bluemound Road PWC 0951995001

Applicants

- Doug Kiser
- Kim Kiser
- Tom Krumenacher
- Karen Krumenacher

Conceptual Review

August 16, 2024

Page 5 of 20



Location

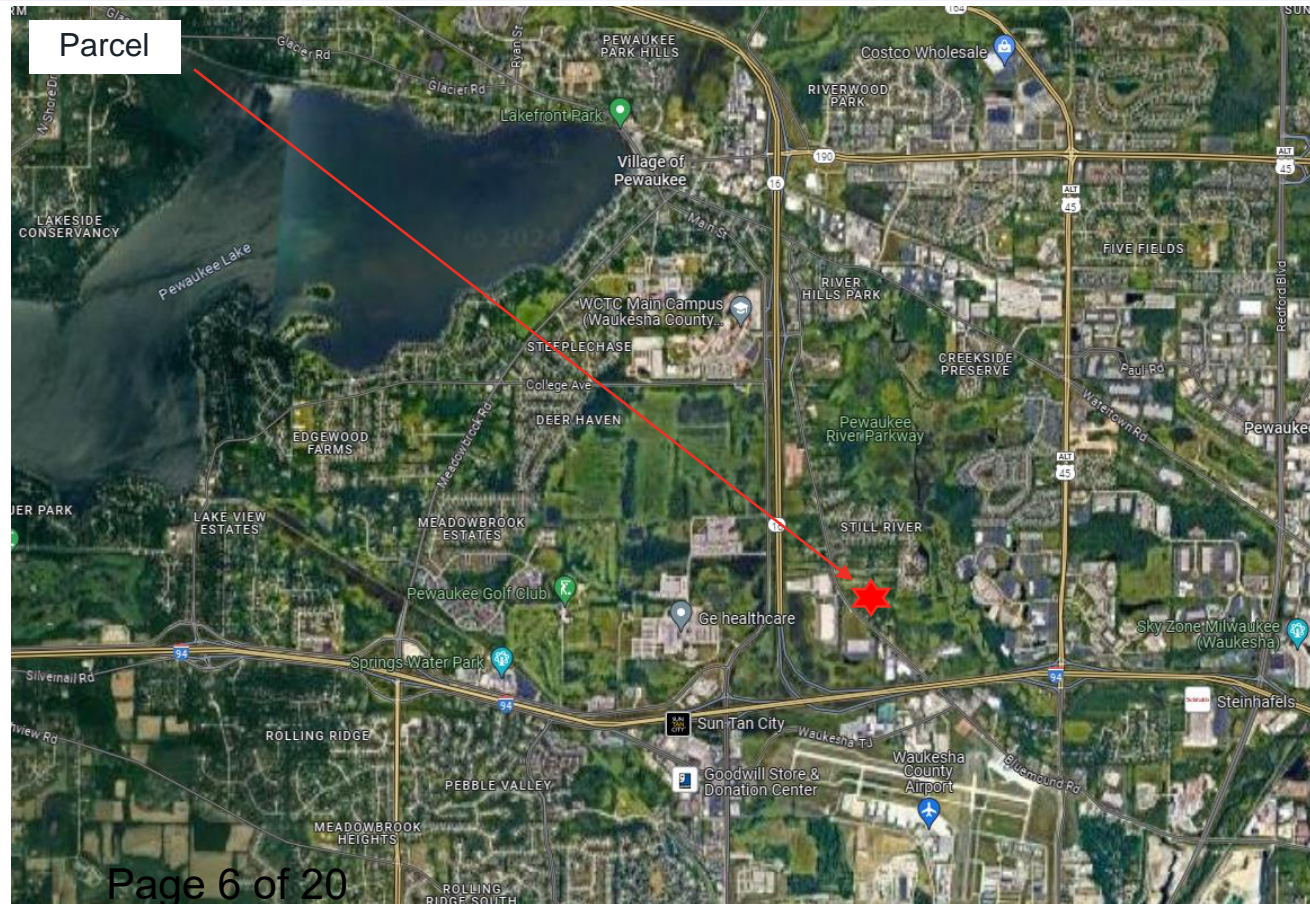
7.5 Acres undeveloped land located in the City of Pewaukee on County Hwy JJ (Bluemound Road).

Zoning

- ~3 acres RS 3 single family residential district.
- ~1.5 acres M1 General Wholesale Business/Warehouse District
- ~3 acres LC Lowland Conservancy district

Current Use

- Used for a Landscape business with outside storage of lawncare equipment, materials, and general operations.



Location

Site is irregular in shape with approximately 600 linear feet Bluemound Road frontage.

- Gravel access drive from Bluemound Road.
- Compacted gravel parking area approximately 0.75 acres.
- Tree & shrub natural screen along Bluemound for privacy.
- Municipal water & sanitary located in Bluemound road.

