

Planning Department

W240N3065 Pewaukee Road
Pewaukee, WI 53072
(262) 691-0770 Fax (262) 691-1798

**PLAN COMMISSION
MEETING NOTICE AND AGENDA
Thursday, July 18, 2024
6:00 PM**

Pewaukee City Hall Common Council Chambers
W240N3065 Pewaukee Road, Pewaukee, WI 53072

-
1. Call to Order and Pledge of Allegiance
 2. Discussion and Action Regarding a Recommendation to the Common Council for a Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee for Uzelac Industries, Inc. for Property Located at the Northwest Corner of Lindsay Road and Wilhar Road from Medium Density Residential (6,500 Sq. Ft. - 1/2 AC. / D.U.) to Manufacturing/Fabrication/Warehousing (PWC 0866996002, PWC 0866996003)
 3. Discussion and Action Regarding a Request by Uzelac Industries, Inc. to Rezone Property Located at the Northwest Corner of Lindsay Road and Wilhar Road from Rs-2 Single-Family Residential to M-2 Limited Industrial for the Purpose of Developing an Approximately 39,000 Square Foot Industrial Building (PWC 0866996, PWC 0866996002, PWC 0866996003) (Public Hearing held at the 6/20/2024 Plan Commission meeting)
 4. Discussion and Action Regarding a Certified Survey Map for Uzelac Industries, Inc. for Property Located at the Northwest Corner of Lindsay Road and Wilhar Road for the Purpose of Combining the Three Existing Properties Into a Single Lot (PWC 0866996, PWC 0866996002, PWC 0866996003)
 5. Discussion and Action Regarding the Site and Building Plans for Uzelac Industries, Inc. for Property Located at the Northwest Corner of Lindsay Road and Wilhar Road for the Purpose of Constructing an Approximately 39,000 Square Foot Industrial Building (PWC 0866996, PWC 0866996002, PWC 0866996003)
 6. Discussion and Action Regarding the Site and Building Plans for Simply Smart Property, LLC for Property Located at the Northeast Corner of College Avenue and Meadowbrook Road for the Purpose of Constructing a Multi-Family Development with Five Condominium Units (PWC 0929986002)
 7. Adjournment

Ami Hurd
Deputy Clerk

7/11/2024

NOTICE

It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum. At the above stated meeting, no action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the City Planner, Nick Fuchs, at (262) 691-6007 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 2.**

DATE: July 18, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Recommendation to the Common Council for a Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee for Uzelac Industries, Inc. for Property Located at the Northwest Corner of Lindsay Road and Wilhar Road from Medium Density Residential (6,500 Sq. Ft. - 1/2 AC. / D.U.) to Manufacturing/Fabrication/Warehousing (PWC 0866996002, PWC 0866996003)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Uzelac staff report 7.18.24

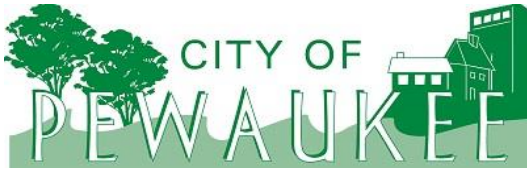
Uzelac staff report 6.20.24

Uzelac narrative

Uzelac Comp Plan exhibit

Uzelac CMP Amendment Resolution

Uzelac CMP Amendment Ordinance



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of July 18, 2024

Date: July 10, 2024

Project Name: Comprehensive Master Plan Amendment, Rezoning, Certified Survey Map, and Site & Building Plan Review

Project Address/Tax Key No.: Not Assigned / PWC 0866996, 0866996002, and 0866996003

Applicant: Briohn Building Corporation

Property Owner: Kuhlman Enterprises, Inc.

Current Zoning: Rs-2-Single Family Residential District

2050 Land Use Map Designation: Manufacturing/Fabrication/Warehousing and Medium Density Residential (6,500 Sq. Ft. – 1/2 Ac. / D.U.)

Use of Surrounding Properties: Single-Family Residential to the north and south, KD Glass to the east, and vacant land to the west.

Background

The subject applications for the construction of a 39,103 square foot industrial building were tabled at the June 20, 2024, Plan Commission meeting. A property owner located to the south indicated several concerns with the project related to truck traffic, the entrance location, lighting, and landscaping. As such, the Plan Commission tabled the matter to allow the applicant time to consider the issues raised by the adjacent property owner.

The June 20th staff report is attached, which provides details regarding the project. Below describes plan changes made following the comments provided at the previous meeting.

Site & Building Plan Review Update

To address the neighbor's concerns regarding the driveway location, the applicant relocated the access drive further east, so it is not across from their driveway. The drive, which is now more centered in the property along Lindsay Road, is across from the rear yards of residential properties located within the Victoria Station subdivision to the south.

This change resulted in 39 parking spaces being proposed as part of the initial phase of development, opposed to 35 parking spaces as shown in the previous plan. Note that the number of future parking spaces is now reduced from 36 parking spaces to 16 parking spaces.

The applicant is also preserving existing trees located in the southwest corner of the property, which were previously shown as being disturbed. This area is shown on Sheet L1.0.

The proposed plan continues to conform to the M-2 District development standards and the City's minimum required greenspace standard of 40%.

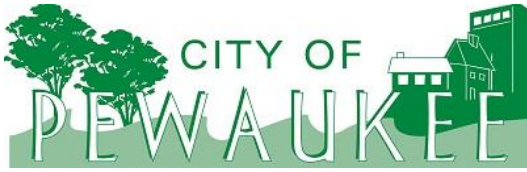
Recommendation

A motion to recommend approval of the Comprehensive Master Plan Amendment to amend the future land use designation for a portion of the properties bearing Tax Key Nos. 0866996002 and 0866996003 from Medium Density Residential to Manufacturing/Fabrication/Warehousing.

A motion to recommend approval of the Rezoning request to change the zoning from Rs-2 Single-Family Residential District to M-2 Limited Industrial District for properties bearing Tax Key Nos. 0866996, 0866996002, and 0866996003.

A motion to recommend approval of the Certified Survey Map to combine the three existing parcels into a single 6.6955-acre lot (Tax Key Nos. 0866996, 0866996002, and 0866996003).

A motion to approve the proposed building and site development plans submitted by Briohn Building Corporation for the property located at approximately W229N4781 Wilhar Road (Tax Key Nos. 0866996, 0866996002, and 0866996003), subject to the conditions within this report.



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of June 20, 2024

Date: June 11, 2024

Project Name: Comprehensive Master Plan Amendment, Rezoning, Certified Survey Map, and Site & Building Plan Review

Project Address/Tax Key No.: Not Assigned / PWC 0866996, 0866996002, and 0866996003

Applicant: Briohn Building Corporation

Property Owner: Kuhlman Enterprises, Inc.

Current Zoning: RS2-Single Family Residential

2050 Land Use Map Designation: Manufacturing/Fabrication/Warehousing and Medium Density Residential (6,500 Sq. Ft. – 1/2 Ac. / D.U.)

Use of Surrounding Properties: Single-Family Residential to the north and south, KD Glass to the east, and vacant land to the west.

Project Description/Analysis

Briohn Building, on behalf of Uzelac Industries, LLC, submitted a Comprehensive Master Plan Amendment Application, Rezoning, Certified Survey Map, and a Site & Building Plan Review Application for the development of a 39,103 square foot building located at the northwest corner of Lindsay Road and Wilhar Road.

Comprehensive Master Plan Amendment

The two southernmost properties abutting Lindsay Road are currently designated as both Manufacturing/Fabrication/Warehousing and Medium Density Residential on the City's Year 2050 Land Use/Transportation Plan map. The Medium Density Residential designation covers slightly more than half of the southern portion of these parcels abutting Lindsay Road.

The Comprehensive Master Plan Amendment requests that the Medium Density Residential designation be amended to Manufacturing/Fabrication/Warehousing. This request is consistent with the approval granted to the development to the east, KD Glass.

Note the northernmost parcel, PWC 0866996, is already designated as Manufacturing/Fabrication/Warehousing and is not part of this application.

Rezoning

The subject three properties are all currently zoned Rs-2 Single-Family Residential District. The applicant is requesting to rezone these properties to M-2 Limited Industrial District to accommodate the development. The rezoning is contingent upon and would be consistent with the approval of the Comprehensive Master Amendment Application.

Uzelac Industries, Inc. manufactures commercial dryer systems, which is a permitted use in the M-2 District. If approved, the applicant will be required to submit a Business Plan of Operation Application for staff review and approval.

Certified Survey Map/Land Combination

The Certified Survey Map Application, as required by Section 18.0602, proposes to combine the three existing parcels into a single 6.6955-acre lot. The proposed lot conforms to the minimum lot area and width requirements of the M-2 District.

Site Plan

The applicant is proposing a 39,103 square foot industrial building for a single tenant, Uzelac Industries, Inc. The development will result in approximately 44% greenspace, which complies with the required 40% minimum greenspace standard of the City's Zoning Code. This includes the future building and parking areas as depicted on the site plan.

The site includes access from both Lindsay Road and Wilhar Road. The site and building are designed with the loading area and truck docks along the west side of the building, which consists of two overhead doors and one recessed loading dock. This location, opposed to placing the loading area on the north side of the building, is likely, at least in part, due to the wetland located to the north of the building. Note that wetland may be impacted in the future if Uzelac Industries expands the building footprint.

The M-2 District requires that loading areas be no closer than 100-feet from the right-of-way of a public street. The loading area is about 200-feet north of Lindsay Road, exceeding this standard.

The M-2 District also requires that all parking and loading areas be adequately screened as determined by the Plan Commission. The Landscape Plan includes plantings directly to the south of the loading area and plantings are also located along the west property line to screen the truck dock area.

No outdoor storage or overnight vehicle or trailer parking is proposed.

Related to the site plan, staff recommends:

- *Final grading, erosion control and storm water management plans shall be submitted for approval by the Engineering Department prior to any land disturbance.*
- *Site and Building Plans shall be contingent upon the approval of the proposed comprehensive master plan amendment, rezoning, and Certified Survey Map applications.*

Natural Resources

One wetland has been identified on the property. The applicant is not proposing to impact the wetland and is further adhering to the City's required 25-foot setback. The applicant is proposing to grade within the setback area but has agreed to place orange construction fencing around the wetland to ensure it is protected throughout construction.

As previously noted, a future building expansion is shown that would require the wetland to be filled. At that time, WDNR approval will be required for that impact.

This development will also include the removal of existing trees throughout the site.

Landscaping

The applicant is proposing to install sixty-six trees and seventy-six shrubs. The majority of plantings are placed along the perimeter of the site and to the south of the parking lot to screen the parking and loading areas.

Parking

The initial phase of parking to be developed includes thirty-five parking spaces, including two ADA compliant spaces. If needed, the site plan can accommodate an additional thirty-six parking spaces, which is shown on the site plan as future asphalt parking.

The passenger spaces are 9' wide by 20' long (180 square feet), which complies with the City's parking space standards.

The Zoning Code suggests a minimum of one space for each two employees in a 12-hour period. According to the applicant the site will initially have twenty-five full-time employees but may grow in the future. Staff does not object to the quantity of parking provided.

Architecture

The proposed building exterior primarily consists of painted precast concrete wall panels of different colors. The building height varies and ranges from 36.5-feet to a peak parapet height of 39.5-feet. The M-2 District states, "No principal building or parts of a principal building shall exceed 35 feet in height."

Section 17.0901f. also states, "The Height of Commercial, Industrial, and Institutional Buildings may be increased to a maximum of six (6) stories if a fully operational sprinkler system is in place included enclosed stairwells to the roof and the Fire Chief has approved in writing a fire safety plan of the structure and use."

The applicant has discussed the proposed building height with the Fire Chief and there is general agreement upon a fire safety plan to allow for the height increase. *As such, Fire Chief approval of the final fire suppression system and fire safety plan shall be required prior to issuance of a Building Permit.*

Signage

Sign plans have not yet been submitted. A wall sign similar to the sign shown on the renderings is anticipated. Regardless, all signage must comply with standards set forth in Section 17.0700 of the City's Zoning Code and will require separate review and approval by the City Planner as well as a Sign Permit from the Building Services Department, prior to installation.

Utilities

Public sewer and water is available and will serve the subject development.

Lighting

The Lighting Plan consists of ten building lights and one parking lot light. The parking lot light has a peak height of 19-feet and is located on the west side of the Lindsay Road entrance. Two types of building lights will be mounted at a height of 24-feet and the other type is mounted at 10-feet.

Type A, which is located on the south elevation facing Lindsay Road and the adjacent residential development are mounted at 24-feet.

Recommendation

A motion to recommend approval of the Comprehensive Master Plan Amendment to amend the future land use designation for a portion of the properties bearing Tax Key Nos. 0866996002 and 0866996003 from Medium Density Residential to Manufacturing/Fabrication/Warehousing.

A motion to recommend approval of the Rezoning request to change the zoning from Rs-2 Single-Family Residential District to M-2 Limited Industrial District for properties bearing Tax Key Nos. 0866996, 0866996002, and 0866996003.

A motion to recommend approval of the Certified Survey Map to combine the three existing parcels into a single 6.6955-acre lot (Tax Key Nos. 0866996, 0866996002, and 0866996003).

A motion to approve the proposed building and site development plans submitted by Briohn Building Corporation for the property located at approximately W229N4781 Wilhar Road (Tax Key Nos. 0866996, 0866996002, and 0866996003), subject to the conditions within this report.



July 10, 2024

City of Pewaukee
W240N3065 Pewaukee Road
Pewaukee, WI 53072

RE: Resubmittal Project Narrative for Uzelac Industries
PC #1: 6/20/24 – Tabled
PC #2: 7/18/24

VIA EMAIL: fuchs@pewaukee.wi.us

Nick, Staff & Commissioners:

Briohn Building Corporation (“Briohn”) is pleased to present the following proposal (“Development”) to the City of Pewaukee (“City”) on behalf of Uzelac Industries, Inc (“Uzelac”). Uzelac is seeking approval from the City to construct a new facility of approximately 39,084 SF for production and assembly of commercial dryer systems. The proposed Development is located at the northwest intersection of Lindsay Road and Wilhar Road (“Property”).

We appreciate the opportunity to present a revised site plan to the City after the previous Plan Commission meeting on 6/20/24. In addition to the response letter provided to the City on 7/8/24 addressing comments received at that time, please accept the following narrative and voluntarily revised site plan for consideration of Uzelac’s new facility.

Synopsis of Plan Commission Meeting held June 20, 2024

- Report to the Plan Commission dated 6/11/24 thoroughly summarized Staff’s plan review of the (i) comprehensive master plan amendment, (ii) rezoning, (iii) certified survey map, and (iv) site & building plan review
- Staff recommended approval of each item (i-iv) above
- Public comment related to truck volume and access, vegetation and lighting
- Plan Commission complimentary of elevations; urged Briohn to evaluate driveway location and landscaping
- All items tabled until the July 18, 2024 Plan Commission meeting

Entitlements – no change

Uzelac is pursuing a rezone, comprehensive plan amendment, new certified survey map (“CSM”), site plan, and architectural approvals from the City.

DESIGN / BUILD
CONSTRUCTION

ARCHITECTURAL
DESIGN

DEVELOPMENT

PROPERTY
MANAGEMENT

The Property is currently three parcels (TaxKeys PWC 0866996, PWC 0866996002, and PWC 0866996003) for a combined total of 6.69 acres. A new CSM is proposed to combine all three TaxKeys into one lot.

The Development requires an amendment of the current zoning for all three TaxKeys from Rs-2 to M-2, the Limited Industrial District. This is consistent with the adjacent use to the east, separately proposed development to the west, and planned zoning to the north. Uzelac business operations are not detrimental to the immediate surrounding areas by reason on smoke, odor, noise, dust, liquid, flash, traffic, physical appearance, or other similar factors as outlined in the municipal code Section 17.0424.

The Development also requires an amendment to the 2050 Land Use Plan for TaxKeys PWC 0866996002 and PWC 0866996003 from Medium Density Residential to Manufacturing/Fabrication/Warehousing. This is consistent with adjacent uses to the north, east, and west.

The Development will be fully sprinkled, Type 2B construction with a primary occupancy of F-1 (manufacturing) and secondary occupancies of S-1 (storage moderate hazard) and B (business – office). The Development will meet M-2 bulk zoning requirements*.

Code Requirement	M-2 Zoning	Development
Min Lot Area	2 acres	6.69 acres
Building Square Footage	-	39,103 SF
Building Setback – ROW – Lindsay Rd	45'	184.2'
Building Setback – ROW – Wilhar Rd	45'	71.2'
Building Setback – side	25'	184.4'
Building Setback – rear	25'	234.6'
Wetland Setback	25'	30.1'
Max Building Height – principal*	35'	39'6"
Parking		37 standard stalls 2 ADA van stalls

*Due to Uzelac’s manufacturing process, a minimum hook height of 26’ is required, driving the building to 36’-6” for the typical wall panel height. As architectural detail, we will have some wall panels at south and east elevations extend to 39’-6” to serve as screen for office rooftop mechanical units. Briohn met with the City planner and fire chief to discuss entitlements and life/safety as the proposed design exceeds the maximum building height allowable per code in the M2 district. Collectively, Briohn and the City determined the zoning district shall remain M2, as the use and all other bulk site development regulations are met, with an exception to allow the building height up to the heights noted.

Site Plan – changes to the driveway, landscaping & associated lighting and stormwater plans

The Development is situated north of Lindsay Road, west of Wilhar Road and proposed to be approximately 39,103 SF. The Property is sizable enough for a future addition to approximately double the proposed Development; Uzelac is not seeking explicit approval of the expansion at this time, but notably is interested in making a long-term investment within the City.

Access: Originally two main ingress and egress access driveways were proposed – one off Lindsay Road dedicated to all truck traffic and one off Wilhar Road dedicated to all vehicular traffic. Following the

meaningful discussion at Plan Commission, the site plan was voluntarily revised to accommodate the well-being of the surrounding community by condensing access to one driveway off Lindsay Road and relocating the proposed ingress/egress driveway to the east 165 feet. This proposed revision avoids any and all further impact to Wilhar Road which was rated a 2 out of 10 level of service at the time of the public hearing. Additionally, relocating the driveway safely avoids conflict with private drives and the subdivision entrance.

Truck Traffic: The Development is served by (2) at-grade overhead doors and (2) dock overhead doors. This is a considerably low number of overhead doors due to the limited amount of truck traffic required for the successful operation of the business. There will not be constant braking and acceleration noise, nor excessive idling or exhaust associated with daily operations. Typical truck traffic is about 0-3 trucks per day with a maximum of 6 trucks per week. The majority of daily operational deliveries are received via FedEx, UPS, or Supplier passenger vans.

Landscaping: The revised plan clearly identifies an area of approximately 2,386 SF in the southwest corner of the proposed Development which will protect all existing trees, unless dead, per Tree Protection Detail 06 on Sheet L2.0. Additional evergreen screening is shown between the proposed truck loading area and the wet pre-treatment pond. An emphasis was placed on creating an attractive, vegetative buffer from Lindsay Road to ensure the surrounding community is minimally impacted by light pollution.

Lighting: The revised photometric plan, E-1.0, shows proposed levels of lighting at the property line to be 0.0 footcandles, unless at the ingress/access where it does not exceed 0.2fc for pedestrian safety. Additionally, in the southwest corner from the property line to the north, there is approximately 117 feet of area proposed for stormwater treatment and landscaping that will not be lit. This distance increases to approximately 153 feet from Lindsay Road, when including the right-of-way area to the property line.

Environmental: All stormwater mitigation will be retained onsite with a detention pond creating a natural buffer between Lindsay Road and the Development. A wetland delineation confirmed wetlands are on-site and will not be impacted by the proposed Development.

Architecture – no change

The materials are painted precast concrete wall panels along with dark anodized aluminum window framing and tinted low-e glazing. There will be two main gray colors, with the darker color marking the corners and roofline, and the office area. The white color forms the remainder, with light grey accent bands. A green accent paint band sits above the clerestory shop area windows, and above the office entry doors. White aluminum trim will occur as a canopy edge and entry portal over the southeast corner at the office entry. This office corner faces Lindsay and Wilhar Roads, with landscaped stormwater management areas in front of the building. The wall panels extend taller at the office wall to screen the rooftop mechanical units from street view. The dock area faces westward, away from the intersection and from current residential properties. The facility has limited dock usage, having only one recessed dock and two drive-in overhead doors. The products made and assembled within the building will primarily be loaded onto flatbed trailers inside the building which minimizes the number of trucks out on site.

Construction

Construction of the Development will be completed in one phase and is currently anticipated to begin August 2024 (via early start permission) with occupancy April 2025.

Conclusion

Uzelac is seeking City approvals to construct approximately a 39,103 SF facility for production and assembly of commercial dryer systems.

Please do not hesitate to contact me with additional questions. We look forward to collaborating with the City of Pewaukee on this proposed Development.

Thank you,

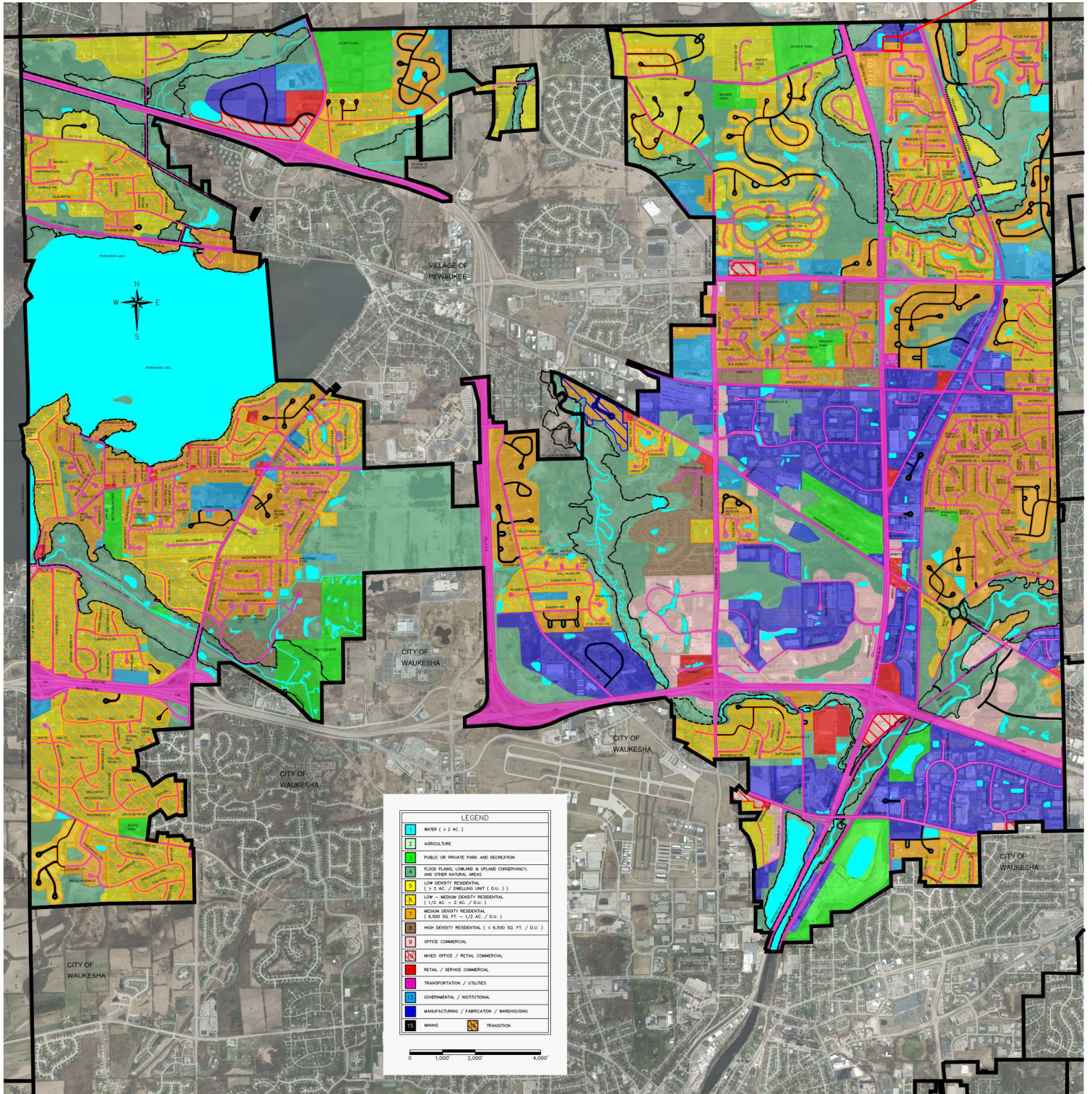
Caitlin LaJoie

Caitlin LaJoie
Director of Land Development
clajoie@briohn.com
262-307-8792

CITY OF PEWAUKEE

YEAR 2050 LAND USE / TRANSPORTATION PLAN

LOCATION OF
PROPOSED
DEVELOPMENT



WAUKESHA COUNTY

CITY OF PEWAUKEE

STATE OF WISCONSIN

RESOLUTION NO. __-__

A RESOLUTION RECOMMENDING THE ADOPTION OF AN ORDINANCE TO AMEND THE CITY OF PEWAUKEE 2035 COMPREHENSIVE MASTER PLAN AND NEIGHBORHOOD PLANS 2015-2050 TO CHANGE THE YEAR 2050 LAND USE/TRANSPORTATION PLAN FOR PROPERTIES LOCATED AT THE NORTHWEST CORNER OF LINDSAY ROAD AND WILHAR ROAD (TAX KEY NOS. 0866996002 AND 0866996003) FROM MEDIUM DENSITY RESIDENTIAL (6,500 SQ. FT. – 1/2 AC./DWELLING UNIT) USE TO MANUFACTURING/FABRICATION/WAREHOUSING USE, PURSUANT TO WIS. STAT. § 66.1001(4)(b)

WHEREAS, pursuant to Wis. Stat. §§ 62.23(2) and (3) and 66.1001(4), the City of Pewaukee is authorized to prepare and adopt and to amend a comprehensive plan as defined in Wis. Stat. §§ 66.1001(1)(a) and 66.1001(2); and

WHEREAS, pursuant to Wis. Stat. § 66.1001(4)(b), the Plan Commission may recommend the amendment of the Comprehensive Master Plan to the Common Council by adopting a resolution by a majority vote of the entire Commission, which vote shall be recorded in the official minutes of the Plan Commission; and

WHEREAS, Uzelac Industries, Inc. has applied for an amendment to the Comprehensive Master Plan to change the Year 2050 Land Use/Transportation Plan for properties located at the northwest corner of Lindsay Road and Wilhar Road from Medium Density Residential to Manufacturing/Fabrication/Warehousing, such property bearing Tax Key Nos. 0866996002 and 0866996003, more particularly described as follows:

PWC 0866996002: Parcel 2 CERT SURV 1981 VOL 13/346 PT NW1/4 SEC 1 T7N R19E R206/445

PWC 0866996003: Parcel 3 CERT SURV 1981 VOL 13/346 PT NW1/4 SEC 1 T7N R19E R206/445

WHEREAS, the Plan Commission having determined that the proposed amendment in form and content as presented to the Commission on July 18, 2024, is consistent with the Comprehensive Master Plan’s goals, objectives and policies and in proper form and content for adoption by the Common Council as an amendment to the Comprehensive Master Plan, subject to such modifications the Common Council may consider reasonable and necessary, following public hearing, in order to protect and promote the health, safety and welfare of the City of Pewaukee.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Pewaukee, Wisconsin, that the application for and the proposed ordinance to amend the City

of Pewaukee Comprehensive Master Plan to change the Year 2050 Land Use/Transportation Plan for properties located at the northwest corner of Lindsay Road and Wilhar Road from Medium Density Residential to Manufacturing/Fabrication/Warehousing, such property bearing Tax Key Nos. 0866996002 and 0866996003, be and the same is hereby recommended for adoption and incorporation into the Comprehensive Master Plan by the Common Council.:

Passed and adopted this 18th day of July, 2024.

FOR THE PLAN COMMISSION OF THE CITY OF
PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

ATTEST:

Steve Bierce, Mayor

Kelly Tarczewski, Clerk/Treasurer

WAUKESHA COUNTY

CITY OF PEWAUKEE

STATE OF WISCONSIN

ORDINANCE NO. __-__

AN ORDINANCE TO AMEND THE CITY OF PEWAUKEE 2035 COMPREHENSIVE MASTER PLAN AND NEIGHBORHOOD PLANS 2015-2050 TO CHANGE THE YEAR 2050 LAND USE/TRANSPORTATION PLAN FOR PROPERTIES LOCATED AT THE NORTHWEST CORNER OF LINDSAY ROAD AND WILHAR ROAD (TAX KEY NOS. 0866996002 AND 0866996003) FROM MEDIUM DENSITY RESIDENTIAL (6,500 SQ. FT. – 1/2 AC./DWELLING UNIT) USE TO MANUFACTURING/FABRICATION/WAREHOUSING USE

WHEREAS, pursuant to Wis. Stat. §§ 62.23(2) and (3) and 66.1001(4), the City of Pewaukee is authorized to prepare and adopt and to amend a comprehensive plan as defined in Wis. Stat. §§ 66.1001(1)(a) and 66.1001(2); and

WHEREAS, Uzelac Industries, Inc. has applied for an amendment to the Comprehensive Master Plan to change the Year 2050 Land Use/Transportation Plan for properties located at the northwest corner of Lindsay Road and Wilhar Road from Medium Density Residential to Manufacturing/Fabrication/Warehousing; and

WHEREAS, the Plan Commission of the City of Pewaukee by a majority vote of the entire Commission on July 18, 2024, recorded in its minutes, has adopted a resolution recommending to the Common Council the adoption of the Ordinance to Amend the City of Pewaukee Comprehensive Master Plan to change the Year 2050 Land Use/Transportation Plan for properties located at the northwest corner of Lindsay Road and Wilhar Road from Medium Density Residential to Manufacturing/Fabrication/Warehousing; and

WHEREAS, the City of Pewaukee held a public hearing upon this proposed Ordinance, in compliance with the requirements of Wis. Stat. § 66.1001(4)(d); the Common Council having received input from the public at a duly noticed public hearing on August 5, 2024 and forwarding its recommendation to the Common Council following said hearing; and

NOW THEREFORE, the Mayor and Common Council of the City of Pewaukee, Wisconsin, do ordain as follows:

SECTION 1: Adoption

The City of Pewaukee Comprehensive Master Plan is hereby amended to change the Year 2050 Land Use/Transportation Plan for property located at the northwest corner of Lindsay Road and Wilhar Road from Medium Density Residential to Manufacturing/Fabrication/Warehousing.

SECTION 2: Document Transmittal

The City Common Council hereby directs the City Clerk/Treasurer to transmit a copy of the amendment as well as a signed copy of both the Resolution No. PC __-__-__ and this Ordinance No. __-__ to the Wisconsin Department of Administration, the Southeastern Wisconsin Regional Planning Commission, the Waukesha Park and Land Use Department, the Pewaukee Public Library and to each town, village and city that abuts the City of Pewaukee.

SECTION 3: Severability

The several sections and portions of this ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of a court of competent jurisdiction to be invalid, unlawful, or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and shall not affect the validity of all other provisions, sections, or portions thereof of the ordinance. The remainder of the ordinance shall remain in full force and effect. Any other ordinances whose terms are in conflict with the provisions of this ordinance are hereby repealed as to those terms that conflict.

SECTION 4: Effective Date

This ordinance shall take effect immediately upon passage and posting of publication as provided by law.

Passed and adopted this 5th day of August, 2024.

FOR THE COMMON COUNCIL OF THE CITY OF
PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

ATTEST:

Steve Bierce, Mayor

Kelly Tarczewski, Clerk/Treasurer

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 3.**

DATE: July 18, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Request by Uzelac Industries, Inc. to Rezone Property Located at the Northwest Corner of Lindsay Road and Wilhar Road from Rs-2 Single-Family Residential to M-2 Limited Industrial for the Purpose of Developing an Approximately 39,000 Square Foot Industrial Building (PWC 0866996, PWC 0866996002, PWC 0866996003) (Public Hearing held at the 6/20/2024 Plan Commission meeting)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

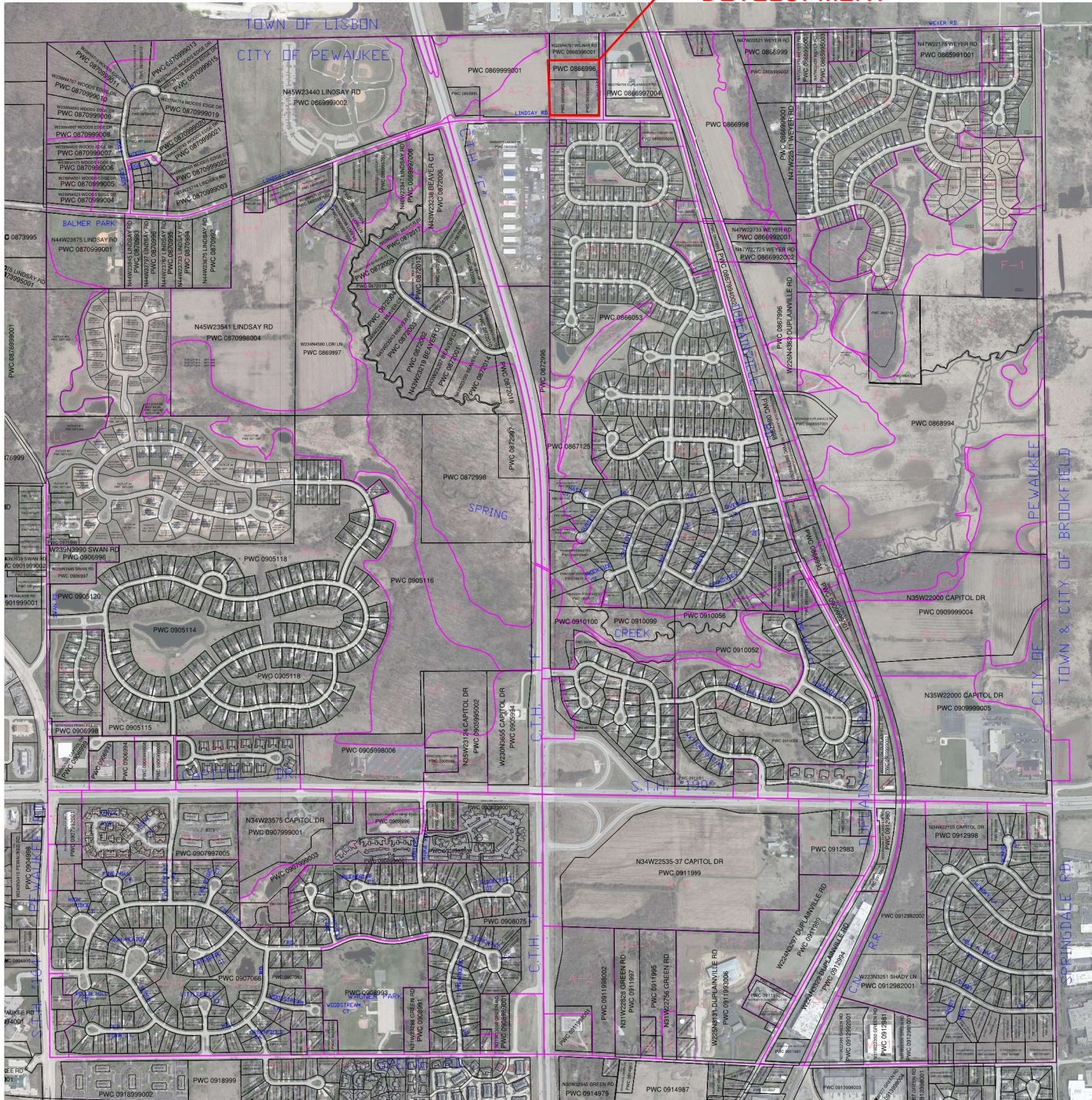
ATTACHMENTS:

Description

Uzelac rezoning exhibit

LOCATION OF PROPOSED DEVELOPMENT

ZONING MAP NO. 3
CITY OF PEWAUKEE
SECTIONS 1, 2, 11 & 12

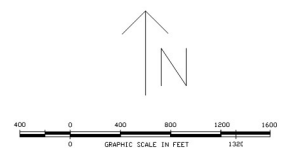


MAP SYMBOL	DISTRICT NAME	BASIC DISTRICT REGULATIONS			
		MIN. AREA	MIN. WIDTH	RES. DENSITY	
A-1	AGRICULTURE	35.0 ACRES	600 FT.		See text
A-2	AGRICULTURE	10.0 ACRES	300 FT.		See text
Ra-1	SINGLE FAMILY RESIDENTIAL	5.0 ACRES	300 FT.	0.2 DU/NA	
Ra-2	SINGLE FAMILY RESIDENTIAL	2.0 ACRES	220 FT.	0.5 DU/NA	
Ra-3	SINGLE FAMILY RESIDENTIAL	1.0 ACRE	150 FT.	1.0 DU/NA	
Ra-4	SINGLE FAMILY RESIDENTIAL	20,000 SQ.FT.	110 FT.	2.2 DU/NA	
Ra-5	SINGLE FAMILY RESIDENTIAL	15,000 SQ.FT.	100 FT.	2.9 DU/NA	
Ra-6	SINGLE FAMILY RESIDENTIAL	12,500 SQ.FT.	90 FT.	3.5 DU/NA	
Ra-7	SINGLE FAMILY RESIDENTIAL	See text	See text	See text	
Rd-1	TWO FAMILY RESIDENTIAL	22,000 SQ.FT.	130 FT.	4.0 DU/NA	
Rd-2	TWO FAMILY RESIDENTIAL	18,000 SQ.FT.	120 FT.	4.8 DU/NA	
Rm-1	MULTI-FAMILY RESIDENTIAL	0.5 ACRE	120 FT.	6.0 DU/NA	
Rm-2	MULTI-FAMILY RESIDENTIAL	0.33 ACRE	120 FT.	9.0 DU/NA	
Rm-3	MULTI-FAMILY RESIDENTIAL	0.25 ACRE	150 FT.	12.0 DU/NA	
B-1	NEIGHBORHOOD BUSINESS	2.0 ACRES	200 FT.	n/a	
B-2	COMMUNITY BUSINESS	8.0 ACRES	400 FT.		See text
B-3	GENERAL BUSINESS	7,200 SQ.FT.	60 FT.		See text
B-4	PROFESSIONAL OFFICE	10,000 SQ.FT.	90 FT.		See text
B-5	HIGHWAY BUSINESS	30,000 SQ.FT.	120 FT.	n/a	
B-6	MIXED USE BUSINESS	2.0 ACRES	200 FT.	n/a	
M-1	WHOLESALE/WAREHOUSE	65,000 SQ.FT.	200 FT.	n/a	
M-2	LIMITED INDUSTRIAL	2.0 ACRES	200 FT.	n/a	
M-3	GENERAL INDUSTRIAL	2.0 ACRES	200 FT.	n/a	
M-4	INDUSTRIAL PARK	See text	See text	n/a	
M-5A	LONG TERM MINERAL EXTRACTION	n/a	n/a	n/a	
M-5B	SHORT TERM MINERAL EXTRACTION	n/a	n/a	n/a	
M-6	MIXED INDUSTRIAL USE	3.0 ACRES	250 FT.	n/a	
I-1	URBAN INSTITUTIONAL	7,200 SQ.FT.	60 FT.		See text
I-2	RURAL INSTITUTIONAL	2.0 ACRES	220 FT.		See text
P-1	PARK AND RECREATION	None	80 FT.	n/a	
LC	LOWLAND CONSERVANCY	None	None	n/a	
UC	UPLAND CONSERVANCY	5.0 ACRES	300 FT.	0.2DU/NA	
F-1	FLOODLAND (APPROXIMATE)	See text	See text	See text	
SD	SHORELAND OVERLAY	See text	See text	See text	

Notes
 a-All minimum width is measured at the street setback line
 b-Dwelling units per Net Acre (maximum)
 n/a-Not Applicable--see text
 c-Snow stored on map (1,000 ft. from lake & 300 ft. from streams)

ZONING MAP UPDATES

DATE OF UPDATE	UPDATED BY:	DATE OF UPDATE	UPDATED BY:
6-83	HEC	2-22	JJF
9-97	HEC	5-23	JJF
6-95	JAK		
12-98	JAK		
12-99	JAK		
6-02	TDB		
2-04	JJF		
1-05	JJF		
9-05	JJF		
3-05	JJF		
1-07	JJF		
7-07	JJF		
7-09	JJF		
6-09	JJF		
3-11	JJF		
5-12	JJF		
5-13	JJF		
4-15	JJF		
2-15	JJF		
1-17	JJF		
4-13	JJF		
1-19	JJF		
1-20	JJF		
4-21	JJF		



Legal description Lot 1

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST 1/4, THENCE S 01°07'58" W ALONG THE WEST LINE OF SAID 1/4 SECTION 279.70 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE S 89°36'58" E 513.13 FEET TO A POINT ON THE WEST LINE OF WILHAR ROAD; THENCE S 00°46'02" W ALONG SAID WEST LINE 849.31 FEET TO A POINT ON THE NORTH LINE OF LINDSAY ROAD; THENCE S 88°54'07" E ALONG SAID NORTH LINE 516.72 FEET TO A POINT ON THE WEST LINE OF SAID 1/4 SECTION, THENCE N 012°07'58" E ALONG SAID WEST LINE 563.22 FEET TO THE POINT OF BEGINNING.

CONTAINING: 291,658 SQUARE FEET OR 6.6955 ACRES.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 4.**

DATE: July 18, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Certified Survey Map for Uzelac Industries, Inc. for Property Located at the Northwest Corner of Lindsay Road and Wilhar Road for the Purpose of Combining the Three Existing Properties Into a Single Lot (PWC 0866996, PWC 0866996002, PWC 0866996003)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Uzelac revised CSM

PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.



CAPITOL SURVEY ENTERPRISES
2015 LA CHANDELLE CT.
BROOKFIELD, WI 53045
PH: (262) 786-6600
FAX: (262) 786-6608
WWW.CAPITOLSURVEY.COM

PREPARED FOR:
BRIOHN LAND DEVELOPMENT, LLC.
3885 N. BROOKFIELD RD. STE. 200
BROOKFIELD, WI 53045



1 INCH = 120 FT.



VILLAGE OF LISBON

SOUTHEAST CORNER
SOUTHWEST 1/4
36-8-19
CONCRETE MONUMENT
WITH BRASS CAP

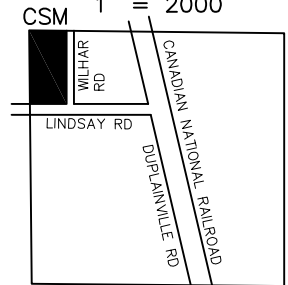
LOT 1
C.S.M. 10428
(N 89°09'46" E 2454.28)
S 89°36'45" E 2454.28'
OUTLOT 1
C.S.M. 10473
1.5" I.R.F. NORTH LINE NORTHEAST 1/4 OF SECTION 1
1.5" I.P.F. 0.58' W.

NORTHWEST CORNER
NORTHWEST 1/4
1-7-19
CONCRETE MONUMENT
WITH BRASS CAP
N. 195,098.73
E. 690,422.39

CITY OF PEWAUKEE

C.S.M. 1383

VICINITY MAP
1" = 2000'



NW 1/4 1-7-19

TAX KEY NO's:
PWC 0866996
PWC 0866996002
PWC 0866996003

ZONED M-2, LIMITED
INDUSRIAL DISTRICT

(N 00°05'18" W 2618.38')
N 01°07'58" E 2618.28'
WEST LINE NORTHWEST 1/4 SECTION 1

S 01°07'58" W 279.70'

(N 89°09'35" E 513.15')
S 89°36'58" E 513.13'

513.13'

FLAGGED
WETLANDS
SEE SHEET 3

UNPLATTED LANDS

563.22'

(N 00°05'17" W)

N 01°07'58" E

LOT 1

291,658 SQ. FT.
6.6955 ACRES

ALL DISTANCES SHOWN ARE MEASURED TO THE
NEAREST HUNDRETH OF A FOOT.

ALL ANGULAR MEASUREMENTS WERE MADE TO THE
NEAREST ONE SECOND

ALL BEARINGS REFER TO WEST LINE OF THE
NORTHWEST 1/4 OF SECTION 1, WHICH HAS A
WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA
COUNTY, BEARING OF N 01°07'58" E.

SEE SHEET 2 FOR CONTOURS, SETBACKS, UTILITIES

SEE SHEET 3 FOR FOR WETLANDS

LOT 1 SERVED BY CITY SEWER & WATER

(S 00°27'27" E 570.00')

S 00°46'02" W

WILHAR ROAD

66' PUBLIC RIGHT OF WAY

- INDICATES FOUND 1" IRON PIPE UNLESS OTHERWISE NOTED.
- INDICATES 1 INCH DIA. IRON PIPE, 18 INCHES IN LENGTH, WEIGHING 1.68 LBS PER LINEAL FOOT, SET.



APRIL 25, 2024

S 88°54'07" E 516.72'

(S 89°52'38" W 516.78')
PUBLIC RIGHT OF WAY WIDTH VARIES

LINDSAY ROAD

UNPLATTED LANDS

LOT 131

LOT 132

LOT 133

SOUTHWEST CORNER
NORTHWEST 1/4
1-7-19
CONCRETE MONUMENT
WITH BRASS CAP
N. 192,480.96
E. 690,370.63

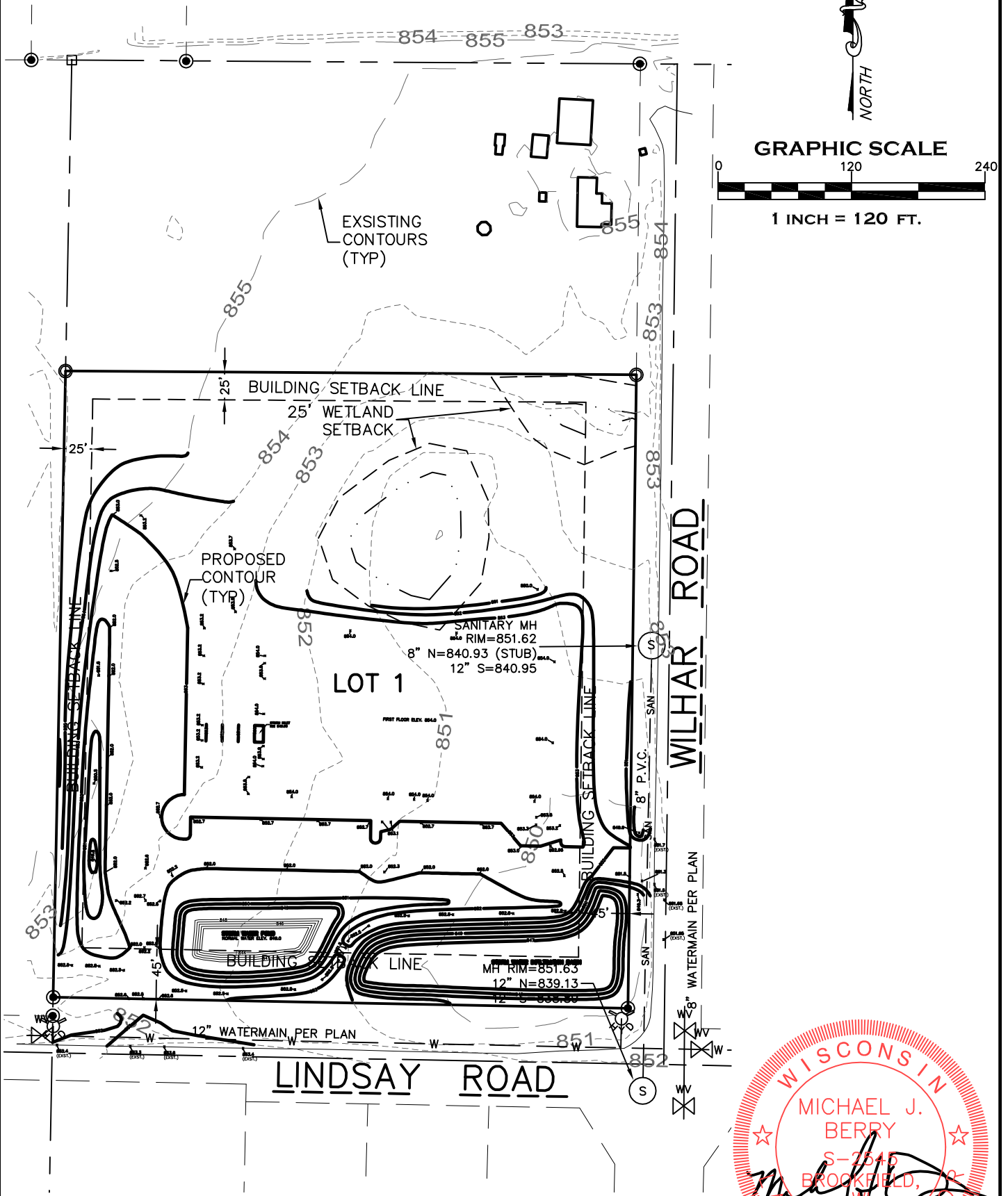
WILHAR ROAD

PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

CONTOUR MAP, SETBACKS AND UTILITIES



ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)



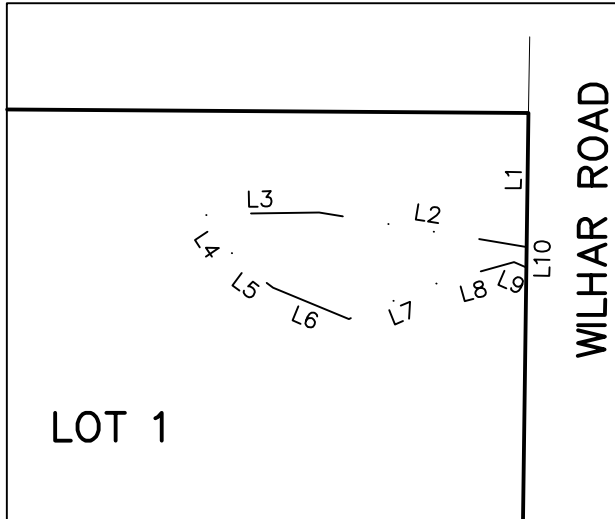
APRIL 25, 2024

PRELIMINARY

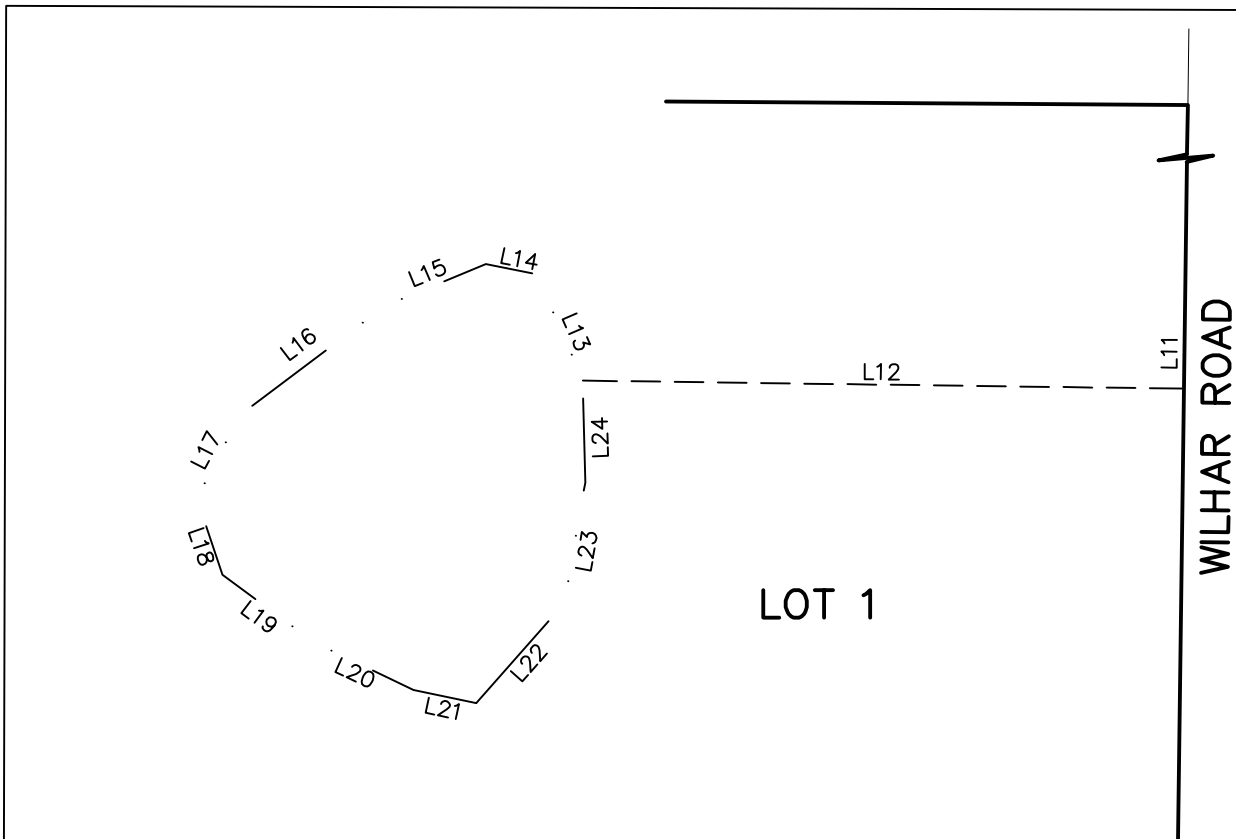
CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

WETLANDS



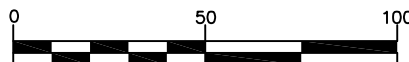
WETLAND TABLE		
LINE	LENGTH	BEARING
L1	34.93	S00°46'02" W
L2	54.81	N80°31'46" W
L3	29.54	S89°03'16" W
L4	14.00	S33°44'44" E
L5	12.28	S52°41'09" E
L6	21.35	S67°29'39" E
L7	23.92	N67°48'48" E
L8	21.70	N74°30'39" E
L9	3.50	S66°39'43" E
L10	5.28	N00°46'02" E
L11	120.18	S00°46'02" W
L12	156.57	N89°13'58" W
L13	30.21	N23°26'37" W
L14	13.47	N78°48'42" W
L15	28.63	S67°27'02" W
L16	47.29	S52°58'24" W
L17	24.24	S27°05'42" W
L18	20.89	S18°35'38" E
L19	14.94	S53°30'06" E
L20	28.80	S64°27'21" E
L21	16.74	S78°04'22" E
L22	34.64	N41°19'24" E
L23	31.91	N09°54'23" E
L24	26.52	N01°24'17" W



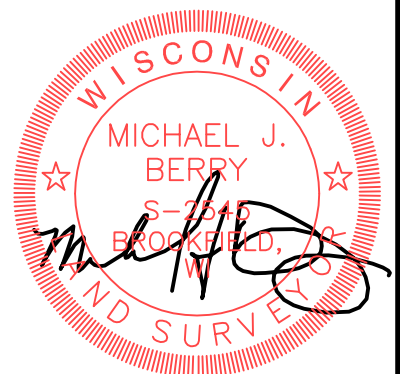
WETLANDS FIELD LOCATED BY CSE.
AS FLAGGED BY HELIANTHUS ON
APRIL 15, 2024



GRAPHIC SCALE



1 INCH = 50 FT.



APRIL 25, 2024

PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, MICHAEL J BERRY, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST 1/4, THENCE S 01°07'58" W ALONG THE WEST LINE OF SAID 1/4 SECTION 279.70 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE S 89°36'58" E 513.13 FEET TO A POINT ON THE WEST LINE OF WILHAR ROAD; THENCE S 00°46'02" W ALONG SAID WEST LINE 849.31 FEET TO A POINT ON THE NORTH LINE OF LINDSAY ROAD; THENCE S 88°54'07" E ALONG SAID NORTH LINE 516.72 FEET TO A POINT ON THE WEST LINE OF SAID 1/4 SECTION, THENCE N 012°07'58" E ALONG SAID WEST LINE 563.22 FEET TO THE POINT OF BEGINNING.

CONTAINING: 291,658 SQUARE FEET OR 6.6955 ACRES.

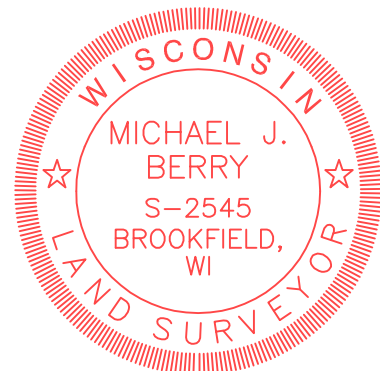
THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF BRIOHN LAND DEVELOPMENT, LLC, INC, OWNER OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE STATUTES OF THE STATE OF WISCONSIN, CHAPTER 18 OF THE CITY OF PEWAUKEE MUNICIPAL CODE, AND THE ORDINANCES OF WAUKESHA COUNTY IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 25TH DAY OF APRIL, 2024.


PROFESSIONAL LAND SURVEYOR,
S-2545
STATE OF WISCONSIN



PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

CORPORATE OWNER'S CERTIFICATE

BRIOHN LAND DEVELOPMENT, LLC, A WISCONSIN LIMITED LIABILITY COMPANY EXISTING UNDER THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, CERTIFY THAT THEY HAVE CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED, AND MAPPED, AS REPRESENTED ON THIS MAP IN ACCORDANCE WITH THE ORDINANCES OF THE CITY OF PEWAUKEE.

IN WITNESS WHEREOF, BRIOHN LAND DEVELOPMENT, LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY NELSON E. WILLIAMS, ITS MANAGER AT _____, WISCONSIN, THIS ____ DAY OF _____, 2024.

NELSON E. WILLIAMS
MANAGER

STATE OF WISCONSIN)
COUNTY) SS

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 2024 NELSON E. WILLIAMS, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC
STATE OF WISCONSIN
MY COMMISSION EXPIRES: _____

CITY OF PEWAUKEE PLAN COMMISSION APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE CITY OF PEWAUKEE ON THIS DAY ____ OF _____, 2024.

STEVE BIERCE, MAYOR

DATE

KELLY TARCZEWSKI, CITY CLERK

DATE

CITY OF PEWAUKEE COMMON COUNCIL APPROVAL

THIS CERTIFIED SURVEY MAP, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, HAVING BEEN APPROVED BY THE CITY OF PEWAUKEE PLANNING COMMISSION, IS HEREBY APPROVED AND ACCEPTED BY THE CITY OF PEWAUKEE COMMON COUNCIL ON THIS DAY ____ OF _____, 2024.

STEVE BIERCE, MAYOR

DATE

KELLY TARCZEWSKI, CITY CLERK

DATE



APRIL 25, 2024

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 5.**

DATE: July 18, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding the Site and Building Plans for Uzelac Industries, Inc. for Property Located at the Northwest Corner of Lindsay Road and Wilhar Road for the Purpose of Constructing an Approximately 39,000 Square Foot Industrial Building (PWC 0866996, PWC 0866996002, PWC 0866996003)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Uzelac revised site & building plans

Uzelac exhibits

Uzelac presentation 7.18.24

Uzelac response to 6.20.24 PC mtg

Krueger Uzelac documents 7.16.24

Victoria Station Uzelac petition

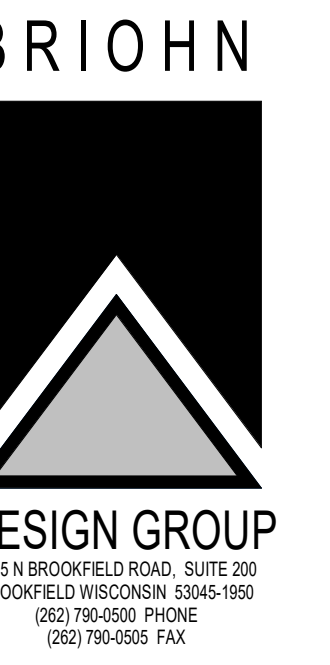
PROPOSED NEW BUILDING :

UZELAC INDUSTRIES INC.

LINDSAY ROAD AT WILHAR ROAD (ADDRESS TBD)
 CURRENT TAX KEY #'S: PWC 0866996, PWC 0866996002, and PWC 0866996003
 CITY OF PEWAUKEE, WISCONSIN



SHEET INDEX	
Sheet Number	Sheet Name
T1.0	TITLE SHEET
T1.1	RENDERING
AL.0	ALTA/NSPS LAND TITLE SURVEY
C 1.0	SITE PLAN
C 2.0	SITE GRADING PLAN
C 3.0	SITE UTILITY PLAN
C 4.0	SITE EROSION CONTROL PLAN
C 5.0	FIRE ACCESS PLAN
WB-50	WB-50 TRUCK TURNING EXHIBIT
WB-67	WB-67 TRUCK TURNING EXHIBIT
L1.0	LANDSCAPE PLAN & SCHEDULES
L2.0	LANDSCAPE NOTES & DETAILS
A1.0	OVERALL FLOOR PLAN
A1.1	ENLARGED OFFICE FLOOR PLAN
A4.0	ROOF PLAN
A5.0	EXTERIOR ELEVATIONS
E1.0	SITE ELECTRICAL PLAN
E2.0	EXTERIOR LIGHTING CUT SHEETS



TITLE SHEET

SHEET TITLE

NEW BUILDING FOR:
 UZELAC INDUSTRIES, INC.
 LINDSAY RD. AT WILHAR RD.
 CITY OF PEWAUKEE, WI

PROGRESS SET
 NOT FOR CONSTRUCTION

Revision

Date

JOB: 230116
 DRAWN: NS/CC
 CHECKED: PG/KJ
 DATE: 2024-07-18
 SHEET:

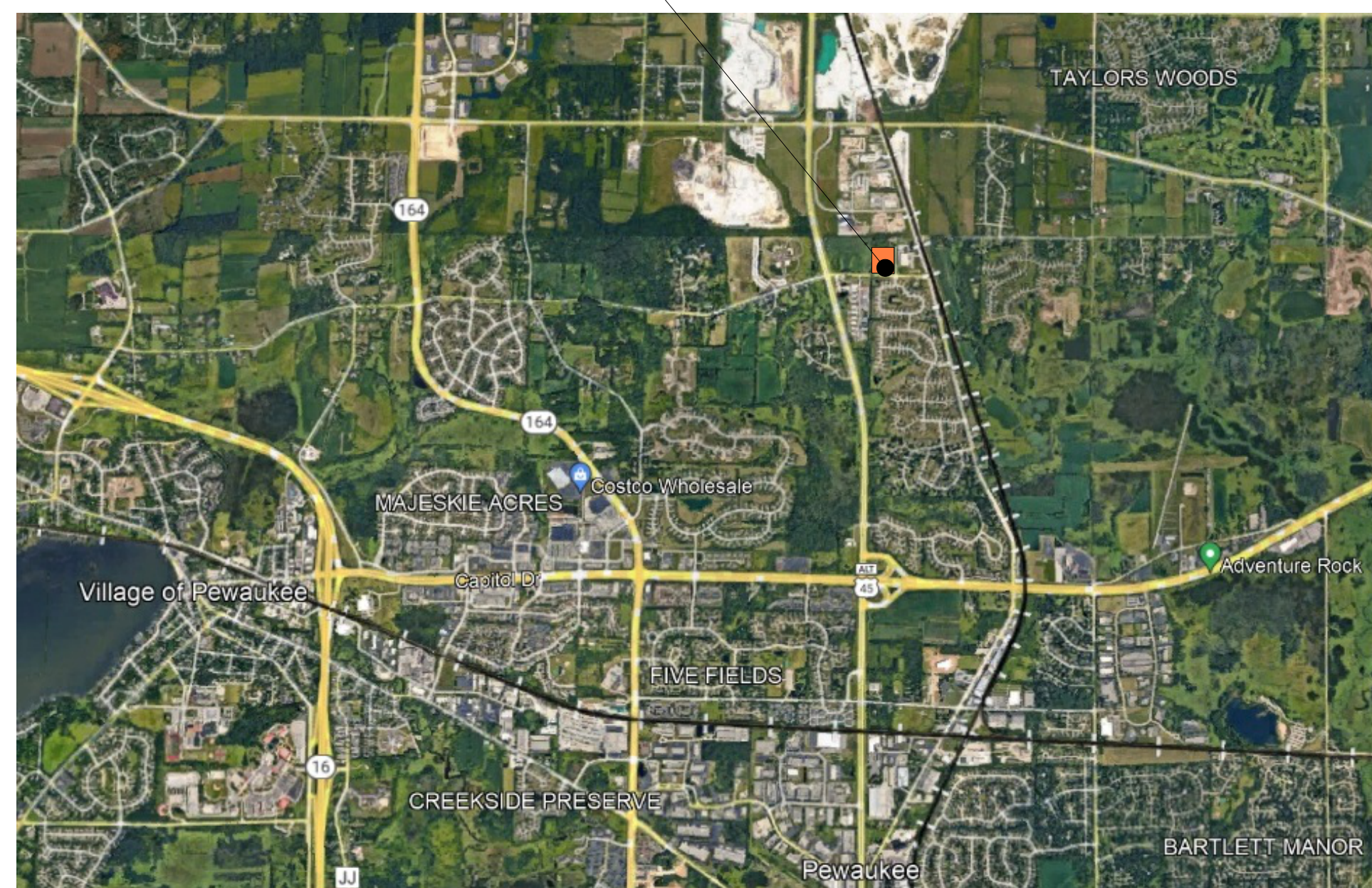
T1.0



PLAN COMMISSION SUBMISSION SET (WITH UPDATES PER PEWAUKEE COMMENTS)
 MAY 6, 2024 (UPDATED JUNE 10, 2024; UPDATED JULY 18, 2024)

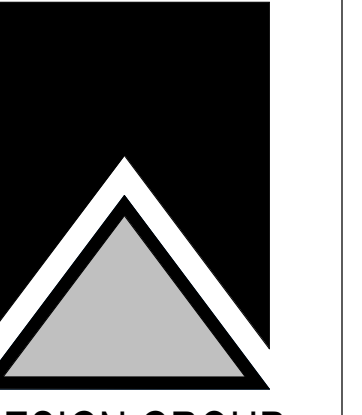
OWNER :	GENERAL CONTRACTOR :	ARCHITECT :	STRUCTURAL ENGINEER:
UZELAC INDUSTRIAL PROPERTIES, LLC MICHAEL UZELAC, TRUSTEE 6901 INDUSTRIAL LOOP GREENDALE, WI 53129 (414) 529-0240 PHONE	BRIOHN BUILDING CORPORATION JOE ZANOTTI 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX jzanotti@briohn.com EMAIL	BRIOHN DESIGN GROUP LLC PAUL GRZESZCZAK, AIA 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX paulg@briohn.com EMAIL	BRIOHN DESIGN GROUP LLC KEVIN JANKOWSKI, PE 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX kjankowski@briohn.com EMAIL
CIVIL ENGINEER:	LANDSCAPE DESIGNER:		
CJ ENGINEERING CHRISTOPHER JACKSON, PE PLS 9205 CENTER STREET, SUITE 214 MILWAUKEE, WISCONSIN 53222 (414) 413-1212 PHONE chrisc@cj-engineering.com EMAIL	HELIANTHUS LLC KRISTI SHERFINSKI, PLA, ASSURED WETLAND DELINEATOR ADAMS GARDEN PARK 1836 W. FOND DU LAC AVE., SUITE 100 MILWAUKEE, WISCONSIN 53205 (414) 422-0103 PHONE kristi@helianthusdesign.com EMAIL		

PROJECT LOCATION:



PROJECT BUILDING INFORMATION:

CODE:	BUILDING CODE: 2015 IBC - INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 362 EXISTING BUILDING CODE: 2015 IBC - INTERNATIONAL EXISTING BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 366 ACCESSIBILITY CODE: 2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES ENERGY CODE: 2015 IECC - INTERNATIONAL ENERGY CONSERVATION CODE WITH WISCONSIN AMENDMENTS SPS 363 MECHANICAL CODE: 2015 IMC - INTERNATIONAL MECHANICAL CODE WITH WISCONSIN AMENDMENTS SPS 264 PLUMBING CODE: 2018 WISCONSIN PLUMBING CODE SPS 381-387 ELECTRICAL CODE: 2017 NFPA 70 NATIONAL ELECTRICAL CODE WITH WISCONSIN AMENDMENTS SPS314 FIRE CODE: SPS 314 FIRE PREVENTION
OCCUPANCY:	PRIMARY F-1 (MODERATE HAZARD FACTORY INDUSTRIAL) SECONDARY S-1 (MODERATE HAZARD STORAGE) SECONDARY B (OFFICE/BUSINESS)
CLASS OF CONSTRUCTION:	TYPE 2B, UNLIMITED AREA BUILDING (TO ALLOW FOR FUTURE EXPANSION)
SPRINKLER SYSTEM:	FULLY SPRINKLERED
FLOOR LEVELS:	1
NUMBER OF STORIES	1 STORY
BUILDING FOOTPRINT:	39,103 SF
BUILDING AREA:	38,207 SF TOTAL <small>NOTE: ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SPRINKLER ENGINEERING BY DESIGN-BUILD CONTRACTORS</small>
ZONING:	M-2 LIMITED INDUSTRIAL DISTRICT
SETBACKS:	45' STREET 25' SIDE 25' REAR
PARKING:	33 STANDARD STALLS 2 HC STALLS 36 FUTURE STALLS
TOTAL PARKING (TOTAL ON-SITE):	35 TOTAL PARKING STALLS 71 TOTAL FUTURE PARKING STALLS



RENDERING

SHEET TITLE



NEW BUILDING FOR:
UZELAC INDUSTRIES, INC.
LINDSAY RD. AT WILHAR RD.
CITY OF PEWAUKEE, WI

PROGRESS SET
NOT FOR CONSTRUCTION

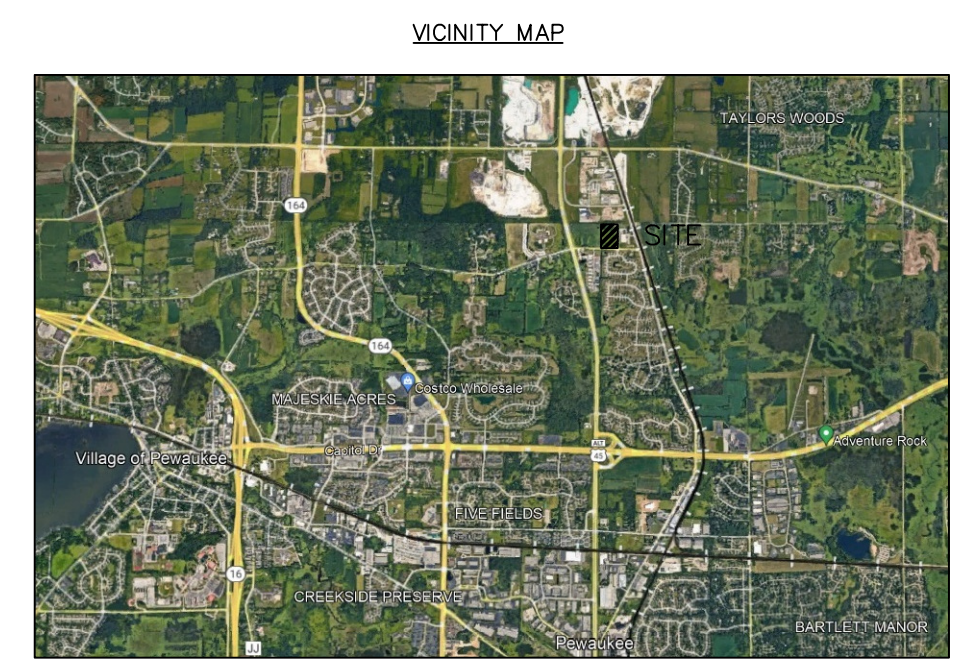
Revision

Date

JOB: 230116
DRAWN: NS/CC
CHECKED: PG/KJ
DATE: 2024-07-18
SHEET:

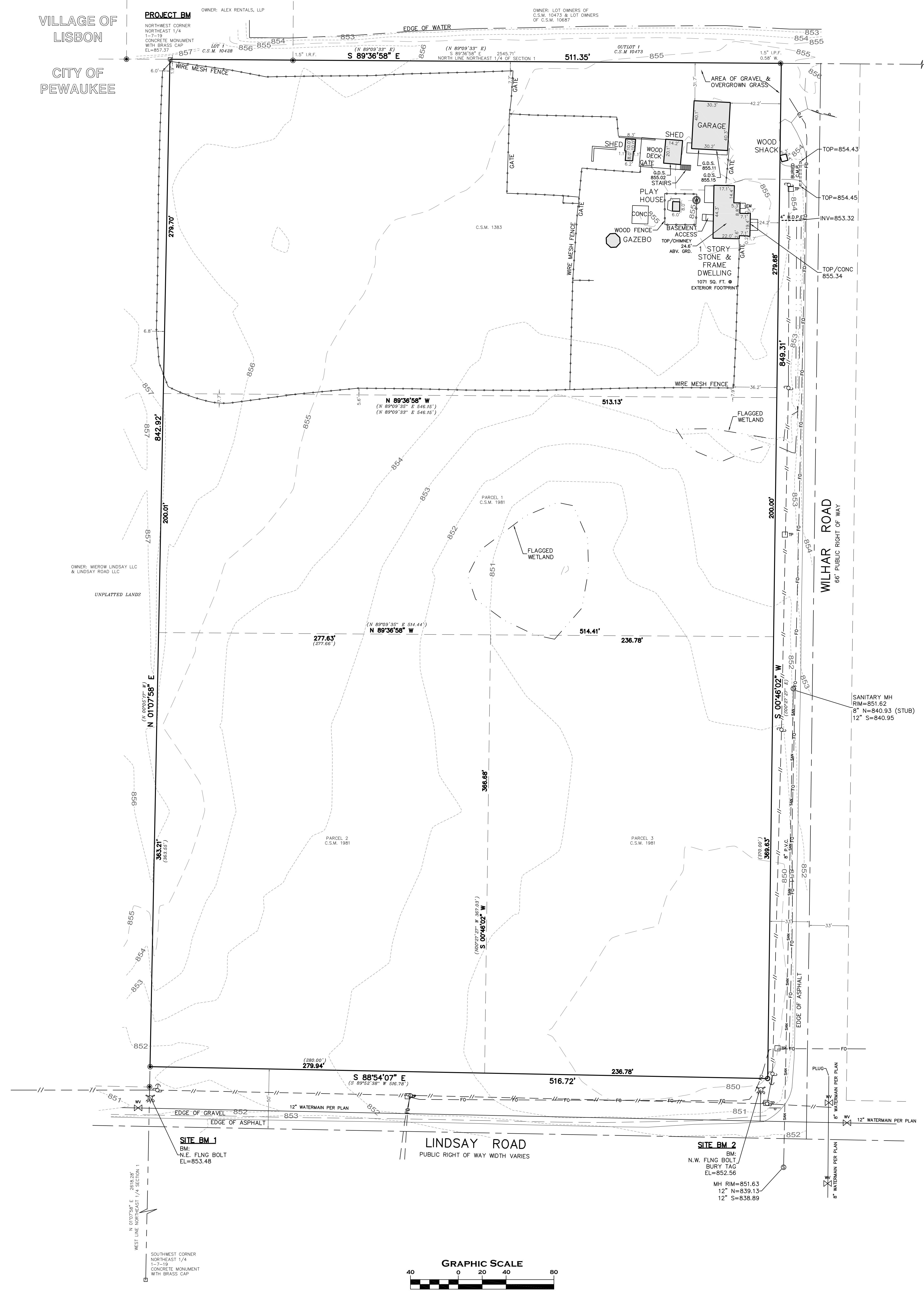
T1.1

VILLAGE OF LISBON
 CITY OF PEWAUKEE



LEGEND

— SAN —	SANITARY SEWER	⊠	ELECTRIC TRANSFORMER	⊠	HYDRANT
— ST —	STORM SEWER	⊠	ELECTRIC METER	⊠	WATER VALVE
— W —	WATER MAIN	⊠	ELECTRIC PEDESTAL	⊠	GAS VALVE
— G —	BURIED GAS LINE	⊠	TELEPHONE BOX AT GRADE	⊠	MANHOLE
— TEL —	BURIED TELEPHONE LINE	⊠	TELEPHONE PEDESTAL	⊠	STORM MANHOLE
— E —	BURIED ELECTRIC LINE	⊠	TV PEDESTAL	⊠	CATCH BASIN
— FO —	BURIED FIBER OPTIC LINE	⊠	GAS METER	⊠	AIR CONDITIONER
— U —	OVERHEAD UTILITY LINES	⊠	UTILITY POLE	⊠	CLUMP INLET
— CATV —	BURIED CABLE TELEVISION LINES	⊠	WOOD SIGN	⊠	METAL LIGHT POLE
— COMB —	COMBINATION SEWER	⊠	METAL SIGN	⊠	CONCRETE LIGHT POLE
— WOOD —	WOOD FENCE	⊠	FLAG POLE	⊠	WOOD LIGHT POLE
—	EDGE OF TREES AND BRUSH	⊠	BOLLARD	⊠	MIL SIGN
—	DOOR SILL ELEVATION	⊠	FIBER OPTIC MARKER	⊠	GUY WIRE
—	FIRE DEPARTMENT CONNECTION	⊠			



LEGAL DESCRIPTION
 FILE NO.: NCS-1127103-MKE
 CERTIFIED SURVEY MAP NO. 1383 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR WAUKESHA COUNTY, WISCONSIN ON JUNE 11, 1971, IN VOLUME 9 OF CERTIFIED SURVEY MAPS, PAGE 173 AS DOCUMENT NO. 787850, BEING PART OF NORTHWEST SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE TOWN OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.
 COMMITMENT NO. NCS-1212704-MKE
 PARCELS 1, 2 AND 3 OF CERTIFIED SURVEY MAP NO. 1981 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR WAUKESHA COUNTY, WISCONSIN ON NOVEMBER 20, 1973, IN VOLUME 13 OF CERTIFIED SURVEY MAPS, PAGES 346-348 AS DOCUMENT NO. 866201, SAID CERTIFIED SURVEY MAP BEING PART OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

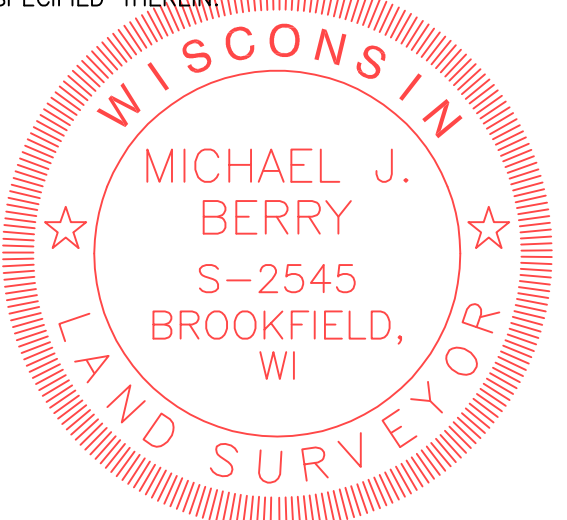
- MISCELLANEOUS NOTES**
1. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF WISCONSIN.
 2. THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO'S. NCS-1127103-MKE & NCS-1212704-MKE, WITH COMMITMENT DATES OF: MAY 03, 2022 & MARCH 11, 2024 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
 3. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 4. A ZONING REPORT WAS NOT PROVIDED TO THE SURVEYOR FOR THIS SURVEY.
 5. THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON CONTAINS: 434,919 SQUARE FEET OR 9.9844 ACRES.
 6. THE ADDRESS OF THE ABOVE DESCRIBED C.S.M. 1383, W229N4781 WILHAR RD., AS SHOWN, WAS OBSERVED IN THE FIELD AT THE TIME OF THE SURVEY.
 7. THERE ARE NO MARKED PARKING SPACES ON THIS SITE.
 8. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55133C0200R, WITH A DATE OF IDENTIFICATION OF OCTOBER 19, 2023, IN COMMUNITY NO. 550192, THE CITY OF PEWAUKEE, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
 9. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE PROPERTY AT TIME OF SURVEY.
 10. ACCORDING TO MICHAELIS GABBEY, ENGINEERING DEPT. CITY OF PEWAUKEE, THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES ADJOINING THE PROPERTY AT THE TIME OF SURVEY.
 11. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OCCURRING ON OR ADJOINING THE PROPERTY AT TIME OF SURVEY.
 12. THERE WAS OBSERVED EVIDENCE OF DELINEATED WETLANDS EXISTING ON SUBJECT PROPERTY AT TIME OF SURVEY, FLAGS AS SET BY HELIANTHUS ON APRIL 15, 2024.
 13. THERE ARE NO PLOTTABLE OFFSITE EASEMENTS DISCLOSED TO THE SURVEYOR.
 14. ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE SHOWN.
 15. ALL BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA COUNTY.
 16. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 17. PROJECT BENCHMARK: CONCRETE MONUMENT WITH BRASS CAP AT THE NORTHWEST PROPERTY CORNER AS PLOTTED HEREON.
 18. SITE BENCHMARKS: ALONG THE SOUTH PROPERTY LINE AS PLOTTED HEREON.

- SCHEDULE BII EXCEPTIONS**
 FILE NO.: NCS-1127103-MKE
- 10 UTILITY EASEMENT TO THE MILWAUKEE ELECTRIC RAILWAY AND LIGHT COMPANY, DATED NOVEMBER 02, 1926, RECORDED/FILED DECEMBER 14, 1926 AS DOCUMENT NO. 147562. DOES NOT AFFECT PARCEL.
 - 12 UTILITY EASEMENT TO THE MILWAUKEE ELECTRIC RAILWAY AND LIGHT COMPANY, ITS SUCCESSORS AND ASSIGNS, DATED NOVEMBER 02, 1926, RECORDED/FILED DECEMBER 14, 1926 AS DOCUMENT NO. 147562. DOES NOT AFFECT PARCEL-POLES WITHIN RIGHT OF WAY OF LINDSAY ROAD

TO: BROHN LAND DEVELOPMENT LLC, FIRST AMERICAN TITLE INSURANCE COMPANY, WILLIAM AND KATY L. COLEMAN, AS JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP, KUHLMAN ENTERPRISES, INC., A WISCONSIN CORPORATION.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2016, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 7a, 7b, 7c, 8, 9, 11, 13, 16, 17, 18 AND 19 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF WISCONSIN, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

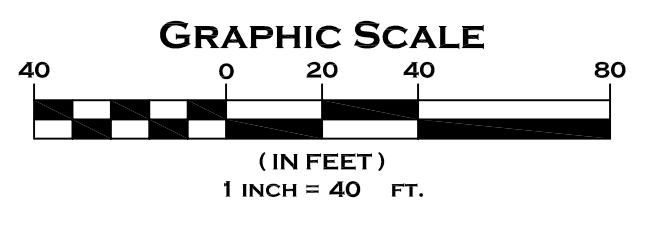
APRIL 24, 2024
 DATE
 MICHAEL J. BERRY, P.L.S.
 REGISTERED LAND SURVEYOR S-2545

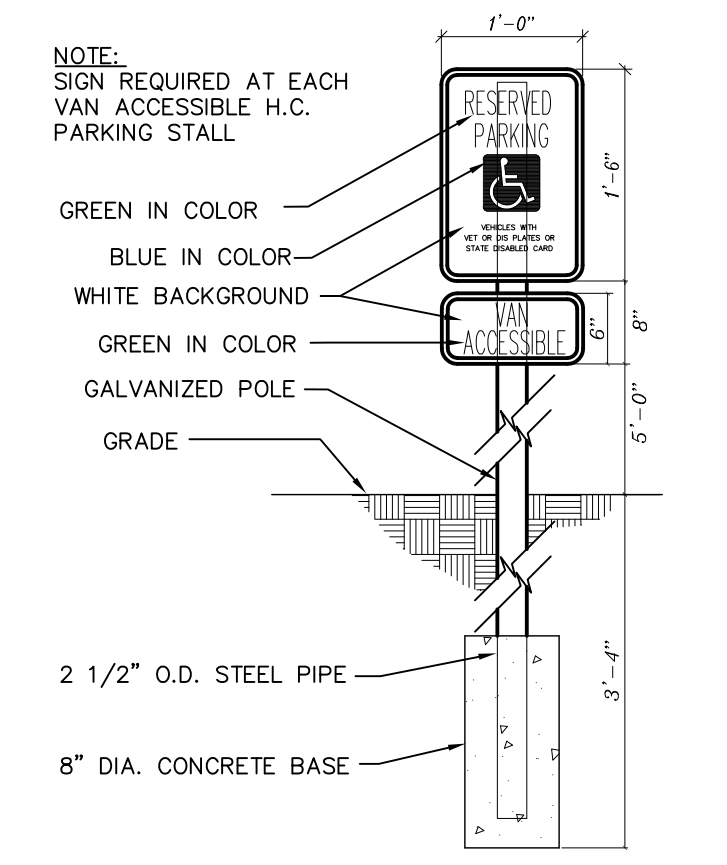
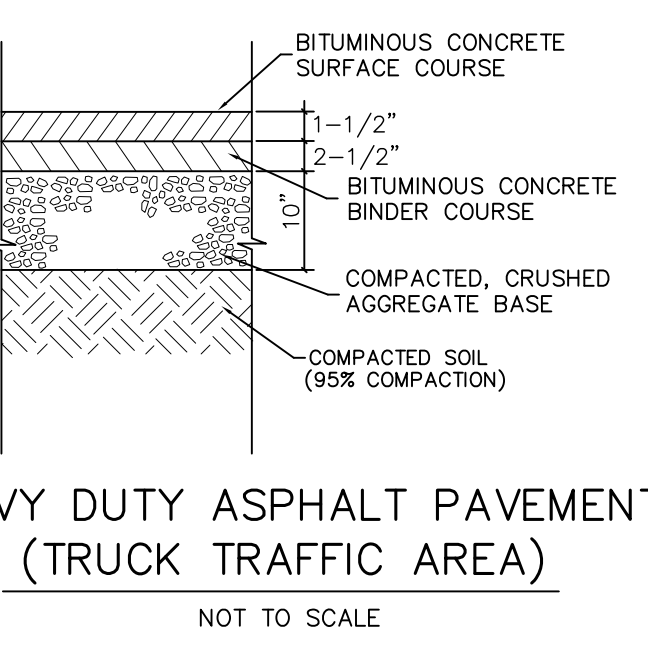
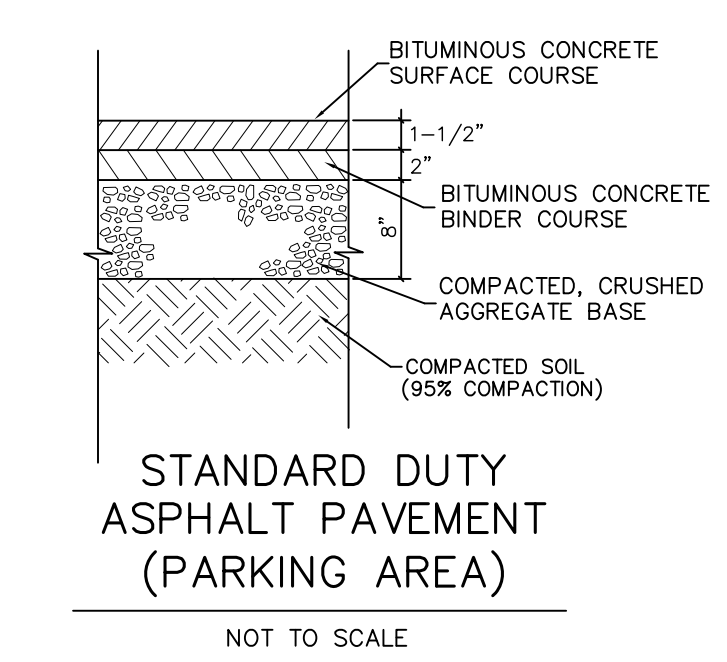
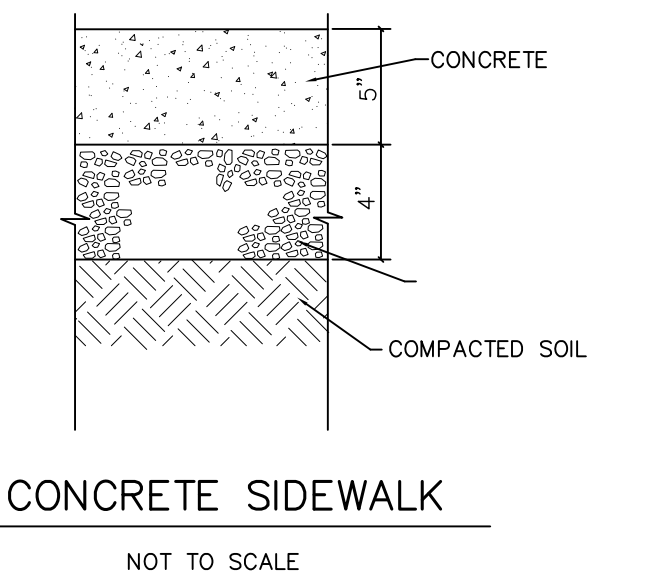
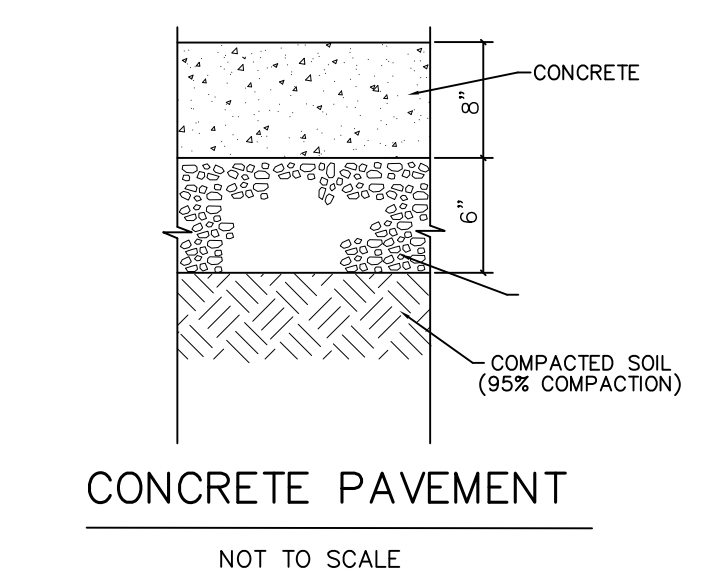
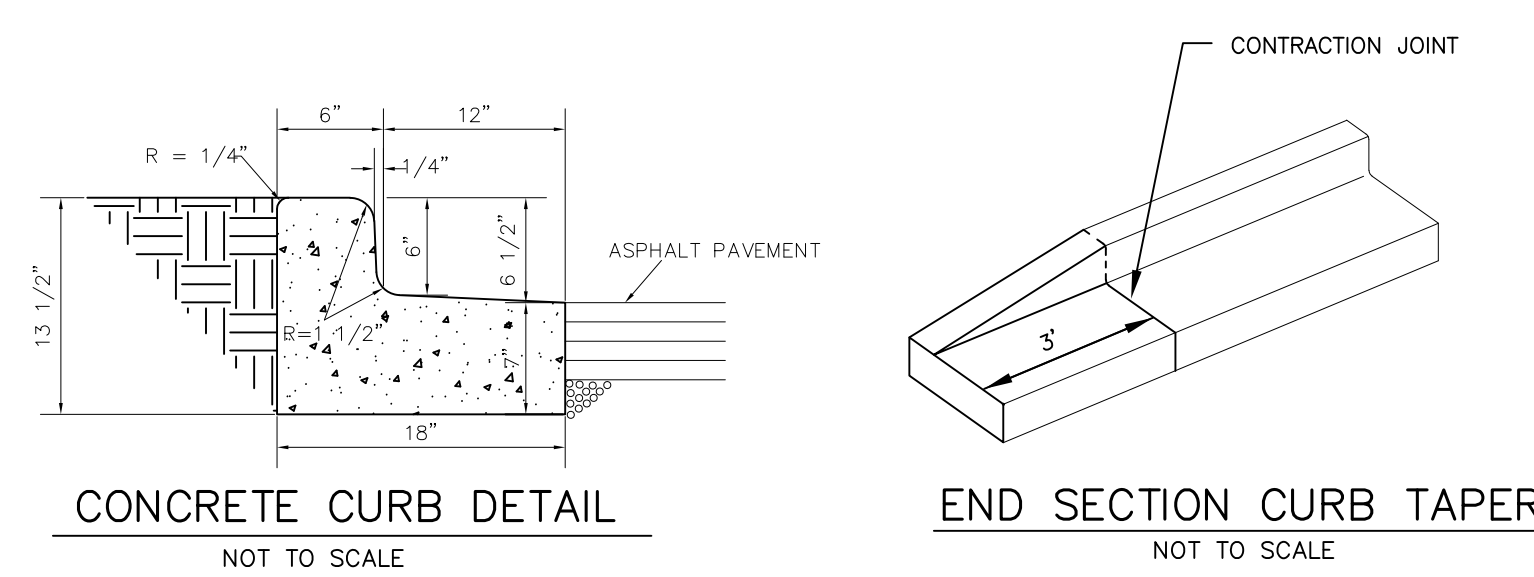
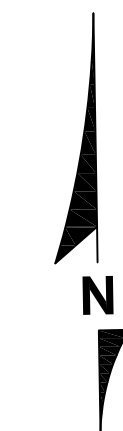


ALTA/NSPS LAND TITLE SURVEY

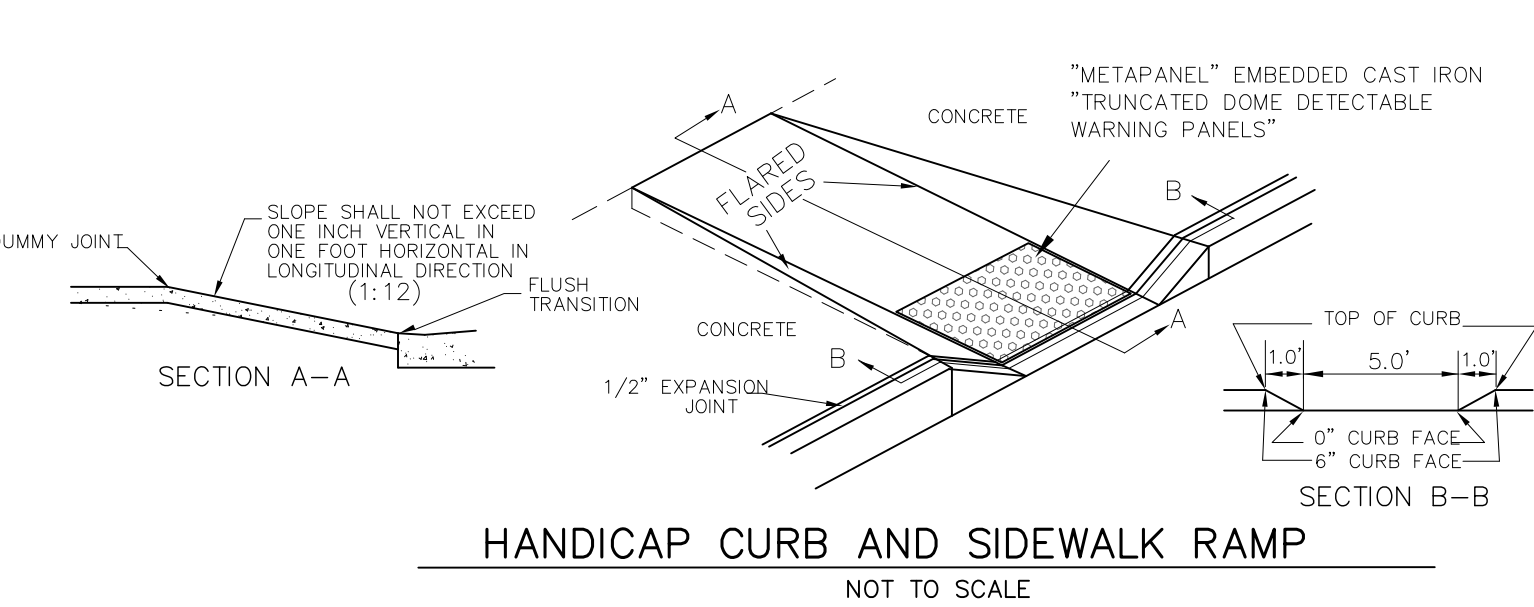
FOR
LINDSAY ROAD
 LINDSAY RD. & WILHAR RD.
 PEWAUKEE, WI

No.	DESCRIPTION	REVISION DATE	INITIALS

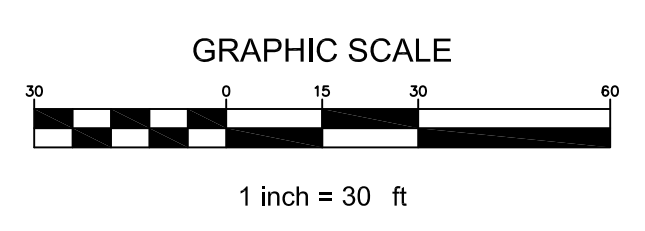
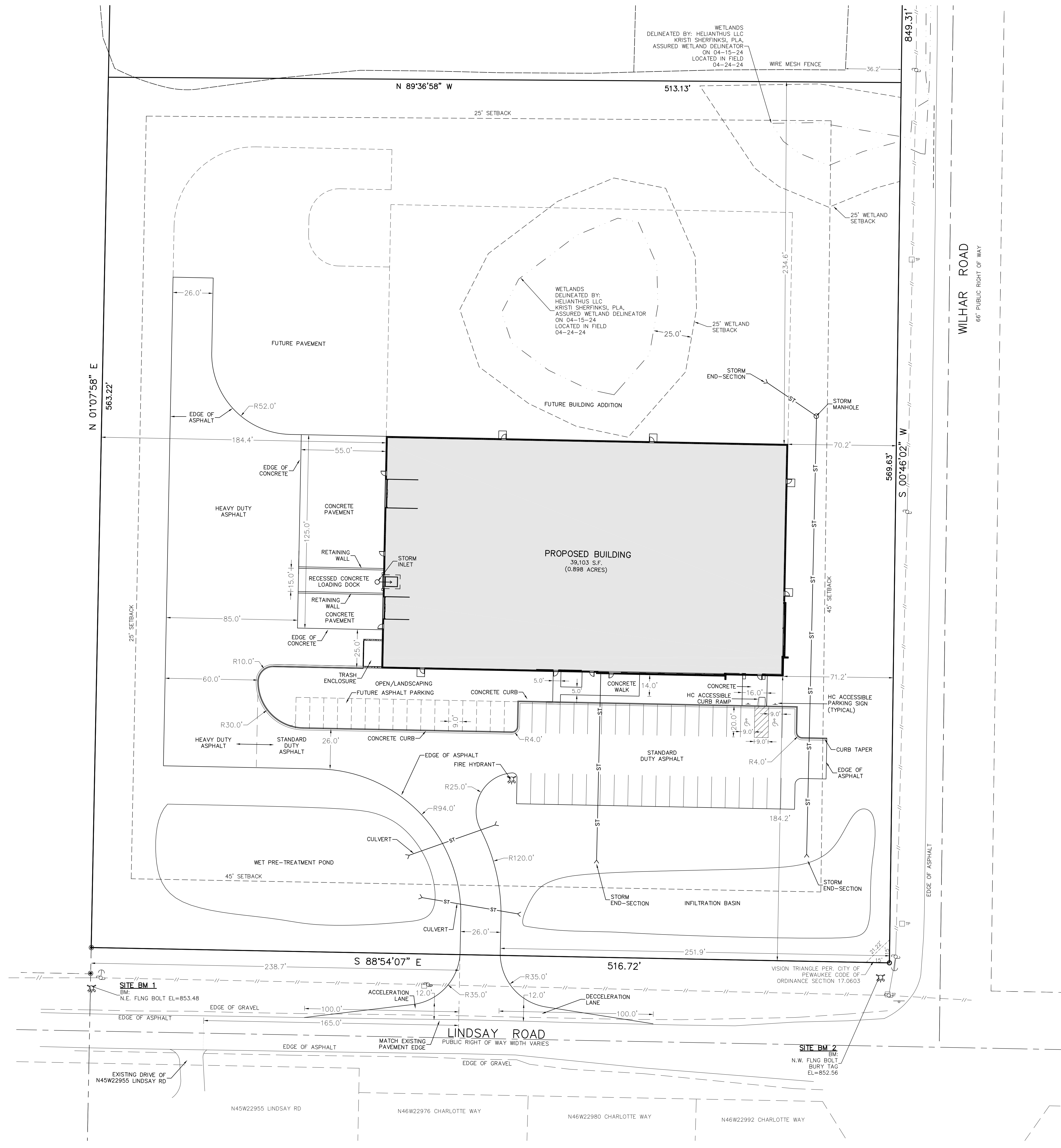