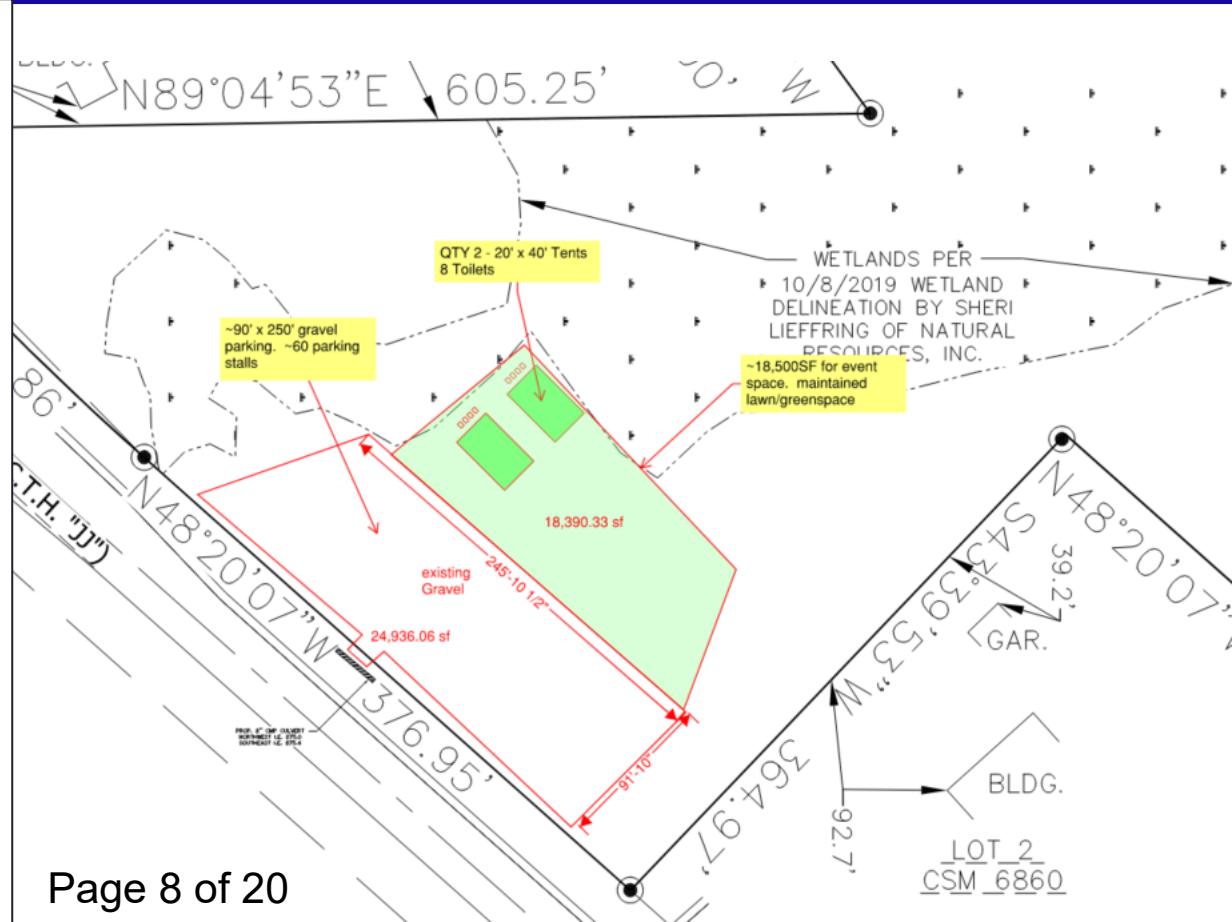


M1 Designation for existing Lawncare Business to successfully operate.

Proposed Use

Event space

- 20' x 40' tents QTY 2
- 19,000 SF of event space located in lawn with mature trees.
- 8 toilets
- Use does not require municipal water, sanitary, or site improvements.
- Existing gravel lot of approximately 25,000 square feet to accommodate 50 vehicles
- Event space rental of an outdoor park setting with two tents to assist with inclement weather.
- Reservations available year-round, winter conditions will limit use. Main rental activity to April through October.
- Applicants live in adjacent properties surrounding the proposed parcel.
- Rentals in 4-hour blocks or by the day.
- A day is considered 7:30am to 11:00pm to assist with setup and clean up for reservations.
- Target rentals for birthday parties, family reunions, and graduation parties.

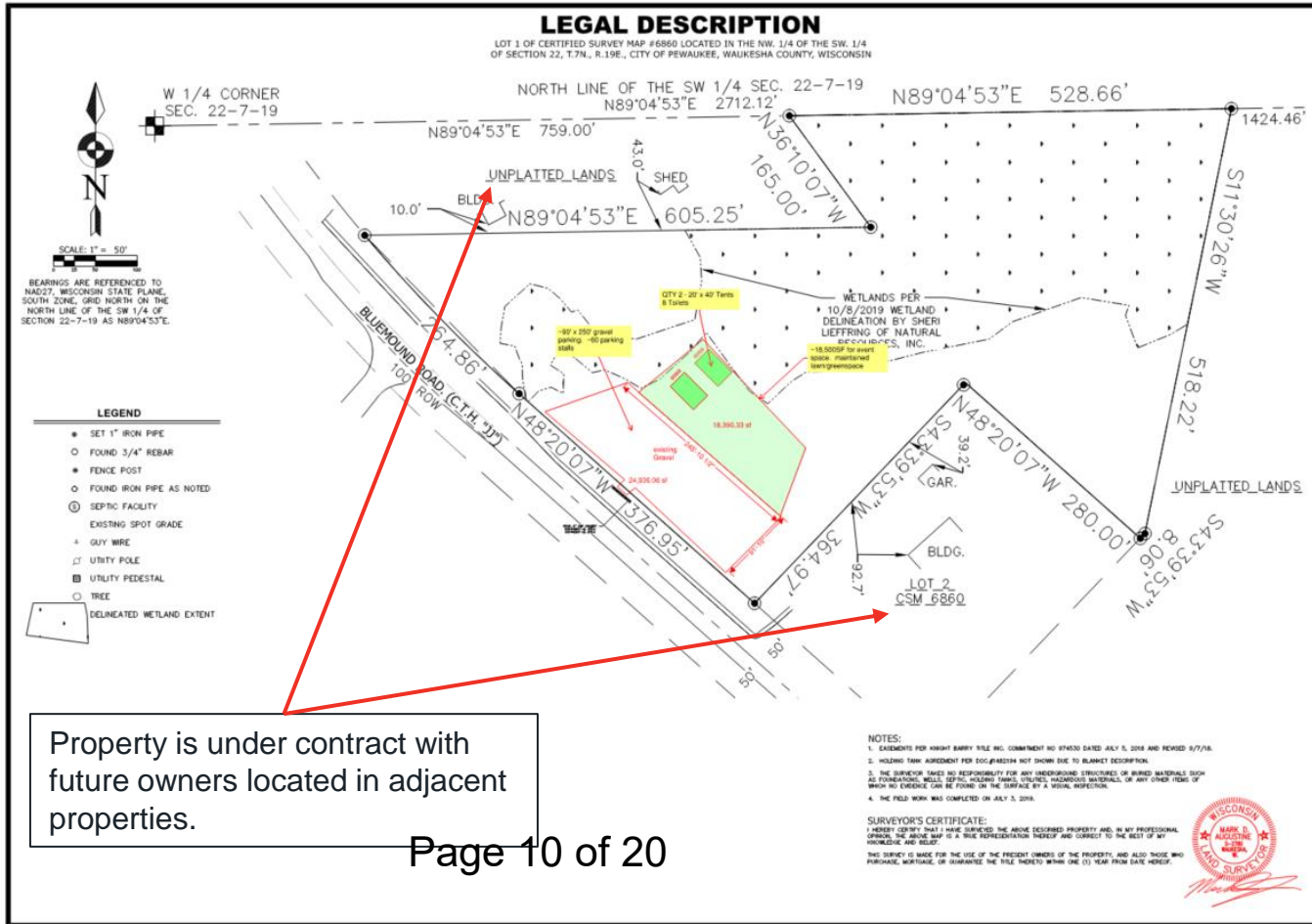


Proposed Use – Comparable Sites

- Ryan Park has an existing gravel parking lot with a single portable toilet.



Proposed Use



Property is under contract with future owners located in adjacent properties.