NOTE:
 SIGN REQUIRED AT EACH VAN ACCESSIBLE H.C. PARKING STALL

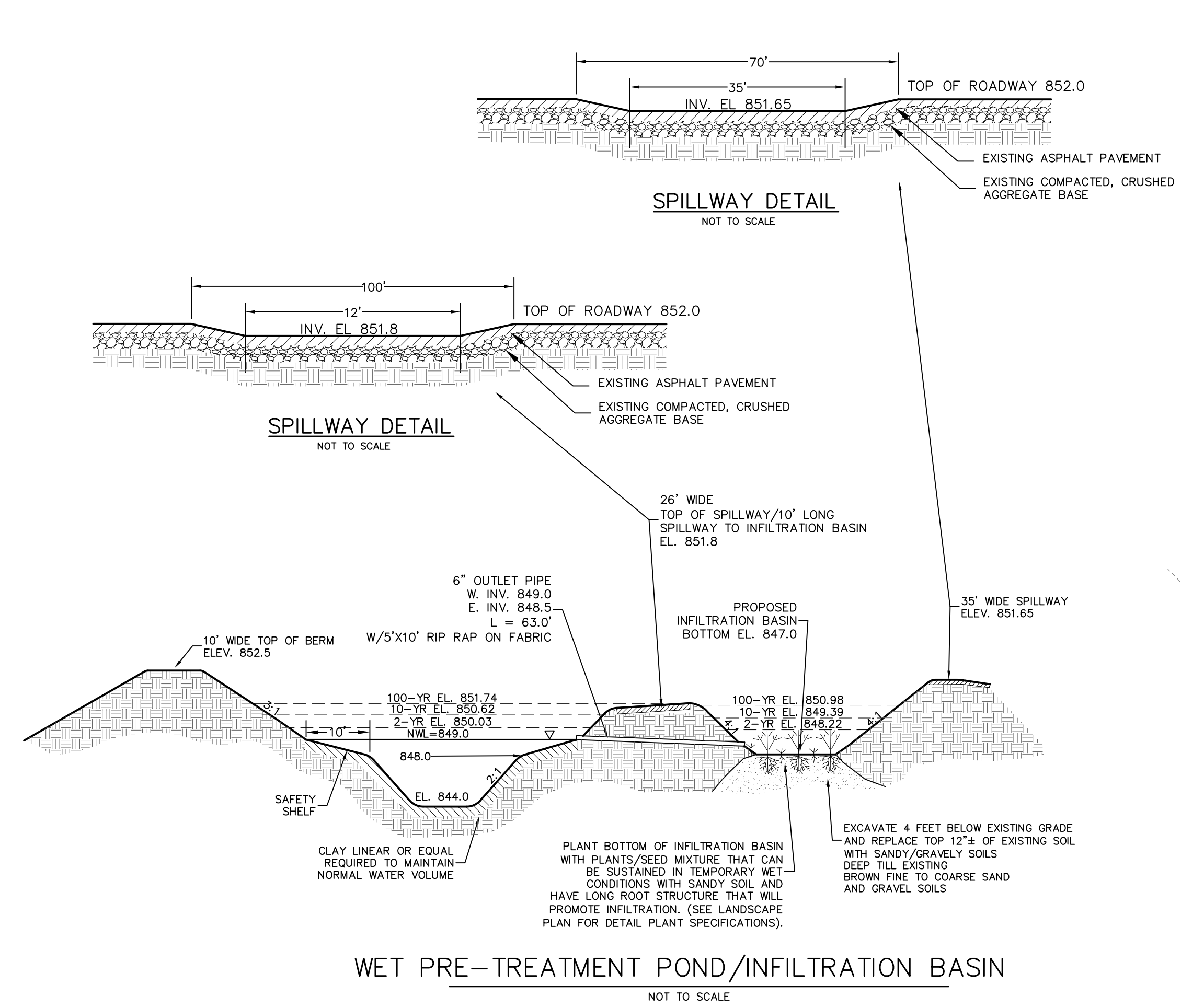
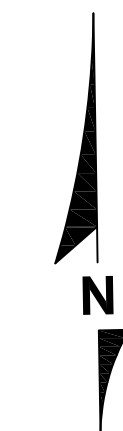


- NOTES:
 1. DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF ASPHALT
- SITE AREAS**
- PROPOSED BUILDING FOOTPRINT = 39,103 S.F. (0.898 ACRES)
 - PROPOSED PAVEMENT = 50,190 S.F. (1.152 ACRES)
 - ULTIMATE BUILDING FOOTPRINT = 78,103 S.F. (1.793 ACRES)
 - ULTIMATE PAVEMENT = 84,905 S.F. (1.950 ACRES)
- PROPOSED IMPERVIOUS AREA = 89,293 S.F. (2.050 ACRES) [31% OF THE SITE]
 PROPOSED OPEN SPACE = 202,365 S.F. (4.646 ACRES) [69% OF THE SITE]
 ULTIMATE IMPERVIOUS AREA = 163,058 S.F. (3.743 ACRES) [56% OF THE SITE]
 ULTIMATE OPEN SPACE = 128,600 S.F. (2.952 ACRES) [44% OF THE SITE]
- TOTAL SITE AREA = 291,658 S.F. (6.696 ACRES)
 DISTURBED AREA = 209,225 S.F. (4.803 ACRES)
- PROPOSED SURFACE PARKING**
- 37 REGULAR CUSTOMER SPACES
 - 2 HANDICAPPED SPACES (ADA COMPLIANT VAN ACCESSIBLE SPACES)
 - 39 TOTAL SPACES



UZELAC
 PEWAUKEE, WISCONSIN

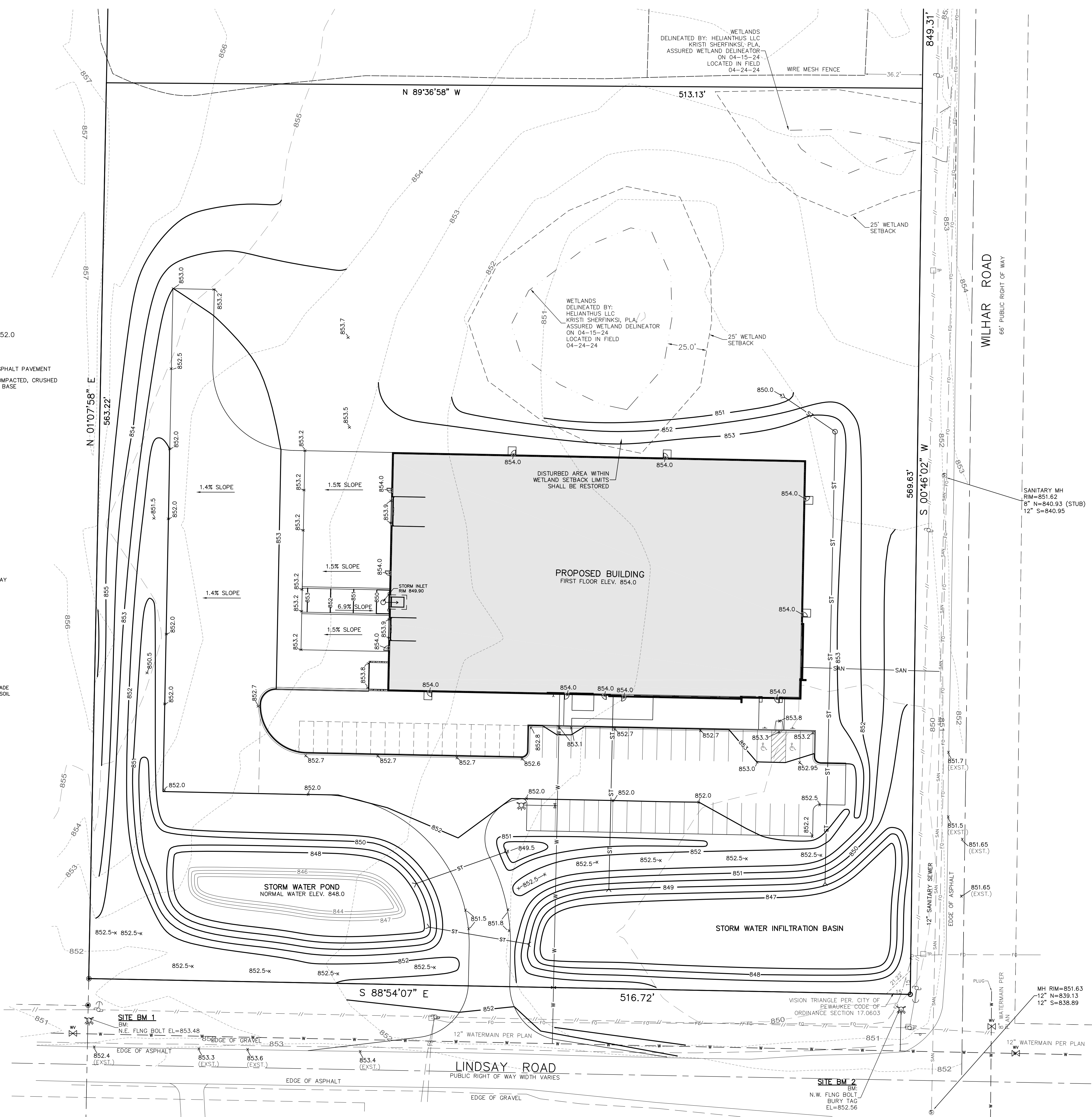
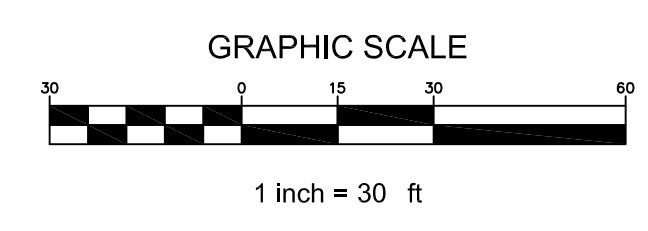
SITE PLAN C1.0



- NOTES:**
1. EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISES.
 2. DISTURBED AREA = 4.80 ACRES
 3. THE DEVELOPMENT WILL RESULT IN AN INCREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 2.05 ACRES.
 4. STORM WATER MANAGEMENT MEETING ALL THE REQUIREMENTS OF THE CITY AND NR 151 WILL BE PROVIDED BY A PROPOSED STORM WATER WET PRE-TREATMENT BASIN AND INFILTRATION BASIN LOCATED ON THE SOUTH SIDE OF THE SITE.
 5. THE CONTRACTOR IS RESPONSIBLE FOR ANY CITY AND/OR STATE PERMITS FOR ALL WORK IN THE PUBLIC RIGHT OF WAY.
 6. ALL CONSTRUCTION MATERIALS TO BE STORED ON-SITE.
 7. ALL PROPOSED SPOT GRADES ALONG THE CURB ARE AT THE FLANGE LINE. ALL PROPOSED SPOT GRADES ALONG THE FACE OF A RAISED WALK ARE AT THE BOTTOM OF WALK (ASPH.) UNLESS OTHERWISE NOTED.

www.DiggersHotline.com
DIGGERS HOTLINE
 DIAL 811 OR (800) 242-8511

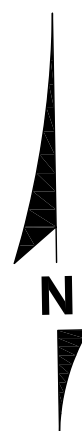
LEGEND	
--- 190 ---	EXISTING CONTOUR
--- 190 ---	PROPOSED CONTOUR
x-189.5	PROPOSED GRADE
--- ST ---	EXISTING STORM SEWER
--- ST ---	PROPOSED STORM SEWER
--- SAN ---	EXISTING SANITARY SEWER
--- SAN ---	PROPOSED SANITARY SEWER
--- W ---	EXISTING WATER MAIN
--- W ---	PROPOSED WATER MAIN
--- G ---	BURIED GAS MAIN
--- E ---	OVER HEAD WIRE
--- E ---	BURIED ELECTRIC



UZELAC
 PEWAUKEE, WISCONSIN

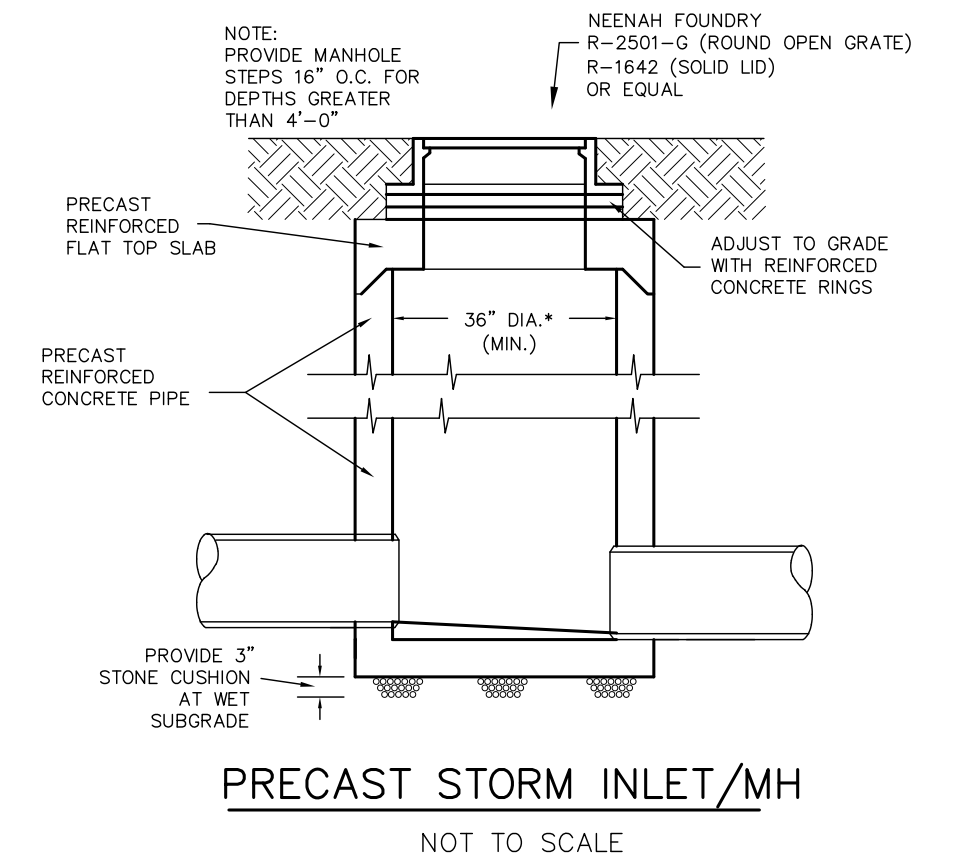
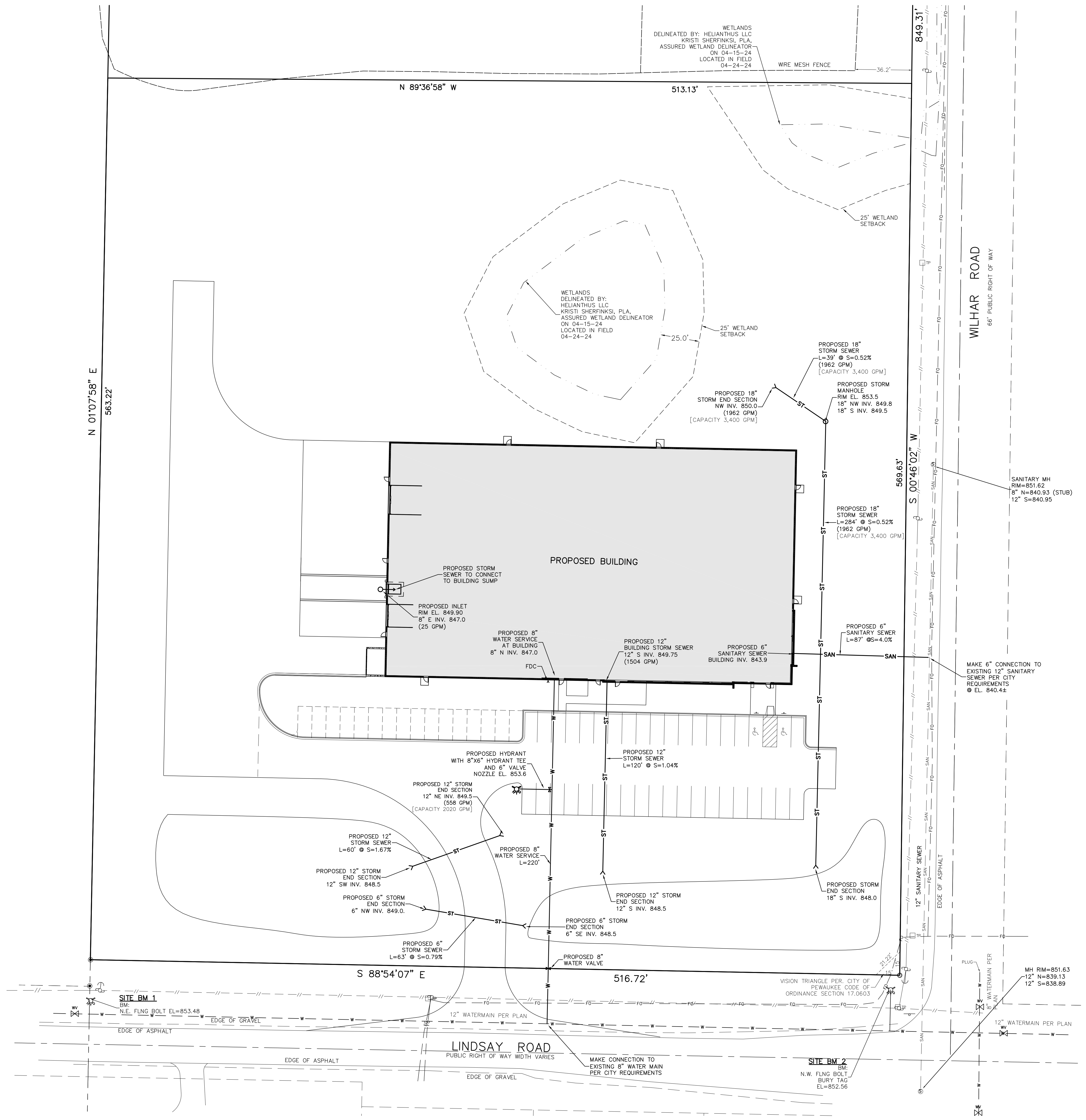
CJE242IR2
 MAY 06, 2024
 REV.:05/24/2024
 REV.:07/18/2024

SITE GRADING PLAN C2.0



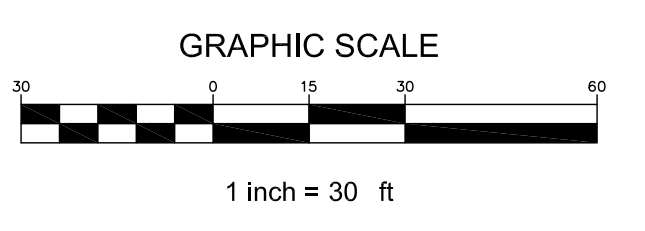
UZELAC
 PEWAUKEE, WISCONSIN

CJE242IR2
 MAY 06, 2024
 REV.: 05/24/2024
 REV.: 07/18/2024



- NOTES:**
- ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF PEWAUKEE REQUIREMENTS.
 - ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
 - EXACT SIZE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDING BY PLUMBING CONSULTANT/CONTRACTOR.
 - THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, DEPTH AND CONDITION OF ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
 - STORM SEWER: PVC ASTM D3034, RCP ASTM C76, OR ADSN-12 HDPE
 SANITARY SEWER: PVC ASTM D3034, SDR 35
 WATER MAIN: PVC, AWWA C900, CLASS 150 (DR18)
 *MATERIAL PER CITY REQUIREMENT, CONTRACTOR TO VERIFY.
 - ALL WATER SERVICE PIPING TO HAVE A MINIMUM OF 6 FEET OF COVER.
 - CONTRACTOR TO PROVIDE TRACER WIRE OR OTHER METHOD OF LOCATING FOR ALL UNDERGROUND EXTERIOR NON-METALLIC SANITARY, STORM AND WATER PIPE PER WISCONSIN PLUMBING CODE SECTION 182.0715(2).
 - SANITARY BUILDING SEWERS 6" OR LESS IN DIAMETER SHALL BE PROVIDED WITH CLEAROUTS OR MANHOLES SUCH THAT A CLEAROUT IS LOCATED NOT MORE THAN 100 FEET APART.
 - CONTRACTOR TO VERIFY SIZE, LOCATION, DEPTH AND CONDITION OF GAS LINE PRIOR TO MAKING CONNECTION, CONTRACTOR SHALL COORDINATE ALL CONNECTION AND WORK WITH UTILITY COMPANY.

LEGEND	
---	EXISTING STORM SEWER
-ST-	PROPOSED STORM SEWER
---	EXISTING SANITARY SEWER
-SAN-	PROPOSED SANITARY SEWER
---	EXISTING WATER MAIN
-W-	PROPOSED WATER MAIN
-G-	BURIED GAS MAIN
-O-	OVER HEAD WIRE
-E-	BURIED ELECTRIC



CONSTRUCTION SCHEDULE

- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- INSTALL CONSTRUCTION EXIT.
- INSTALL SILT FENCE AND CONSTRUCTION FENCE.
- STRIP AND STOCK PILE TOP SOIL SURROUNDING TOP SOIL STOCK PILE WITH SILT FENCE AND TEMP. STABILIZER. LOCATION OF STOCK PILE TO BE DETERMINED BY CONTRACTOR.
- INSTALL SEDIMENT BASIN (FUTURE WET PRE-TREATMENT POND) AND DIVERSION SWALE/BERM.
 A. THE AREA OF THE WET PRE-TREATMENT BASIN WILL BE USED AS A SEDIMENTATION BASIN DURING CONSTRUCTION. DO NOT INSTALL PERMANENT OUTLET PIPE AT THIS STAGE.
 B. ROUGH GRADE BASIN AND INSTALL BASIN, TEMPORARY OUTLET PIPE AND RIP RAP SEDIMENT TRAP.
- ROUGH GRADE SITE.
- UTILIZE CONSTRUCTION BAG AS NECESSARY DURING EXCAVATION FOR BUILDING CONSTRUCTION. DIRECT RUNOFF FROM BAG TO TEMPORARY STORM WATER FACILITIES.
- INSTALL PROPOSED UTILITIES.
- INSTALL OUTLET PROTECTION.
- INSTALL BASE COURSE OF PAVEMENT.
- INSTALL INFILTRATION BASIN. INSTALL PLANTINGS PER LANDSCAPE PLAN. PROVIDE FINAL STABILIZATION OF BASIN SIDE SLOPES THAT INCLUDE SEEDING AND MATTING.
- FINAL GRADE WET PRE-TREATMENT POND AND INSTALL PERMANENT OUTLET PIPE (SEE C2.0 FOR FINAL GRADE ELEVATION).
- FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MAT ALL DISTURBED AREAS.
- ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL. NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
- AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.

TEMPORARY STABILIZATION METHODS

TEMPORARY SEEDING:
 DURING GROWING SEASON (MAY 2 – OCTOBER 31) TEMPORARY SEEDING (COVER CROP) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE CONSTRUCTION.

Species	Lbs/Acre	Percent Purity
Oats	131	98
Cereal Rye	131*	97
Winter Wheat	131*	95
Annual Ryegrass	80*	97
* Fall Seeding		

LAND APPLICATION OF ADDITIVES:
 DURING NONGROWING SEASON (NOVEMBER 1 – MAY 1) CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION. STABILIZER TO BE POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) – SEE WDNR TECHNICAL STANDARD 1050.

STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.

WINTER CONDITIONS

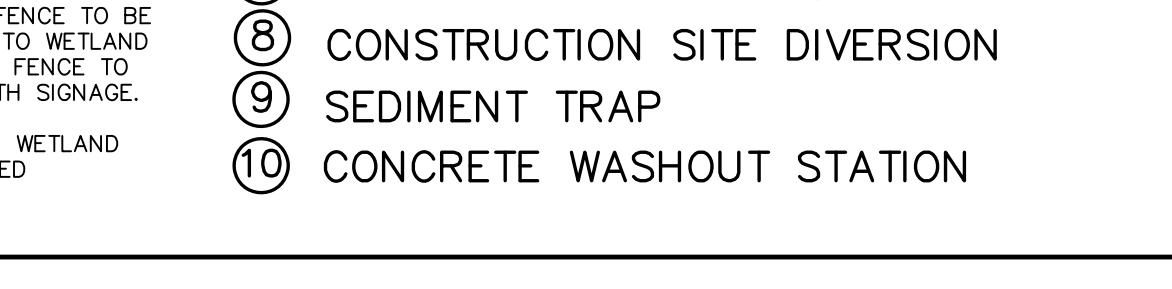
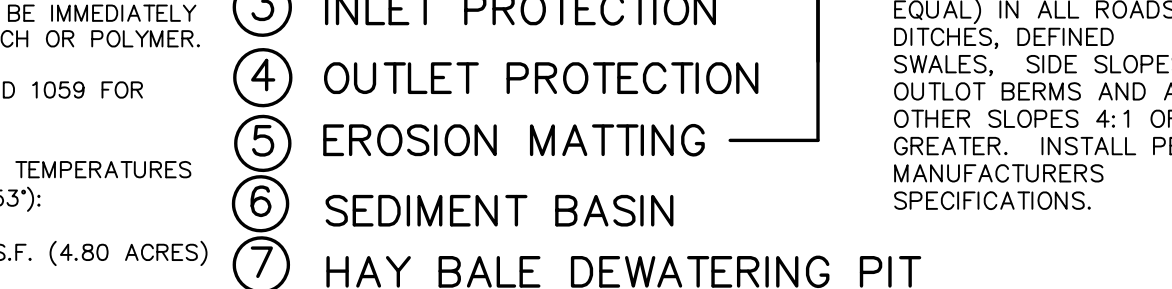
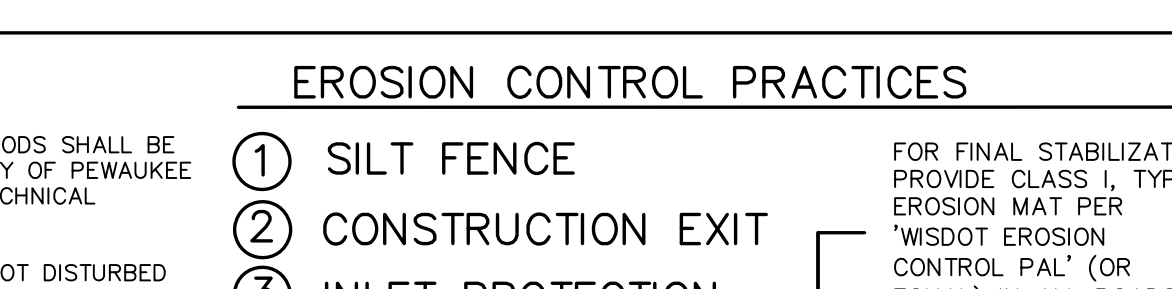
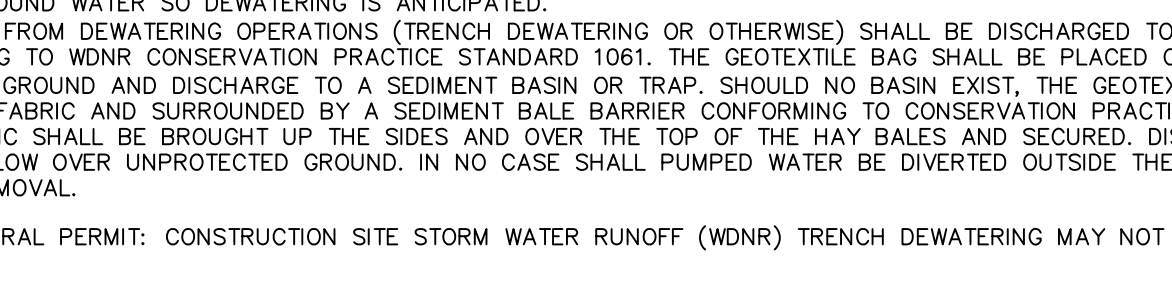
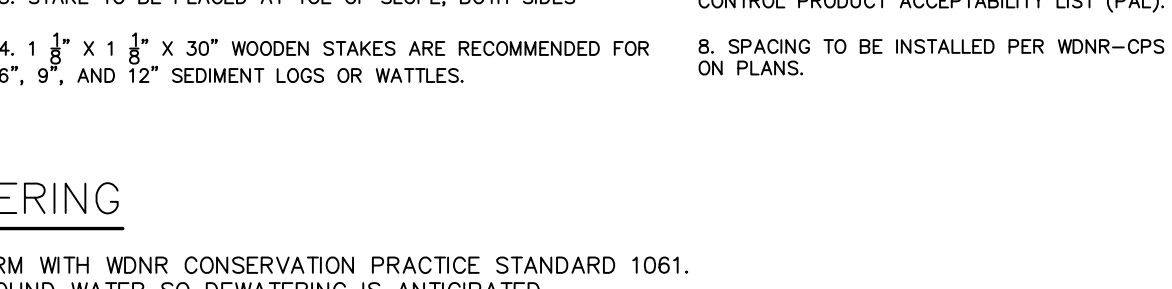
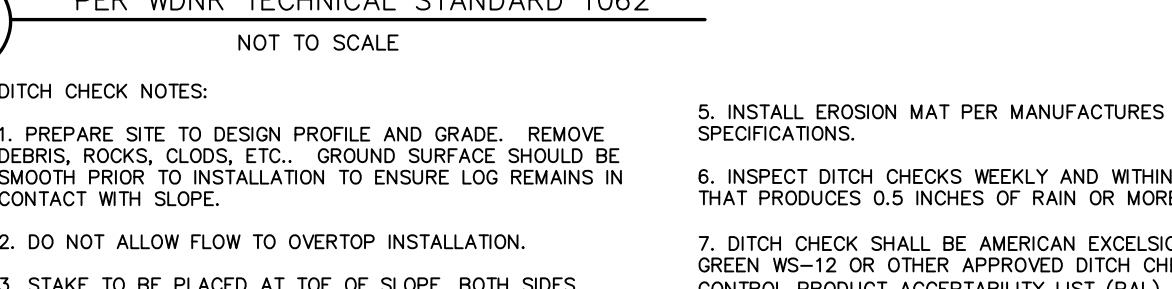
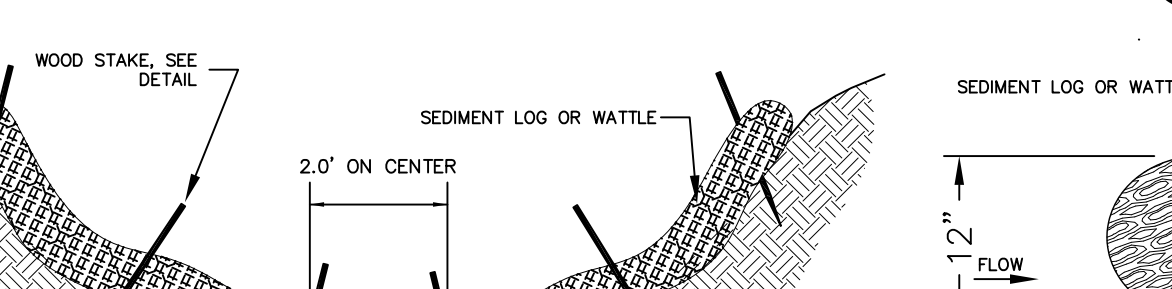
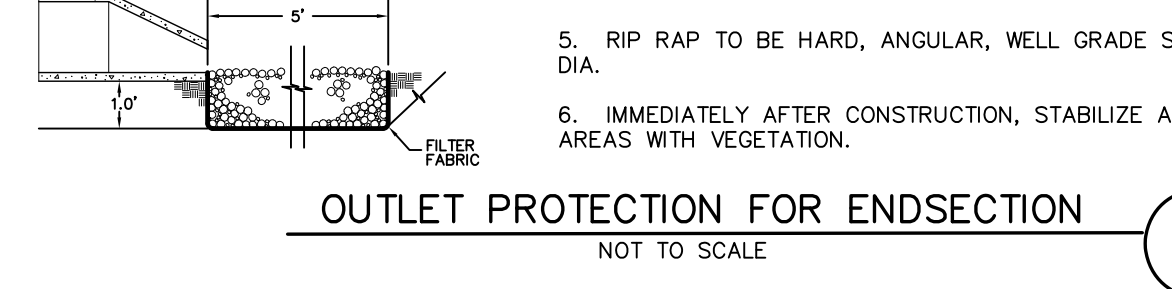
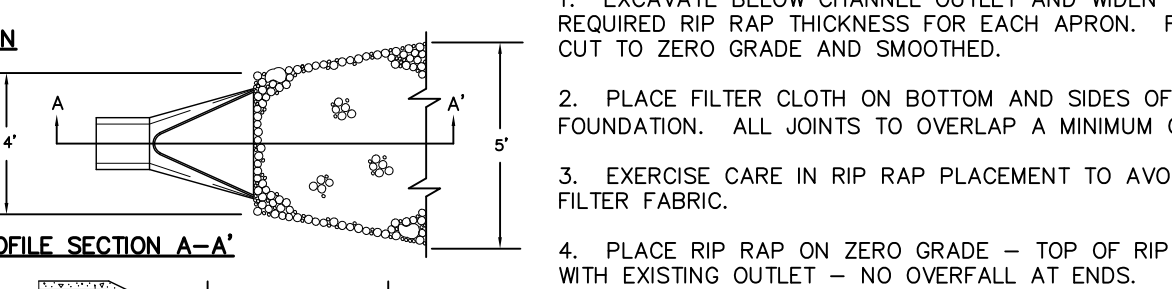
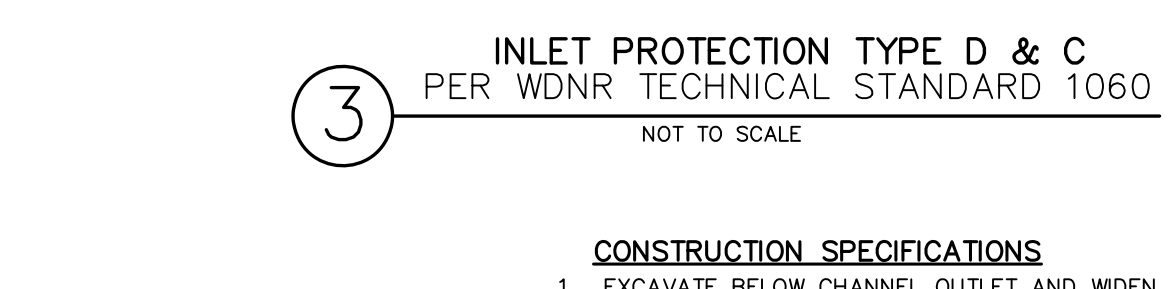
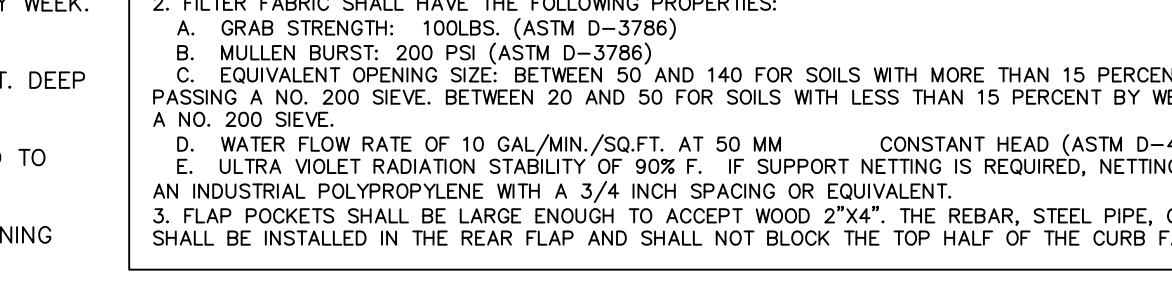
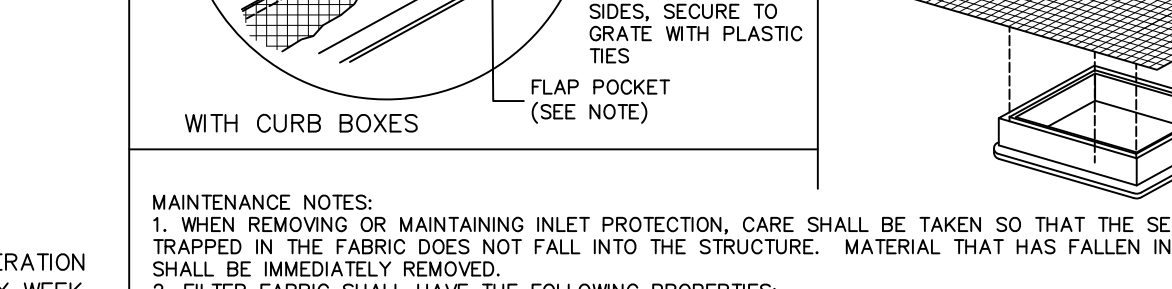
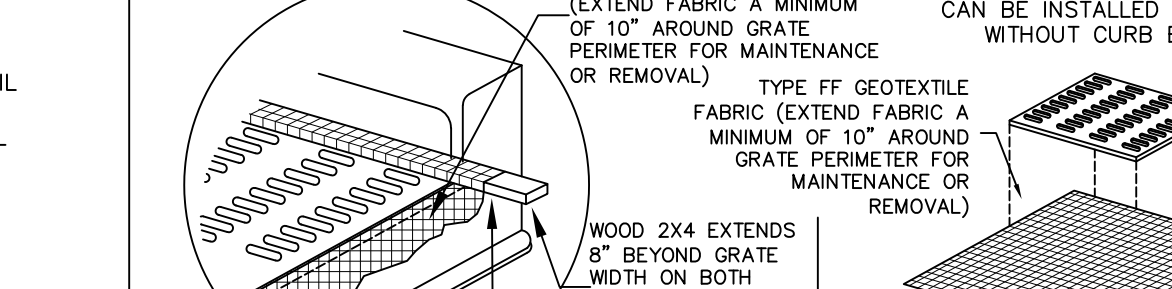
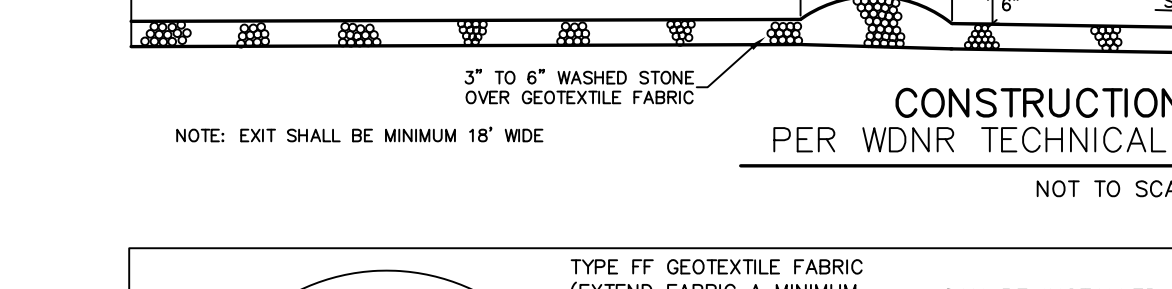
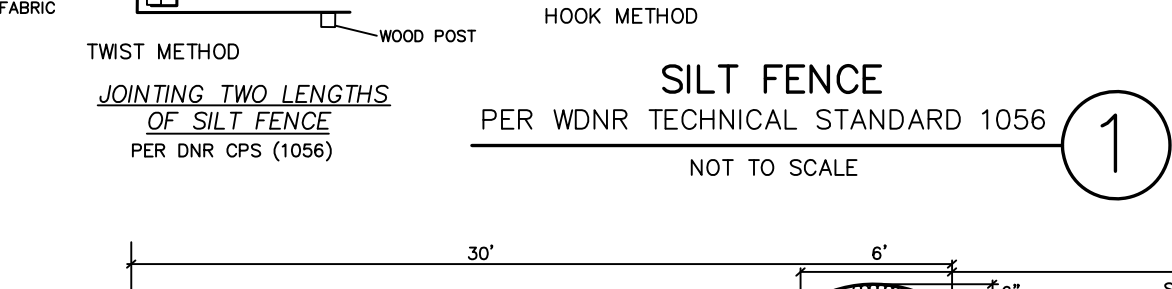
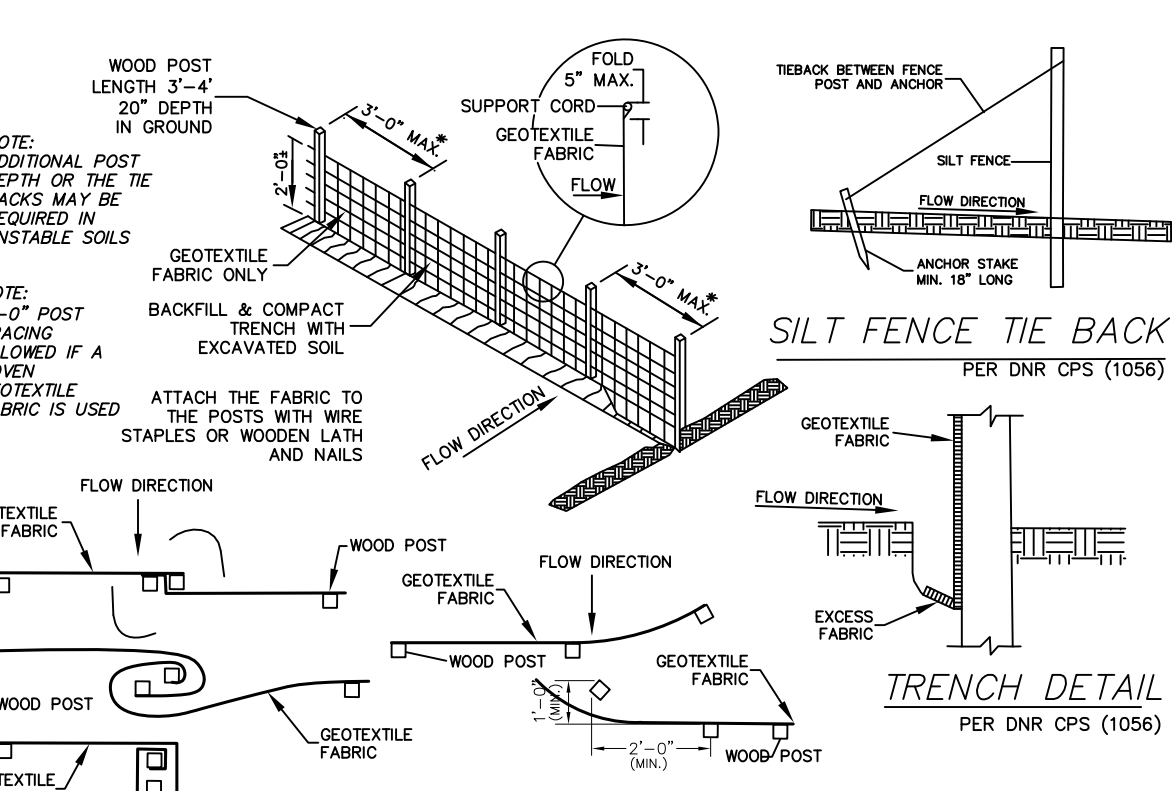
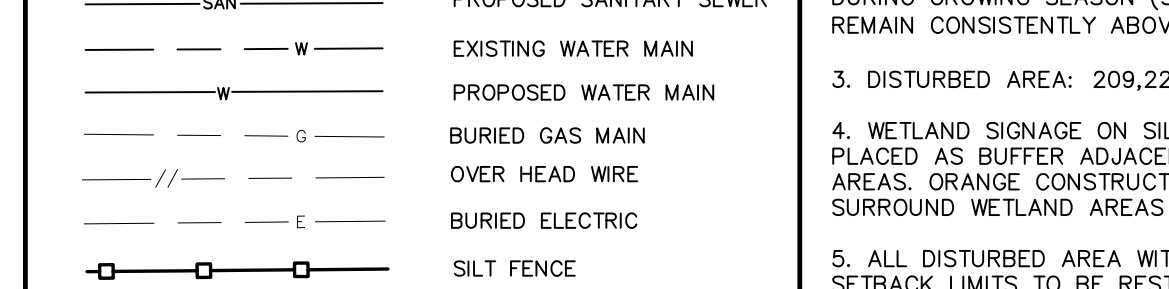
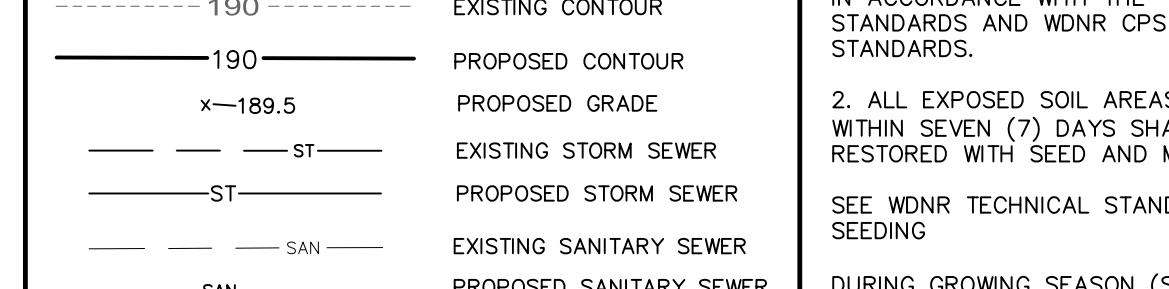
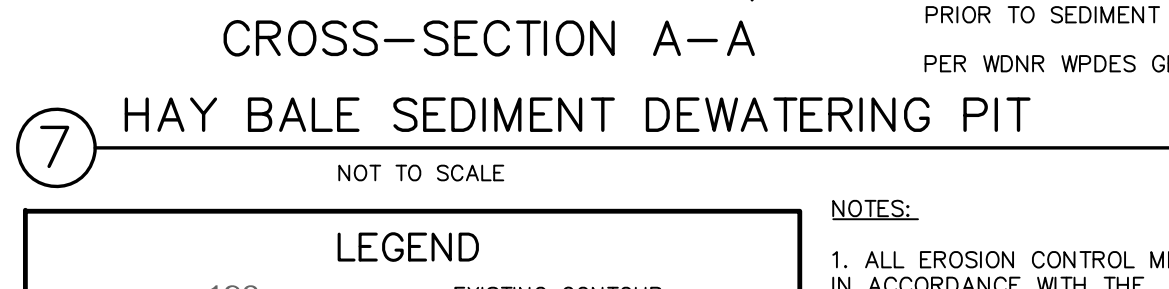
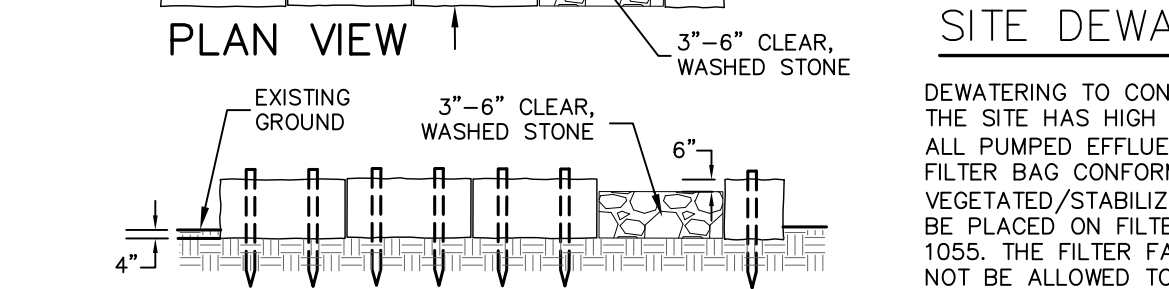
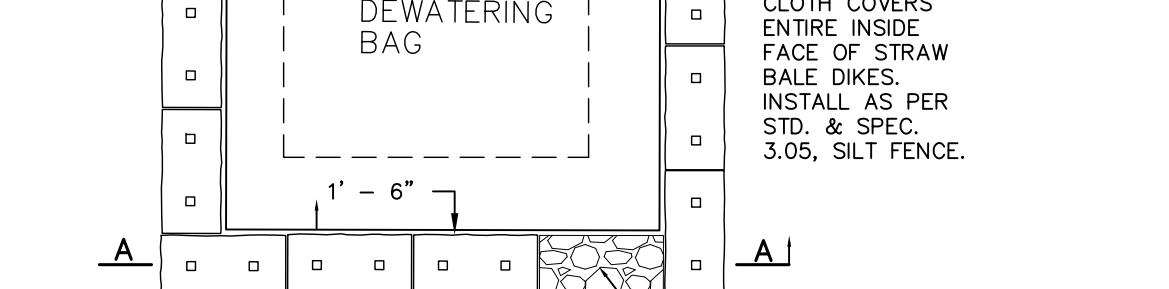
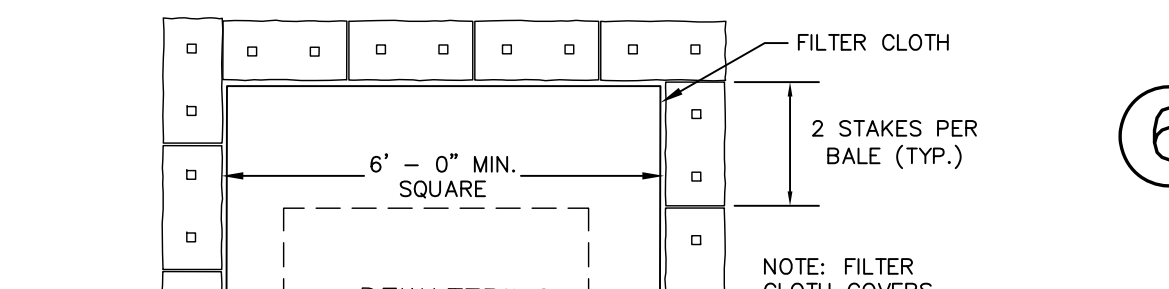
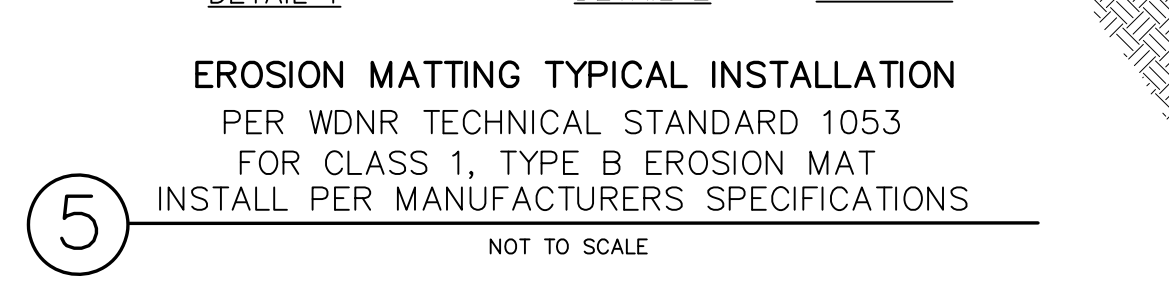
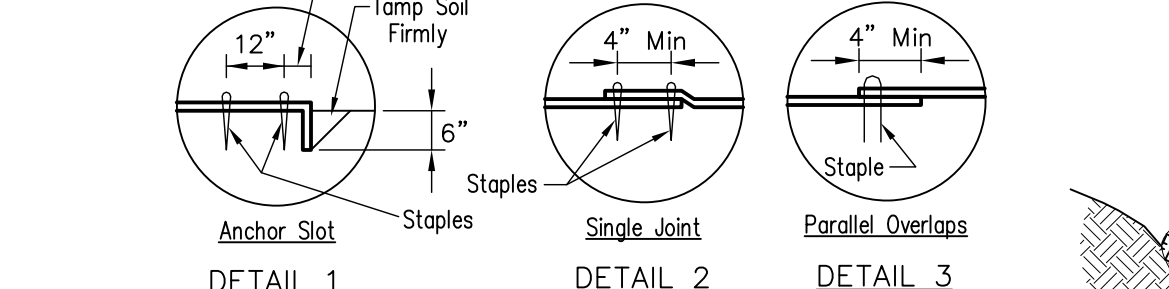
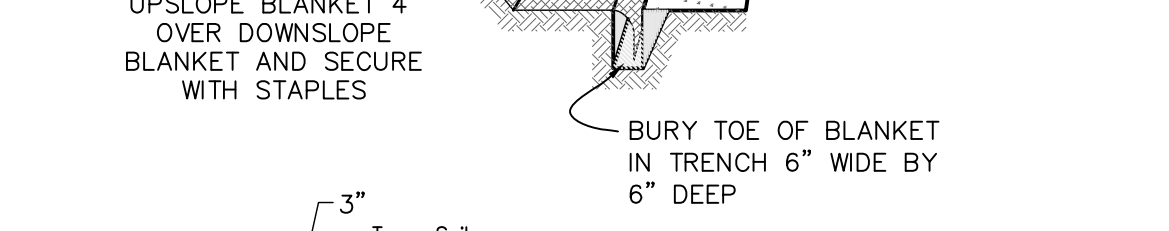
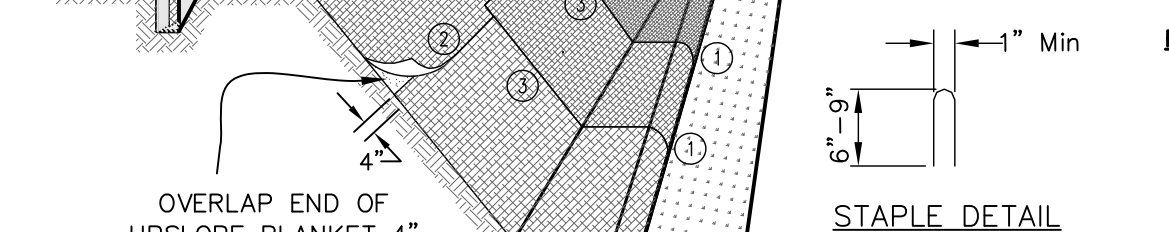
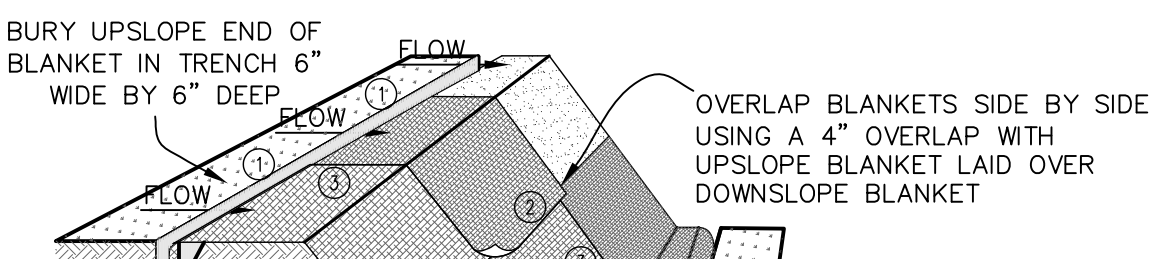
DURING WINTER CONSTRUCTION (NOVEMBER 1 TO MAY 1), CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER, POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) ON ALL DISTURBED AREAS THAT ARE NOT TO BE DISTURBED BEYOND 7 DAYS. CONTRACTOR TO INSTALL PAM PER WDNR TECHNICAL STANDARD 1050 AND THE MANUFACTURERS SPECIFICATIONS.

PRESCRIPTIVE COMPLIANCE AREAS:
 PER WDNR NR15111 WS, ADM. CODE
 MAXIMUM PERIOD OF BARE SOIL EXPOSURE FOR SLOPES EXCEEDING 20%
 SLOPE AREA DRAINS TO SEDIMENT BASIN OR SEDIMENT TRAP

LAND DISTURBANCE BETWEEN SEPT. 16TH AND MAY 15TH	LAND DISTURBANCE BETWEEN MAY 2ND AND SEPT. 15TH

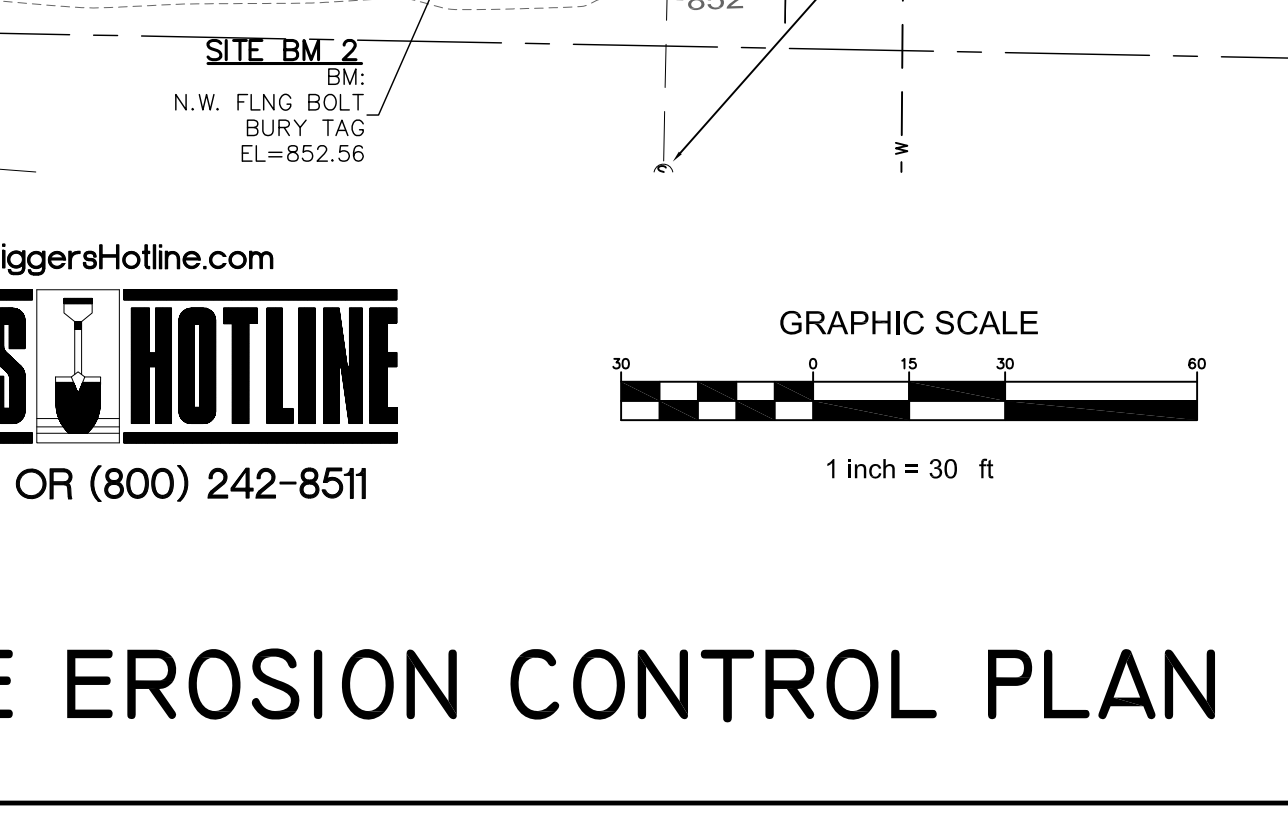
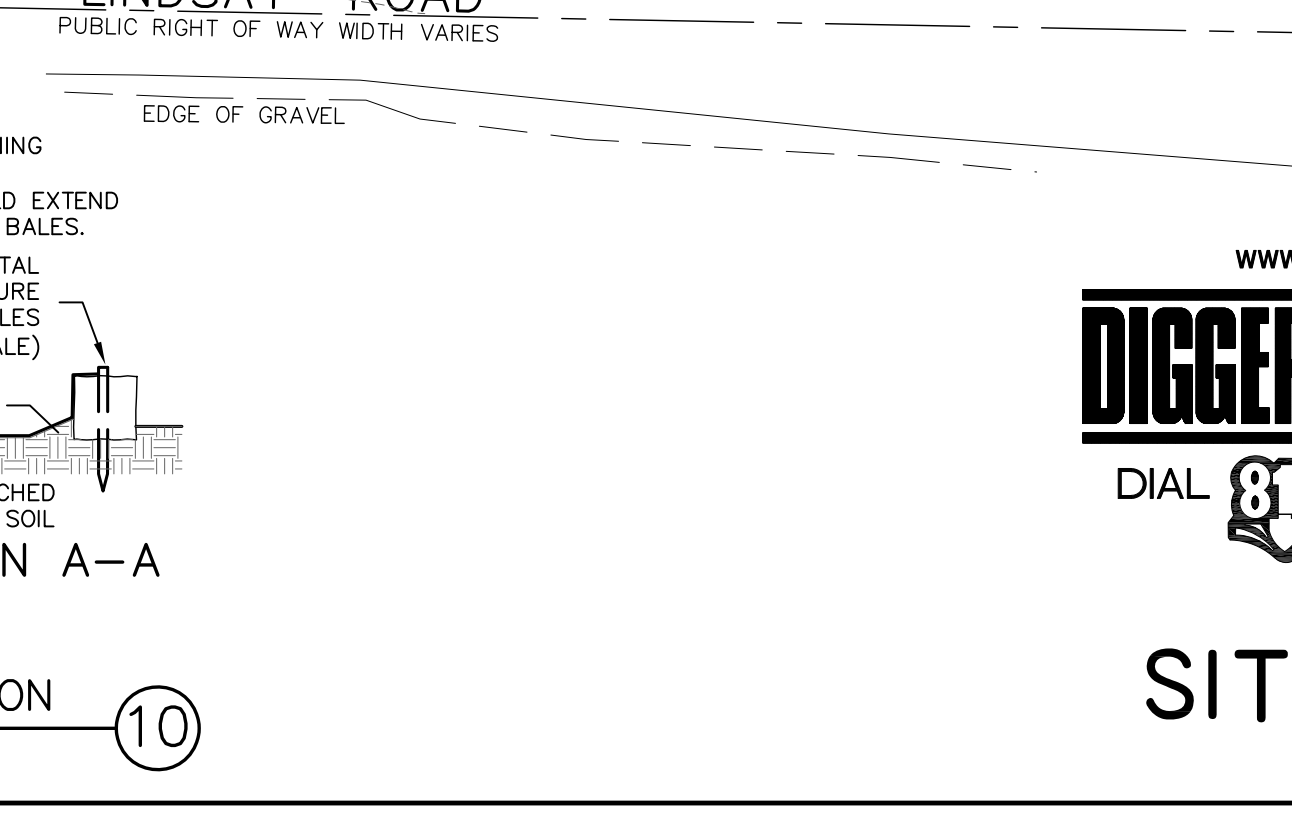
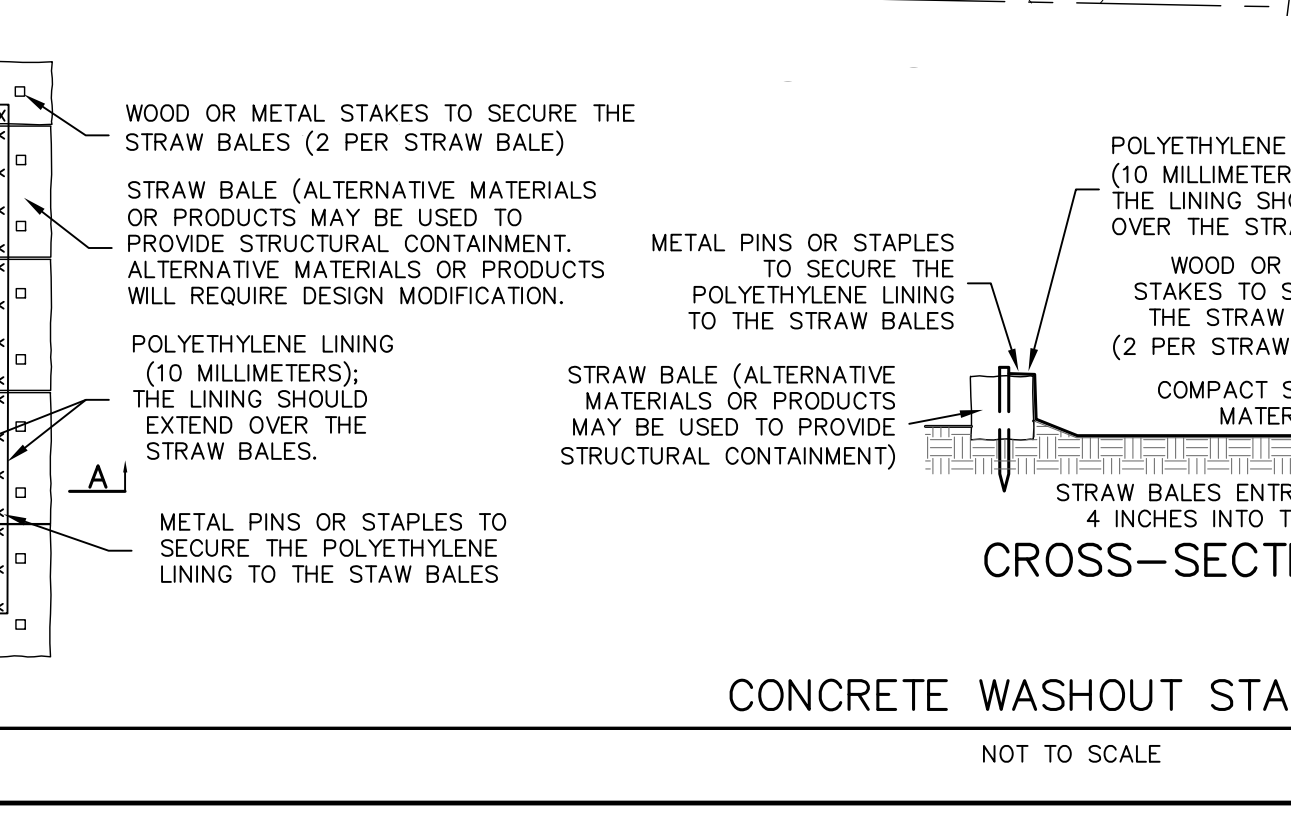
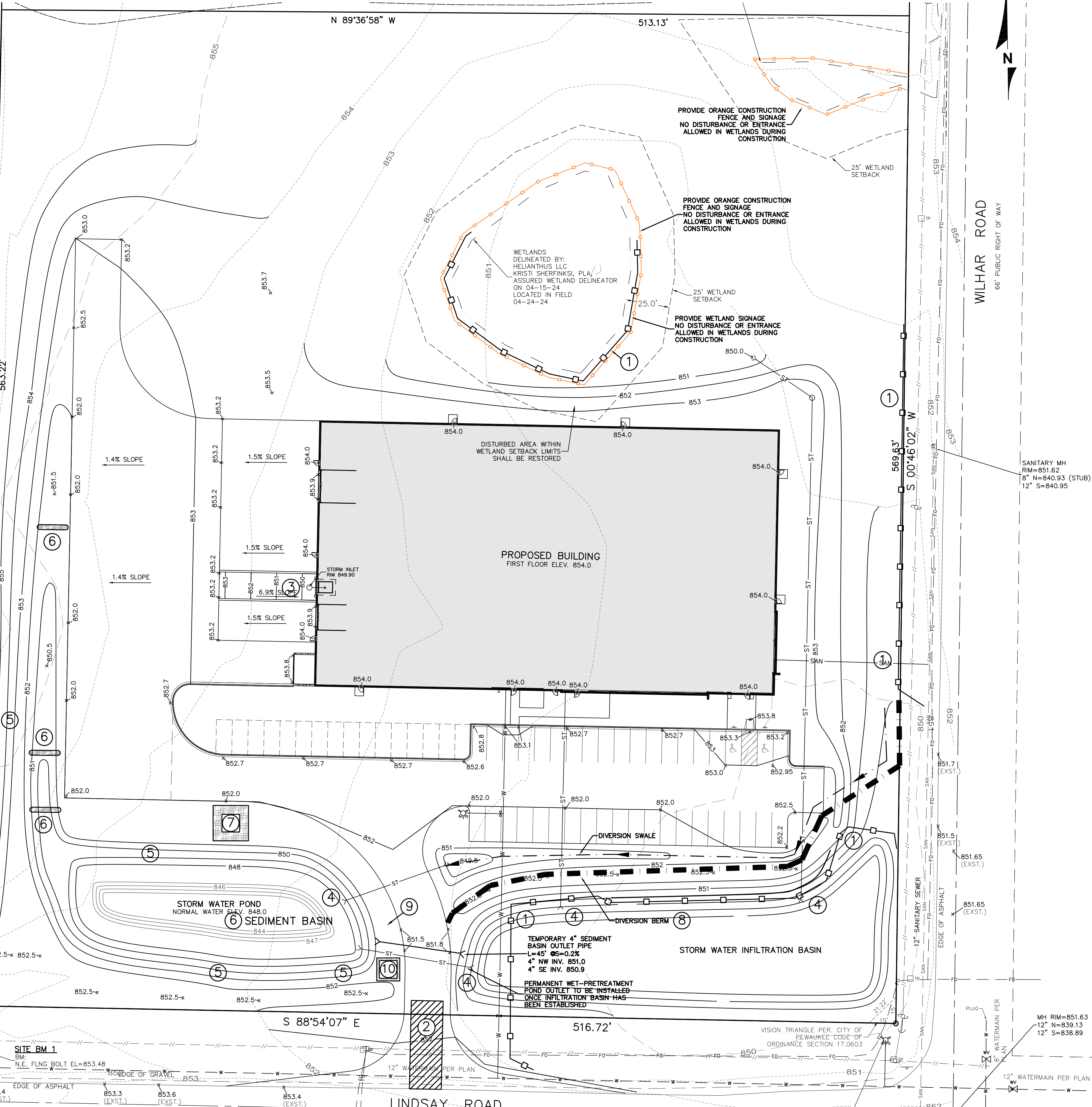
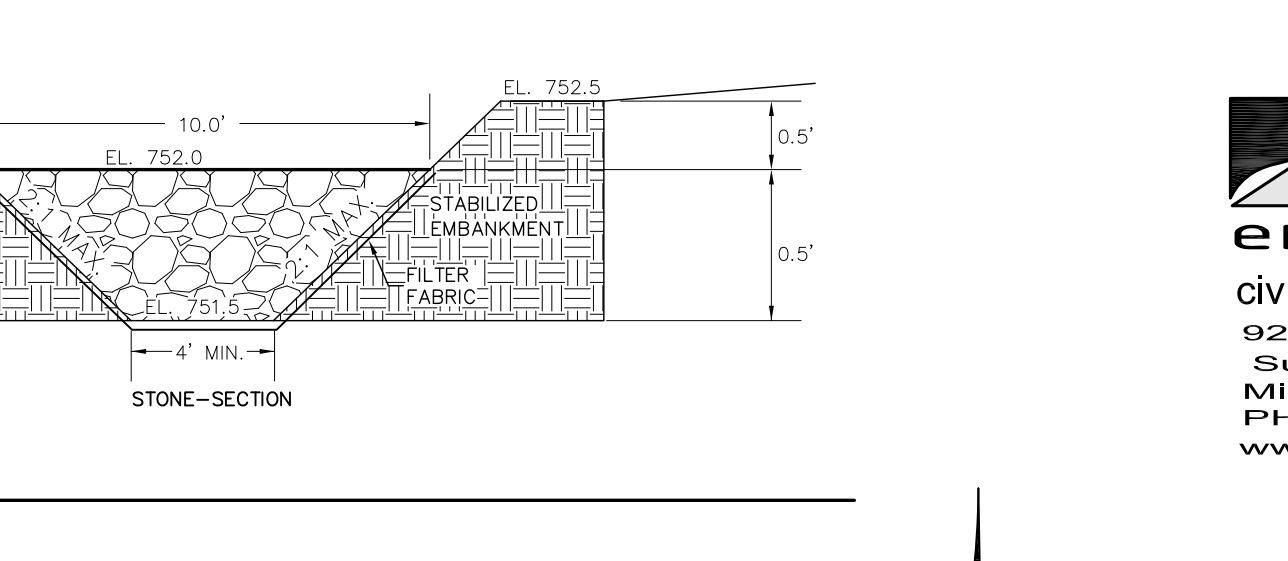
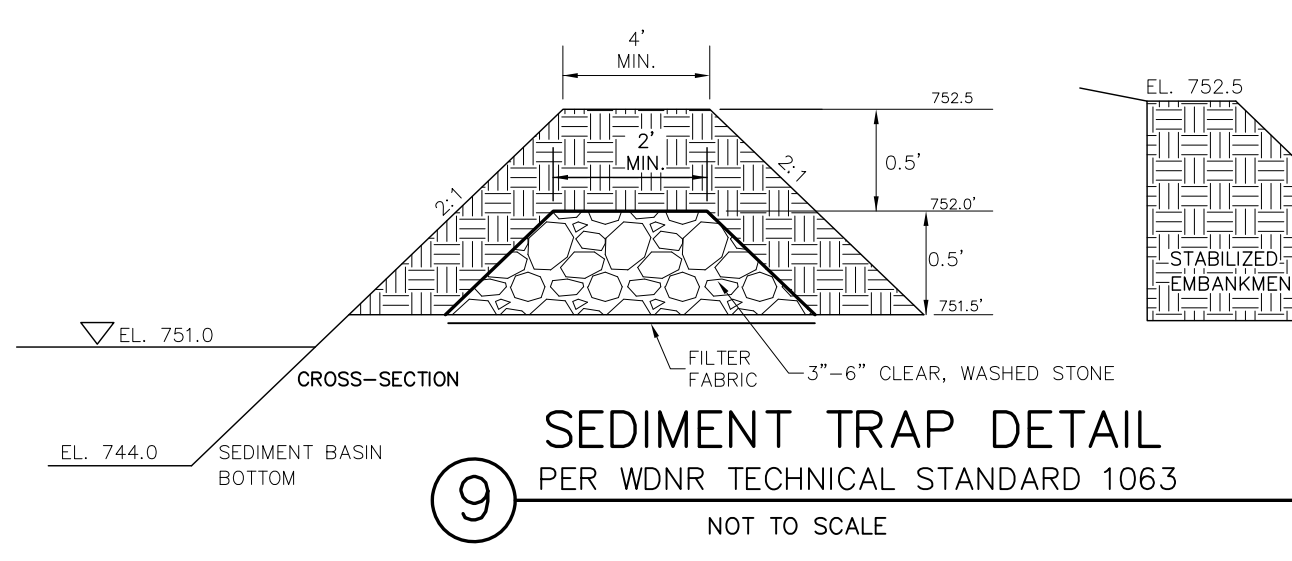
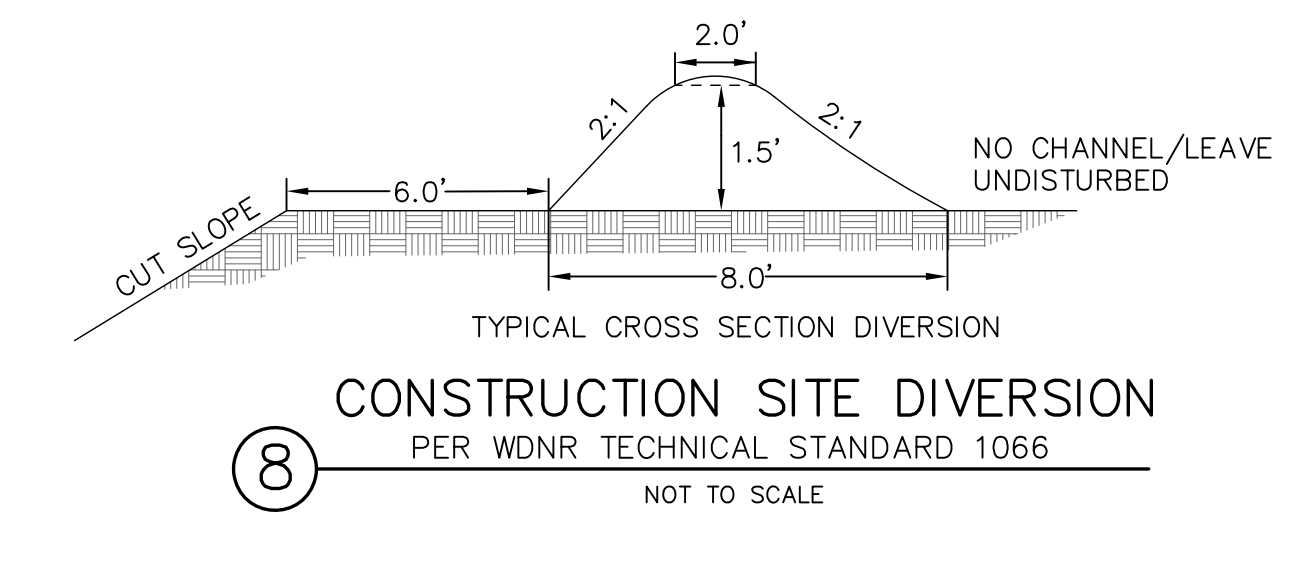
MAINTENANCE PLAN

- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BANK.
- ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.



CONSTRUCTION SPECIFICATIONS

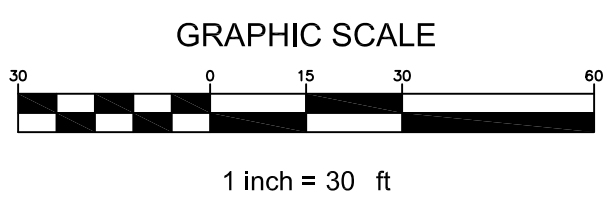
- CONSTRUCTION SILT FENCE AROUND THE DISTURBED AREAS AS SHOWN ON EROSION CONTROL PLAN, TO PREVENT SEDIMENT FROM BEING WASHED INTO THE DRAINAGE SYSTEM.
- LOCATE POSTS PER DNR CPS (1056)
- WHEN JOINTS ARE NECESSARY REFER TO DNR CPS (1056)
- FILTER FABRIC TO BE OF NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH – 50 LB./LIN. IN. (MIN.) – AND WITH A FLOW RATE OF AT LEAST 0.3 GAL./SQ. FT./MIN. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS.
- THE FILTER FABRIC SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF FABRIC IN A 4" x 6" TRENCH
- THE FILTER FABRIC SHALL BE STAPLED AND/OR NAILED TO THE UPSLOPE SIDE OF THE POSTS.
- POST TO BE 1 1/8" x 1 1/8" HICKORY OR OAK, 3 FEET LONG, SPACED A MAXIMUM OF 3 FEET APART
- USE WIRE REINFORCEMENT IN UNSTABILIZED MINOR SWALES, DITCHES AND DIVERSIONS.
- USE WSDOT APPROVED SILT FENCE



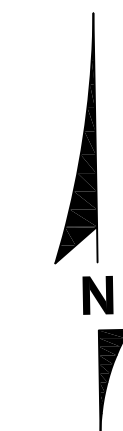
UZELAC
 PEWAUKEE, WISCONSIN

CJE242IR2
 MAY 06, 2024
 REV.: 05/24/2024
 REV.: 07/18/2024

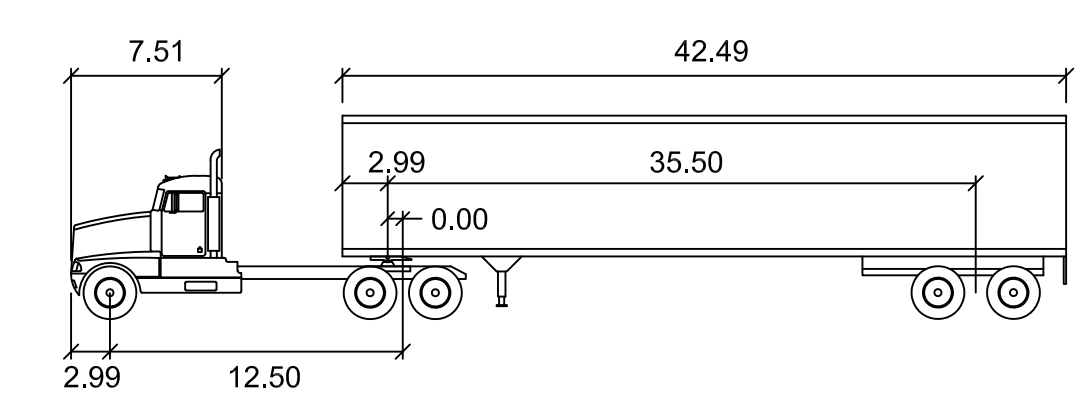
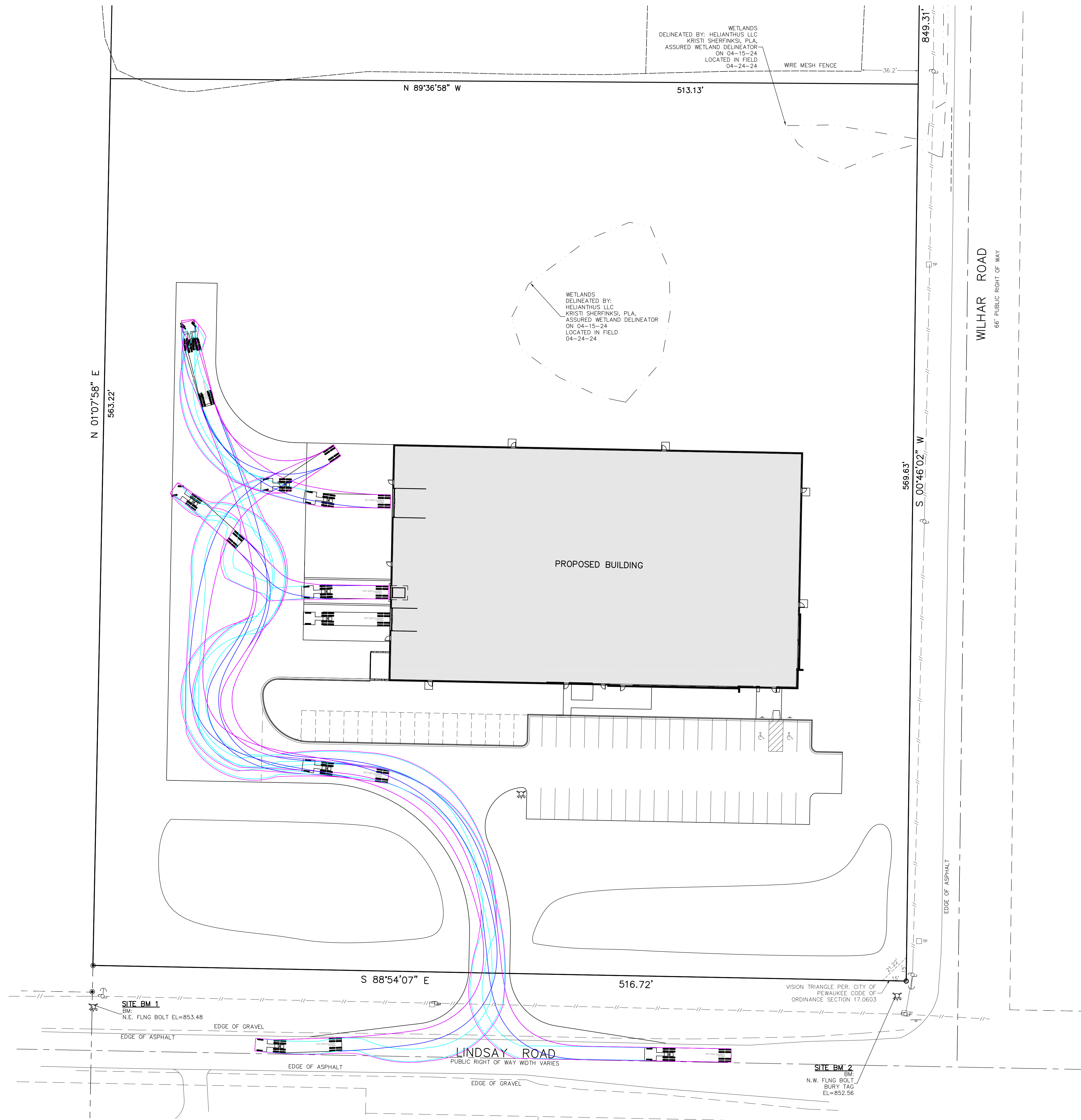
www.DiggersHotline.com
DIGGERS HOTLINE
 DIAL 811 OR (800) 242-8511



SITE EROSION CONTROL PLAN C4.0



UZELAC
 PEWAUKEE, WISCONSIN

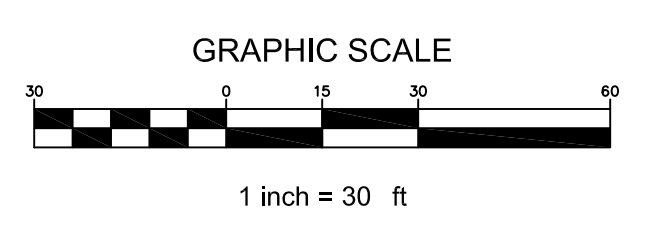


WB-50
 NOT TO SCALE

Feet			
Tractor Width	: 8.01	Lock to Lock Time	: 6.0 s
Trailer Width	: 8.50	Steering Angle	: 17.7 deg
Tractor Track	: 8.01	Articulating Angle	: 70.0 deg
Trailer Track	: 8.50		

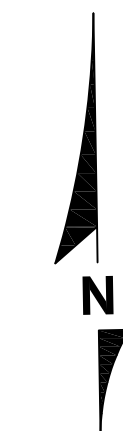
LEGEND

	FRONT WHEEL PATH
	REAR WHEEL PATH
	VEHICLE ENVELOPE

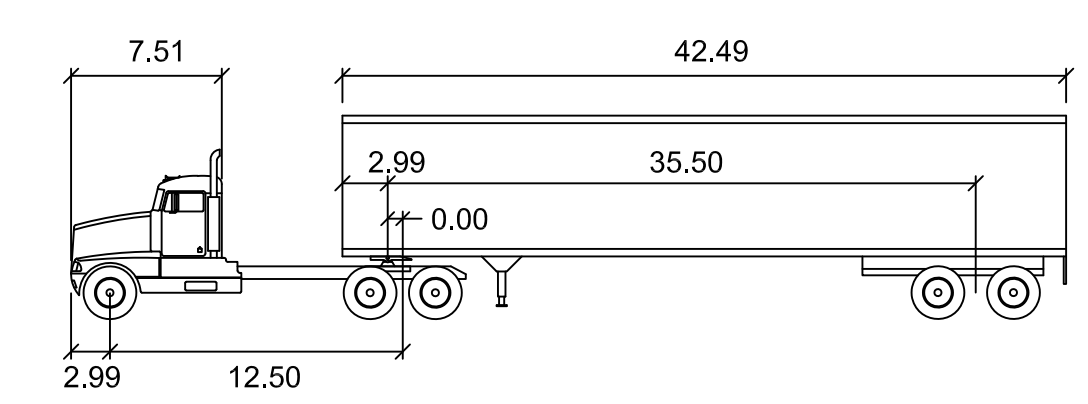
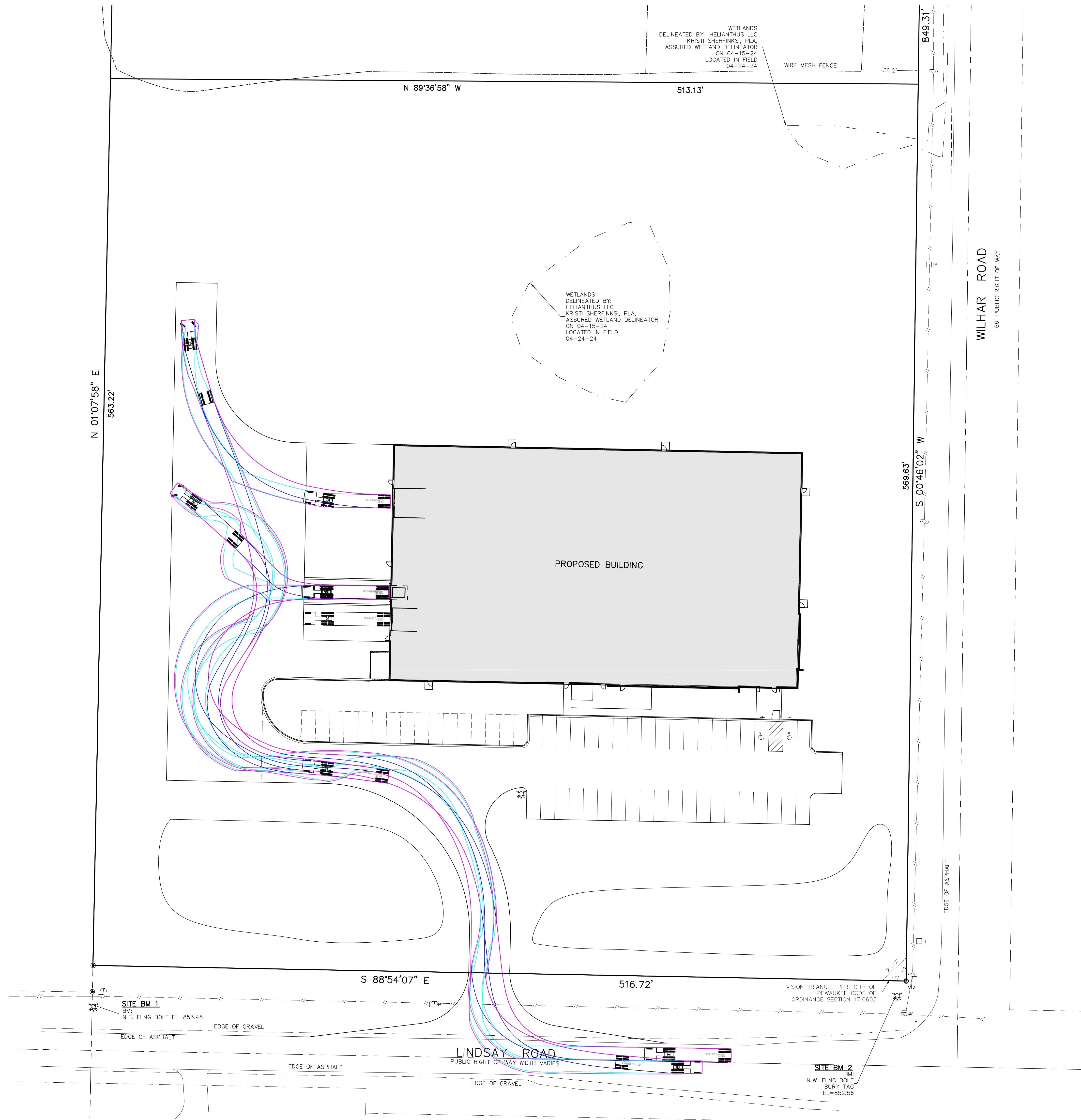


CJE242R2
 MAY 06, 2024
 REV.:05/24/2024
 REV.:07/18/2024

FIRE ACCESS PLAN C5.0



UZELAC
 PEWAUKEE, WISCONSIN

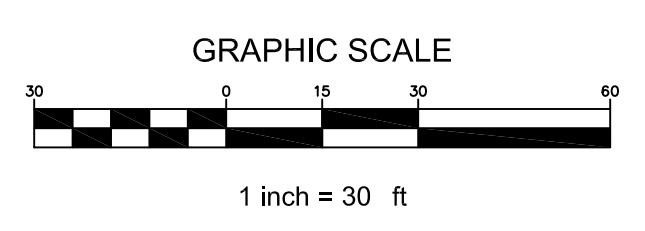


WB-50
 NOT TO SCALE

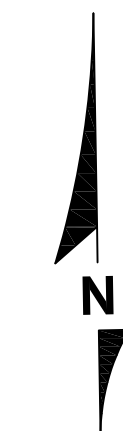
Feet			
Tractor Width	: 8.01	Lock to Lock Time	: 6.0 s
Trailer Width	: 8.50	Steering Angle	: 17.7 deg
Tractor Track	: 8.01	Articulating Angle	: 70.0 deg
Trailer Track	: 8.50		

LEGEND

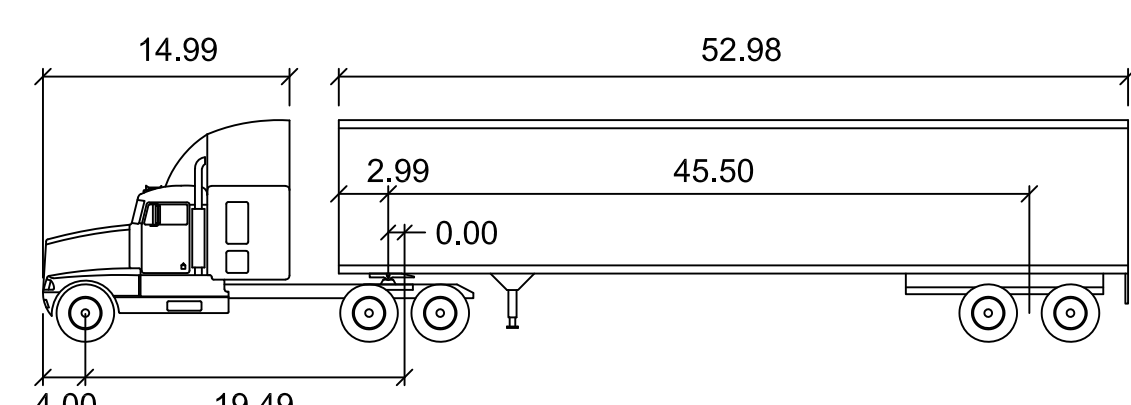
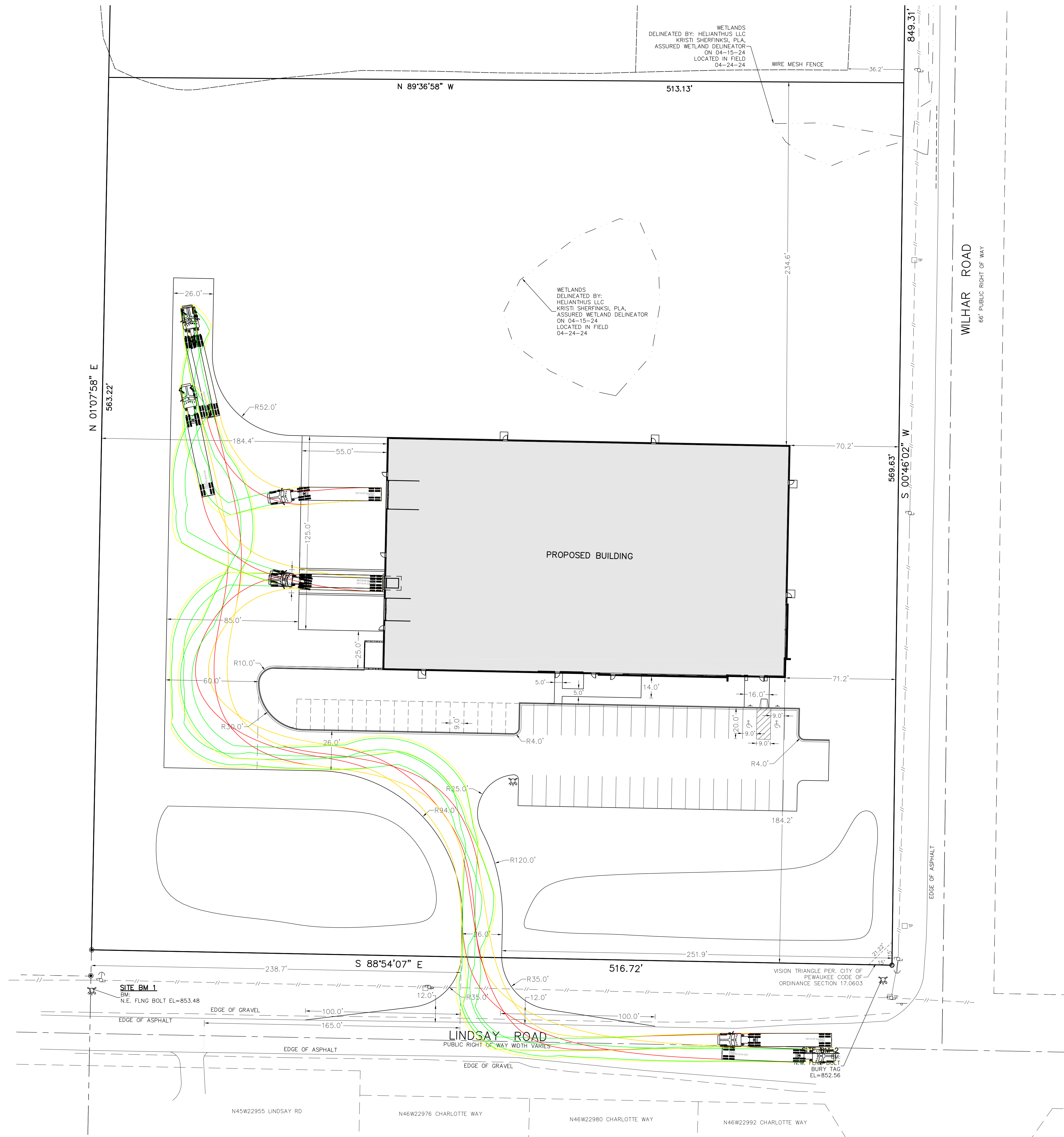
	FRONT WHEEL PATH
	REAR WHEEL PATH
	VEHICLE ENVELOPE



CJE242IR2
 MAY 06, 2024
 REV.:05/24/2024
 REV.:07/18/2024

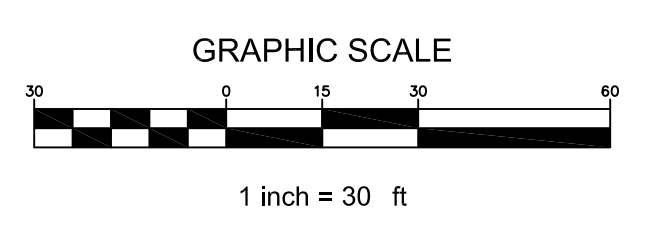
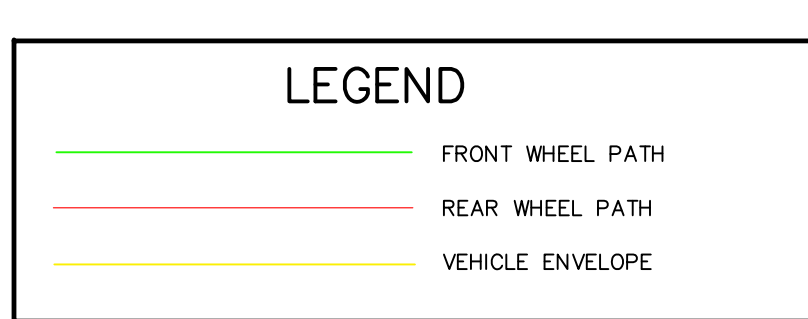


UZELAC
 PEWAUKEE, WISCONSIN



WB-67
 NOT TO SCALE

Feet			
Tractor Width	: 8.01	Lock to Lock Time	: 6.0 s
Trailer Width	: 8.50	Steering Angle	: 28.4 deg
Tractor Track	: 8.01	Articulating Angle	: 75.0 deg
Trailer Track	: 8.50		



CJE242R2
 MAY 06, 2024
 REV.:05/24/2024
 REV.:07/18/2024

WB-67 TRUCK TURNING EXHIBIT C5.2

GENERAL

LANDSCAPE NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR SHALL PROVIDE MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
5. TOP OF MULCH SHALL BE ½" MINIMUM BELOW THE TOP OF WALKS AND CURBS
6. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

1. THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
2. THE LANDSCAPE SHALL BE MAINTAINED IN A MANNER COMMON TO THE PRACTICE, INCLUDING MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, TRASH REMOVAL, AND OTHER SUCH ACTIVITIES.
3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING FOR 60 DAYS, OR UNTIL FINAL ACCEPTANCE BY THE OWNER. AN ON-SITE INSPECTION BY THE OWNER'S AGENT WILL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
4. DURING WORK, PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS THE WORK PROGRESSES. KEPT PAVED AREAS CLEAN BY SWEEPING OR HOSEING THEM AT THE END OF EACH WORK DAY.
5. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER FINAL ACCEPTANCE BY THE OWNER'S AGENT. PLANTS SHALL BE IN HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ALL PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE AT NO COST TO OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT.
6. THE OWNER SHALL BE RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AS NECESSARY FOLLOWING THE 60 DAY CONTRACTOR MAINTENANCE PERIOD.