Proposed Use – Possible Zoning



P-1 Park and Open Space District

- ...intended to provide for areas where the active and passive recreational needs, both public and private, of the populace can be met without undue disturbance of natural resources and adjacent uses.”
- permitted principal use (9) picnic areas.

B-3 General Business District

- ...intended to provide for the orderly continuation and revitalization of older established business areas of the city where existing uses are not exclusively of one type...”
- permitted principal use (j) places of use for the general public

Proposed Use – Surrounding Area



1. Harken Yacht Equipment

- Across the street for the parcel.
- Operates 3 shifts 7 days per week

2. ID Technology and MAS Logistics

- Across street from parcel
- Operates 2 shifts 6 days per week
- 32 dock doors

3. PM Plastics Fulfillment Center

- Across street from parcel
- Operates 2 shifts 6 days per week
- 16 dock doors

4. Lakeland Supply

- Across street from parcel
- Adding ~40,000SF
- Operates 2 shifts 5 days per week
- Expanding to 16 dock doors

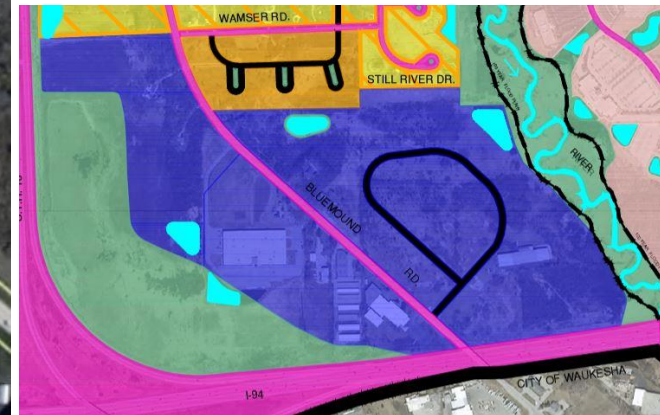
5. Scot Industries

- Adjacent to the parcel
- Adding ~20,000SF
- Operates 2 shifts 6 days per week

Conceptual Approval – Planning Commission Direction



- Rezone parcel from RS-3, M-1, and LC to either
 - P-1 and LC OR;
 - B-3 and LC
- Conditional use to operate event space rentals at the property.
- Possible update 2050 Comprehensive Master Plan since the entire area is located within the M-1 planning.



17.0432 P-1, PARK AND OPEN SPACE DISTRICT

The P-1, Park and Open Space District is intended to provide for areas where the active and passive recreational needs, both public and private, of the populace can be met without undue disturbance of natural resources and adjacent uses.

a. Permitted Principal Uses

- (1) Boat access sites.
- (2) Botanical gardens and arboretums.
- (3) Forest Preserve.
- (4) Golf courses without country club/restaurant facilities.
- (5) Historic and public monument sites.
- (6) Sportsmen's clubs.
- (7) Outdoor ice-skating and hockey rinks.
- (8) Parks, leisure and ornamental.
- (9) Picnic areas.
- (10) Playfields or athletic fields.
- (11) Playgrounds.
- (12) Play lots or tot lots.
- (13) Skiing and tobogganing slopes.
- (14) Swimming beaches.
- (15) Outdoor tennis courts.

b. Permitted Accessory Uses

- (1) Any structure necessary for the operation or use of a permitted use.
- (2) Paved off-street parking areas.
- (3) See section 17.0700.

c. Conditional Uses (See section 17.0500)

- (1) Amphitheaters.
- (2) Archery ranges.
- (3) Arenas and field houses.
- (4) Bathhouses and swimming pools.
- (5) Conservatories.
- (6) Exhibition halls.
- (7) Fairgrounds.
- (8) Golf courses with country club/restaurant facilities.
- (9) Golf driving ranges.
- (10) Gymnasiums.
- (11) Marinas.
- (12) Museums.
- (13) Music Halls.
- (14) Polo fields.
- (15) Recreation centers.
- (16) Riding academies.
- (17) Skate board parks/facilities.
- (18) Skeet and trap shooting ranges provided that the firing of rifled arms and shotgun slugs shall not be permitted directly toward or over any highway, road, or navigable water, or directly toward any building or structure, or directly toward any population concentration within one mile of the site.
- (19) Stadiums.
- (20) Wildlife preserves.
- (21) Zoological facilities.
- (22) Campgrounds, provided that such facilities shall meet the following conditions:

- (a) The minimum size of a RV, travel trailer park or campground shall be ten (10) acres.
 - (b) The maximum number of individual campsites shall be four per gross acre.
 - (c) Each individual campsite shall be plainly marked.
 - (d) The minimum dimensions of a campsite shall be 40 feet wide by 50 feet long.
 - (e) Each campsite shall be separated from other campsites within the campground by a yard area not less than 15 feet wide.
 - (f) There shall be a minimum of one and one-half (1-1/2) automobile parking spaces for each individual campsite and such parking space shall be provided so as not to restrict free movement of traffic within the campground.
 - (g) No individual campsite shall be located closer than 75 feet from a public highway, designated wetland, road right-of-way or designated 100 year recurrence interval (base flood) floodplain, nor closer than 40 feet to any other property boundary.
 - (h) All campgrounds shall conform to the requirements of Section H78, Wisconsin Administrative Code, as amended.
 - (i) Each campground shall be completely enclosed except for permitted entrances and exits by either a planting of fast-growing plant material at least 6 feet in height at the time of planting, or a permanent evergreen planting, the individual trees to be of such a number and so arranged that within five (5) years a dense screen will be formed. Such permanent planting shall be grown or maintained to a height of not less than 10 feet.
 - (j) Each RV or travel trailer camp, campground, or camping resort shall have a service building similar to that required by Section 1177, Wisconsin Administrative Code.
 - (k) No RV, trailer or camping unit shall be located on one site for a period of more than 21 days in a calendar month. No unused or uninhabited RV, trailer or other enclosed vehicle shall be stored in a trailer park, campground, or camping resort. (Also see sub-section 17.0435c(12)).
- d. Lot Area and Width
- (1) Lots in the P-1 District shall provide sufficient area for any principal structure or accessory structures as well as necessary off-street parking and loading areas.
 - (2) Lots shall not be less than 80 feet in width at the principal street access.
- e. Building Height and Size (See subsection 17.0210)
- (1) No building or parts of a building shall exceed 35 feet in height.
 - (2) The sum total of the floor area of all buildings shall not exceed 10 percent of the total park area.
- f. Setback and Yards
- (1) No building or structure shall be erected, altered, or moved closer than 40 feet to a lot line.
 - (2) All structures shall be set back a minimum of 75 feet from the designated 100 year recurrence interval (base flood) floodplain of all navigable streams and bodies of water and 25 feet from any designated wetland. (Also see sub-section 17.0435).

g. Parking and Loading Space

- (1) There shall be sufficient paved off-street parking and loading space provided to accommodate users of the park or open space area and such parking and loading areas shall be adequately screened as determined by the Plan Commission (see section 17.0600).
- (2) There shall be no parking or loading area within 30 feet of a street right-of-way.

h. Minimum Utility Service

Electricity and waste water treatment and disposal facilities and water supply system as required by the Wisconsin Department of Natural Resources and/or the Waukesha County Health and Human Services Department.

i. Special Regulations

To encourage a park use environment that is compatible with the residential character of the City, Building and/or Zoning permits for permitted uses in the P-1 District shall not be issued without prior review by and approval of plans for such use by the City Plan Commission. Said review and approval shall be concerned with adjacent existing and planned uses, general site layout, operation plans, building materials, need for public waste water treatment and water supply facilities, ingress, egress, signage, lighting, storm water drainage, parking, loading and unloading, and screening and landscape plans. See subsection 17.0210.

17.0419 B-3, GENERAL BUSINESS DISTRICT

The B-3, General Business District is intended to provide for the orderly continuation and revitalization of the older established business areas of the City where existing uses are not exclusively of one type but, rather, include retail sales shops, wholesale and warehousing outlets, and institutional, recreational, and even residential uses. Many of the existing businesses in this district may not meet the requirements of the B-1 or B-2 Business Districts or may be non-conforming as described in Section 17.0800. It is the intent of this district to provide minimum requirements for all new uses of land within the district and a guide for the redevelopment or revitalization of existing uses of land within the district.

a. Permitted Principal Uses

- (1) Existing residential structures and any conforming and compatible residential additions.
- (2) Uses existing before August 1982.
- (3) Commercial and Hobby Kennels. (Cr. 13-09)

b. Permitted Accessory Uses

- (1) Garages for storage of licensed vehicles used in conjunction with the operation of a business.
- (2) Off-street parking and loading areas.
- (3) (See Section 17.0700).

c. Conditional Uses (See Section 17.0500)

- (1) Permitted and conditional uses allowed in the B-1, B-2 and B-4 districts and uses similar in character to the above-permitted uses and conducted as business on the premises and catering to the general public.
- (2) The following general uses:
 - (a) Auto accessory sales and service.
 - (b) Auto repair shops and towing service.
 - (c) Auto and truck rental.
 - (d) Boarding houses.
 - (e) Body shops.
 - (f) Petroleum service stations selling no alcoholic beverages.
 - (g) New and used auto and truck sales and service.
 - (h) New and used marine sales and services.
 - (i) Night clubs and taverns.
 - (j) Places of entertainment for the general public.
 - (k) Public and private institutional uses such as public buildings; churches.
 - (l) Second hand stores.
 - (m) Existing residential uses or their replacement.
 - (n) Upholsterer's shop.
- (3) Residential quarters for the owner or proprietor provided that such quarters are in the principal building, not on the ground level floor, and that entrances and exits to such quarters are direct to the exterior of the building. There shall also be a minimum floor area of 400 square feet for an efficiency unit, 600 square feet for a one (1)-bedroom unit, and 750 square feet for a two (2)-bedroom unit. A dwelling unit with more than two (2) bedrooms shall not be allowed. Residential quarters in a B-3 District shall be reviewed by the City Plan Commission in the same manner provided for in Section 17.0416 of this ordinance.
- (4) Animal hospitals, provided all principal structures and uses are not less than 100 feet from any residential use.

- (5) Clubs, fraternities, lodges, and meeting places, provided all principal structures and uses are not less than 25 feet from any lot line.
 - (6) Commercial recreation facilities, which may include arcades, bowling alleys, clubs, dance halls, driving ranges, gymnasiums, lodges, miniature golf facilities, physical culture facilities, pool and billiard halls, skating rinks, and theaters.
 - (7) Construction services including general building contractors; carpentering services; masonry, stonework, tile setting and plastering services; roofing and sheet metal services, experimental testing and research laboratories, provided all principal structures and uses are not less than 100 feet from residential uses and any outside storage is screened from view.
 - (8) Millwork and lumber yards screened from view from adjacent property.
 - (9) Mortuaries.
 - (10) Processing and manufacturing of feeds prepared for animals and fowl; wholesale and/or retail warehousing of animals feeds, fertilizer, seeds, garden and lawn supplies, animal health products, and lawn equipment provided that all operations are conducted within an enclosed building.
 - (11) Rest homes, nursing homes, and elderly housing at densities not exceeding 12 units per net acre; clinics and children's nurseries provided all principal structures and uses are not less than 40 feet from any lot line.
 - (12) Transmitting towers, receiving towers, relay and microwave towers without broadcast facilities or studios.
 - (13) Temporary and seasonal uses on vacant or principal use parcels.
 - (14) Bed and breakfast inns.
- d. Lot Area and Width
- (1) Lots shall have a minimum area of 7,200 square feet,
 - (2) Lots shall be not less than 60 feet in width at the building setback line.
- e. Building Height and Size (See subsection 17.0210)
- (1) No building or parts of a building shall exceed three stories or 45 feet in height.
 - (2) No individual store, shop, or business establishment shall have a total floor area of less than 300 square feet or more than 20,000 square feet.
 - (3) No accessory building shall exceed 18 feet in height.
- f. Setback and Yards
- (1) There shall be a minimum building (or street) setback from each adjacent street equal to the average of the setback of existing buildings on either side of the proposed building, but not less than 25 feet; or, if there are no buildings on adjacent properties, not less than 25 feet. Accessory buildings or additional principal buildings on the same parcel as an existing building shall be setback no less than the existing building.
 - (2) There shall be a minimum side yard equal to the side yard on the adjacent property but not less than 20 feet; or, if there is no building on adjacent property, not less than 10 feet.
 - (3) There shall be a rear yard of not less than 25 feet.
 - (4) All structures shall be set back a minimum of 75 feet from the designated 100 year recurrence interval (base flood) floodplain of all navigable streams and bodies of water and 25 feet from any designated wetland. (Also see sub-section 17.0435)

g. Parking and Loading Space.