QUALITY ASSURANCE

1. LANDSCAPE CONTRACTOR SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
2. SELECTION OF PLANT MATERIAL: MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.
3. SUBSTITUTIONS: DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO LANDSCAPE ARCHITECT, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. WRITTEN VERIFICATION WILL BE REQUIRED DOCUMENTING MATERIAL SELECTION, SOURCE AND DELIVERY SCHEDULE TO SITE.
4. MEASUREMENTS: TAKE CALIPER MEASUREMENTS OF TREES SIX INCHES ABOVE GROUND. MEASURE MAIN BODY OF ALL PLANT MATERIAL FOR HEIGHT AND SPREAD DIMENSIONS, NOT FROM TIP-TO-TIP.
5. LANDSCAPE ARCHITECT OR OWNER, SHALL INSPECT ALL PLANT MATERIAL WITH RESPECT TO GENUS, SPECIES, CULTIVAR/VARIETY, SIZE AND QUALITY, INCLUDING SIZE AND CONDITION OF ROOT SYSTEMS, LIMBS, BRANCHING HABIT, INSECTS, INJURIES, OR OTHER LATENT DEFECTS UPON ARRIVAL TO SITE OR DURING INSTALLATION.
6. LANDSCAPE ARCHITECT OR OWNER MAY REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING THE WORK PROCESS. REMOVE REJECTED MATERIALS FROM SITE AND REPLACE WITH ACCEPTABLE MATERIAL AT NO ADDITIONAL COST TO THE OWNER. PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.

PRODUCT DELIVERY, STORAGE AND HANDLING

1. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON THE JOB SITE.
2. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS OR DESICCATION OF LEAVES. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT. PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NO PLANTED WITHIN 24 HOURS OF DELIVERY.
3. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.
4. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS.

MATERIALS

PLANTS

1. ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1, MOST RECENT EDITION.
2. PLANTS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN, AND SHALL BE HEALTHY, SYMMETRICAL, WELL-SHAPED, FULL BRANCHED AND FREE OF DISEASE AND INSECTS.
3. ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH, OR ARE IN ANY UNHEALTHY, BADLY SHAPED, OR UNDERSIZED CONDITION WILL BE REJECTED BY THE LANDSCAPE ARCHITECT EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE PLANT AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
4. PLANTS SHALL NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS.
5. PLANTS SHALL BE FRESHLY DUG FROM DURING THE MOST RECENT APPROPRIATE HARVEST SEASON.
6. PRUNING SHALL BE LIMITED TO DEAD BRANCHES, LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS ANSI A300.

SOILS

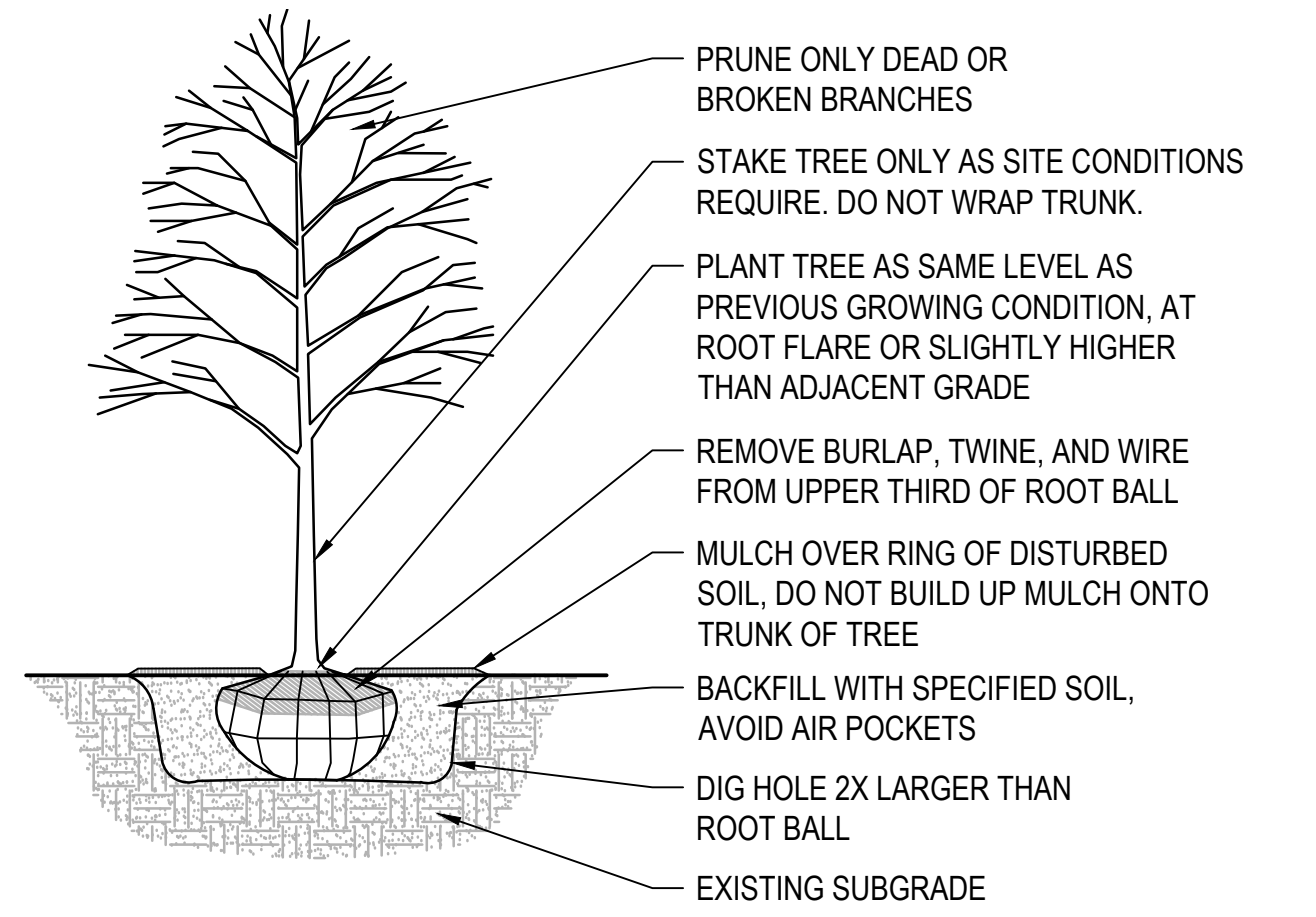
1. PLANTING SOIL AND TOPSOIL TO BE A CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER ¾" IN DIAMETER, AND FREE FROM TOXINS AND WEEDS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 5.5 AND 7, ORGANIC MATERIAL SHALL BE 2.0-5.0% OF TOTAL DRY WEIGHT. SOLUBLE SALT LEVELS SHALL BE LESS THAN 2 mmho/cm. PLANTING SOIL AND TOPSOIL SHALL BE TESTED AND AMENDED TO MEET THESE SPECIFICATIONS.
2. COMPOST SHALL BE COMMERCIALY PREPARED, PEAT-FREE COMPOST AND MEET US COMPOST COUNCIL STATMECC CRITERIA AND SHALL CONSIST OF PLANT-BASED MATERIALS, COMPOSTED FOR A MINIMUM OF 9 MONTHS AT TEMPERATURES SUFFICIENT TO BREAK DOWN ALL WOODY FIBERS, SEEDS, AND LEAF STRUCTURES.
3. ALL PLANTING AREAS WITHIN THE DRIP LINE OF EXISTING TREES SHALL BE PREPARED BY TILLING EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD THREE (3") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF THE TOPSOIL. ALL PLANTING AREAS WITHOUT EXISTING TREES SHALL BE PREPARED BY TILLING EXISTING SOIL TO A DEPTH OF EIGHTEEN (18") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF EIGHTEEN (18") INCHES OF THE TOPSOIL.
4. BACKFILL FOR TREE PITS SHALL CONSIST OF EXISTING TOPSOIL ON SITE (OR IMPORTED AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, SUBSOILS, ETC., PLACED IN NINE (9") LAYERS AND WATERED IN THOROUGHLY.

OTHER MATERIALS

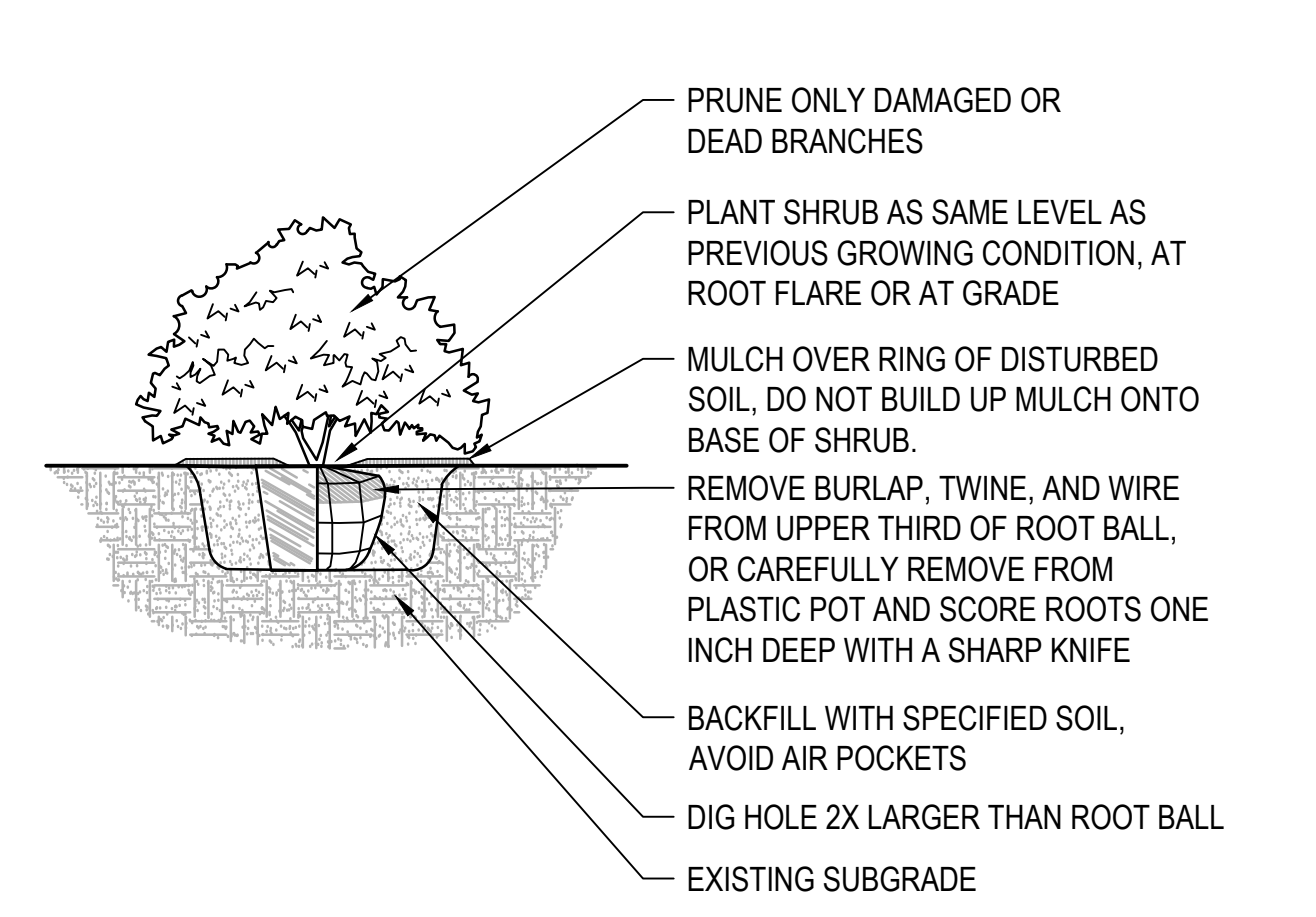
1. SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED-FREE SHREDDED HARDWOOD BARK MULCH SPREAD TO A DEPTH OF FOUR (4") INCHES OVER ALL PLANTING AREAS. SHREDDED HARDWOOD BARK MULCH, SIZE AND COLOR TO BE APPROVED BY OWNER'S AGENT PRIOR TO INSTALLATION. MULCHED AREAS SHALL NOT RECEIVE A WOVEN WEED BARRIER FABRIC.
2. EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING, TO BE APPROVED BY OWNER'S AGENT.
3. SOD: ALL AREAS SPECIFIED ON PLAN AS SOD (IF APPLICABLE) SHALL BE A PREMIUM GRADE APPROVED TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. TURFGRASS SOD SHALL BE REASONABLY FREE OF DISEASES, NEMATODES, INSECTS, GRASSY AND BROAD-LEAF WEEDS.
4. LAWN SEED: DISTURBED LAWN AREAS LABELED AS SUCH ON PLAN, SHALL BE SPREAD BY HAND BROADCAST METHOD OR APPROPRIATE SPREADER EQUIPMENT WITH 'MADISON PARKS' OR EQUIVALENT SEED MIX AS APPROVED BY OWNER'S AGENT, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS WITH SLOPES EXCEEDING 3:1 AT A RATE OF 1 ½ POUNDS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
5. STONE MAINTENANCE STRIP: "MISSISSIPPI" DECORATIVE STONE CHIPS BY HALQUIST STONE OR APPROVED EQUAL TO BE INSTALLED IN THE LOCATIONS INDICATED ON THE PLAN FOLLOWING THE MANUFACTURER'S INSTRUCTIONS. THE GEOTEXTILE FABRIC SHALL BE PERMEABLE NONWOVEN MIRAFI MSCAPE E OR APPROVED EQUAL.
6. WET PRAIRIE SEED MIX: AREA LABELED AS SUCH ON PLAN, SHALL BE SPREAD BY HAND BROADCAST METHOD WITH 'WET PRAIRIE SEED MIX' BY AGRECOL OR EQUIVALENT SEED MIX AS APPROVED BY THE OWNER'S AGENT, AND INSTALLED PER NURSERY RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS WITH SLOPES EXCEEDING 3:1 AT A RATE OF 1 ½ POUNDS PER 1000 SQUARE FEET.

INSTALLATION

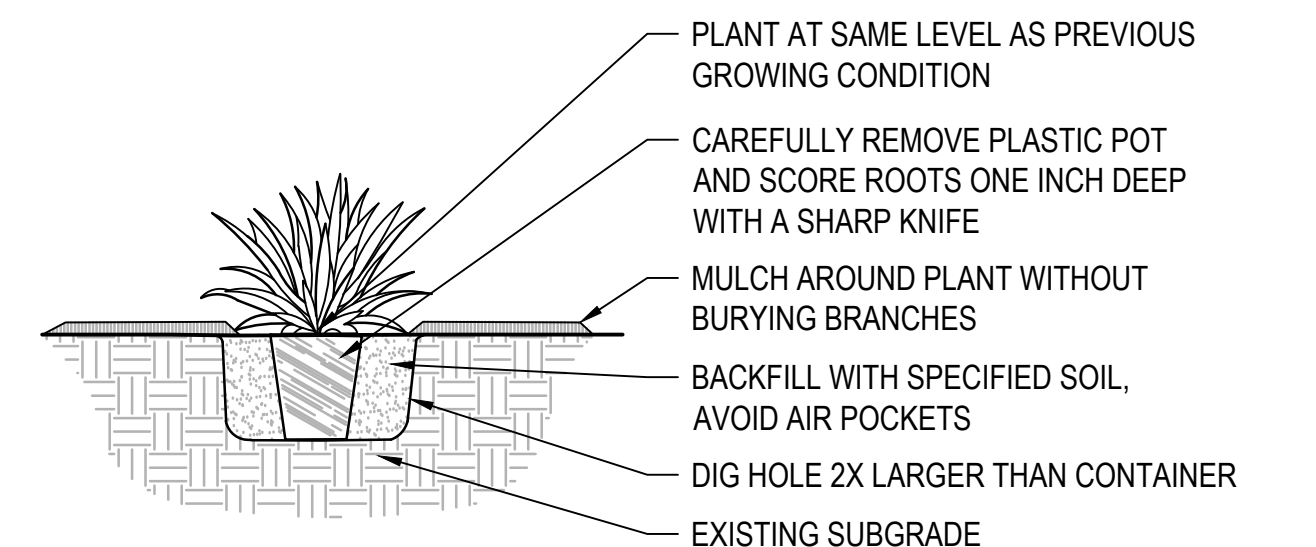
1. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING.
2. EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO THE ROOT BALLS, AND SHALL BE PLACED AT THE SAME DEPTH RELATIVE TO FINISH GRADE AS IT DID TO THE SOIL SURFACE IN THE ORIGINAL PLACE OF GROWTH.
3. SHRUB AND TREE PITS SHALL BE NO LESS THAN TWO TIMES WIDER THAN THE LATERAL DIMENSIONS OF THE EARTH BALL AND NO DEEPER THAN ITS VERTICAL DIMENSION. THE SIDES OF THE HOLE SHALL BE ROUGH AND JAGGED, NEVER SLICK AND GLAZED, ROUGH UP WITH SHOVEL IF NEEDED.
4. BACKFILL HOLE WITH 5 PARTS EXISTING SOIL AND 1 PART PLANT BED PREPARATION SOIL. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP, NYLON, STRING, AND WIRE FROM THE TOP ½ OF THE BALL. MULCH THE TOP OF THE BALL WITH A MINIMUM OF TWO (2) INCHES OF SPECIFIED MULCH OVER THE PLANTING PIT.
5. DO NOT WRAP TREES. STAKE TREES AND LARGE SHRUBS ONLY AS SITE CONDITIONS REQUIRE.
6. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 24 HOURS. ENSURE EDGES OF SOD ARE STAGGERED AND TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO THE SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY OWNER. THE SOD SUPPLIER MAY MAKE RECOMMENDATIONS REGARDING THE WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER THE SOD IS INSTALLED.



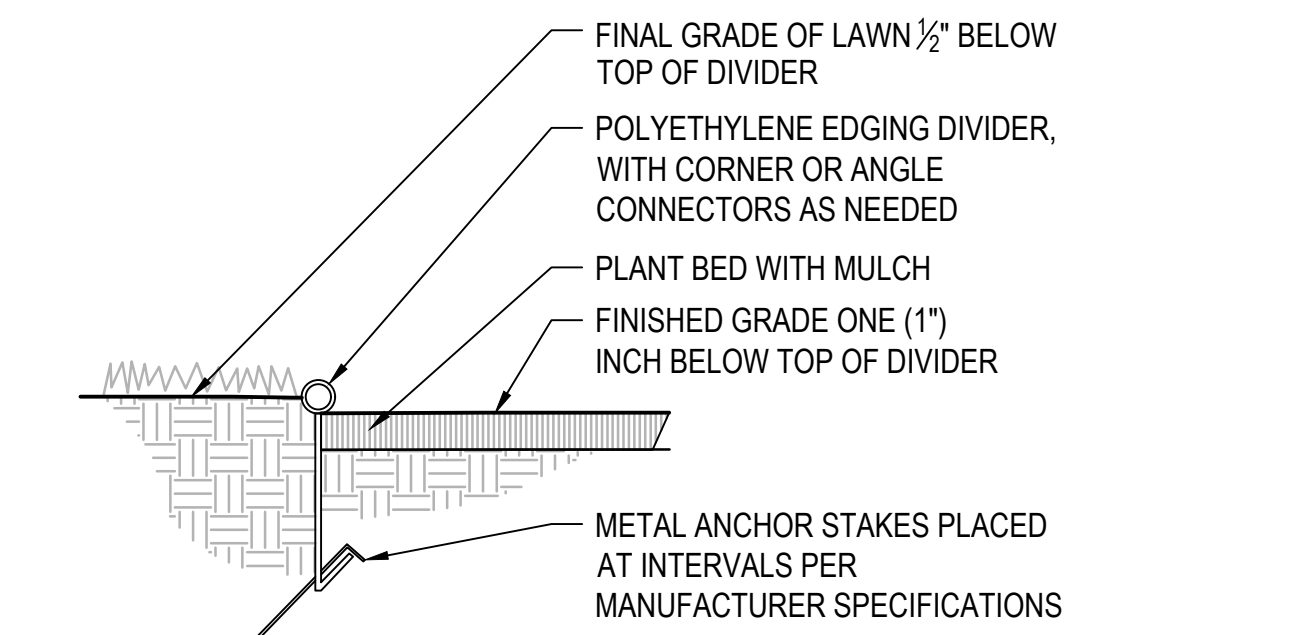
01 DECIDUOUS TREE PLANTING NTS



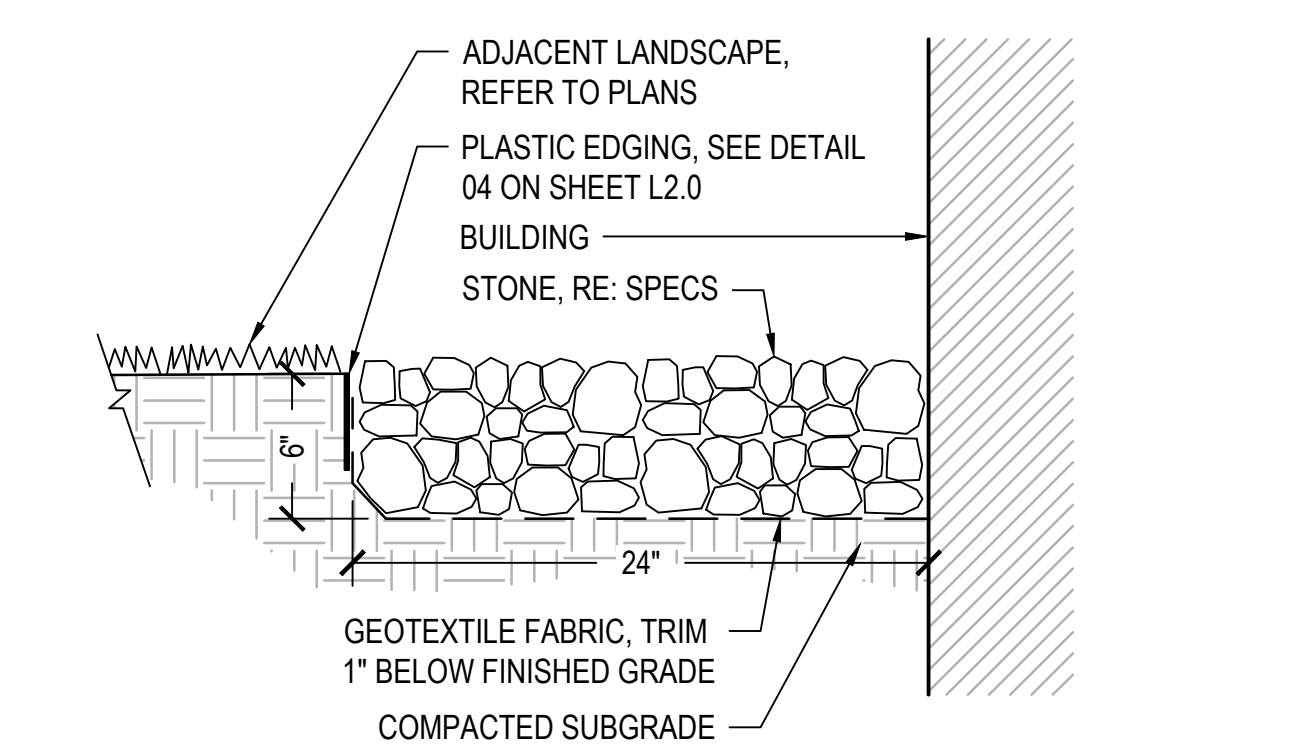
02 SHRUB PLANTING NTS



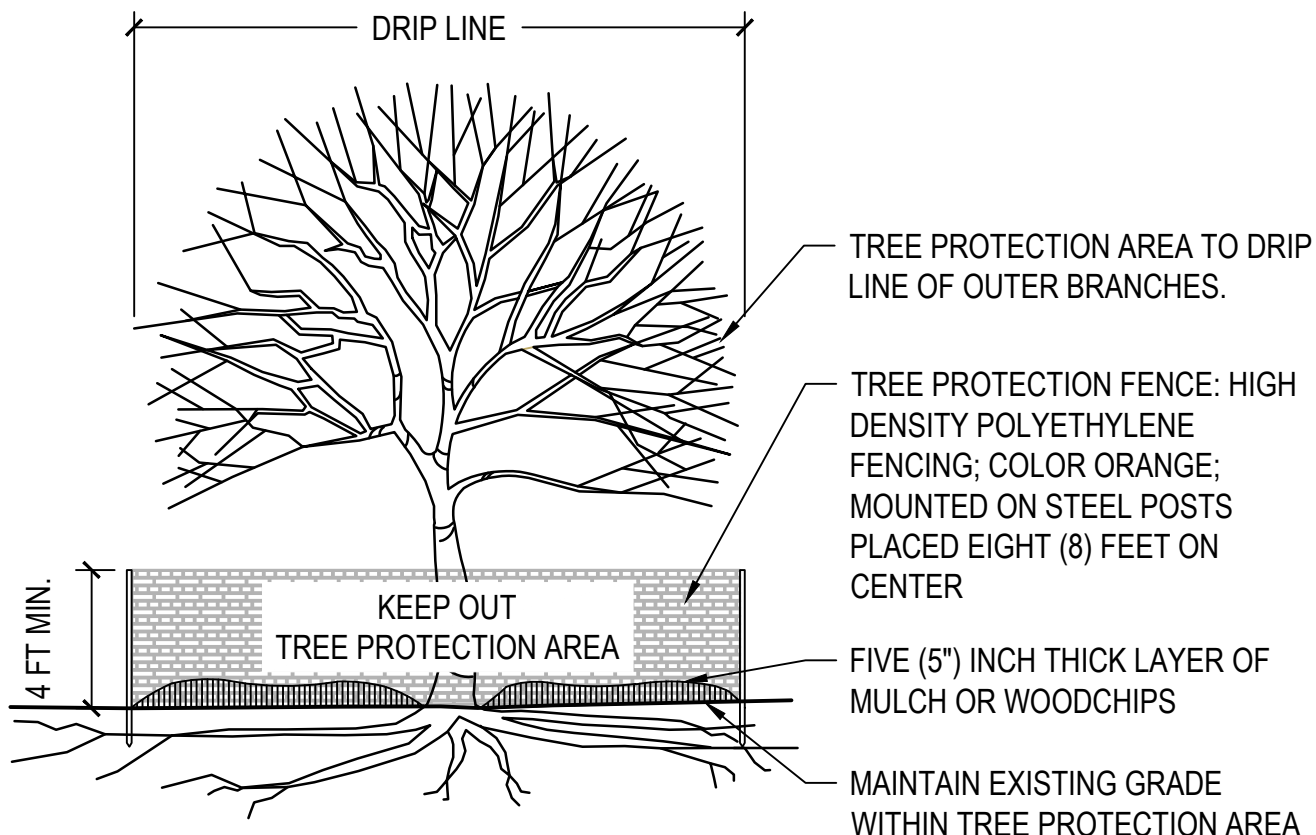
03 PERENNIAL PLANTING NTS



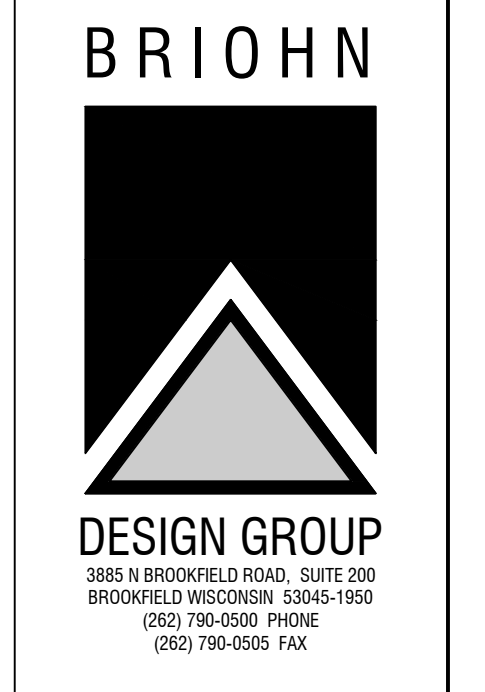
04 PLASTIC EDGING NTS



05 24" WIDE STONE MAINTENANCE STRIP NTS



06 TREE PROTECTION NTS



LANDSCAPE NOTES & DETAILS

SHEET TITLE

PROPOSED BUILDING FOR:
UTZELAC BUILDING DEVELOPMENT
LINSAY AND WILHAR ROADS
PEWAUKEE, WISCONSIN

Revision	
Date	
JOB:	223468
DRAWN:	HG
CHECKED:	KS
DATE:	07-18-2024
SHEET:	
L2.0	

DRAFT - NOT FOR CONSTRUCTION

RATED PARTITION LEGEND	
	1 HOUR RATED FIRE BARRIER WALL
	2 HOUR RATED FIRE BARRIER WALL
	3 HOUR RATED FIRE BARRIER WALL

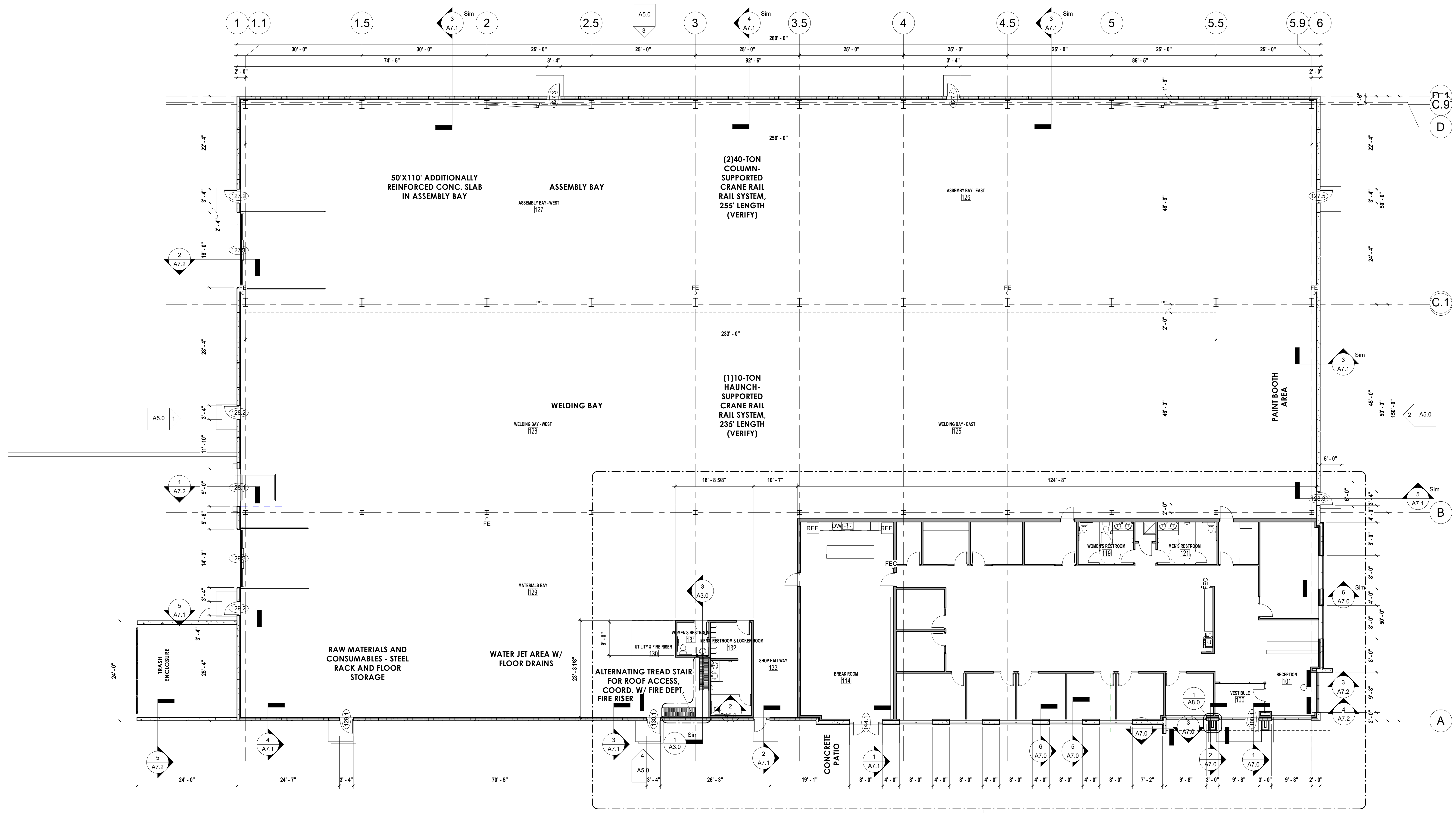
FLOOR PLAN LEGEND				
	ROOM	ROOM NAME		PARTITION TO BE DEMOLISHED
	DOOR NUMBER			DOOR AND FRAME TO BE REMOVED
	PARTITION TYPE			EXISTING PARTITION TO REMAIN
	KEYNOTES			EXISTING DOOR TO REMAIN
	SURFACE MOUNTED FIRE EXTINGUISHER			NEW DOOR & FRAME
	RECESSED EXTINGUISHER CABINET & FIRE EXTINGUISHER			NEW CONSTRUCTION
	EXIT LIGHT			
	EXIT LIGHT (DIRECTIONAL)			
	BORROWED LIGHT TAG			
	TOILET ACCESSORY TAG			

KEYNOTE LEGEND

- GENERAL NOTES - NEW FLOOR PLAN**
- VERIFY ALL CONDITIONS, DIMENSIONS AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO BRICHN'S ATTENTION PRIOR TO FABRICATION/CONSTRUCTION BEGINS.
 - VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
 - AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS DURING CONSTRUCTION.
 - SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES.
 - SEE SHEET A0.1 FOR ADA REQUIREMENTS AND MOUNTING HEIGHTS.
 - SEE SHEET A1.2 FOR PARTITION TYPE.
 - EXTERIOR WALLS IN OFFICE AREA TO BE FURRED OUT WITH STUD HELD 1" OFF FACE OF EXTERIOR WALL. CAVITY FILLED WITH BATT INSULATION. SEE FLOOR PLAN FOR PARTITION TYPE.
 - FURNITURE AND APPLIANCES PROVIDED BY OWNER AND ARE SHOWN FOR REFERENCE ONLY.
 - ALL WALLS TO BE PAINTED PROVIDING FRP WAJNSCOT WHERE CALLED FOR.
 - ALL FLOORS THROUGH OUT ARE TO BE SEALED CONCRETE WITH CAULKED CONTROL JOINTS.
 - EXPOSED STEEL DECK, JOISTS, GIRDERS AND COLUMNS ARE TO BE PRIME GREY.
 - LOCKERS AND BENCHES IN LOCKER ROOMS ARE PROVIDED BY OWNER AND ARE SHOWN FOR REFERENCE ONLY.



OVERALL FLOOR PLAN



1 OVERALL FIRST FLOOR PLAN
3/32" = 1'-0"

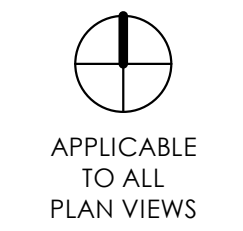
NEW BUILDING FOR:
UZELAC INDUSTRIES, INC.
LINDSAY RD. AT WILHAR RD.
CITY OF PEWAUKEE, WI

PROGRESS SET
NOT FOR CONSTRUCTION

Revision	Date

JOB: 230116
DRAWN: NS/CC/SJ
CHECKED: PG/KJ
DATE: 2024-07-18
SHEET:

A1.0

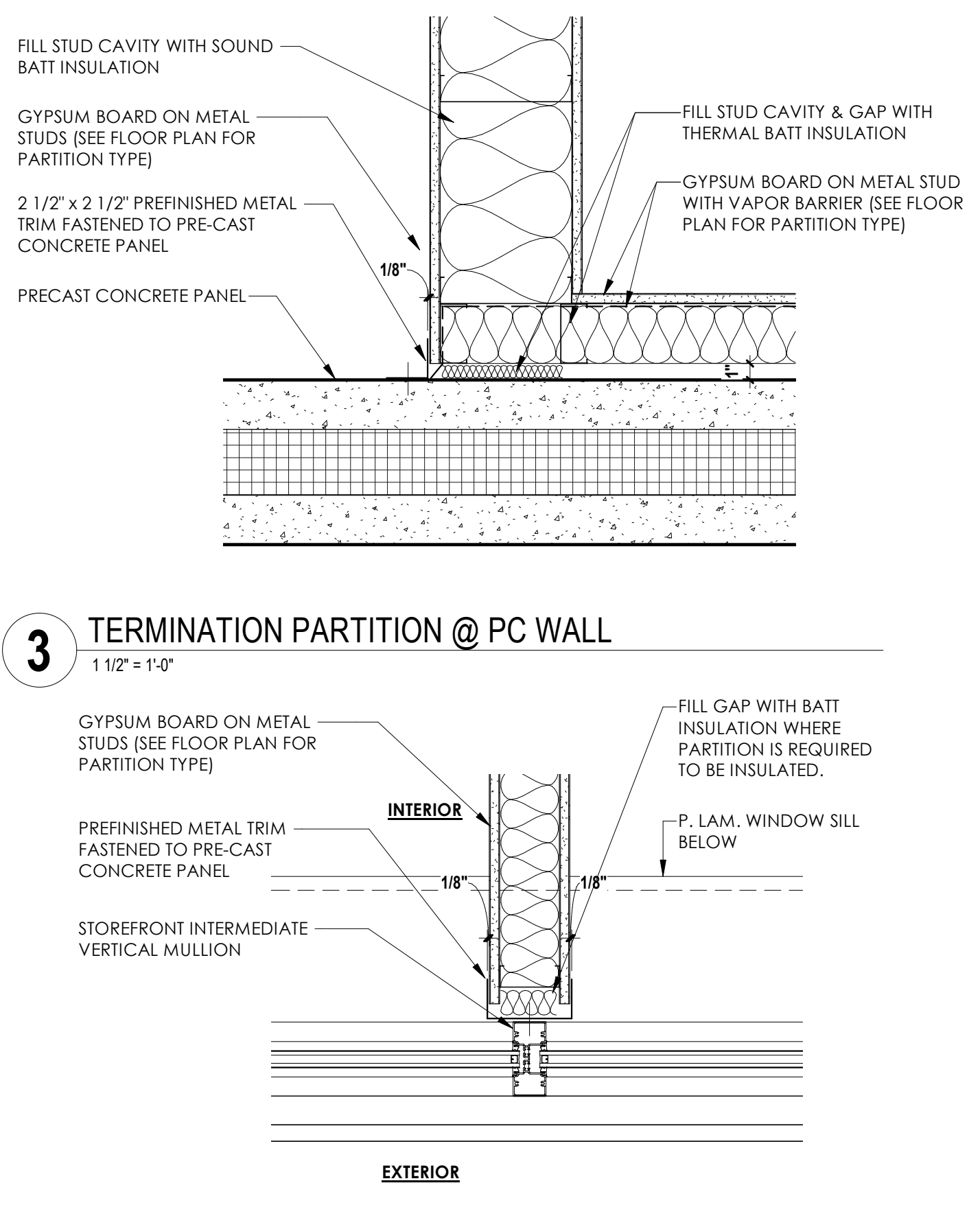


APPLICABLE TO ALL PLAN VIEWS

TAG	STUD TYPE	STUD HEIGHT	INSULATION	VAPOR BARRIER	NOTED SIDE SURFACE MATERIAL	NOTED SIDE SURFACE HEIGHT	OPPOSITE SIDE SURFACE MATERIAL	OPPOSITE SIDE SURFACE HEIGHT	REMARKS
S3D1	3 5/8" STEEL FURRING	TO UNDERSIDE OF FLOOR/DECK/RM CAP	---	---	5/8" TYPE "X" GYPSUM WALLBOARD	---	---	---	HOLD STEEL STUDS 1" OFF INTERIOR FACE OF EXTERIOR PRECAST WALL U.N.O.
S3D2	3 5/8" STEEL STUDS	TO UNDERSIDE OF FLOOR/DECK/RM CAP	3 1/2" SOUND BATT	---	5/8" TYPE "X" GYPSUM WALLBOARD	---	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF FLOOR/DECK/RM CAP	---
S6D1	4" STEEL FURRING	TO UNDERSIDE OF FLOOR/DECK/RM CAP	6" THERMAL BATT	---	5/8" TYPE "X" GYPSUM WALLBOARD	---	---	---	HOLD PARTITION 1" FROM EXTERIOR WALL PROVIDE VAPOR BARRIER
S6D2	4" STEEL STUDS	TO UNDERSIDE OF FLOOR/DECK/RM CAP	6" SOUND BATT	---	5/8" TYPE "X" GYPSUM WALLBOARD	---	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF FLOOR/DECK/RM CAP	---
S8D2	8" STEEL STUDS	TO UNDERSIDE OF FLOOR/DECK/RM CAP	8" SOUND BATT	---	5/8" TYPE "X" GYPSUM WALLBOARD	---	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF FLOOR/DECK/RM CAP	---
S10D2	10" STEEL STUDS	TO UNDERSIDE OF FLOOR/DECK/RM CAP	10" SOUND BATT	---	5/8" TYPE "X" GYPSUM WALLBOARD	---	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF FLOOR/DECK/RM CAP	---
M8DR	8" CMU	TO UNDERSIDE OF DECK	---	---	---	---	---	---	1 HOUR RATED FIRE BARRIER

- ALL STEEL STUDS SHALL BE 25 GAUGE STUDS @ 16" O.C., (UNLESS NOTED OTHERWISE) - SEE STRUCTURAL FOR GAUGE AND SIZE
- ALL EXPOSED GYPSUM WALL BOARD SHALL BE TAPED & COATED SMOOTH, READY FOR PAINT - LEVEL 4 FINISH
- USE 6" METAL STUDS AND INSTALL MOISTURE RESISTANT GYPSUM WALL BOARD AT ALL "WET WALL" LOCATIONS - UNO
- AT EXTERIOR WALLS, RETURN GYPSUM WALL BOARD INTO WINDOW JAMBES AND HEAD
- STUDS EXTENDED TO DECK AND/OR JOIST SHALL HAVE A SLIP CONNECTION TO ALLOW FOR DEFLECTION
- PROVIDE CONTROL JOINTS IN GYPSUM FINISHES SUCH THAT THE MAXIMUM CONTROL JOIST SPACING FOR WALLS AND CEILINGS WITHOUT PERIMETER RELIEF IS 30 FEET, WITH PERIMETER RELIEF, CONTROL JOINT SPACING TO BE 50 FEET.

NOTE: AT FURRING WALLS AT THE EXTERIOR PRECAST WALL PANELS, PROVIDE A 1" GAP BETWEEN PRECAST WALL INTERIOR SIDE AND STEEL STUD FURRING SUCH THAT THE FURRING WALL IS SUPPORTED INDEPENDENTLY WITH SLIP CONNECTIONS.



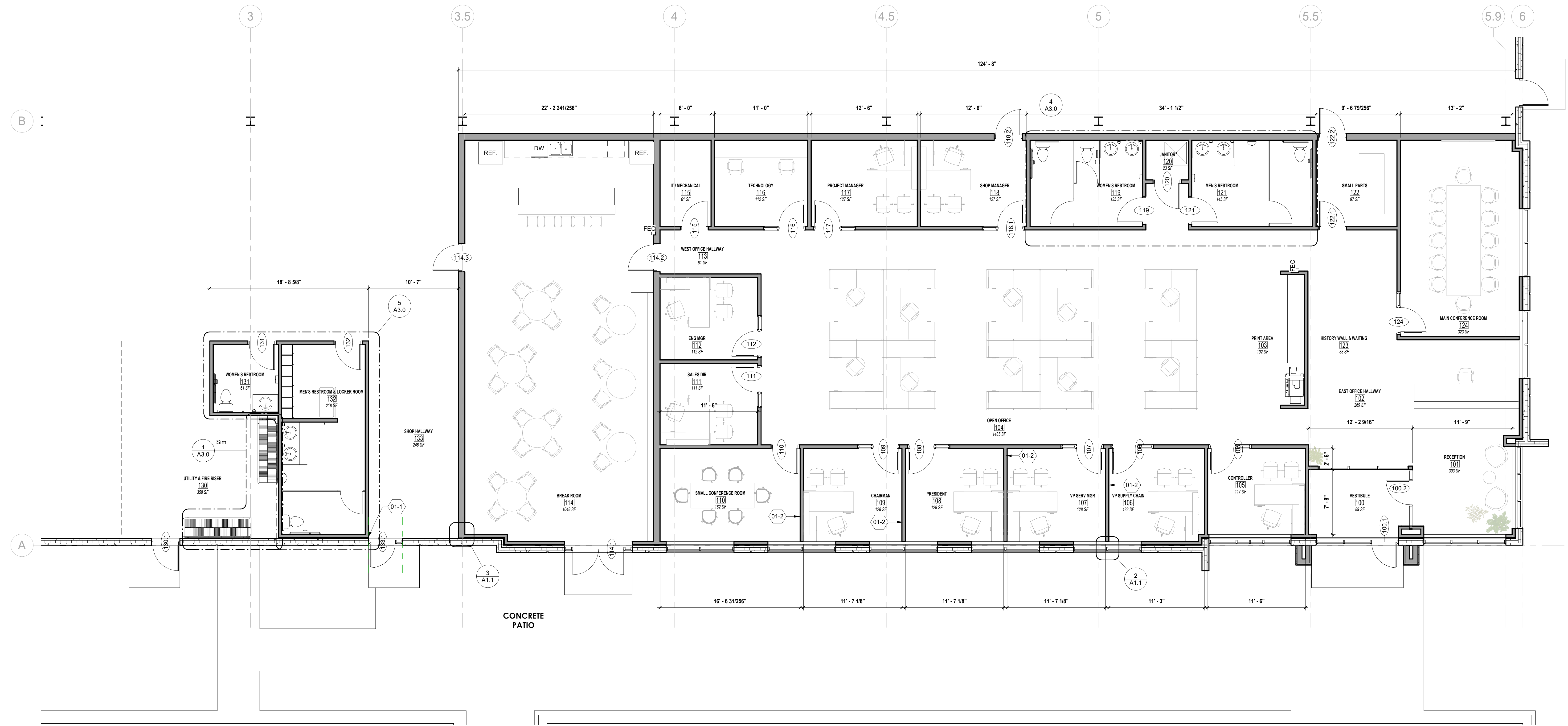
3 TERMINATION PARTITION @ PC WALL
1 1/2" = 1'-0"

2 TERMINATION PARTITION @ MULLION
1 1/2" = 1'-0"

FLOOR PLAN LEGEND			
ROOM	ROOM NAME	---	PARTITION TO BE DEMOLISHED
100	ROOM NUMBER	---	DOOR AND FRAME TO BE REMOVED
100	DOOR NUMBER	---	DOOR AND FRAME TO BE REMOVED
100	PARTITION TYPE	---	EXISTING PARTITION TO REMAIN
100	KEYNOTES	---	EXISTING DOOR TO REMAIN
100	SURFACE MOUNTED FIRE EXTINGUISHER	---	NEW CONSTRUCTION
100	F.E.C.	---	RECESSED EXTINGUISHER CABINET & FIRE EXTINGUISHER
100	EXIT LIGHT	---	NEW DOOR & FRAME
100	EXIT LIGHT (DIRECTIONAL)	---	BORROWED LIGHT TAG
100	RL	---	TOILET ACCESSORY TAG
100	TP-1	---	

GENERAL NOTES - NEW FLOOR PLAN	
1	VERIFY ALL CONDITIONS, DIMENSIONS AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO BRICHN'S ATTENTION PRIOR TO FABRICATION/CONSTRUCTION BEGINS.
2	VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
3	AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS DURING CONSTRUCTION.
4	SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES.
5	SEE SHEET A0.1 FOR ADA REQUIREMENTS AND MOUNTING HEIGHTS
6	SEE SHEET A1.2 FOR PARTITION TYPE.
7	EXTERIOR WALLS IN OFFICE AREA TO BE FURRED OUT WITH STUD HELD 1" OFF FACE OF EXTERIOR WALL. CAVITY FILLED WITH BATT INSULATION. SEE FLOOR PLAN FOR PARTITION TYPE.
8	FURNITURE AND APPLIANCES PROVIDED BY OWNER AND ARE SHOWN FOR REFERENCE ONLY.
9	ALL WALLS TO BE PAINTED PROVIDING FRP WAINSCOT WHERE CALLED FOR.
10	ALL FLOORS THROUGH OUT ARE TO BE SEALED CONCRETE WITH CAULKED CONTROL JOINTS.
11	EXPOSED STEEL DECK, JOISTS, GIRDERS AND COLUMNS ARE TO BE PRIME GREY.
12	LOCKERS AND BENCHES IN LOCKER ROOMS ARE PROVIDED BY OWNER AND ARE SHOWN FOR REFERENCE ONLY.

KEYNOTE LEGEND	
01-1	ALIGN FINISHED SURFACES
01-2	CENTER PARTITION ON MULLION



1 ENLARGED FIRST FLOOR OFFICE PLAN
3/16" = 1'-0"

BRIOHN
DESIGN GROUP
1805 N BRIDGEMOOR ROAD, SUITE 200
BROOKFIELD WISCONSIN 53005-1990
(262) 780-5500 PHONE
(262) 780-5593 FAX

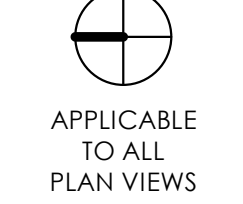
SHEET TITLE
ENLARGED OFFICE FLOOR PLAN

NEW BUILDING FOR:
UZELAC INDUSTRIES, INC.
LINDSAY RD. AT WILHAR RD.
CITY OF PEWAUKEE, WI

PROGRESS SET
NOT FOR CONSTRUCTION

Revision	Date

JOB: 230116
DRAWN: NS/CC/SH
CHECKED: PG/KJ
DATE: 2024-07-18
SHEET:

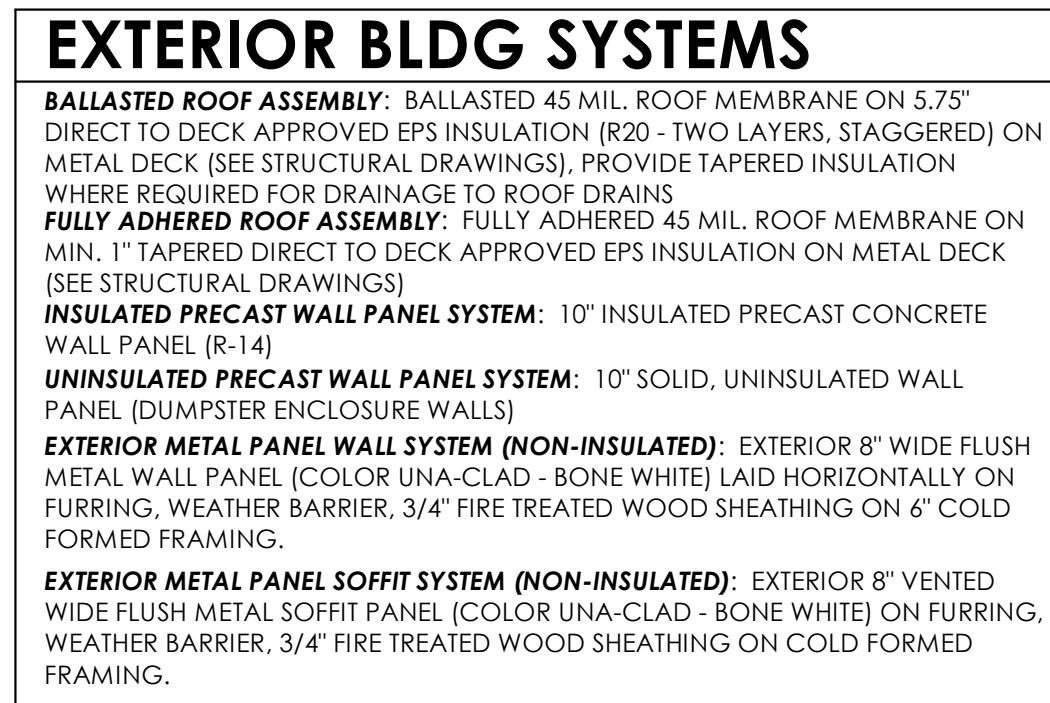


A1.1

Revision	Date

JOB: 230116
 DRAWN: NS/CC
 CHECKED: PG/K/J
 DATE: 2024-07-18
 SHEET:

A4.0

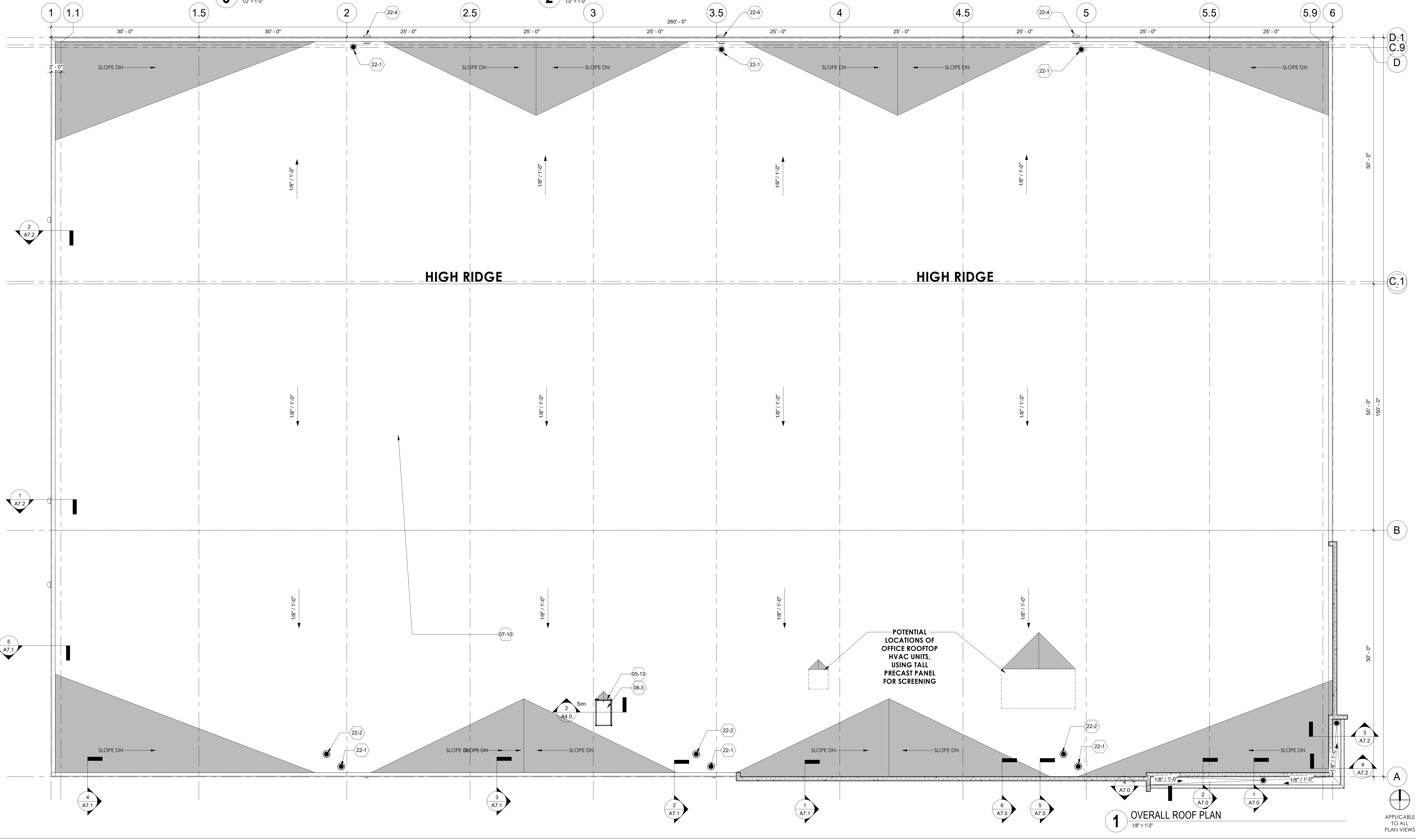
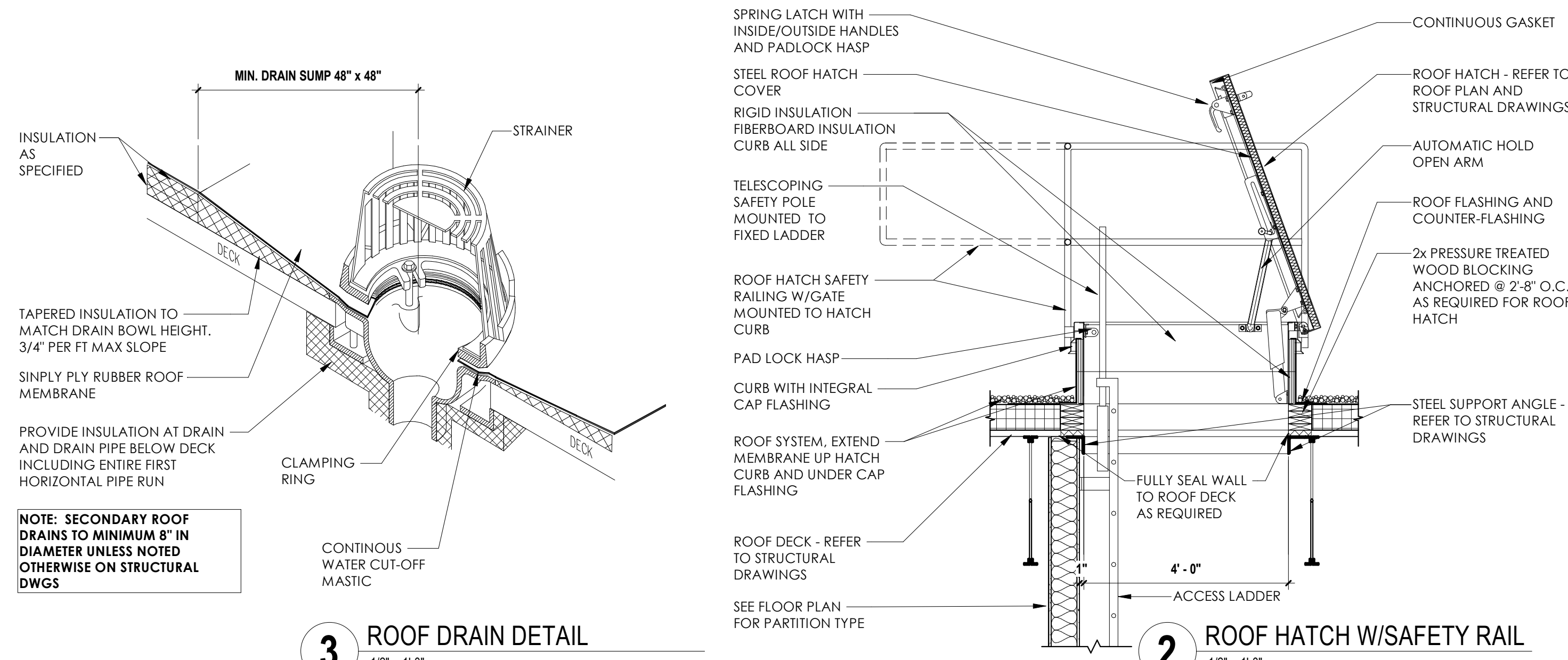


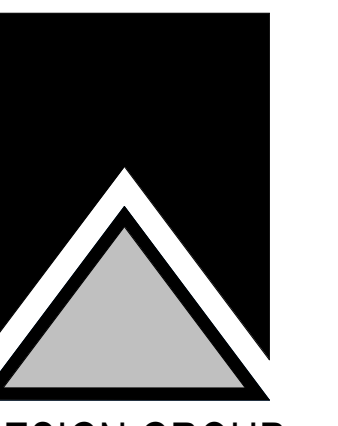
KEYNOTE LEGEND

05-13	ROOF HATCH SAFETY RAILING SYSTEM (OSHA COMPLIANT)
07-10	BALLASTED ROOF ASSEMBLY: BALLASTED EPDM ROOF MEMBRANE ON EPS DIRECT TO DECK ROOF INSULATION ON METAL DECK & SLOPED STRUCTURAL FRAMING (SEE STRUCTURAL DRAWINGS AND EXTERIOR BLDG SYSTEMS LEGEND FOR FURTHER INFORMATION)
08-3	SHIP STAIR ACCESS ROOF HATCH. PROVIDE CODE-COMPLIANT HATCH SIZE. FOR USE WITH OSHA-APPROVED STEEL LADDER ACCESS FROM FLOOR BELOW. PROVIDE FRAMING, CURB, FLASHING, AND TAPERED INSULATION FOR DRAINAGE AROUND HATCH AS REQUIRED. SEE DETAIL 2/A4.0.
22-1	8" DIAMETER PRIMARY ROOF DRAIN (SEE STRUCTURAL) AT EACH GRID ON EAST AND WEST SIDE.
22-2	OVERFLOW SECONDARY ROOF DRAIN (SEE STRUCTURAL), MINIMUM 6" DIAMETER.
22-4	OVERFLOW SCUPPER (SEE STRUCTURAL DWGS). SCUPPERS TO BE CENTERED IN PANEL WHERE POSSIBLE AND SHOULD AT NO TIME BE PLACED ABOVE OPENINGS, DOOR OR WINDOW.

GENERAL NOTES - ROOF PLAN

- SEE STRUCTURAL DWGS FOR FURTHER STRUCTURAL INFORMATION.
- COORDINATE ROOF SCREEN SIZE WHERE CALLED FOR WITH MECHANICAL UNITS. SEE STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.
- SEE SHEET A4.2 FOR OTHER CANOPY AND TUBE SUN SHADES PLANS.
- PROVIDE ROOF PAVERS AT ROOF HATCH AND AT ALL ROOF TOP UNITS. REFER TO HVAC PLAN BY OTHERS FOR LOCATIONS.
- PROVIDE ROOF HATCH NOT LESS THAN 16 S.F. IN AREA AND HAVING A MINIMUM DIMENSION OF 24".
- PROVIDE ALL REQUIRED FLASHING FOR HVAC ROOF TOP EQUIPMENT, INCLUDING ROOF TOP UNITS AND EXHAUST FANS.
- PROVIDE AND INSTALL ALL REQUIRED FLASHING AND BOOTS FOR ROOF TOP AND PARAPET WALL ELECTRICAL PENETRATIONS AND HVAC EQUIPMENT.
- PROVIDE FLASHING FOR PLUMBING VENTS.
- PROVIDE 20 YEAR MANUFACTURERS LABOR AND MATERIAL WARRANTY.





THE PROPOSED COMMERCIAL NON-RESIDENTIAL BUILDING FOR BUILDINGS LOCATED IN CLIMATE ZONE 4(A) - PER IECC 2015 WITH AMENDMENTS FOR PRESCRIPTIVE OPTION - OPAQUE ELEMENT MAXIMUM U-FACTORS: SUBSTITUTE 2009 IECC TABLE 502.1.2 FOR 2015 IECC TABLE C402.1.4

ROOFS - PROPOSED ROOF INSULATION ENTIRELY ABOVE DECK R-20ci REQUIRED AND R-20ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

WALLS ABOVE GRADE PROPOSED EXTERIOR WALL - MASS (PRECAST INSULATED CONCRETE) R-13.3ci REQUIRED AND R-16ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM; METAL FRAMED R-13 + R-7.5ci REQUIRED AND R-22 + R-10 PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

SLAB-ON-GRADE FLOORS - PROPOSED UNHEATED SLABS R-10 FOR 24 INCHES BELOW REQUIRED AND R-10 FOR 24 INCHES OR MORE PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

PER TABLE 502.3 BUILDING ENVELOPE REQUIREMENTS: FENESTRATION VERTICAL FENESTRATION (40% MAXIMUM ALLOWED ABOVE GRADE) 5% ACTUAL PROVIDE REQUIRED U - FACTOR .40 ACTUAL PROVIDED .29 AND SHGC .41

PER 2015 IECC:

C402.5 AIR LEAKAGE THERMAL ENVELOPE, PROPOSED BUILDING COMPLIES.

C402.5.1 AIR BARRIER PER C402.5.1.2.1 MATERIALS SEE EXCEPTION 13 CAST-IN-PLACE AND PRECAST CONCRETE. PROPOSED BUILDING COMPLIES.

C402.5.2 AIR LEAKAGE FENESTRATION SEE EXCEPTION 1. FIELD FABRICATED FENESTRATION ASSEMBLIES THAT ARE SEALED IN ACCORDANCE WITH SECTION C402.5.1. PROPOSED BUILDING COMPLIES.

C402.5.3 ROOMS CONTAINING FUEL - BURNING APPLIANCES EXCEPTION 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO OUTSIDE. PROPOSED BUILDING COMPLIES.

C402.5.4 DOORS AND ACCESS OPENINGS TO SHAFTS, CHUTES, STAIRWAYS AND ELEVATOR LOBBIES. NOT APPLICABLE TO PROPOSED BUILDING.

C402.5.5 AIR INTAKES, EXHAUST OPENINGS, STAIRWAYS AND SHAFTS, IF REQUIRED TO BE DAMPERED. PROPOSED BUILDING COMPLIES.

C402.5.6 LOADING DOCK WEATHER SEALS TO BE PROVIDED FOR LOADING DOCK DOORS. PROPOSED BUILDING COMPLIES.

C402.5.7 VESTIBULES EXCEPTION 2. DOORS NOT INTENDED TO BE USED BY THE PUBLIC, SUCH AS DOORS TO MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS, ON INTENDED SOLELY FOR EMPLOYEE USE. EXCEPTION 4 DOORS THAT OPEN DIRECTLY FROM A SPACE LESS THAN 3,000 SQUARE FEET IN AREA. EXCEPTION 6 DOORS USED PRIMARILY TO FACILITATE VEHICULAR MOVEMENT OR MATERIAL HAND LINE AND ADJACENT PERSONAL DOORS. PROPOSED BUILDING COMPLIES.

C402.5.8 RECESSED LIGHTING. NOT APPLICABLE TO PROPOSED BUILDING.

KEYNOTE LEGEND

03-1	EXTERIOR INSULATED PRECAST CONCRETE WALL PANEL WITH PAINTED FINISH COLOR 1 - WHITE (SW7005 - PURE WHITE)
03-2	EXTERIOR INSULATED PRECAST CONCRETE WALL PANEL WITH PAINTED FINISH COLOR 2 - MEDIUM GREY (SW 7669 - SUMMIT GRAY)
03-3	EXTERIOR INSULATED PRECAST CONCRETE WALL PANEL WITH PAINTED FINISH COLOR 3 - LIGHT GREY (SW 7668 - MARCH WIND)
03-4	EXTERIOR INSULATED PRECAST CONCRETE WALL PANEL WITH PAINTED FINISH COLOR 4 - DARK GREY (SW 9154 - PERLE NOIR)
03-5	EXTERIOR INSULATED PRECAST CONCRETE WALL PANEL WITH PAINTED FINISH COLOR 5 - ACCENT GREEN (SW XXXX - TBD)
03-6	1/2" DEEP REVEAL PAINTED LIGHT GREY (SW XXXX)
03-4	PRE-FINISHED WHITE METAL PANEL FINISHED AT OVERHANG/CANOPY FASCIA, AND AT FRONT OFFICE ENTRY PORTAL, ON STEEL STUD FRAMING.
05-10	PRE-FINISHED METAL CAP/COPING COLOR TO BE 'DARK BRONZE ANODIZED' TO MATCH WINDOW SYSTEM
05-11	PRE-FINISHED METAL 24 GA. GRAVEL STOP COLOR TO BE 'DARK BRONZE ANODIZED' TO MATCH WINDOW SYSTEM.
05-21	DARK BRONZE OF SIMILAR PRE-FINISHED METAL PANEL CLAD SWING GATES WITH PAINTED STEEL POST GATE SUPPORTS.
06-6	INSULATED OVERHEAD DOOR FACTORY FINISHED, DOCK SEALS, DOCK LEVELERS AND BUMPERS WITH VERTICAL LIFT TYPE TRACKS. PRE-FINISHED WHITE SIMILAR TO MAIN BUILDING COLOR.
08-7	ALUMINUM STOREFRONT SYSTEM
08-20	14'-0" X 14'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME WITH VISION WINDOWS (ONE PANEL) WITH WEATHER SEAL AND OPERER. PRE-FINISHED WHITE SIMILAR TO MAIN BUILDING COLOR.
08-21	18'-0" X 18'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME WITH WEATHER SEAL AND VISION WINDOWS (ONE PANEL). PRE-FINISHED WHITE SIMILAR TO MAIN BUILDING COLOR.
08-22	3'-0" X 7'-0" INSULATED AND PAINTED GALVANIZED HOLLOW METAL DOOR AND FRAME WITH ADA HARDWARE AND EMERGENCY EGRESS CODE REQUIRED LIGHTING - PAINTED TO MATCH ADJACENT WALL COLOR.
13-2	BUILDING SIGNAGE BY OWNER WITH REQUIRED SEPARATE MUNICIPAL APPROVALS.
22-3	OVERFLOW FLUSH SPOUT WITH HINGED COVER. SEE ROOF PLAN FOR ADDITIONAL NOTES. COORDINATE WALL PENETRATION WITH PRECAST SUPPLIER. DO NOT PLACE OVER ANY OPENING, DOOR OR WINDOW. ALWAYS CENTER IN PANEL.
26-1	EXTERIOR LIGHT FIXTURE - CUT-OFF LED WALLPACK - SEE LIGHTING PLAN FOR FIXTURE TYPE AND MOUNTING HEIGHT

EXTERIOR BLDG SYSTEMS

BALLASTED ROOF ASSEMBLY: BALLASTED 45 MIL. ROOF MEMBRANE ON 5.75" DIRECT TO DECK APPROVED EPS INSULATION (R20 - TWO LAYERS, STAGGERED) ON METAL DECK (SEE STRUCTURAL DRAWINGS). PROVIDE TAPERED INSULATION WHERE REQUIRED FOR DRAINAGE TO ROOF DRAINS

FULLY ADHERED ROOF ASSEMBLY: FULLY ADHERED 45 MIL. ROOF MEMBRANE ON MIN. 1" TAPERED DIRECT TO DECK APPROVED EPS INSULATION ON METAL DECK (SEE STRUCTURAL DRAWINGS)

INSULATED PRECAST WALL PANEL SYSTEM: 10" INSULATED PRECAST CONCRETE WALL PANEL (R-14)

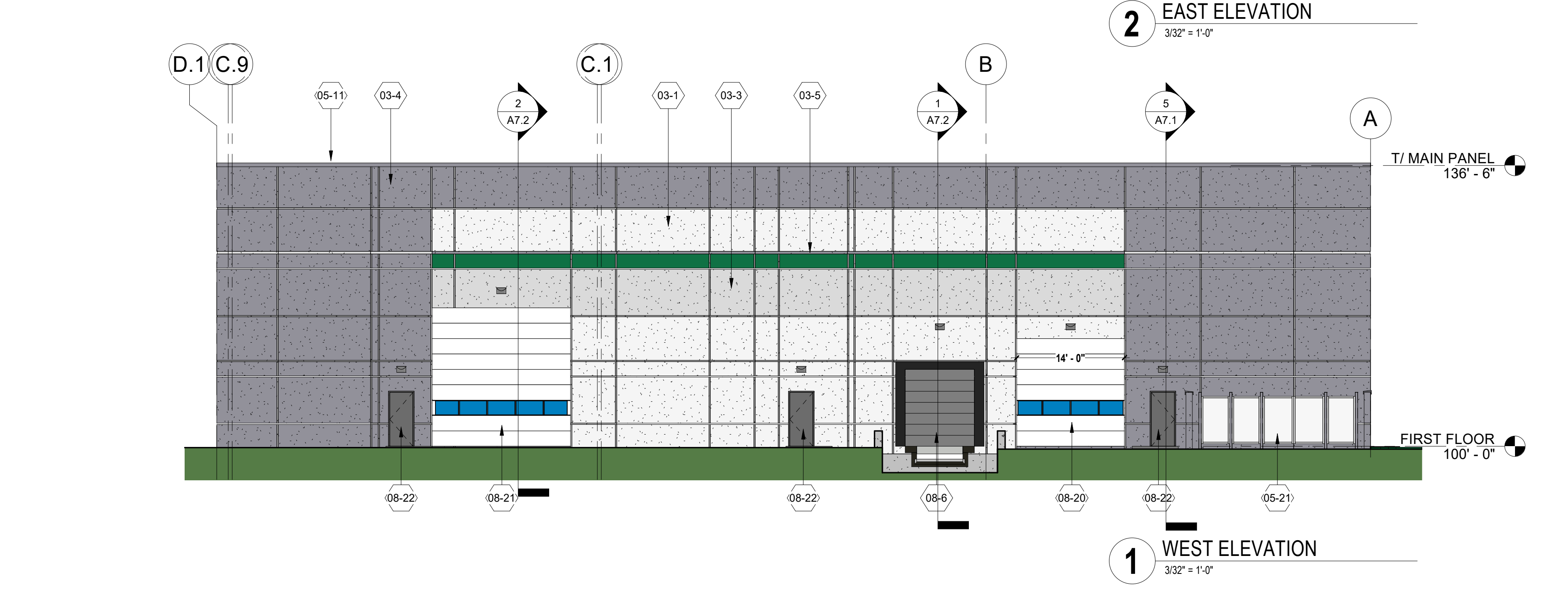
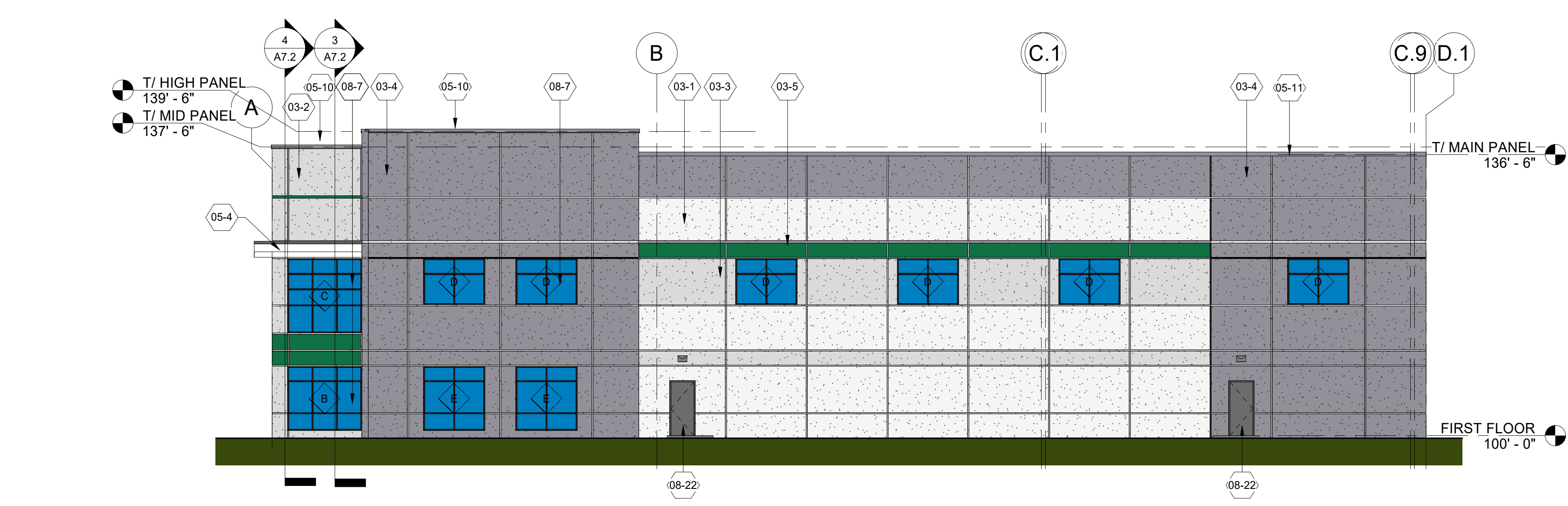
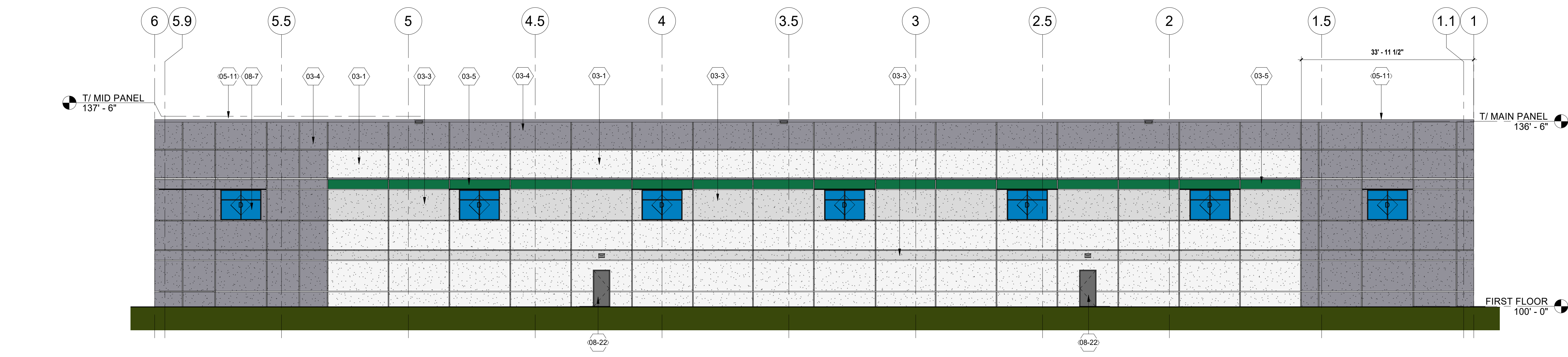
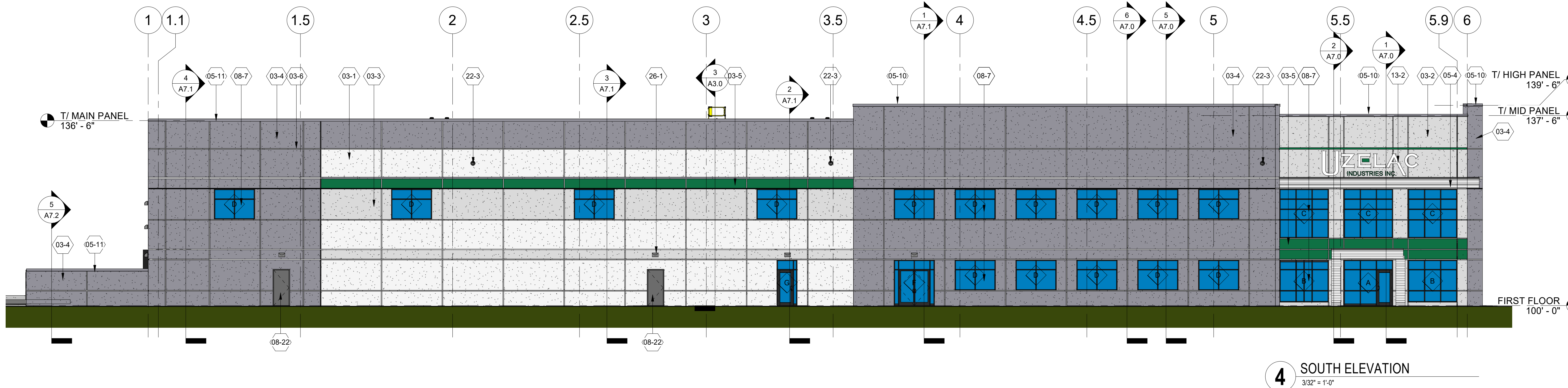
UNINSULATED PRECAST WALL PANEL SYSTEM: 10" SOLID, UNINSULATED WALL PANEL (QUIMPSTER ENCLOSURE WALLS)

EXTERIOR METAL PANEL WALL SYSTEM (NON-INSULATED): EXTERIOR 8" WIDE FLUSH METAL WALL PANEL (COLOR UNA-CLAD - BONE WHITE) LAID HORIZONTALLY ON FURRING, WEATHER BARRIER, 3/4" FIRE TREATED WOOD SHEATHING ON 6" COLD FORMED FRAMING.

EXTERIOR METAL PANEL SOFFIT SYSTEM (NON-INSULATED): EXTERIOR 8" VENTED WIDE FLUSH METAL SOFFIT PANEL (COLOR UNA-CLAD - BONE WHITE) ON FURRING, WEATHER BARRIER, 3/4" FIRE TREATED WOOD SHEATHING ON COLD FORMED FRAMING.

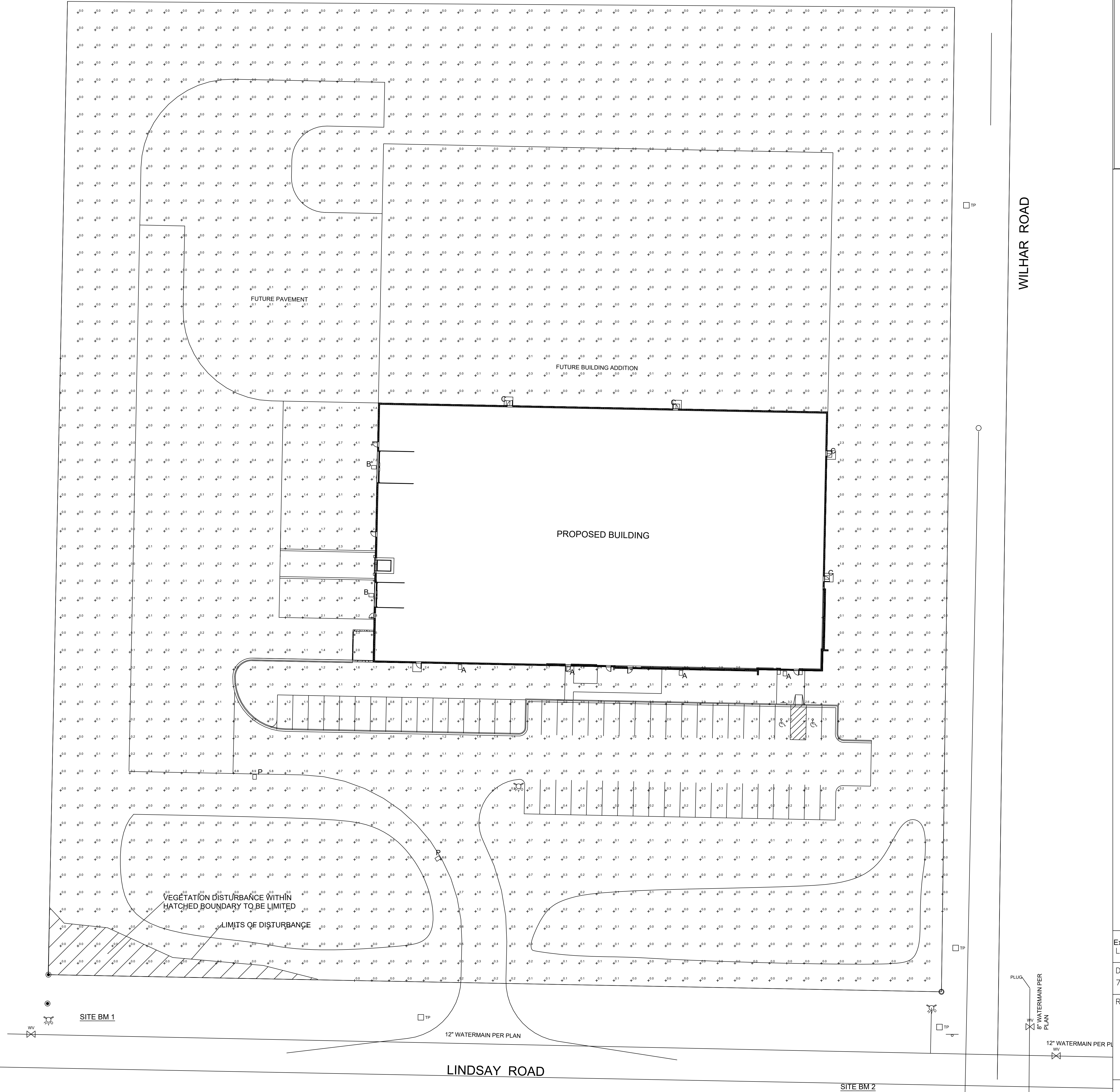
PRECAST FINISH COLOR KEY:

	FINISH COLOR 1: SHERWIN WILLIAMS - SW7005 - PURE WHITE
	FINISH COLOR 2: SHERWIN WILLIAMS - SW7669 - SUMMIT GRAY (MEDIUM GREY)
	FINISH COLOR 3: SHERWIN WILLIAMS - SW7668 - MARCH WIND (LIGHT GREY)
	FINISH COLOR 4: SHERWIN WILLIAMS - SW 9154 PERLE NOIR (DARK GREY)
	FINISH COLOR 5: "GREEN" AS SHOWN - TBD FINAL PRODUCT, COORD. W/ OWNER



Schedule						
Symbol	Label	QTY	Manufacturer	Catalog Number	Lumens per Lamp	Wattage
□	A	4	RAB Lighting Inc.	A17-4T100N Wall mounted at 24' 4000K color temperature	13928	97.56
□	B	2	RAB Lighting Inc.	A17-4T150N Wall mounted at 24' 4000K color temperature	21204	149.17
□	C	4	RAB Lighting Inc.	WPLED10N Wall mounted at 10' 4000K color temperature	1297	12.1
□	P	2	RAB Lighting Inc.	A17-4T100N 17' Pole on a 2' base 4000K color temperature With back light shield	13928	97.56

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.4 fc	8.9 fc	0.0 fc	N/A	N/A



Uzelac Industries

Kenosha, WI

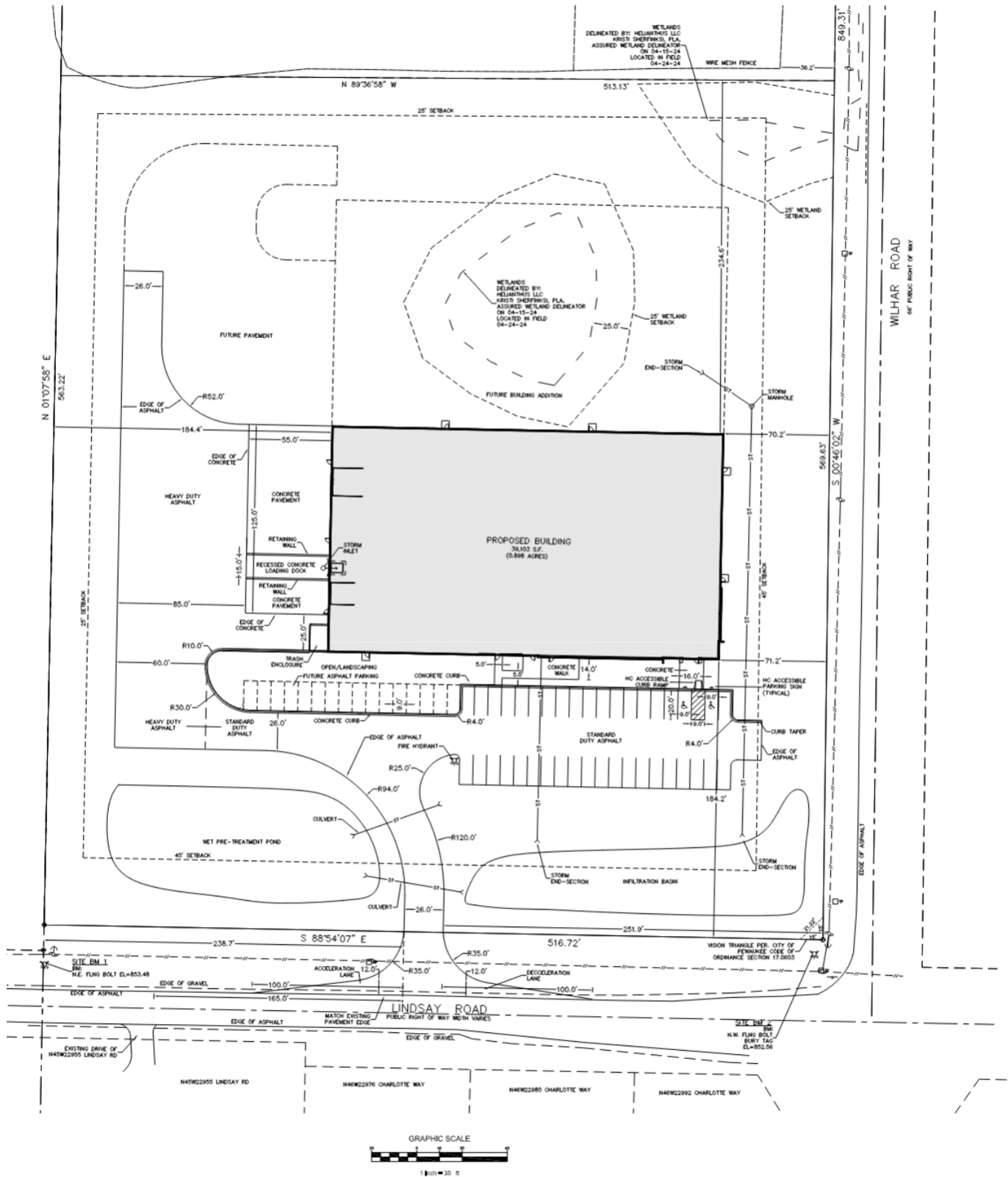
Exterior Photometric Lighting Plan

DATE:
7-18-2024

REVISIONS:

E-1.0

PROPOSED SITE PLAN



ORIGINAL AND REVISED PROPOSED SITE PLAN
LINDSAY ROAD ACCESS AND LANDSCAPE

Image 1: 6/20/24 PC Discussion

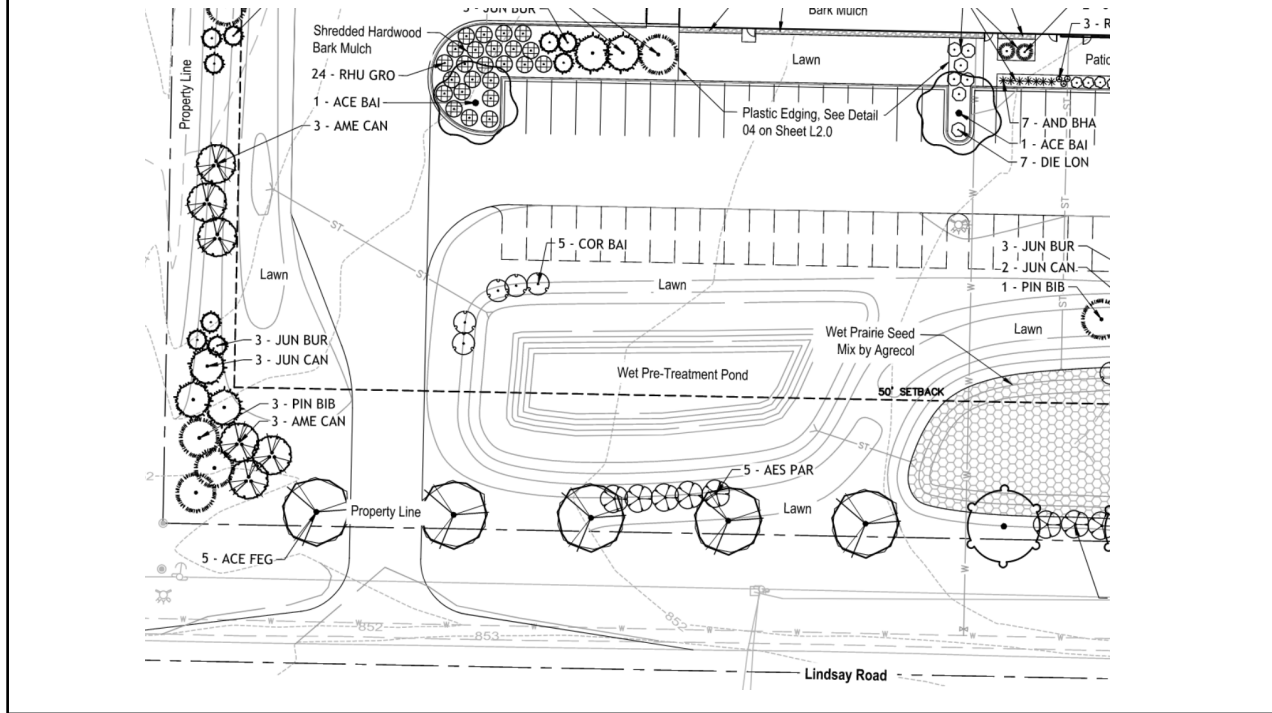
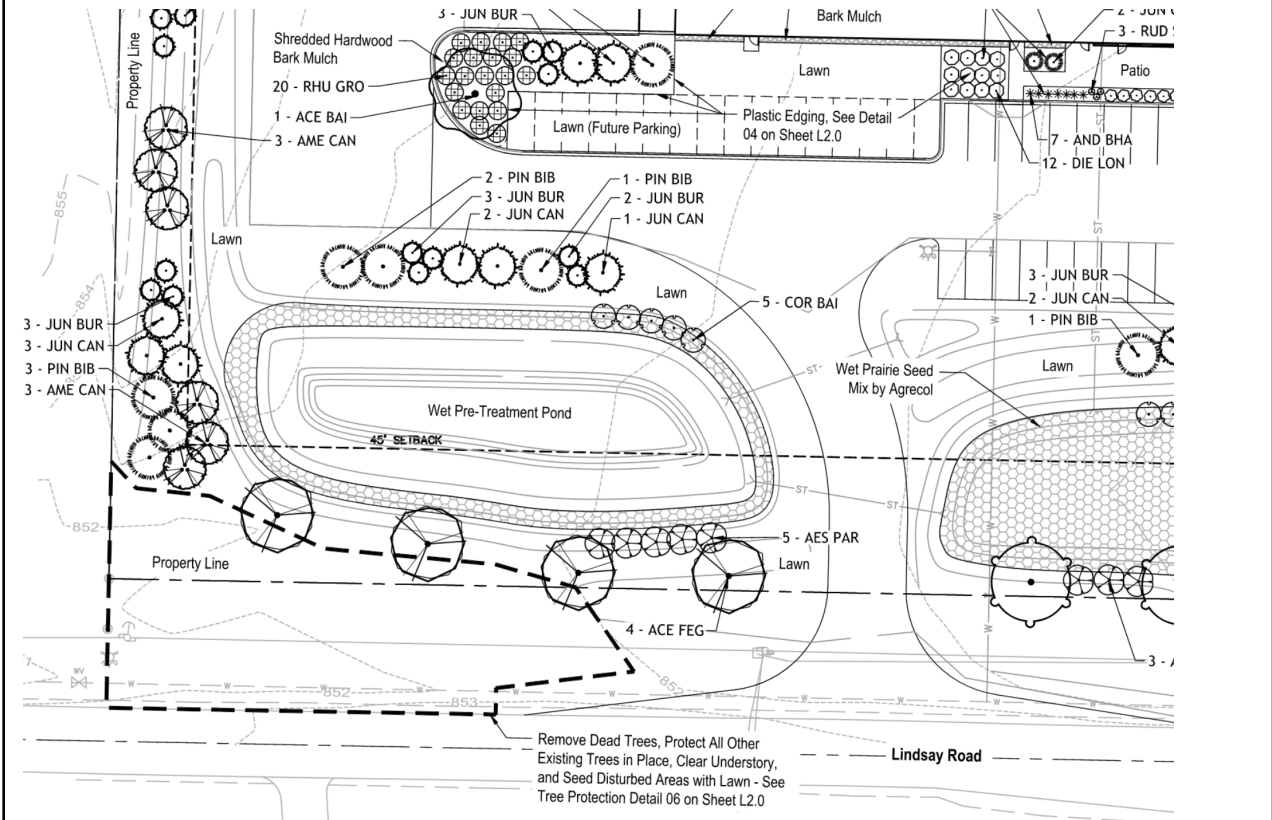
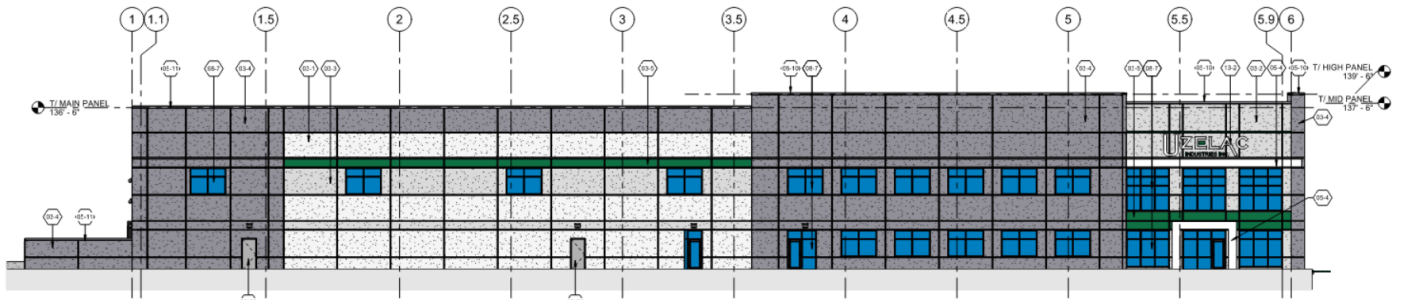