- (1) There shall be adequate paved off-street parking provided for every structure/use approved by the City Plan Commission after August 1982 (see Section 17.0600).
- (2) There shall be a minimum of two (2) indoor parking spaces for each dwelling unit erected in the district after the original (June 1982) date of adoption of this Ordinance (see Section 17.0600).
- (3) There shall be adequate paved off-street loading space provided for every structure/use approved after August 1982.
- (4) All parking and loading areas shall be adequately screened as determined by the Plan Commission. (Also see Section 17.0700).

h. Minimum Utility Service

Electricity, public water supply and an approved sanitary waste water collection, treatment and/or disposal system. All uses shall be connected to public utility facilities when made available to the site.

i. Special Regulations

To encourage a business use environment that is compatible with the residential character of the City, Building and/or Zoning permits for permitted uses in the B-3 General Business District shall not be issued without prior review by and approval of the City Plan Commission. Said review and approval shall be concerned with adjacent existing and planned uses, general site layout, building and operation plans, ingress, egress, parking, drainage, lighting, signage, loading and unloading, and screening and landscape plans.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 11.**

DATE: September 19, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action and Public Hearing Regarding Revisions to Permitted Accessory Uses Within the Rs-1 District (Section 340-4.5B.), Rs-2 District (Section 340-4.6B.), Rs-3 District (Section 340-4.7B.), and Rs-4 District (Section 340-4.8B.), and Adding Section 340-2.9B.(2)(1) to the City's Accessory Use and Structure Regulations, and Amending Section 126-3.A. Animal Regulations of the City's Municipal Code

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

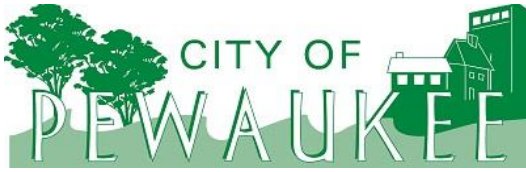
ATTACHMENTS:

Description

Keeping and Raising Chickens staff report 9.19.24

Draft Ordinance - chicken & accessory structure revisions

Kaitlin Miller email re chickens 7.9.24



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770, Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of September 19, 2024

Date: September 13, 2024

Project Name: Adoption of regulations related to the keeping and raising of chickens

Project Address/Tax Key No.: City-wide

Applicant: City of Pewaukee

Introduction

At their May 20, 2024, meeting, the Common Council directed staff to provide additional research and potential regulations related to the keeping and raising of chickens on single-family residential properties. The discussion at that meeting considered the potential of allowing chickens on parcels of one or two acres in area.

Staff returned to the Common Council at their July 15, 2024 Common Council with the below analysis and draft regulations related to keeping and raising chickens on single-family properties. At that meeting, the Common Council directed staff to prepare an ordinance that would allow the keeping and raising of chickens within the Rs-1, Rs-2, Rs-3 and Rs-4 zoning districts. In other words, the ordinance would allow chickens on single-family residential lots with an area of 20,000 square feet or more.

Analysis

Staff reviewed regulations and reached out to several adjacent communities. Below is a summary of those findings.

- Town of Delafield
 - Allows up to 8 hens maximum on a residential property as a permitted accessory use in the R-1, R-2, R-3, A-2, and A-3 districts.
 - R-1 Residential District [1.5-acre min. lot]
 - R-1(A) Residential District [1.0-acre min. lot]
 - R-2 Residential District [30,000 sq. ft. min. lot]
 - R-3 Residential District [20,000 sq. ft. min. lot]
 - Annual renewal required.
 - 8 licenses were issued in 2023.
 - Hardly any complaints or enforcements over the last 5 years.
 - There is not significant staff time needed for administration. Staff send renewal letters and review the coop areas to make sure setback requirements are met.
- Village of Pewaukee

- The keeping of up to 4 chickens is allowed on a single-family residential premise of at least a 1/4 acre.
- 7 chicken permits have been issued since 2020. Zero permits were issued in 2023.
- There have been no complaints received by staff.
- There is minimal staff time related to the administration of the ordinance.
- City of Waukesha
 - Allows no more than four chickens per parcel, except that six chickens may be kept on parcels greater than one acre.
 - Renewal is required every two years.
 - 4 applications submitted in 2023.
 - As of May 22nd, 7 applications have been received in 2024.
 - There is one Property Maintenance Inspector that is responsible and able to manage the responsibilities of reviewing and inspecting applications for keeping chickens.
 - Note the ordinance has only been enforceable since September 3, 2023.
- City of Oconomowoc
 - A maximum of 4 hen chickens per property within RR-Rural Residential, TR-Traditional Residential, SR-Suburban Residential, and IP-Institutional Public Districts.
 - One-time Permit and fee required.
 - Below are the number of permits that have been approved by year:
 - 2021 – 6
 - 2022 – 6
 - 2023 – 3
 - 2024 – 2 thus far
 - There have been no complaints received from those premises that have been issued a permit.
 - Minimal staff time has been needed for those properties obtaining permits.
- Village of Mukwonago
 - Up to four domesticated chickens are allowed on residential property.
 - Licenses/Permits are renewed annually.
 - The Village issues about one chicken permit/license per year.
 - There are not many issues with complaints or enforcements regarding chickens.
 - There has been a slight increase in staff time to deal with the initial process of the license/permits. Once established, the process is similar to obtaining a dog license.

An email from a resident, Kaitlin Miller, is also attached for consideration.

Proposed Amendment

The attached ordinance amends the Zoning Code to add detailed standards for keeping and raising chickens. These standards include requirements for the care of chickens as well as regulations for chicken coops and runs.

The ordinance also adds the allowance of a certain number of chickens in each zoning district as a permitted accessory use.

Note that Section 126-3.A. of the Municipal Code must also be amended (see below).

§ 126-3. Animal regulations.

A. It shall be unlawful to keep farm animals in any zoning district except **as expressly allowed within an individual zoning district the A-1 and A-2 Districts or the Rs-1 District, which requires a conditional use permit**, as set forth in ~~§§ 340-4.3, 340-4.4 and 340-4.5~~ of Chapter 340, Zoning.

Recommendation

A motion recommending approval to the Common Council to adopt the draft ordinance related to keeping and raising chickens.

ORDINANCE NO. XX-XX

**AN ORDINANCE AMENDING REQUIREMENTS FOR KEEPING AND
RAISING CHICKENS AND ACCESSORY STRUCTURES IN CHAPTER 340
– ZONING**

WHEREAS, the City of Pewaukee Plan Commission held a public hearing on September 19, 2024 to discuss changes to regulations related to the keeping and raising of chickens and accessory structures;

NOW THEREFORE, The Common Council of the City of Pewaukee, Waukesha County, Wisconsin do ordain sub (l) be added to Section 340-2.9B.(2) as follows:

340-2.9B.(2) Detailed standards for certain residential accessory structures and uses

(l) Keeping and raising chickens

[1] DEFINITIONS.

[a] Coop. A cage or small structure for housing chickens.

[b] Enclosure. The entire space within which chickens are kept, including both coop and run.

[c] Run. A designated enclosed area, attached to a chicken coop, in which chickens are allowed to roam safely outdoors.

[2] KEEPING CERTAIN FOWL PROHIBITED. Roosters shall not be permitted in any zoning district. The only fowl that may be kept in the City is chickens. If a rooster is identified on a premise, the owner shall have 10 days upon verbal or written notification by a city official to remove said rooster.

[3] PERMIT REQUIRED. All residents must apply for and receive a Chicken Permit prior to construction of an enclosure and placement of chickens on their property. The applicant shall pay an annual non-refundable permit fee in accordance with the City's annual fee schedule, which will be established from time to time by separate resolution of the Common Council. Upon receipt of a completed application and payment of fee, the Zoning Administrator shall review the application and may approve, deny or conditionally approve the issuance of license subject to reasonable conditions.

[4] PLANS REQUIRED. Plans for enclosures and a site plan showing the location of the enclosure in relation to property boundaries and structures on the premises must be submitted with the Chicken Permit application.

[5] PREMISES REGISTRATION. Proof of livestock premises registration with the Wisconsin Department of Agriculture, Trade and Consumer Protection must be provided at time of application.

[6] INSPECTION. All premises for which a permit has been issued shall be available for inspection by the City. A refusal to allow inspection may result in revocation of or refusal to renew the permit.

[7] GENERAL STANDARDS.

- [a] The City noise standards in Sections 126-3.E. and 253-5.J. of the Municipal Ordinance shall apply to the keeping of chickens.
- [b] The public nuisance noxious odors standards specified in Sections 126-3.D.(2) and 253-3.G. of the Municipal Ordinance shall apply to the keeping of chickens.
- [c] Chickens shall be provided with a coop affording enclosed protection against weather and adverse elements.
- [d] Chickens shall be kept within the coop and run area at all times; the free ranging of chickens is prohibited.
- [e] Chickens shall be provided with fresh water and adequate amounts of feed regularly.
- [f] No commercial activities shall be permitted upon any premise related to keeping and raising chickens, such as roadside stands, the selling of eggs, sale of live or dressed chickens, sale of live chicks, sale of feathers, and any other activity deemed similar by the Zoning Administrator.
- [g] Slaughtering of chickens shall not be allowed.
- [h] All feed must be contained in a rodent-free container.
- [i] Eggs shall not be hatched.
- [j] Manure and soiled bedding shall be removed from the enclosure regularly and frequently enough to avoid odors and attraction of insects. Manure and soiled bedding shall be disposed of in a sealed container.
- [k] Dead chickens shall be removed from the premises and disposed of in accordance with law.

[8] ENCLOSURE REQUIREMENTS.

- [a] No more than one enclosure shall be allowed on any one property. Chicken coops shall be considered accessory structures and count towards lot coverage calculations.
- [b] Enclosures shall be located within the rear yard only.
- [c] No chicken coop or run area shall be closer than fifteen (15) feet to any residential lot line.
- [d] Enclosures shall be constructed in a sturdy and workmanlike manner.
- [e] Coops shall be mounted off the ground, placed on a hard surface such

as concrete or patio blocks, or have a floor of hardware cloth, such that burrowing animals may not enter.

- [f] If an enclosure is mounted off the ground, it must be constructed so that feed cannot fall through the bottom onto the ground. Any feed falling outside of the enclosure must be cleaned up daily.
 - [g] Coops shall be at least three-square feet in area per hen chicken. Run areas shall be at least sixteen square feet in area per hen chicken.
 - [h] Enclosures shall be fenced in a manner to securely contain the hen chickens. Fencing for run areas shall be a minimum of 48 inches in height or higher and covered to contain chickens at all times.
 - [i] Enclosures shall be enclosed on all sides, including the top and covered with solid material or hardware cloth.
 - [j] Coops shall be constructed with materials and roofing to provide a clean, dry, adequately ventilated, and draft-free environment.
 - [k] No open flame heating devices are allowed in enclosures.
 - [l] Fencing shall meet all zoning requirements, except for the allowance of chicken wire type fencing specifically for enclosures.
 - [m] A Zoning Permit shall be obtained prior to construction or installation of any coop, run or fencing. Any electrical work requires an electrical permit through the Building Services Department.
 - [n] Enclosures shall be removed no later than twelve (12) months after the keeping of chickens is no longer a use on the property.
- [9] **DISCLAIMER.** The grant of a Chicken Permit by the City of Pewaukee does not supersede or abrogate any law or ordinance, private deed restrictions, homeowner's association regulations or bylaws, or other private restrictions that may apply and may be more restrictive. Persons requesting a permit to keep chickens are solely responsible to know and comply with any such private limitations.
- [10] **COMPLIANCE AND REVOCATION OF PERMIT.** It is recognized that if best management practices are not observed, the keeping of chickens can create a nuisance. Therefore, the above compliance procedures shall be applied to the keeping of chickens. Upon determination by the Zoning Administrator that the Permittee has violated any provision of this Ordinance, the Owner shall be issued one written warning of violation. Upon determination by the Zoning Administrator that the Permittee has violated any provision of this Ordinance a second time, the Zoning Administrator may revoke the Chicken Permit, in which case the Permittee shall, within 30 days, remove all chickens, chicken coop(s) and fencing. Once a Chicken Permit has been revoked, it shall not be reissued for a period of at least three years. The revocation may be appealed to the Zoning Board of Appeals pursuant to Section 340-12.5 of the City's Municipal Ordinance.

NOW THEREFORE, The Common Council of the City of Pewaukee, Waukesha County, Wisconsin do ordain that sub (2) below be added to Section 340-4.5.B. as follows and the section renumbered accordingly and sub (4) be revised as follows:

340-4.5B. Permitted accessory uses.

- (2) The recreational keeping and raising of a maximum of fifteen (15) hen chickens in accordance with § 340-2.9(2)(1) for eggs, meat or meat by-products for family consumption, and not for sale on the premises.
- (4) Accessory uses and structures in compliance with § 340-2.9 Use restrictions.

NOW THEREFORE, The Common Council of the City of Pewaukee, Waukesha County, Wisconsin do ordain that Section 340-4.5.C.(1) be deleted and the section renumbered accordingly;

NOW THEREFORE, The Common Council of the City of Pewaukee, Waukesha County, Wisconsin do ordain that the Rs-2 Single-Family Residential District, Section 340-4.6.B.(2), be replaced and recreated and sub (3) added to Section 340-4.6.B. as follows:

340-4.6.B. Permitted accessory uses.

- (2) Accessory uses and structures in compliance with § 340-2.9 Use restrictions.
- (3) The recreational keeping and raising of a maximum of fifteen (15) hen chickens in accordance with § 340-2.9(2)(1). for eggs, meat or meat by-products for family consumption, and not for sale on the premises.