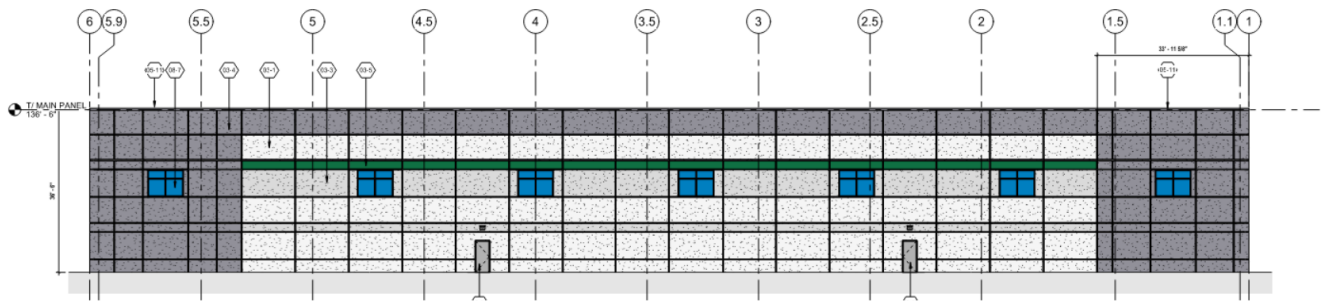
Image 2: Voluntary revisions to driveway placement and landscape features



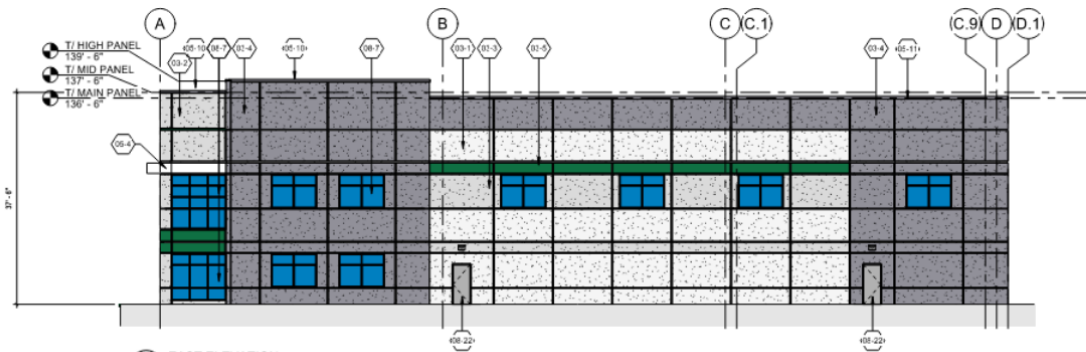
PROPOSED ELEVATIONS



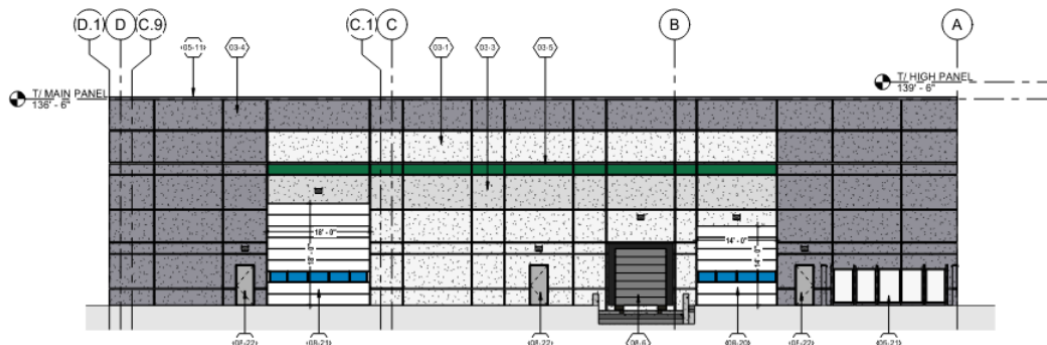
2 SOUTH ELEVATION
3/32" = 1'-0"



4 NORTH ELEVATION
3/32" = 1'-0"



1 EAST ELEVATION
3/32" = 1'-0"

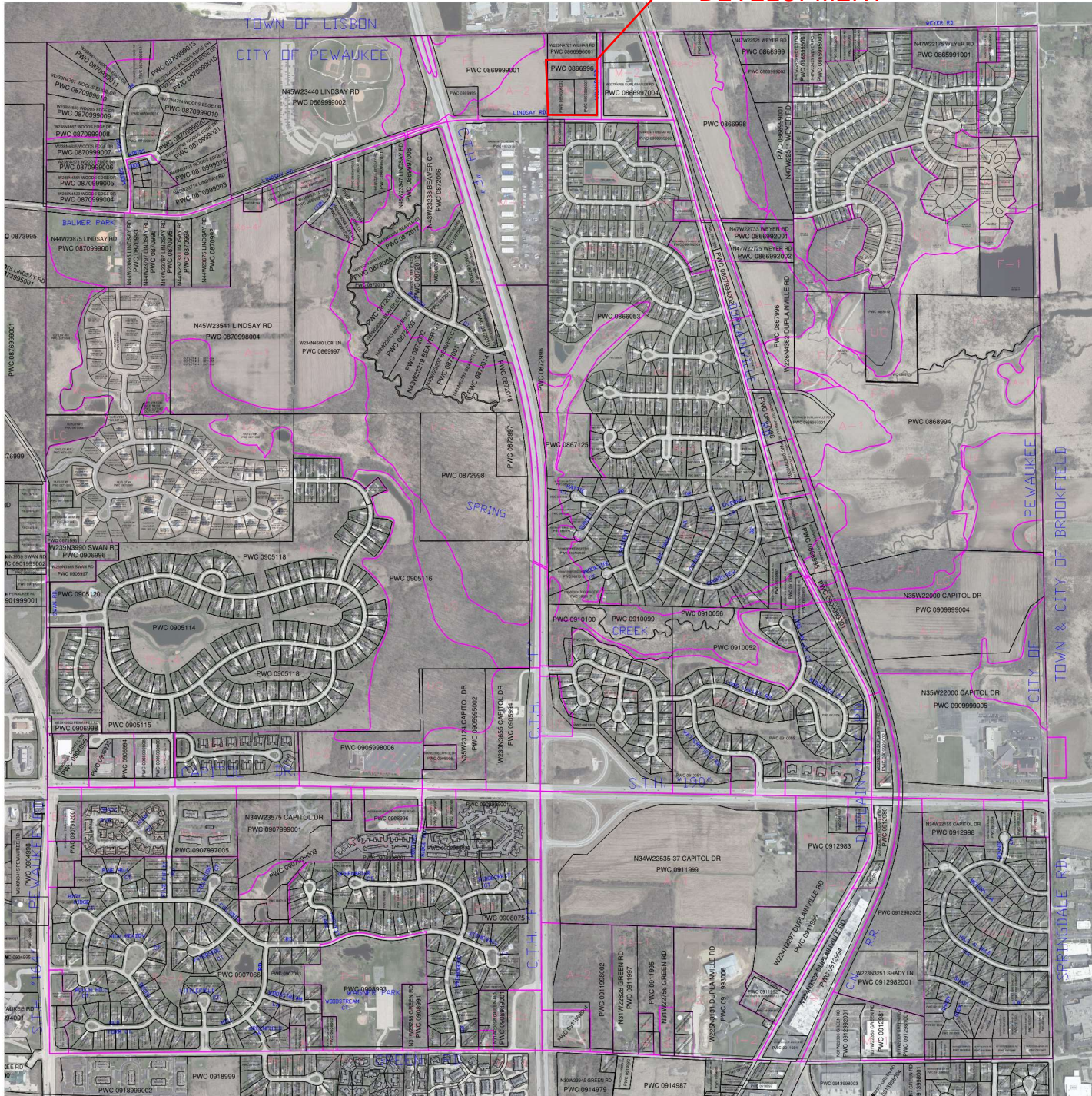


3 WEST ELEVATION
3/32" = 1'-0"

EXHIBIT B
REZONE LEGAL DESCRIPITON AND DEPICTION

LOCATION OF PROPOSED DEVELOPMENT

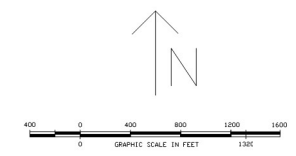
**ZONING MAP NO. 3
CITY OF PEWAUKEE
SECTIONS 1, 2, 11 & 12**



MAP SYMBOL	DISTRICT NAME	BASIC DISTRICT REGULATIONS			
		MIN. AREA	MIN. WIDTH	RES. DENSITY	
A-1	AGRICULTURE	35.0 ACRES	600 FT.		See text
A-2	AGRICULTURE	10.0 ACRES	300 FT.		See text
Ra-1	SINGLE FAMILY RESIDENTIAL	5.0 ACRES	300 FT.	0.2 DU/NA	
Ra-2	SINGLE FAMILY RESIDENTIAL	2.0 ACRES	220 FT.	0.5 DU/NA	
Ra-3	SINGLE FAMILY RESIDENTIAL	1.0 ACRE	150 FT.	1.0 DU/NA	
Ra-4	SINGLE FAMILY RESIDENTIAL	20,000 SQ.FT.	110 FT.	2.2 DU/NA	
Ra-5	SINGLE FAMILY RESIDENTIAL	15,000 SQ.FT.	100 FT.	2.9 DU/NA	
Ra-6	SINGLE FAMILY RESIDENTIAL	12,500 SQ.FT.	90 FT.	3.5 DU/NA	
Ra-7	SINGLE FAMILY RESIDENTIAL	See text	See text	See text	
Rd-1	TWO FAMILY RESIDENTIAL	22,000 SQ.FT.	130 FT.	4.0 DU/NA	
Rd-2	TWO FAMILY RESIDENTIAL	18,000 SQ.FT.	120 FT.	4.8 DU/NA	
Rm-1	MULTI-FAMILY RESIDENTIAL	0.5 ACRE	120 FT.	6.0 DU/NA	
Rm-2	MULTI-FAMILY RESIDENTIAL	0.33 ACRE	120 FT.	9.0 DU/NA	
Rm-3	MULTI-FAMILY RESIDENTIAL	0.25 ACRE	150 FT.	12.0 DU/NA	
B-1	NEIGHBORHOOD BUSINESS	2.0 ACRES	200 FT.	n/a	
B-2	COMMUNITY BUSINESS	8.0 ACRES	400 FT.	See text	
B-3	GENERAL BUSINESS	7,200 SQ.FT.	60 FT.	See text	
B-4	PROFESSIONAL OFFICE	10,000 SQ.FT.	90 FT.	See text	
B-5	HIGHWAY BUSINESS	30,000 SQ.FT.	120 FT.	n/a	
B-6	MIXED USE BUSINESS	2.0 ACRES	200 FT.	n/a	
M-1	WHOLESALE/WAREHOUSE	65,000 SQ.FT.	200 FT.	n/a	
M-2	LIMITED INDUSTRIAL	2.0 ACRES	200 FT.	n/a	
M-3	GENERAL INDUSTRIAL	2.0 ACRES	200 FT.	n/a	
M-4	INDUSTRIAL PARK	See text	See text	n/a	
M-5A	LONG TERM MINERAL EXTRACTION	n/a	n/a	n/a	
M-5B	SHORT TERM MINERAL EXTRACTION	n/a	n/a	n/a	
M-6	MIXED INDUSTRIAL USE	3.0 ACRES	250 FT.	n/a	
I-1	URBAN INSTITUTIONAL	7,200 SQ.FT.	60 FT.	See text	
I-2	RURAL INSTITUTIONAL	2.0 ACRES	220 FT.	See text	
P-1	PARK AND RECREATION	None	80 FT.	n/a	
LC	LOWLAND CONSERVANCY	None	None	n/a	
UC	UPLAND CONSERVANCY	5.0 ACRES	300 FT.	0.2DU/NA	
F-1	FLOODLAND (APPROXIMATE)	See text	See text	See text	
SD	SHORELAND OVERLAY	See text	See text	See text	

Notes: e-All minimum width is measured at the street setback line
 b-Dwelling Units per Net Acre (maximum)
 n/a-Not Applicable—see text
 c-Sown shaded on map (1,000 ft. from Lake & 300 ft. from streams)

ZONING MAP UPDATES			
DATE OF UPDATE	UPDATED BY:	DATE OF UPDATE	UPDATED BY:
6-83	HEC	2-22	JJF
9-97	HEC	5-23	JJF
6-95	JAK		
12-98	JAK		
12-99	JAK		
6-02	TDB		
2-04	JJF		
1-05	JJF		
9-05	JJF		
3-05	JJF		
1-07	JJF		
7-07	JJF		
7-09	JJF		
6-09	JJF		
3-11	JJF		
5-12	JJF		
5-13	JJF		
4-15	JJF		
2-15	JJF		
1-17	JJF		
4-13	JJF		
1-19	JJF		
1-20	JJF		
4-21	JJF		



2022 AERIAL PHOTOGRAPH BY SEWRPC; ZONING MAP BY CITY OF PEWAUKEE

Legal description Lot 1

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST 1/4, THENCE S 01°07'58" W ALONG THE WEST LINE OF SAID 1/4 SECTION 279.70 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE S 89°36'58" E 513.13 FEET TO A POINT ON THE WEST LINE OF WILHAR ROAD; THENCE S 00°46'02" W ALONG SAID WEST LINE 849.31 FEET TO A POINT ON THE NORTH LINE OF LINDSAY ROAD; THENCE S 88°54'07" E ALONG SAID NORTH LINE 516.72 FEET TO A POINT ON THE WEST LINE OF SAID 1/4 SECTION, THENCE N 012°07'58" E ALONG SAID WEST LINE 563.22 FEET TO THE POINT OF BEGINNING.

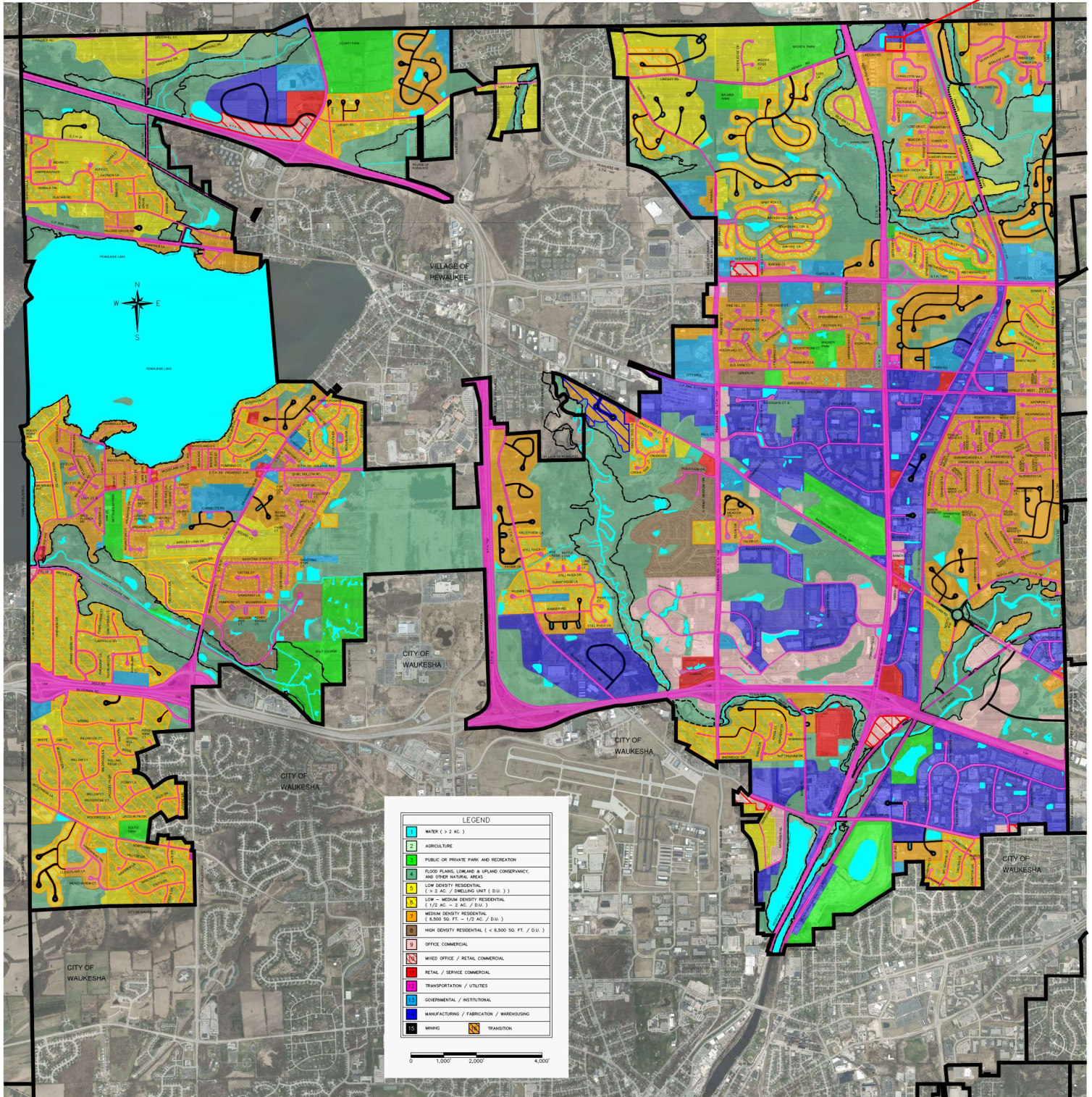
CONTAINING: 291,658 SQUARE FEET OR 6.6955 ACRES.

EXHIBIT C
COMPREHENSIVE PLAN AMENDMENT DEPICTION

CITY OF PEWAUKEE

YEAR 2050 LAND USE / TRANSPORTATION PLAN

LOCATION OF
PROPOSED
DEVELOPMENT

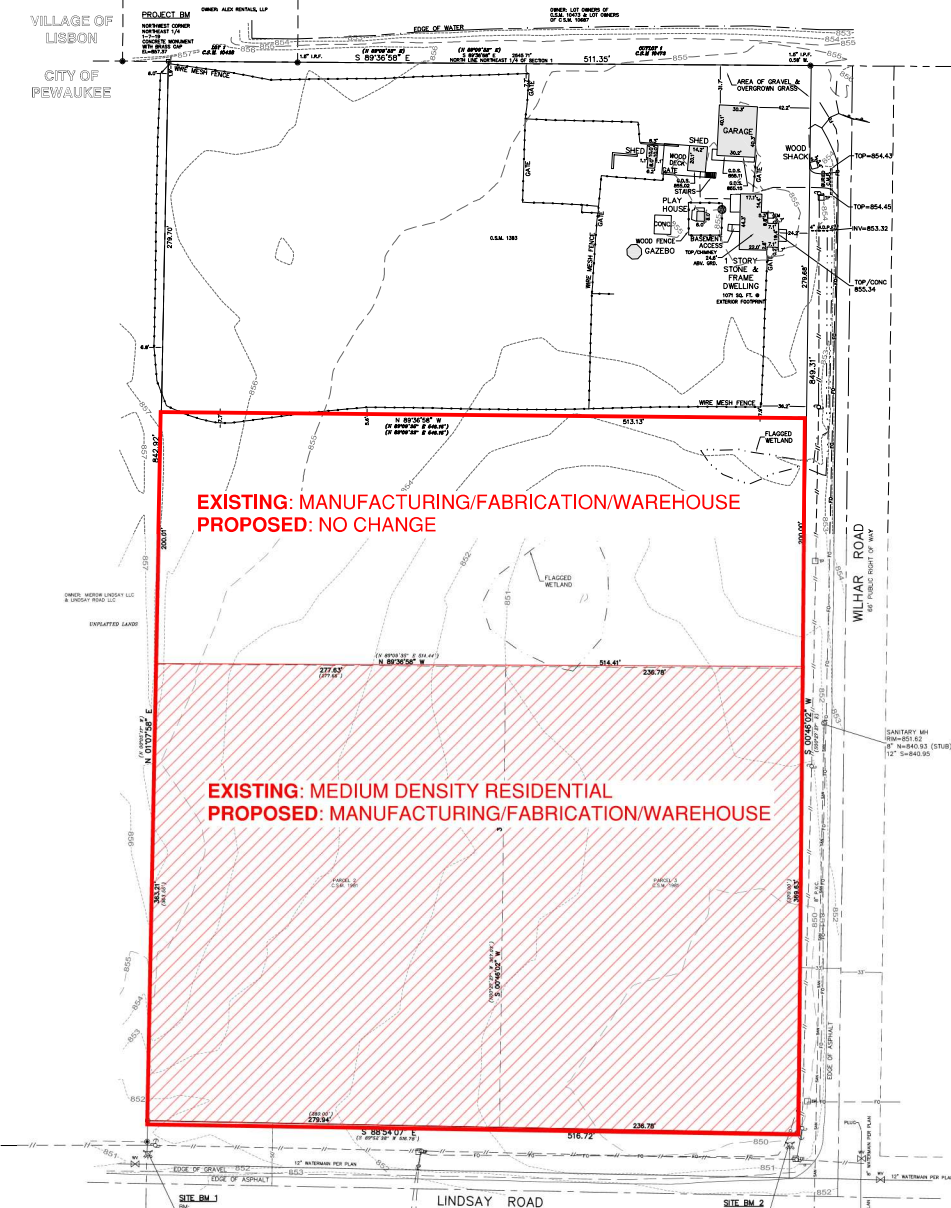


VILLAGE OF LISBON
CITY OF PEWAUKEE



LEGEND

—	EXISTING DRAINAGE	—	EXISTING HIGHWAY
—	EXISTING WATER	—	EXISTING POWER
—	EXISTING SEWER	—	EXISTING GAS
—	EXISTING RAIL	—	EXISTING AIR
—	EXISTING FENCE	—	EXISTING SIGN
—	EXISTING EASEMENT	—	EXISTING RIGHT OF WAY
—	EXISTING UTILITY	—	EXISTING CONCRETE
—	EXISTING CURB	—	EXISTING DRIVE
—	EXISTING DRIVE	—	EXISTING DRIVE
—	EXISTING DRIVE	—	EXISTING DRIVE
—	EXISTING DRIVE	—	EXISTING DRIVE
—	EXISTING DRIVE	—	EXISTING DRIVE



LEGAL DESCRIPTION

FILE NO.: NCS-1127103-MKE

CERTIFIED SURVEY MAP NO. 1383 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR WAUKESHA COUNTY, WISCONSIN ON JUNE 11, 1974, IN VOLUME 2 OF CERTIFIED SURVEY MAPS, PAGE 40; AND A CORRECTED SURVEY MAP BEING PART OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE 10TH MERIDIAN, WAUKESHA COUNTY, WISCONSIN.

COMMENT NO. NCS-1121704-MCE

PARCELS 1, 2 AND 3 OF CERTIFIED SURVEY MAP NO. 1383 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR WAUKESHA COUNTY, WISCONSIN ON NOVEMBER 20, 1973, IN VOLUME 13 OF CERTIFIED SURVEY MAPS, PAGES 184-186 AS DOCUMENT NO. 14782, SAID CERTIFIED SURVEY MAP BEING PART OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

MISCELLANEOUS NOTES

1. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF WISCONSIN.
2. THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-1127104-MKE & NCS-1127104-MCE WITH COMMITMENT DATES OF MAY 03, 2022 & MARCH 11, 2024 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPEARMENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE SHOWN TO BE HAVE BEEN PLACED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
3. NO UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED IN PART ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, GOVERNMENT AGENCIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
4. A ZONING REPORT WAS NOT PROVIDED TO THE SURVEYOR FOR THIS SURVEY.
5. THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON CONTAINS:
 6. THE ADDRESS OF THE ABOVE DESCRIBED C.S.M. 1383, WISCONSIN MILWAUKEE RD., AS SHOWN, WAS OBSERVED IN THE FIELD AT THE TIME OF THE SURVEY.
 7. THERE ARE NO MARKED PARKING SPACES ON THIS SITE.
 8. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF AREA 3 DESIGNATED TO BE OUTSIDE THE 100-YEAR CHANCE FLOOD PLAN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NO. 85130C0010, WITH A DATE OF IDENTIFICATION OF OCTOBER 19, 2023, IN COMMUNITY NO. 550192, IN THE CITY OF PEWAUKEE. WHICH IS THE COMMUNITY IN WHICH THE PROPERTY IS SITUATED.
 9. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE PROPERTY AT THE TIME OF SURVEY.
 10. ACCORDING TO MICHAEL GABNEY, ENGINEERING DEPT., CITY OF PEWAUKEE, THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES ADJOINING THE PROPERTY AT THE TIME OF SURVEY.
 11. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIGNAL, CONSTRUCTION OR REPAIRS OCCURRING ON OR ADJOINING THE PROPERTY AT THE TIME OF SURVEY.
 12. THERE WAS OBSERVED EVIDENCE OF RELOCATED METAL SIGNS EXISTING ON SUBJECT PROPERTY AT TIME OF SURVEY. FLAGS AS SET BY HELMUTHUS ON APRIL 10, 2024.
 13. THERE ARE NO PLOTTABLE OFFSITE EASEMENTS DISCLOSE TO THE SURVEYOR.
 14. ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE SHOWN.
 15. ALL BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA COUNTY.
 16. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATE OF 1988 (NAVD88).
 17. PROJECT BENCHMARK CONCRETE MONUMENT WITH BRASS CAP AT THE NORTHWEST PROPERTY CORNER AS PLOTTED HEREON.
 18. SITE BENCHMARKS ALONG THE SOUTH PROPERTY LINE AS PLOTTED HEREON.

SCHEDULE B1 EXCEPTIONS

FILE NO.: NCS-1127103-MKE

10. UTILITY EASEMENT TO THE MILWAUKEE ELECTRIC RAILWAY AND LIGHT COMPANY, DATED NOVEMBER 02, 1926, RECORDED/FILED DECEMBER 14, 1928 AS DOCUMENT NO. 14782, DOES NOT AFFECT PARCELS.
12. UTILITY EASEMENT TO THE MILWAUKEE ELECTRIC RAILWAY AND LIGHT COMPANY, ITS SUCCESSORS AND ASSIGNS, DATED NOVEMBER 02, 1926, RECORDED/FILED DECEMBER 14, 1928 AS DOCUMENT NO. 14782, DOES NOT AFFECT PARCELS WITHIN RIGHT OF WAY OF LINDSAY ROAD.

10. BROWN LAND DEVELOPMENT LLC, FIRST AMERICAN TITLE INSURANCE COMPANY, WILLIAM AND KATHY L. COLEMAN, JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP, KIRKMAN ENTERPRISES, INC., A WISCONSIN CORPORATION.

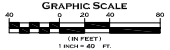
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED, WAS MADE IN ACCORDANCE WITH THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2006, AND MODIFIED THEREOF, 1-2, 3, 4, 6(2)(3), 7a, 7b, 7c, 8, 9, 11, 13, 15, 17, 18 AND 19 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERGOING FURTHER CERTIFICATION THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF WISCONSIN, THE RELIABLE PROFESSIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREON.

APRIL 24, 2024
DATE

MICHAEL J. BERRY, P.L.S.
REGISTERED LAND SURVEYOR 5-2545

MICHAEL J. BERRY
S-2545
BROOKFIELD, WI
LAND SURVEYOR

NO.	DESCRIPTION	REVISION DATE	INITIALS



ALTA/NSPS LAND TITLE SURVEY
FOR
LINDSAY ROAD
LINDSAY RD. & WILHAR RD.
PEWAUKEE, WI

DRAWN BY: **DHS** DATE: **APRIL 24, 2024**
CHECKED BY: **MJB** DRAWING NO.: **AL-O**
CSE JOB NO.: **AL-O-24039** SHEET **1** OF **1**

EXHIBIT D
CSM DRAFT

PRELIMINARY

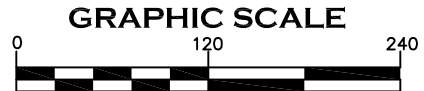
CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.



CAPITOL SURVEY ENTERPRISES
 2015 LA CHANDELLE CT.
 BROOKFIELD, WI 53045
 PH: (262) 786-6600
 FAX: (262) 786-6608
 WWW.CAPITOLSURVEY.COM

PREPARED FOR:
BRIOHN LAND DEVELOPMENT, LLC.
 3885 N. BROOKFIELD RD. STE. 200
 BROOKFIELD, WI 53045



1 INCH = 120 FT.



VILLAGE OF LISBON

SOUTHEAST CORNER
 SOUTHWEST 1/4
 36-8-19
 CONCRETE MONUMENT
 WITH BRASS CAP

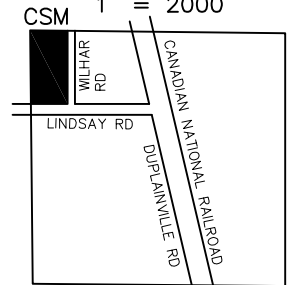
LOT 1
 C.S.M. 10428
 1.5" I.R.F.
 (N 89°09'46" E 2454.28)
 S 89°36'45" E 2454.28'
 OUTLOT 1
 C.S.M. 10473
 1.5" I.P.F.
 0.58' W.

NORTHWEST CORNER
 NORTHWEST 1/4
 1-7-19
 CONCRETE MONUMENT
 WITH BRASS CAP
 N. 195,098.73
 E. 690,422.39

CITY OF
 PEWAUKEE

C.S.M. 1383

VICINITY MAP
 1" = 2000'



NW 1/4 1-7-19

TAX KEY NO's:
 PWC 0866996
 PWC 0866996002
 PWC 0866996003

ZONED M-2, LIMITED
 INDUSTRIAL DISTRICT

UNPLATTED LANDS
 (N 00°05'18" W 2618.38')
 N 01°07'58" E 2618.28'
 WEST LINE NORTHWEST 1/4 SECTION 1

UNPLATTED LANDS
 S 01°07'58" W 279.70'

UNPLATTED LANDS
 (N 00°05'17" W)
 N 01°07'58" E
 563.22'

UNPLATTED LANDS
 (N 00°05'17" W)
 N 01°07'58" E
 563.22'

UNPLATTED LANDS
 (S 00°27'27" E 570.00')

UNPLATTED LANDS
 40.50'

(N 89°09'35" E 513.15')
 S 89°36'58" E 513.13'

FLAGGED
 WETLANDS
 SEE SHEET 3

LOT 1

291,658 SQ. FT.
 6.6955 ACRES

ALL DISTANCES SHOWN ARE MEASURED TO THE
 NEAREST HUNDRETH OF A FOOT.

ALL ANGULAR MEASUREMENTS WERE MADE TO THE
 NEAREST ONE SECOND

ALL BEARINGS REFER TO WEST LINE OF THE
 NORTHWEST 1/4 OF SECTION 1, WHICH HAS A
 WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA
 COUNTY, BEARING OF N 01°07'58" E.

SEE SHEET 2 FOR CONTOURS, SETBACKS, UTILITIES

SEE SHEET 3 FOR FOR WETLANDS

LOT 1 SERVED BY CITY SEWER & WATER

S 88°54'07" E 516.72'

(S 89°52'38" W 516.78')
 PUBLIC RIGHT OF WAY WIDTH VARIES

LINDSAY ROAD

UNPLATTED LANDS

LOT 131

LOT 132

LOT 133

SOUTHWEST CORNER
 NORTHWEST 1/4
 1-7-19
 CONCRETE MONUMENT
 WITH BRASS CAP
 N. 192,480.96
 E. 690,370.63

WILHAR ROAD

66' PUBLIC RIGHT OF WAY

WILHAR ROAD

- INDICATES FOUND 1" IRON PIPE UNLESS OTHERWISE NOTED.
- INDICATES 1 INCH DIA. IRON PIPE, 18 INCHES IN LENGTH, WEIGHING 1.68 LBS PER LINEAL FOOT, SET.



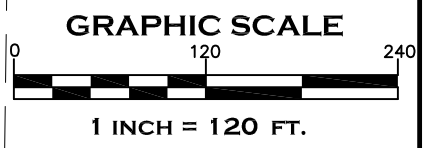
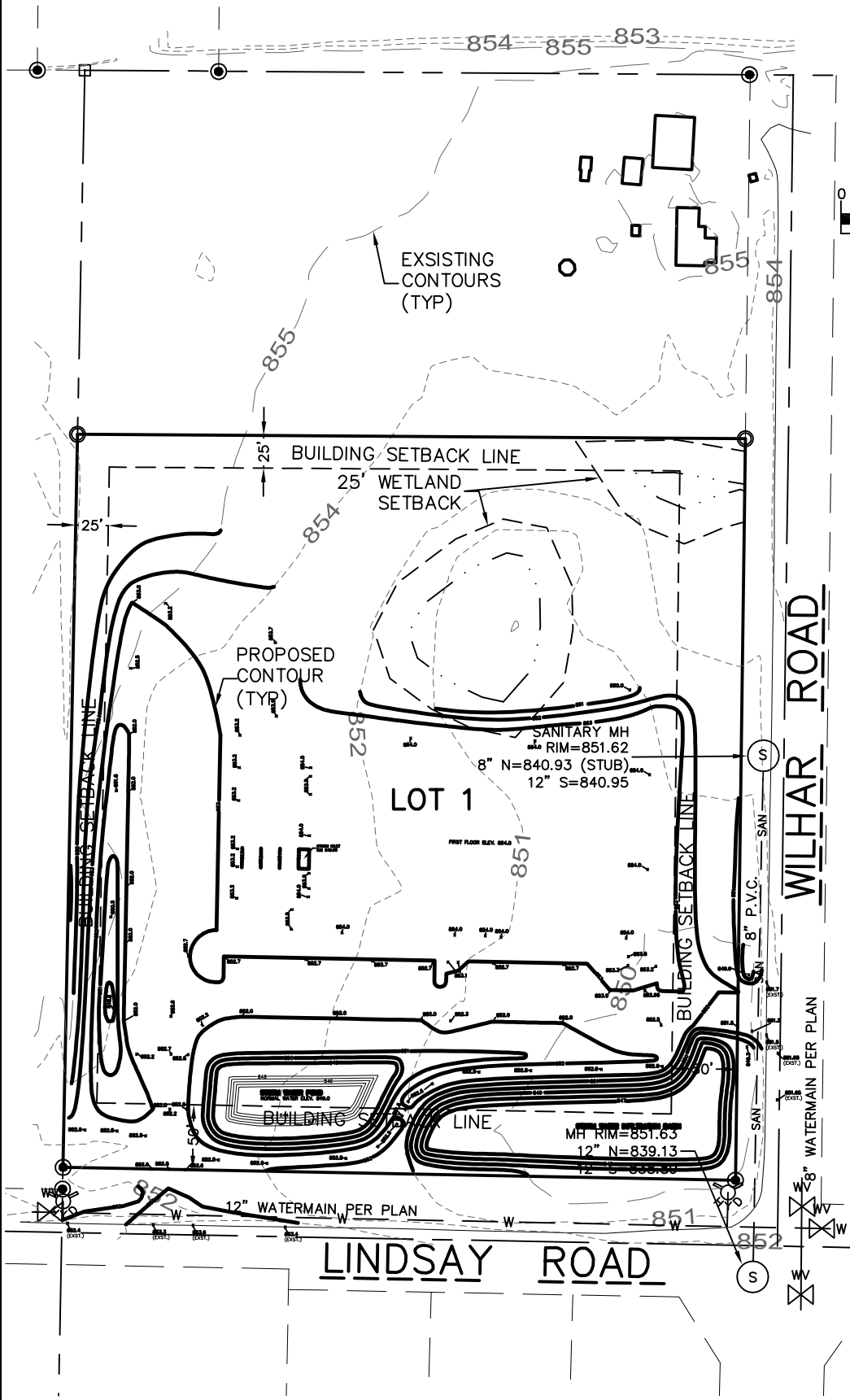
APRIL 25, 2024

PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

CONTOUR MAP,
SETBACKS AND UTILITIES



ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)



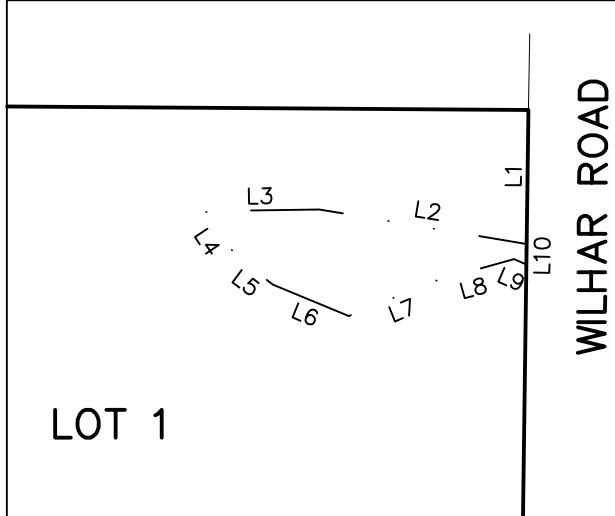
APRIL 25, 2024

PRELIMINARY

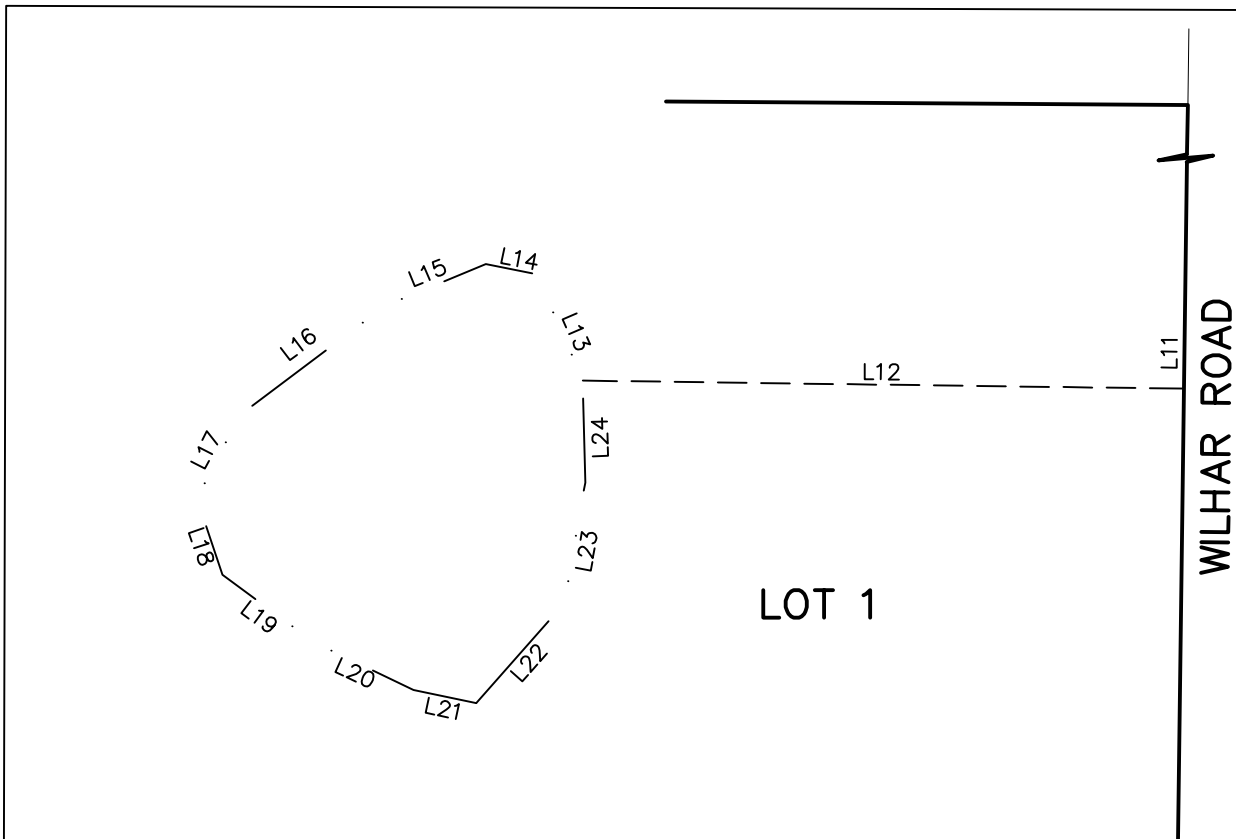
CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

WETLANDS



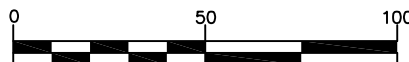
WETLAND TABLE		
LINE	LENGTH	BEARING
L1	34.93	S00°46'02" W
L2	54.81	N80°31'46" W
L3	29.54	S89°03'16" W
L4	14.00	S33°44'44" E
L5	12.28	S52°41'09" E
L6	21.35	S67°29'39" E
L7	23.92	N67°48'48" E
L8	21.70	N74°30'39" E
L9	3.50	S66°39'43" E
L10	5.28	N00°46'02" E
L11	120.18	S00°46'02" W
L12	156.57	N89°13'58" W
L13	30.21	N23°26'37" W
L14	13.47	N78°48'42" W
L15	28.63	S67°27'02" W
L16	47.29	S52°58'24" W
L17	24.24	S27°05'42" W
L18	20.89	S18°35'38" E
L19	14.94	S53°30'06" E
L20	28.80	S64°27'21" E
L21	16.74	S78°04'22" E
L22	34.64	N41°19'24" E
L23	31.91	N09°54'23" E
L24	26.52	N01°24'17" W



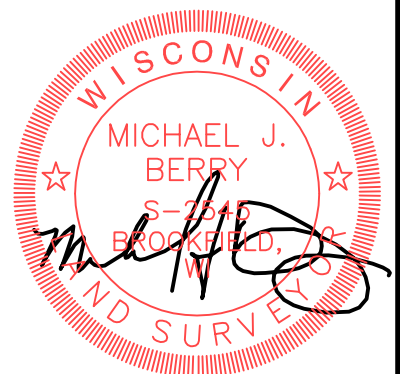
WETLANDS FIELD LOCATED BY CSE.
AS FLAGGED BY HELIANTHUS ON
APRIL 15, 2024



GRAPHIC SCALE



1 INCH = 50 FT.



APRIL 25, 2024

PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, MICHAEL J BERRY, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST 1/4, THENCE S 01°07'58" W ALONG THE WEST LINE OF SAID 1/4 SECTION 279.70 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE S 89°36'58" E 513.13 FEET TO A POINT ON THE WEST LINE OF WILHAR ROAD; THENCE S 00°46'02" W ALONG SAID WEST LINE 849.31 FEET TO A POINT ON THE NORTH LINE OF LINDSAY ROAD; THENCE S 88°54'07" E ALONG SAID NORTH LINE 516.72 FEET TO A POINT ON THE WEST LINE OF SAID 1/4 SECTION, THENCE N 012°07'58" E ALONG SAID WEST LINE 563.22 FEET TO THE POINT OF BEGINNING.


CONTAINING: 291,658 SQUARE FEET OR 6.6955 ACRES.

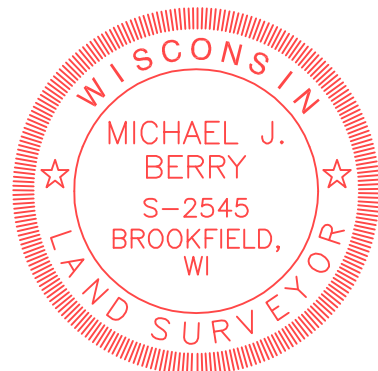
THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF BRIOHN LAND DEVELOPMENT, LLC, INC, OWNER OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE STATUTES OF THE STATE OF WISCONSIN, CHAPTER 18 OF THE CITY OF PEWAUKEE MUNICIPAL CODE, AND THE ORDINANCES OF WAUKESHA COUNTY IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 25TH DAY OF APRIL, 2024.


PROFESSIONAL LAND SURVEYOR,
S-2545
STATE OF WISCONSIN



PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

CORPORATE OWNER'S CERTIFICATE

BRIOHN LAND DEVELOPMENT, LLC, A WISCONSIN LIMITED LIABILITY COMPANY EXISTING UNDER THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, CERTIFY THAT THEY HAVE CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED, AND MAPPED, AS REPRESENTED ON THIS MAP IN ACCORDANCE WITH THE ORDINANCES OF THE CITY OF PEWAUKEE.

IN WITNESS WHEREOF, BRIOHN LAND DEVELOPMENT, LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY NELSON E. WILLIAMS, ITS MANAGER AT _____, WISCONSIN, THIS ____ DAY OF _____, 2024.

NELSON E. WILLIAMS
MANAGER

STATE OF WISCONSIN)
COUNTY) SS

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 2024 NELSON E. WILLIAMS, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC
STATE OF WISCONSIN
MY COMMISSION EXPIRES: _____

CITY OF PEWAUKEE PLAN COMMISSION APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE CITY OF PEWAUKEE ON THIS DAY ____ OF _____, 2024.

STEVE BIERCE, MAYOR

DATE

KELLY TARCZEWSKI, CITY CLERK

DATE

CITY OF PEWAUKEE COMMON COUNCIL APPROVAL

THIS CERTIFIED SURVEY MAP, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, HAVING BEEN APPROVED BY THE CITY OF PEWAUKEE PLANNING COMMISSION, IS HEREBY APPROVED AND ACCEPTED BY THE CITY OF PEWAUKEE COMMON COUNCIL ON THIS DAY ____ OF _____, 2024.

STEVE BIERCE, MAYOR

DATE

KELLY TARCZEWSKI, CITY CLERK

DATE



APRIL 25, 2024

PLAN COMMISSION: UZELAC INDUSTRIES, INC.

NW Quadrant of Lindsay Road and Wilhar Road
Thursday, July 18, 2024

Page 36 of 81

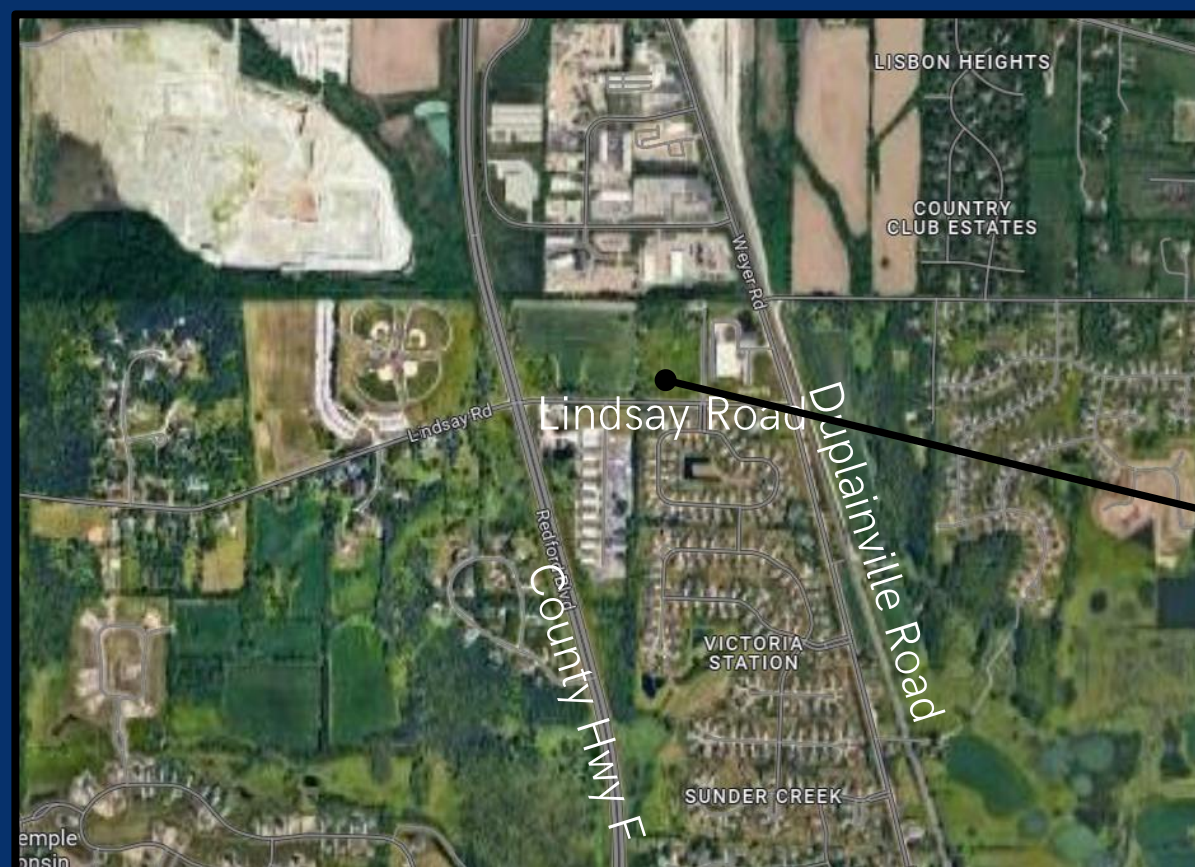


Uzelac Industries, Inc.