NOW THEREFORE, The Common Council of the City of Pewaukee, Waukesha County, Wisconsin do ordain that the Rs-3 Single-Family Residential District, Section 340-4.7.B.(2), be replaced and recreated and sub (3) added to Section 340-4.7.B. as follows:

340-4.7.B. Permitted accessory uses.

- (2) Accessory uses and structures in compliance with § 340-2.9 Use restrictions.
- (3) The recreational keeping and raising of a maximum of ten (10) hen chickens in accordance with § 340-2.9(2)(1). for eggs, meat or meat by-products for family consumption, and not for sale on the premises.

NOW THEREFORE, The Common Council of the City of Pewaukee, Waukesha County, Wisconsin do ordain that the Rs-4 Single-Family Residential District, Section 340-4.8.B.(2), be replaced and recreated and sub (3) added to Section 340-4.8.B. as follows:

340-4.8.B. Permitted accessory uses.

- (2) Accessory uses and structures in compliance with § 340-2.9 Use restrictions.
- (3) The recreational keeping and raising of a maximum of five (5) hen chickens in accordance with § 340-2.9(2)(1). for eggs, meat or meat by-products for family consumption, and not for sale on the premises.

SECTION 2: Severability. The sections of this ordinance are declared to be severable. Should any sub-section, clause, or provision of this ordinance be declared by any court of competent jurisdiction to be invalid, the same shall not affect the validity of this ordinance as a whole or any part thereof, other than the part declared invalid. The remainder of the ordinance shall remain in full force and effect.

SECTION 3: Effective Date. This ordinance is effective upon publication or posting as provided by law.

This ordinance passed this ____ day of _____ 2024.

Steve Bierce, Mayor

ATTEST:

Kelly Tarczewski, City Clerk/Treasurer

From: [Kaitlin Miller](#)
To: [Fuchs, Nick](#)
Subject: Chicken Ordinance Space Requirements
Date: Tuesday, July 9, 2024 10:27:16 AM
Attachments: [minimum-space-requirements-for-dogs.pdf](#)
[23-4967_1.pdf](#)

Hi Nick,

Please see below & attached for information I would like shared with council members based off of my conversations with several of them. Link to references are included when PDF's were unable to be attached.

Thank you,
Katie

Dear Council Members,

I am writing to you to request consideration of reducing the lot size requirements for keeping up to 3-4 chickens on residentially zoned properties to 1/2 acres or to match neighboring ordinances of 1/4 acre. According to the poultry extension (a USDA grant organization), laying hens for small & backyard poultry flocks require 13-14 sq. ft. of space per hen. For reference & using Wisconsin's most popular dog breed's standard size (golden retriever), the USDA requires 13-16 sq. ft. of floor space per dog (attached). The city of Pewaukee allows the keeping of multiple dogs on a property regardless of lot size although similar space allotments are required to safely keep these animals.

These calculations for space requirements are the same requirements used for indoor pet bird enclosures which the city of Pewaukee does not regulate. For example, a residential owner could keep several birds/parrots of similar size & space requirements indoors on a lot of any size.

Many animals can be considered either farm animals based on history and are also excellent companion animals. For example, rabbits are commonly raised for meat as well as kept indoors as companion animals. Chickens are similarly being recognized for their companion qualities and due to their egg-laying can also be used to produce food while simultaneously serving as companion animals. Several organizations support the use of chickens as companion animals. The organization "Happy Hen Program" provide hens for memory care units for their therapeutic value in improving quality of life & decreasing the use of sedative medications due to agitation.

State-level activity: I have reached out to state Rep. Shae Shortwell who introduced Senate bill 912 in 2023 (attached) who shared that the bill was introduced late & ran out of time. They are planning on re-introducing in January

2024. Similar to Wisconsin's 'right to solar', this bill would establish a Wisconsinite's right to keep up to 4 chickens on residential property regardless of lot size or HOA rules. There is a similar bill regarding a right to vegetable gardens as well due to variability in city ordinances & excessively restrictive HOA rules. The USDA & the University of Wisconsin Native American Task Force consider food sovereignty to be a right of native Americans and are committed to assisting tribal nations with achieving food sovereignty through their right to produce their own food on their own land to sustain themselves. Nationally there is also a movement moving through several states regarding the right-to-food ordinances beginning with Blue Hill, Maine's passing of the food sovereignty ordinance "Local food and Community Self-Governance Ordinance".

<https://poultry.extension.org/articles/getting-started-with-small-and-backyard-poultry/housing-for-small-and-backyard-poultry-flocks/space-allowances-in-housing-for-small-and-backyard-poultry-flocks/>

<https://www.anthememorycare.com/blog///happy-hens-are-delighting-memory-care-residents-and-staff?article=the-longest-day-it-s-about-caregivers-too>

<https://blogs.extension.wisc.edu/natf/tribal-food-sovereignty-native-nations-team/>

<https://minnesotalawreview.org/2023/02/13/food-for-thought-the-emergence-of-right-to-food-legislation-in-the-united-states/>

Thank you,

Katie Miller
330-620-7769

Animal Care Tech Note

Minimum Space Requirements for Dogs

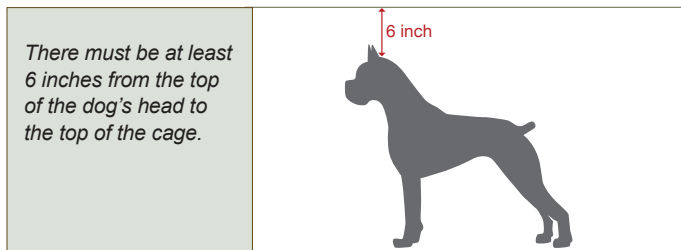
The Animal Welfare Act (AWA) sets standards of care and treatment for dogs used in research, exhibited to the public, bred for commercial sale, or transported in commerce. These standards include specific requirements for the amount of space primary enclosures must provide. The following information will help AWA licensees and registrants understand the requirements and provide housing for their dogs that meets the law's standards.

AWA Requirements

In general, all primary enclosures must have adequate space for each adult dog to turn about freely and to stand, sit, and lie down in a comfortable, normal position. Enclosures must also provide adequate space for each adult dog to walk around in a normal manner.¹ In addition, enclosures must meet specific measurements for **interior height** and **floor space**, based on the size and number of dogs housed.

Interior Height

The interior height of the primary enclosure must be at least 6 inches higher than the head of the tallest dog in the enclosure. The measurement is based on when the dog is standing comfortably in a normal position.²



Floor Space

Each dog in a primary enclosure, including weaned puppies, must have a minimum amount of floor space. This measurement is based on calculations specified in the AWA, as explained at right.³

If you have multiple dogs in group housing, the total floor space must meet or exceed the sum of each dog's minimum floor space requirement. For example, if you have four dogs that each require 9.51 square feet, you will need four times that number (38.04 square feet—to house the dogs.

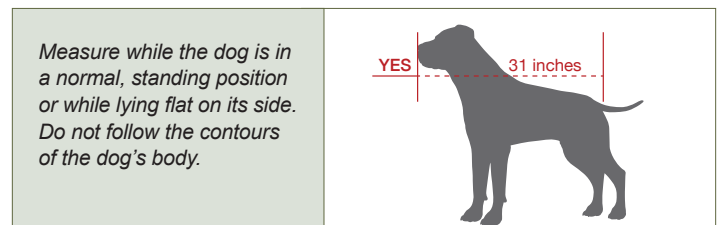


Note: These are minimum requirements only. Providing more than the required space is encouraged and can improve the overall welfare of your dogs.

Calculating Minimum Floor Space

To calculate the minimum space required for a dog, follow the steps below.

Step 1: Measure the length of the dog (in inches) from the tip of its nose to the base of its tail. Add 6 inches to this number.



Example: Scout, a Dalmatian, measures 31 inches from the tip of her nose to the base of her tail.
 $31 \text{ inches} + 6 \text{ inches} = 37 \text{ inches}$

Step 2: Take the total number you got in step 1 and square it (multiply it by itself). This will give you the dog's minimum floor space in square inches. To convert the number to square feet (*optional*), divide the total number in square inches by 144.

Example: For Scout, the final measurement in Step 1 was 37 inches. Multiply 37 inches by 37 inches (or 37^2) to see that Scout needs 1,369 square inches of floor space (or 9.51 square feet)
 $37 \text{ inches} \times 37 \text{ inches} = 1,369 \text{ square inches}$
 $1,369 \text{ square inches} \div 144 = 9.51 \text{ square feet}$

¹ 9 CFR 3.6(a)(2)(xi)

² 9 CFR 3.6(c)(1)(iii)

³ 9 CFR 3.6(c)(1)(i)

Dams With Nursing Puppies

Dams with nursing puppies must have additional floor space.⁴ Each puppy requires at least 5 percent of its mother's minimum floor space requirement.

Step 1: Calculate the additional minimum floor space per puppy.

- 1,369 square inches x 0.05 = 68.45 square inches

Step 2: Multiply the additional floor space per puppy by the number of puppies.

- 68.45 square inches x 9 puppies = 616.05 square inches

Step 3: Add Scout's space requirement to the space requirement for the 9 puppies. This will give you the space requirement in square inches for all 10 dogs. To convert the minimum space for all 10 dogs from square inches to square feet (*optional*), divide the total number in square inches by 144.

- 1,369 square inches + 616.05 square inches = 1,985.05 square inches
- 1985.05 square inches ÷ 144 = 13.79 square feet

Now we see that Scout and her puppies need at least 13.79 square feet of floor space.

Exercise Requirements and Floor Space

In addition to sufficient space, the AWA requires licensees and registrants to provide dogs with the opportunity for exercise. In some cases, the amount of floor space can satisfy the exercise requirements for dogs. The exercise requirements can also be met with an exercise plan that is separate from floor space. Below is a summary of how these requirements relate.

Room To Exercise for Singly Housed Dogs

To figure out how much space a singly housed dog in your care needs to meet the exercise requirement, multiply the dog's minimum floor space requirement by 2. The exception to this rule is if you have planned and documented other opportunities for exercise. To view the requirements for planning and documenting other opportunities, go to ecfr.gov and search for "9 CFR 3.8."

Exercise for Group-Housed Dogs

If the enclosure or structure meets the floor space requirements for group-housed dogs, then it also meets the floor space requirement for the dogs to exercise.⁵

Note: Exercise requirements do not apply to dams with nursing puppies or to dogs under 12 weeks of age.

⁴ 9 CFR 3.6(c)(1)(ii)

⁵ 9 CFR 3.8

Quick Reference

The table below shows the minimum floor space needed for a dog based on body length and AWA-required calculations.

Dog Length (in inches)	Square Feet Needed	Dog Length (in inches)	Square Feet Needed
7	1.17	30	9.00
8	1.36	31	9.51
9	1.56	32	10.03
10	1.78	33	10.56
11	2.01	34	11.11
12	2.25	35	11.67
13	2.51	36	12.25
14	2.78	37	12.84
15	3.06	38	13.44
16	3.36	39	14.06
17	3.67	40	14.69
18	4.00	41	15.34
19	4.34	42	16.00
20	4.69	43	16.67
21	5.06	44	17.36
22	5.44	45	18.06
23	5.84	46	18.78
24	6.25	47	19.51
25	6.67	48	20.25
26	7.11	49	21.01
27	7.56	50	21.78
28	8.03	51	22.56
29	8.51	52	23.36

For More Information

To view the full text of the AWA and the Animal Welfare Regulations, refer to the *United States Code*, Title 7, Chapter 54, Sections 2131–2159 and the *Code of Federal Regulations*, Title 9, Chapter 1, Subchapter A, Parts 1–4.

If you have questions, contact the U.S. Department of Agriculture (USDA) Animal Care staff at (970) 494-7478 or animalcare@usda.gov.



2023 SENATE BILL 912

January 11, 2024 - Introduced by Senators TAYLOR and CABRAL-GUEVARA, cosponsored by Representatives SORTWELL, BODDEN, BEHNKE, GUSTAFSON, S. JOHNSON, MAGNAFICI, MOSES, PENTERMAN, ROZAR, SCHMIDT and TITTL. Referred to Committee on Transportation and Local Government.

1 **AN ACT** *to create* 66.0442 of the statutes; **relating to:** local regulation of fowl.

Analysis by the Legislative Reference Bureau

This bill prohibits political subdivisions and sewerage districts from prohibiting the keeping of up to four chickens, ducks, geese, quail, or guinea fowl (fowl) by property owners or certain lessors on properties zoned for residential use. The bill specifically allows political subdivisions and sewerage districts to do any of the following with regard to the keeping of fowl:

1. Require a keeper of fowl to obtain a permit.
 2. Require notification of adjoining land owners.
 3. Impose reasonable regulations related to the location of fowl housing on a property.
 4. Prohibit the keeping of roosters.
-

The people of the state of Wisconsin, represented in senate and assembly, do enact as follows:

2 **SECTION 1.** 66.0442 of the statutes is created to read:

3 **66.0442 Local regulation of fowl. (1)** In this section:

4 (a) "Fowl" means chickens, ducks, geese, quail, or guinea fowl.

5 (b) "Local governmental unit" means a city, village, town, county, or sewerage
6 district.