Relocation of rotary drum dryer manufacturing process into one efficient facility



LOCATION



TOTAL SITE AREA: 6.69 ACRES
BUILDING FOOTPRINT: 39,103 SF







PROJECT SUMMARY

- Total lot area: 6.69 acres
- Total building area: 39,103 SF
 - Programming for light manufacturing
 - Space planned for potential addition
- Rezone from Rs-2 to M-2 (limited industrial)
- Comprehensive Plan Amendment from Medium Density Residential to Manufacturing/Fabrication/Warehouse
- CSM to combine parcels
- Site plan and architectural approvals

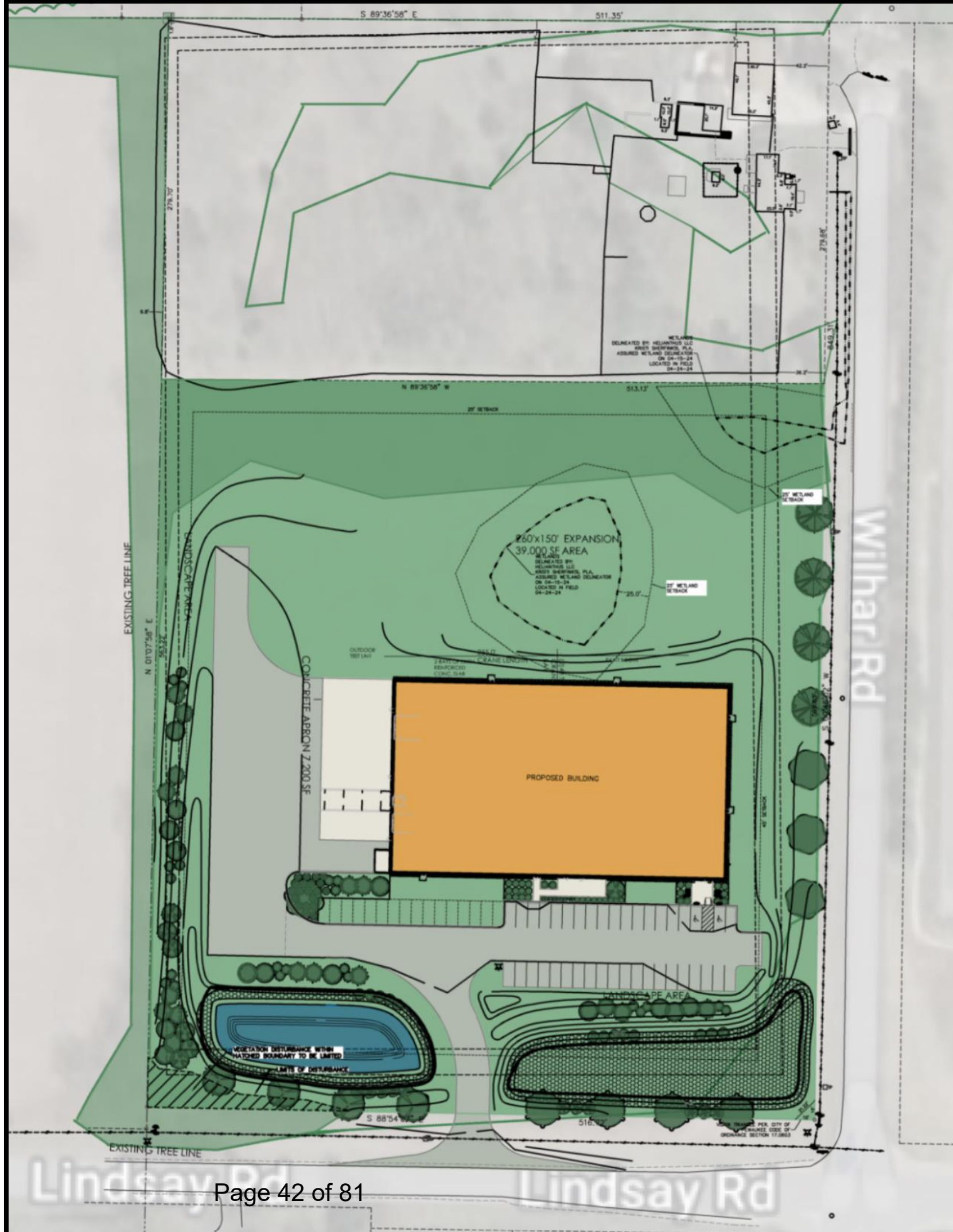


UZELAC

INDUSTRIES INC.

DRYING SYSTEMS

- Successful operation for 40+ years
- Relocation of existing operation in Greendale
- Manufacturing and assembly of rotary dryers
- Custom designed and built per customer needs to minimize moisture content in material during manufacturing process
- Notable clients in the poultry, biomass, and gasification industries such as Tyson, Cargill, EarthCare LLC and EcoRemedy
- Uzelac improves the environment by helping customers transform products potentially considered as waste into usable products, avoiding landfills
- Approximately 125 dryer systems globally



Architecture & Design Elements

Building Design

- Maximum building height of 39'6" at parapet to accommodate required hook height while concealing rooftop equipment
- All setbacks in compliance – exceed minimums
- 1 loading dock & 2 drive-in OH doors facing westward, away from intersection and residential

Exterior Materials

- Painted precast concrete
- Anodized aluminum window frame system with tinted low-e glazing
- Canopy condition above office entry
- Clerestory shop area windows



Plan Commission 6/20/24

- Report to the Plan Commission dated 6/11/24 thoroughly summarized Staff's plan review of the (i) comprehensive master plan amendment, (ii) rezoning, (iii) certified survey map, and (iv) site & building plan review
- Staff recommended approval of each item (i-iv) above
- Public comment from one resident related to truck volume and access, vegetation and lighting
- Plan Commission complimentary of elevations; urged Briohn to evaluate driveway location and landscaping
- All items tabled until the July 18, 2024 Plan Commission meeting



Public Comment

Received during Plan Commission Meeting held 6/20/24

Public Comment

1. Violation of Zoning Ordinance 17.0604
2. Addendum Item 1A - proposed heavy duty trucking entrance directly across from the only access to the Befus property.
3. Constant braking and acceleration noise along with idling and exhaust would negatively impact family health.
4. Addendum Item 1B - identifies increased risk of Class 8 Vehicles involved in accidents with reference to an article by [Clark, Smith & Sizemore LLC on 10/15/22](#).

Response - delivered to Staff 7/8/24

1. Interpretation of Ordinance 17.0604 is inaccurate. Access is 26 feet in width which aligns with the City of Pewaukee Code of ordinance 16.0604(b) for nonresidential districts. The 100' tapers shown are for entering and exiting the site in a safe manner and conforms to the Waukesha County requirements for county highway access. (Waukesha County Ordinance 15-54). Distance to intersections conform to Pewaukee Code of Ordinance section 17.0605.
2. The site plan has been voluntarily revised in direct response to this concern to accommodate the well-being of the surrounding community by relocating the proposed ingress/egress driveway to the east 165 feet.
3. The assumed truck traffic stated during the public hearing was incorrect; there will not be constant braking and acceleration noise, nor excessive idling or exhaust. Typical truck traffic is about 0-3 trucks per day with a maximum of 6 trucks per week. The majority of daily operational deliveries are received via FedEx, UPS, or Supplier passenger vans.
4. The article referenced during the public hearing discusses trucks traveling at 65mph. The posted speed limit on Lindsay Road in the vicinity of this development is 35mph. A new deceleration lane is included in design to safely accommodate truck braking.



Public Comment

Received during Plan Commission Meeting held 6/20/24

Public Comment

5. Addendum Item 1C - preservation of mature trees and traffic visibility.

6. Addendum Item 2A - Lindsay Road weight limit signage posted from Lindsay Road to Redford Boulevard.

Response

5. Regarding traffic visibility, the interpretation of Zoning Ordinance 17.0603 is inaccurate and does not apply to private driveways. The vision triangle requirement is applicable only to "space formed by any two existing or proposed intersecting street or alley right-of way (property) lines and a line joining points on such lines located a minimum of 15 feet from their intersection". (City of Pewaukee Ordinance 17.0603). In direct response to this concern, the site plan has been voluntarily revised to accommodate the well-being of the surrounding community by relocating the proposed ingress/egress driveway to the east 165 feet.

In response to preservation of existing trees, as noted on Exhibit B - Vegetation Disturbance, the revised plan clearly identifies an area of approximately 2,386 SF directly across from the Befus property driveway which will not be disturbed in connection with the proposed development.

6. Prior to and separate from this proposed development, the City reviewed and approved removal of the weight limit signage from Duplainville Road to Redford Boulevard along Lindsay Road which was depicted in Addendum 2A via Google Maps from September 2021. The additional photo exhibit included with Addendum 2A taken by the Befus family on June 17, 2024 is misleading as the posted signage refers to a weight limit on vehicles traveling west on Lindsay Road, west of the Redford Boulevard/Lindsay Road intersection. Truck traffic associated with this proposed development will not be traveling on Lindsay Road west of Redford Boulevard.



Public Comment

Received during Plan Commission Meeting held 6/20/24

Public Comment

7. Addendum Item 2B - Comparison to Klein Dickert (KD Glass)

8. Addendum Item 3A, 3B and 3C - existing vegetation

Response

7. The facility east of Wilhar Road, KD Glass, has direct access to Duplainville Road. While KD Glass and the proposed development are both approved uses within the M2 District, KD Glass has a greater amount of truck traffic, deeming the best fit for that project to have access from Duplainville Road. Duplainville Road was well maintained by the City of Pewaukee, unlike Wilhar Road which was rated a 2 out of 10 level of service at the time of the public hearing. Additionally, relocating the previous truck access to Wilhar Road forces truck traffic to align directly with the subdivision entrance to the south; this conflicts with Plan Commission commentary which supported the relocation of the KD Glass driveway to Duplainville Road to avoid the subdivision entrance. The approvals for KD Glass are unrelated and separate from this proposal which fully complies with all applicable City, County and State codes. Furthermore, if this approach of previous precedent regarding access is carried throughout all future development along Lindsay Road, the separate and unrelated 225,000 square foot distribution facility proposal presented to Plan Commission on April 18, 2024 due west of the proposed Uzelac facility, would not have any legal access.

8. The statement that existing vegetation is "not high quality and none of it should be saved; it is all scrubby shrubs and dead ash" was determined by a landscape professional.



Public Comment

Received during Plan Commission Meeting held 6/20/24

Public Comment

9. Addendum Items 3D, 3E and 3F - KD Glass vegetation
10. Addendum Items 3E, 3F, 4A and 4B - KD Glass light pollution
11. Addendum 5A - Well Water Contamination and negative impact on well

Response

9. This proposal is unrelated and separate from the existing and previously approved KD Glass facility. The proposed landscape plan was prepared by a landscape professional per the current City of Pewaukee ordinance. As stated during the Plan Commission meeting, the proposed elevations are superior to the surrounding comparable business and will not negatively impact property value or the health and well-being of the community.
10. The landscape plan and lighting plan meet, or exceed, the current City of Pewaukee ordinances. As noted on the exterior photometrics plan, the footcandle levels do not exceed 0.0 at the property line, unless specific to pedestrian safety at the ingress/egress drive which has been relocated east to avoid potential light pollution at the Befus property driveway.
11. Attached Exhibit A - Well Separation Setbacks shows the minimum setback requires from the infiltration basin and stormwater detention pond per WDNR NR812.08(4) Table A. Stormwater detention basins require a minimum separation of 25 feet to well and infiltration basins require a minimum of 100 feet. The aforementioned offsets have been shown on the exhibit depicting that the adjacent properties are all located outside these setback limits. Any construction activities related to this development will not negatively impact adjacent properties.



Public Comment

Received during Plan Commission Meeting held 6/20/24

Public Comment

12. Section 7.02(a) public nuisance definition provided.

Response

12. It is important to note the intention of the development is not to and does not conflict with the definition of a public nuisance.

Briohn Building Corporation is a reputable, family-owned business based in Brookfield, WI with a long-standing, successful working relationship with the City of Pewaukee. Briohn is proud to partner with another local, family-owned business such as Uzelac Industries. Uzelac has a proven track record and is an honorable, prosperous business which is affording the company an opportunity to expand within the Greater Milwaukee area, specifically the City of Pewaukee, with a sizable, long-term investment in the community that will increase the tax base and provide additional employment opportunities.



Public Comment

Received via email from the City on 7/16/24

Public Comment

- Letter from Stacie and Paul Krueger
 - Truck entrance/exit be moved East to Wilhar Road
 - Work with landowner to the West to develop an easement for trucking entrance/exit to be moved further West on Lindsay Road
 - Restated comments from Mr. and Mrs. Befus
 - Light pollution/headlights
 - Screening
 - Lindsay Road
- Petition from Monuj Nath and Suzanne Harding on behalf of the Victoria Station HOA (43 signatures, 28 homes)
 - Increased traffic/congestion
 - Safety risks
 - Noise and air pollution
 - Negative impact on property values
 - Quality of life
 - Requests:
 - New road from Hwy F, Commerce Center Dr, Duplainville Rd
 - Traffic impact study
 - Community Consultation

Response – presented at 7/18/24 PC Meeting

- Letter from Stacie and Paul Krueger
 - Wilhar Road was evaluated. In present condition, it is rated 2 out of 10, per City Engineer. The cost to improve Wilhar Road (approx. \$1.2M or 20% of project costs) far exceeds the value added to the community when there is legal access on Lindsay Road.
 - Briohn/Uzelac do not control property to the west. Proposal and timeline for the future project to the west not compatible with this proposal. The adjacent developer is unwilling to coordinate with us.
 - Uzelac operates first shift 7:30a – 4:30p; headlights are not an issue.
 - Ample landscape included on the proposed plan.
 - City is prepared for Lindsay Road to be utilized by light industrial users; previously removed weight limit restrictions.
- Petition from Monuj Nath and Suzanne Harding on behalf of the Victoria Station HOA
 - 0-3 trucks per day with a maximum of 6 per week
 - Nominal truck traffic – will not significantly decrease safety or increase noise or air pollution.
 - Does not negatively impact property values or quality of life
 - Citizen proposed access from Hwy F, Commerce Center Dr, or Duplainville Rd not feasible.
 - TIA not required; nominal traffic generated by Uzealc.



Klein Dickert Approvals

Unrelated to the Uzelac proposal, but referred to by residents

April 18, 2019 PC Meeting Minutes

5. Discussion and Action and Public Hearing Regarding an Amendment to the Comprehensive Master Plan to Change the Year 2050 Land Use/Transportation Plan for Klein Dickert for Property Located at the Northwest Corner of Duplainville Road and Lindsay Road From Medium Density Residential to Manufacturing/Fabrication/Warehousing (PWC 0866997003)

Mr. Fuchs stated this was a proposal for a 54,355 square foot industrial building and that staff was supportive of the rezoning, comprehensive plan amendment, CSM and site and building plans. He noted the CSM had some technical corrections that needed to be made.

Regarding the site and building plans, there would be access from Duplainville Road with a 40 foot wide entrance drive. Mr. Fuchs pointed out two conditions related to the landscape plans and the lighting plans. The applicant would like to submit the plans prior to receiving an occupancy permit instead of prior to receiving a building permit. They would also like to have the landscape plan approved by staff instead of coming back to the Plan Commission for approval.

Chairman Bierce opened the public hearing for the comprehensive plan amendment at 7:14pm. No one wished to speak on the item and the public hearing was closed at 7:14pm.

Mr. Fuchs gave an overview of the comprehensive plan amendment.

Chairman Bierce then re-opened the public hearing at 7:17pm.

Suzanne Harding (N45 W22729 Charlotte Way) questioned what the building would look like because she was concerned about the adjacent backyards in the subdivision and the children. She wanted to know what she would be looking at. She was also concerned about the traffic.

Jim Longley, President of Klein Dickert, stated the density they were taking on the land was small for the overall property and they wanted to keep three acres to help with the greenspace. The idea is to keep the landscaping and keep the arborvitae trees.

Mr. Longley also added that they are not allowed to truck on Lindsay Road or Wilhar Road and it will strictly be on Duplainville Road. They will only have a few semis a day.

Paul Krueger (N46 W22979 Charlotte Way) questioned what happens when the roads meet the weight requirements. Mr. Weigel stated it was destined to become a trucking route at some point. Mr. Krueger also questioned if another building would be built on the lot to the south. The applicants noted that if they expand, it will be to the north.

Chairman Bierce then closed the public hearing at 7:25pm.

A motion was made and seconded (B. Bergman, K. Salituro) to amend the Comprehensive Master Plan for Klein Dickert Glass. Motion Passed: 4-For, 0-Against.



Klein Dickert Approvals

Unrelated to the Uzelac proposal, but referred to by residents

July 18, 2019 PC Meeting Minutes

3. Discussion and Action Regarding the Landscape and Lighting Plans for Klein Dickert Glass for Their New Manufacturing and Office Facility Located at W227 N4755 Duplainville Road (PWC 0866997001, PWC 0866997002, PWC 0866997003)

Mr. Fuchs stated this was previously approved by the Plan Commission with the condition that the lighting and landscape plan return for review. He noted the contingencies were that the landscaping within the 30 foot buffer easement be maintained in perpetuity, the applicant would have to revise the plan to show a 25 foot vision triangle at the corner of Duplainville Road and Lindsay Road and any plantings that would fall in that be relocated on the site, and the property owner must enter into a right-of-way occupancy agreement to keep and maintain any of the existing landscaping within the City right-of-way.

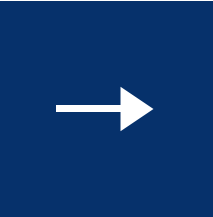
Mr. Fuchs also noted that the lack of plantings in the southwest corner of the site was based on a staff recommendation because there is a drainage easement in that area.

A motion was made and seconded (T. Janka, S. Sullivan) to approve the landscape and lighting plans with staff recommended conditions. Motion Passed: 5-For, 0-Against.



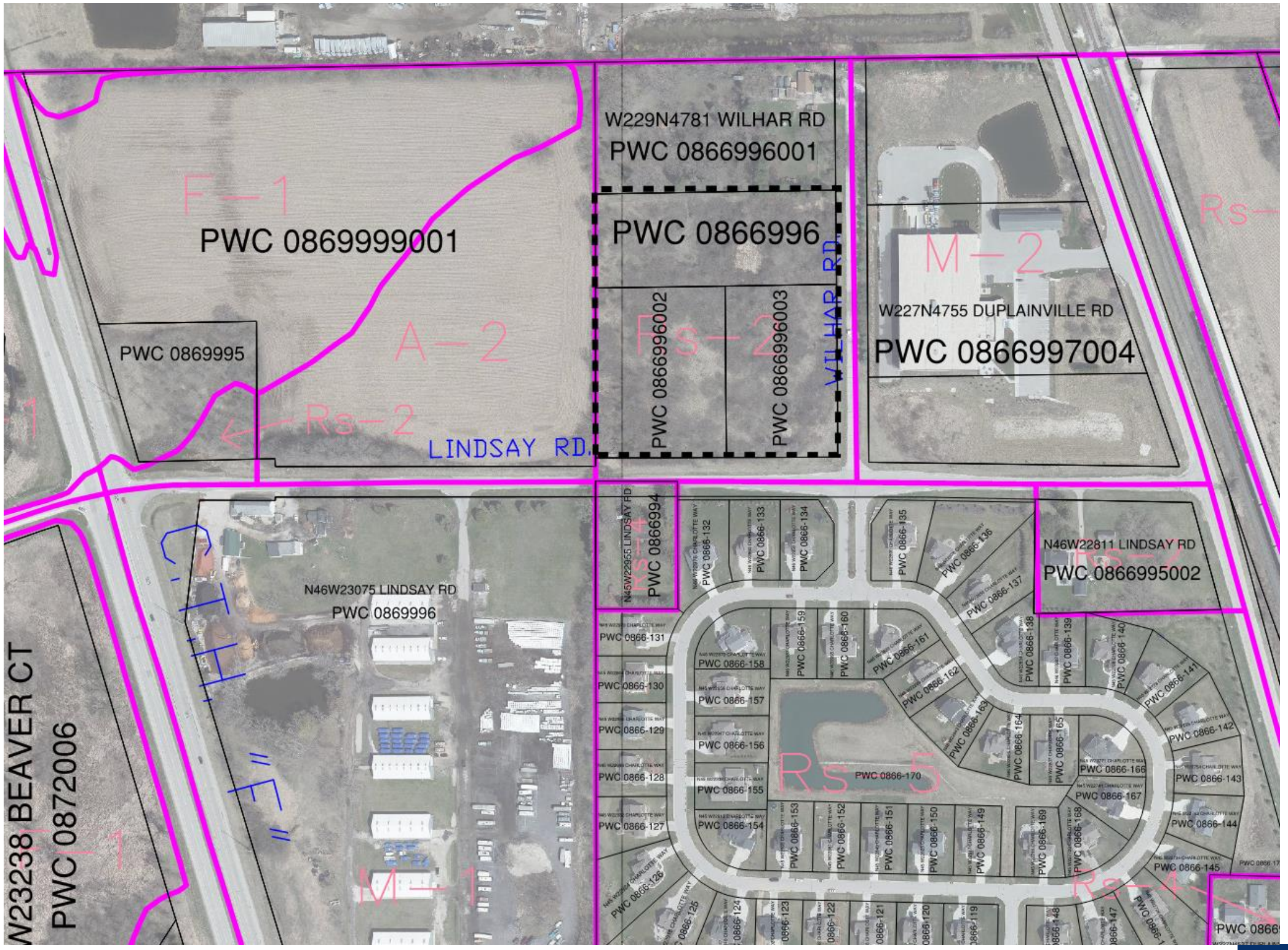
Victoria Station Petition

- 43 signatures / 28 homes
- Victoria Station comprised of 166 lots
- 16.9% participation
- Sunder Creek and Valley Brook additional 126 lots



Zoning

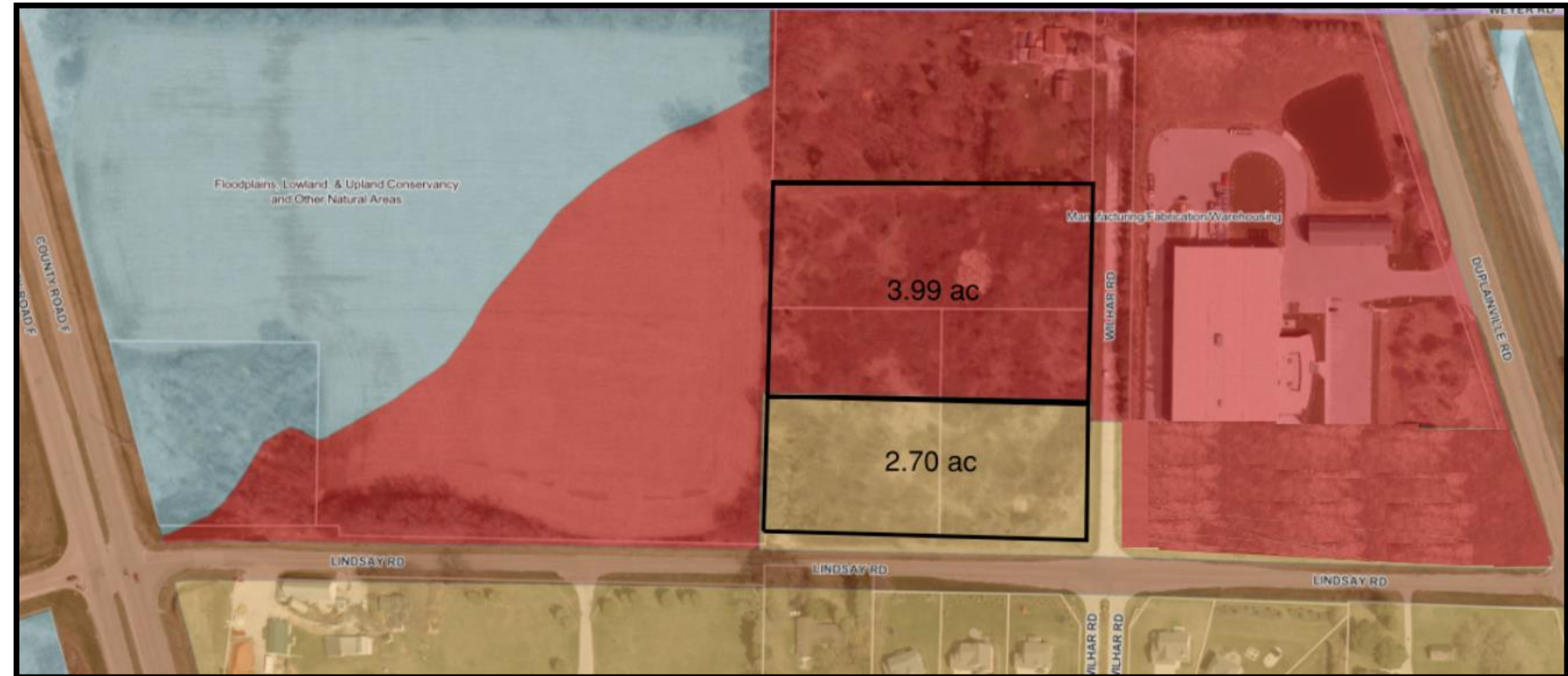
- North:
 - Rs-2: Single-family Residential District (Pewaukee)
 - Industrial (Lisbon)
- East:
 - M-2: Limited Industrial District
- South:
 - Rs-2, Rs-4, Rs-5: Single-family Residential District
 - M-1: General Wholesale Business/Warehouse District
- West:
 - A-2: Agricultural District
 - F-1: Floodplain District
 - Rs-2: Single-family Residential District



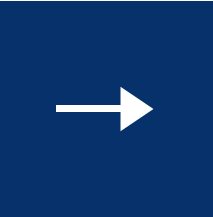
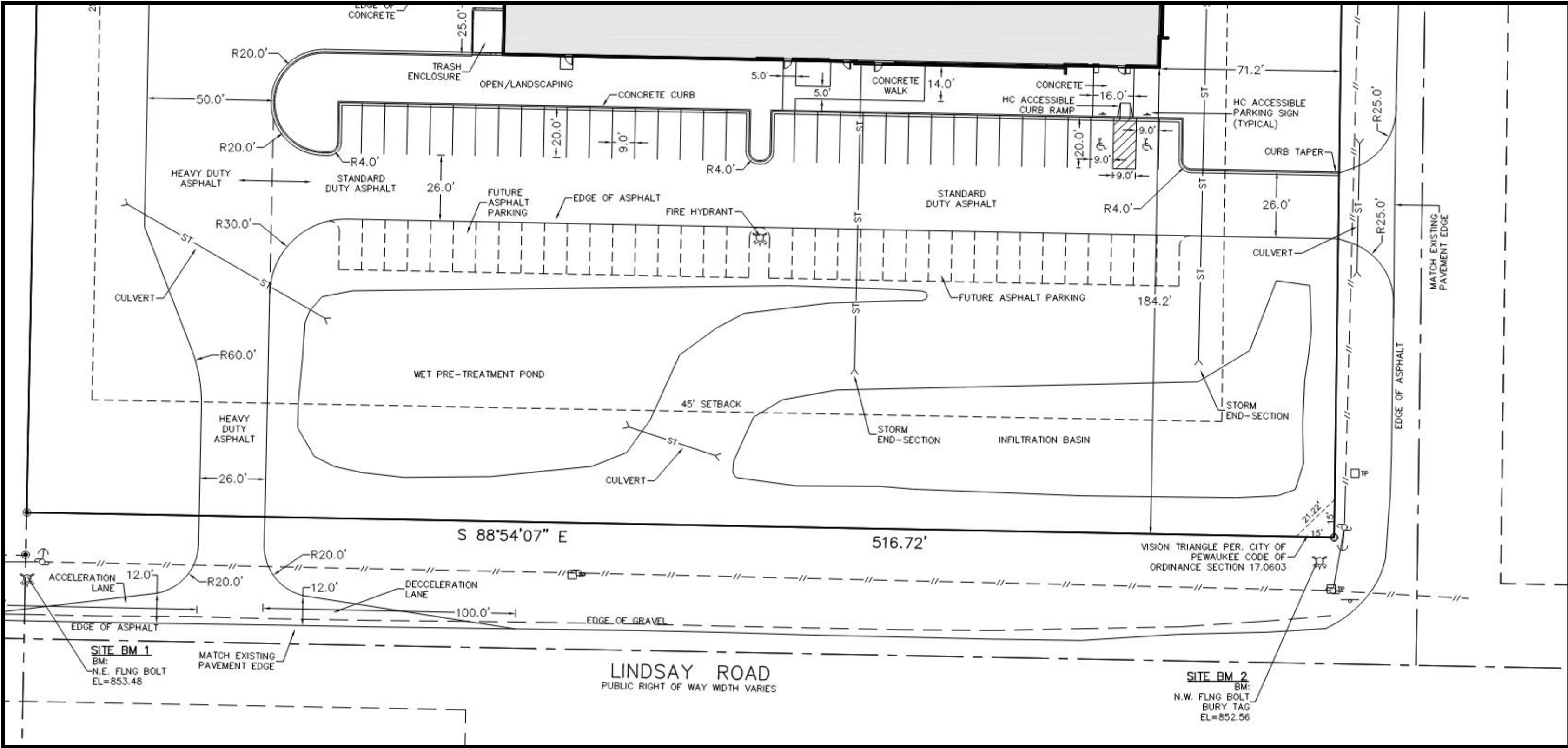
Future Land Use

- 6.69 acres - total area
 - 3.99 acres - manufacturing/fabrication/warehousing
 - 2.70 acres - medium density residential
- North:
 - Manufacturing/fabrication/warehousing
- East:
 - Manufacturing/fabrication/warehousing
- South:
 - Medium density residential
- West:
 - Manufacturing/fabrication/warehousing

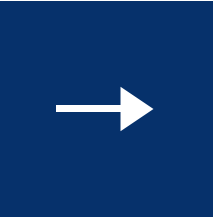
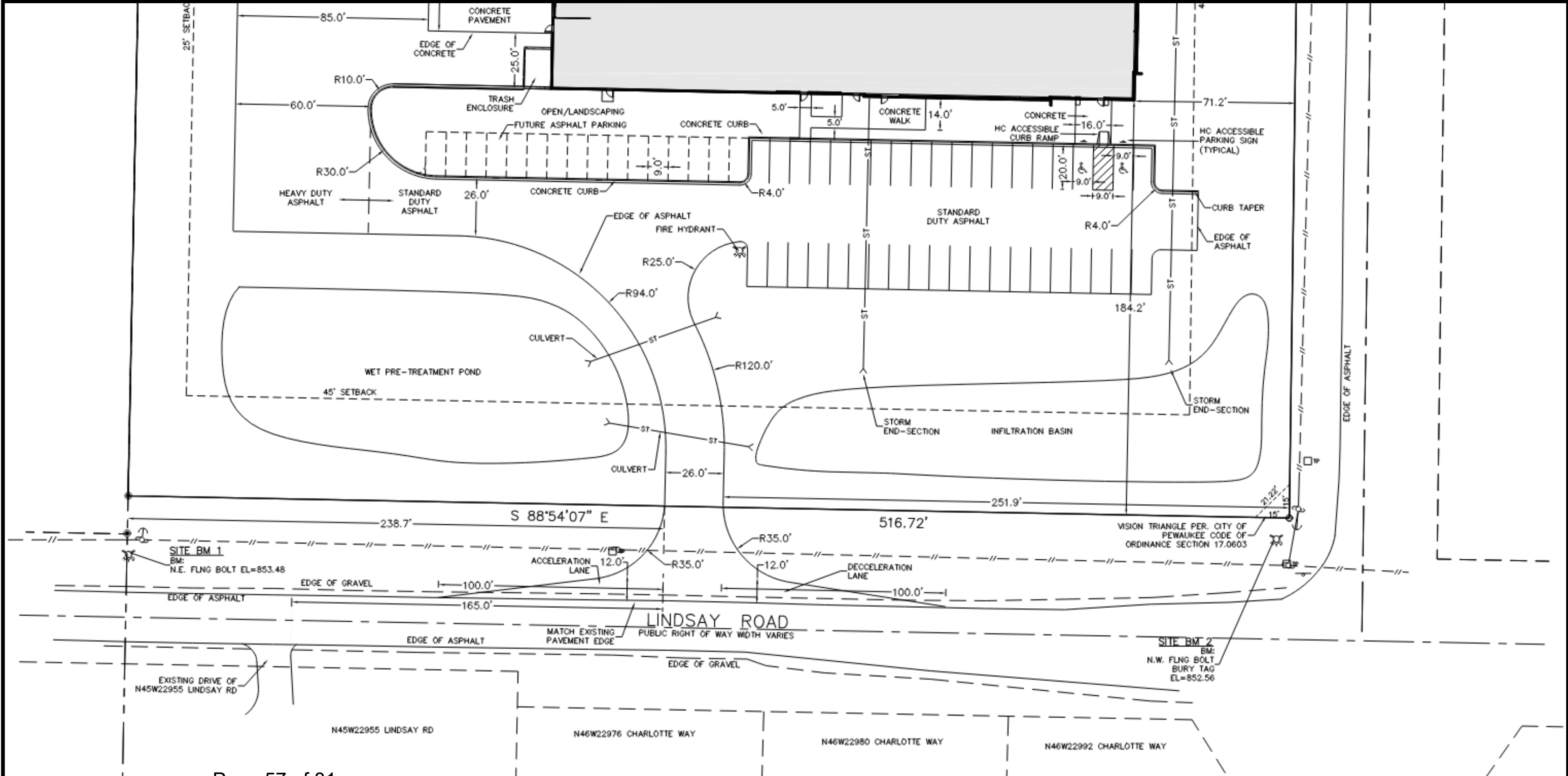
KD Glass amended the FLU in 2019



Access Plan - 6/20/24

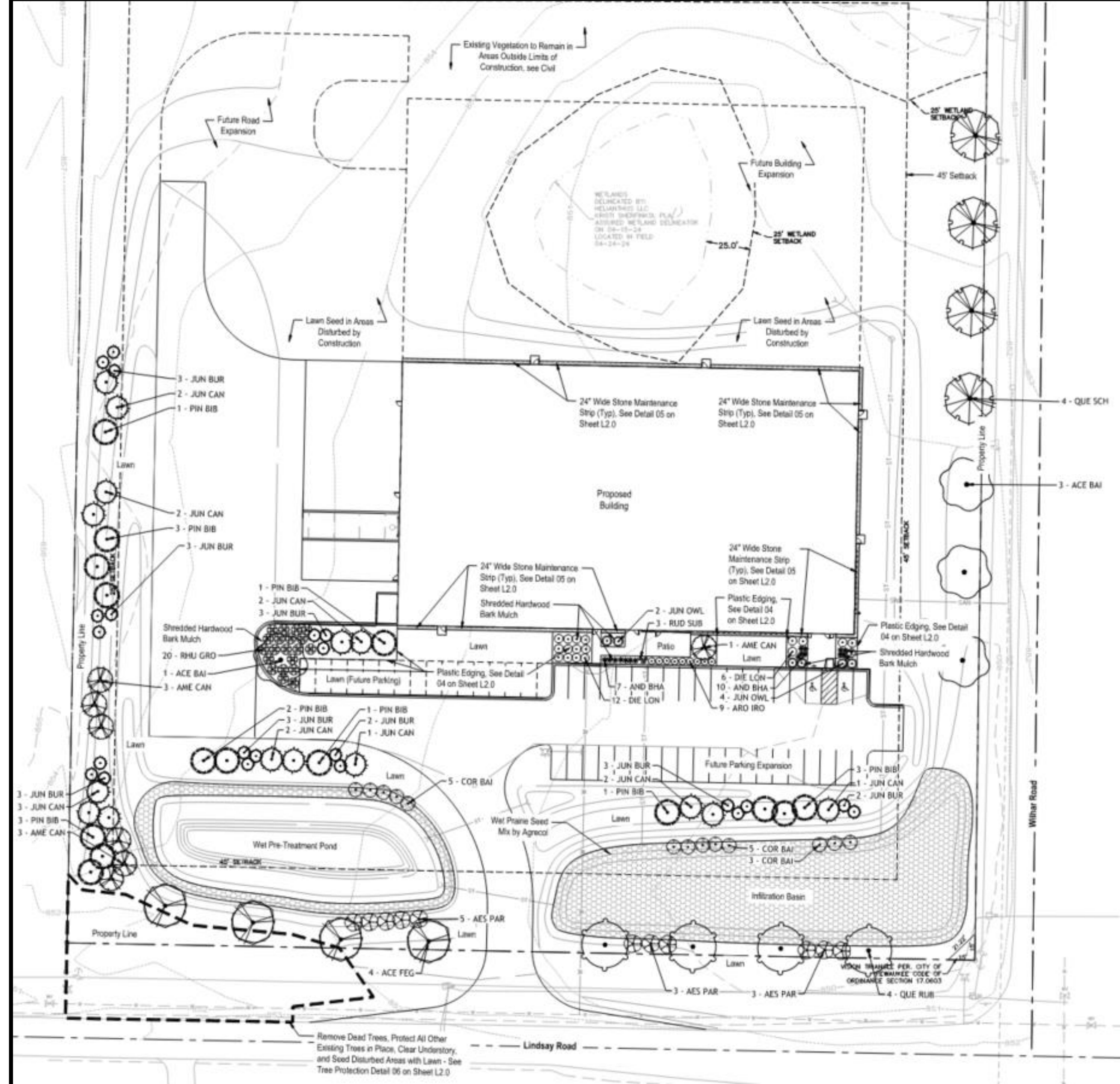


Access Plan - 7/18/24



Landscape Plan

- Open Space: 4.646 acres / 69% of site
 - Considering addition, 2.952 acres / 44% of site
- Preserved all existing trees in SW region, unless dead
- Appropriate screening along Lindsay Road while maintaining safe visibility for all residents

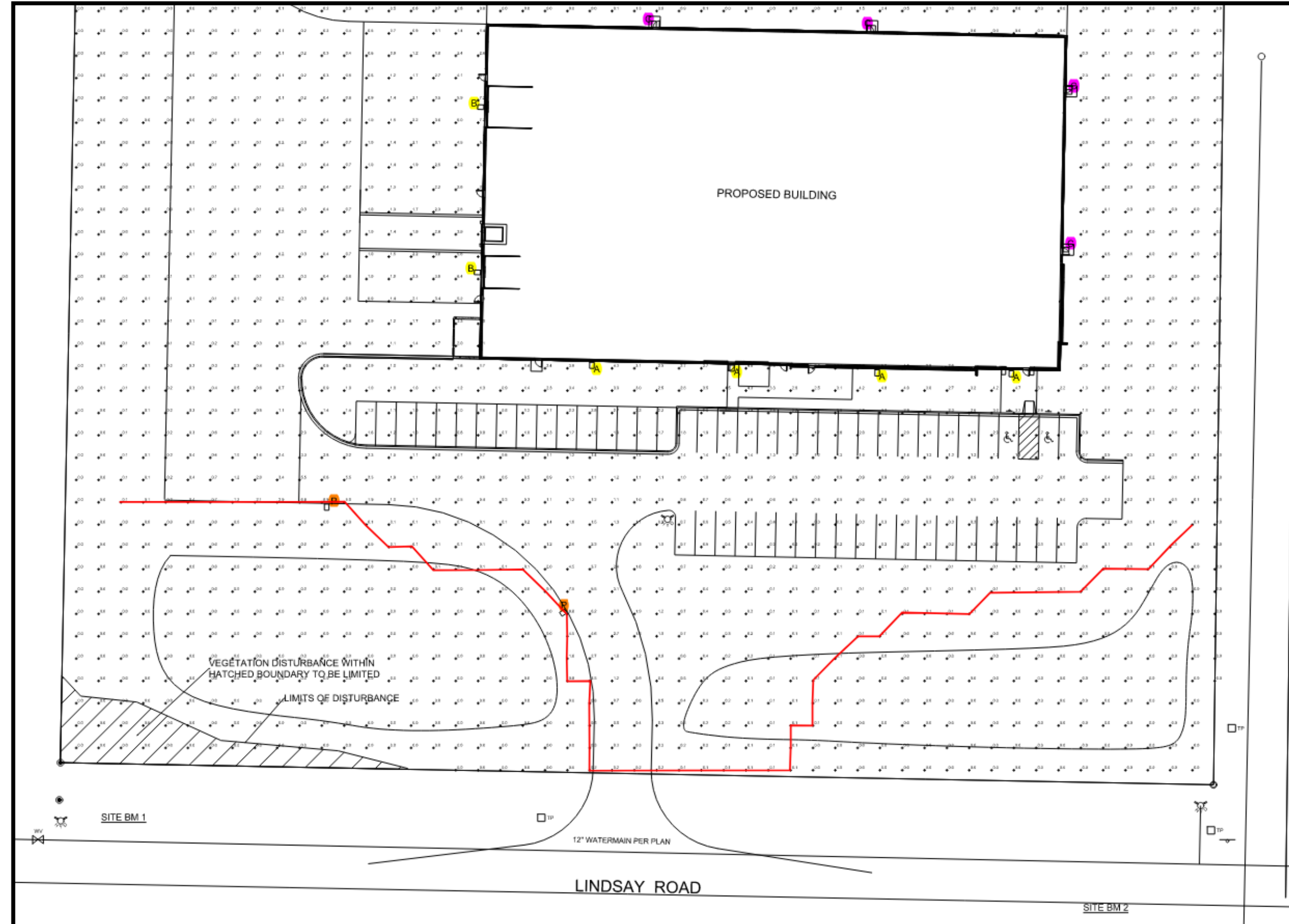


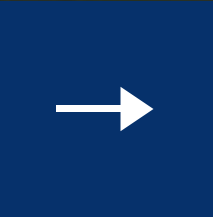
Lighting Plan

- Zero light spillage over property line
- All fixtures are shielded and full cut-off

Schedule						
Symbol	Label	QTY	Manufacturer	Catalog Number	Lumens per Fixture	Wattage
	A	4	RAB Lighting Inc.	A17-4T100N Wall mounted at 24' 4000K color temperature	13620	97.56
	B	2	RAB Lighting Inc.	A17-4T150N Wall mounted at 24' 4000K color temperature	21204	149.17
	C	4	RAB Lighting Inc.	WPLED10N Wall mounted at 10' 4000K color temperature	1297	12.1
	P	2	RAB Lighting Inc.	A17-4T100N 17" Pole on a 2" base 4000K color temperature With back light shield	13620	97.56

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.4 fc	0.9 fc	0.0 fc	N/A	N/A







Consideration of Approval for Uzelac Industries, Inc.

- Rezone from Rs-2 to M-2 (limited industrial)
- Comprehensive Plan Amendment from Medium Density Residential to Manufacturing/Fabrication/Warehouse
- CSM to combine parcels
- Site plan and architectural approvals
- Staff recommendation for approval at 6/20/24 and 7/18/24 Plan Commission meetings
- Voluntarily revised site plan to accommodate public comments
- Voluntarily preserved and increased landscaping along Lindsay Road
- Meet/exceed all City, County, and State regulations



PLAN COMMISSION: UZELAC INDUSTRIES, INC.

NW Quadrant of Lindsay Road and Wilhar Road
Thursday, July 18, 2024





BRIOHN BUILDING CORPORATION

Briohn Building Corporation
c/o Caitlin LaJoie
3885 N Brookfield Road
Brookfield, WI 53045

July 8, 2024

City of Pewaukee
Office of the Planner and Community Development Director
W240N3065 Pewaukee Road
Pewaukee, WI 53072

RE: Uzelac Industries, Inc
Response to PC Meeting 6/20/24

Nick & Staff,

Thank you for reviewing and providing feedback on the proposed Uzelac Industries new facility. In response to the Plan Commission meeting held on June 20, 2024, we appreciate the opportunity to respond to public comment and Commissioner discussion. Formal revisions and resubmittal to the items tabled at the aforementioned meeting are in progress and will be submitted under separate cover once complete. Below please find [responses in blue](#) to the public hearing comments. We look forward to continued collaboration with Staff and a positive recommendation in advance of the July 18, 2024, Plan Commission meeting.

Public Comments: [Received during the June 20, 2024 Plan Commission Meeting.]

During the public hearing, the following items were presented:

Heavy Duty Trucking Entrance

1. Violation of Zoning Ordinance 17.0604
RESPONSE: Interpretation of Ordinance 17.0604 is inaccurate. Access is 26 feet in width which aligns with the City of Pewaukee Code of ordinance 16.0604(b) for nonresidential districts. The 100' tapers shown are for entering and exiting the site in a safe manner and conforms to the Waukesha County requirements for county highway access. (Waukesha County Ordinance 15-54). Distance to intersections conform to Pewaukee Code of Ordinance section 17.0605.

DESIGN / BUILD
CONSTRUCTION

ARCHITECTURAL
DESIGN

DEVELOPMENT

PROPERTY
MANAGEMENT

2. Addendum Item 1A – proposed heavy duty trucking entrance directly across from the only access to the Befus property:
RESPONSE: The site plan has been voluntarily revised in direct response to this concern to accommodate the well-being of the surrounding community by relocating the proposed ingress/egress driveway to the east 165 feet.
3. Constant braking and acceleration noise along with idling and exhaust would negatively impact family health.
RESPONSE: The assumed truck traffic stated during the public hearing was incorrect; there will not be constant braking and acceleration noise, nor excessive idling or exhaust. Typical truck traffic is about 0-3 trucks per day with a maximum of 6 trucks per week. The majority of daily operational deliveries are received via FedEx, UPS, or Supplier passenger vans.
4. Addendum Item 1B – identifies increased risk of Class 8 Vehicles involved in accidents with reference to an article by [Clark, Smith & Sizemore LLC on 10/15/22](#).
RESPONSE: The article referenced during the public hearing discusses trucks traveling at 65mph. The posted speed limit on Lindsay Road in the vicinity of this development is 35mph. A new deceleration lane is included in design to safely accommodate truck braking.
5. Addendum Item 1C – preservation of mature trees and traffic visibility
RESPONSE: Regarding traffic visibility, the interpretation of Zoning Ordinance 17.0603 is inaccurate and does not apply to private driveways. The vision triangle requirement is applicable only to “space formed by any two existing or proposed intersecting street or alley right-of way (property) lines and a line joining points on such lines located a minimum of 15 feet from their intersection”. (City of Pewaukee Ordinance 17.0603). In direct response to this concern, the site plan has been voluntarily revised to accommodate the well-being of the surrounding community by relocating the proposed ingress/egress driveway to the east 165 feet.

In response to preservation of existing trees, as noted on Exhibit B – Vegetation Disturbance, the revised plan clearly identifies an area of approximately 2,386 SF directly across from the Befus property driveway which will not be disturbed in connection with the proposed development.

Weight Restrictions

6. Addendum Item 2A – Lindsay Road weight limit signage posted from Lindsay Road to Redford Boulevard.
RESPONSE: Prior to and separate from this proposed development, the City reviewed and approved removal of the weight limit signage from Duplainville

Road to Redford Boulevard along Lindsay Road which was depicted in Addendum 2A via Google Maps from September 2021. The additional photo exhibit included with Addendum 2A taken by the Befus family on June 17, 2024 is misleading as the posted signage refers to a weight limit on vehicles traveling west on Lindsay Road, west of the Redford Boulevard/Lindsay Road intersection. Truck traffic associated with this proposed development will not be traveling on Lindsay Road west of Redford Boulevard.

7. Addendum Item 2B – Comparison to Klein Dickert (KD Glass)

RESPONSE: The facility east of Wilhar Road, KD Glass, has direct access to Duplainville Road. While KD Glass and the proposed development are both approved uses within the M2 District, KD Glass has a greater amount of truck traffic, deeming the best fit for that project to have access from Duplainville Road. Duplainville Road was well maintained by the City of Pewaukee, unlike Wilhar Road which was rated a 2 out of 10 level of service at the time of the public hearing. Additionally, relocating the previous truck access to Wilhar Road forces truck traffic to align directly with the subdivision entrance to the south; this conflicts with Plan Commission commentary which supported the relocation of the KD Glass driveway to Duplainville Road to avoid the subdivision entrance. The approvals for KD Glass are unrelated and separate from this proposal which fully complies with all applicable City, County and State codes. Furthermore, if this approach of previous precedent regarding access is carried throughout all future development along Lindsay Road, the separate and unrelated 225,000 square foot distribution facility proposal presented to Plan Commission on April 18, 2024 due west of the proposed Uzelac facility, would not have any legal access.

Vegetation

8. Addendum Item 3A, 3B and 3C – existing vegetation

RESPONSE: The statement that existing vegetation is “not high quality and none of it should be saved; it is all scrubby shrubs and dead ash” was determined by a landscape professional.

9. Addendum Items 3D, 3E and 3F – KD Glass vegetation

RESPONSE: This proposal is unrelated and separate from the existing and previously approved KD Glass facility. The proposed landscape plan was prepared by a landscape professional per the current City of Pewaukee ordinance. As stated during the Plan Commission meeting, the proposed elevations are superior to the surrounding comparable business and will not negatively impact property value or the health and well-being of the community.

Lighting

10. Addendum Items 3E, 3F, 4A and 4B – KD Glass light pollution

RESPONSE: The landscape plan and lighting plan meet, or exceed, the current City of Pewaukee ordinances. As noted on the exterior photometrics plan, the footcandle levels do not exceed 0.0 at the property line, unless specific to pedestrian safety at the ingress/egress drive which has been relocated east to avoid potential light pollution at the Befus property driveway.

Well Water Contamination

11. Addendum 5A - Well Water Contamination and negative impact on well

RESPONSE: Attached Exhibit A – Well Separation Setbacks shows the minimum setback requires from the infiltration basin and stormwater detention pond per WDNR NR812.08(4) Table A. Stormwater detention basins require a minimum separation of 25 feet to well and infiltration basins require a minimum of 100 feet. The aforementioned offsets have been shown on the exhibit depicting that the adjacent properties are all located outside these setback limits. Any construction activities related to this development will not negatively impact adjacent properties.

Public Nuisance

12. Section 7.02(a) public nuisance definition provided.

RESPONSE: It is important to note the intention of the development is not to and does not conflict with the definition of a public nuisance.

Briohn Building Corporation is a reputable, family-owned business based in Brookfield, WI with a long-standing, successful working relationship with the City of Pewaukee. Briohn is proud to partner with another local, family-owned business such as Uzelac Industries. Uzelac has a proven track record and is an honorable, prosperous business which is affording the company an opportunity to expand within the Greater Milwaukee area, specifically the City of Pewaukee, with a sizable, long-term investment in the community that will increase the tax base and provide additional employment opportunities.

Enclosed please find a copy of the Befus petition presented on June 20, 2024, along with the revised site plan dated 6/25/24 and newly created Exhibits A – Well Separation Setbacks, B – Vegetation Disturbance, and WB-67 Truck Turning Exhibit.

We respectfully listened to the public and Plan Commissioner comments which are reflected in the revised site plan proposal, expected to be on the July 18, 2024, Plan Commission agenda. Please do not hesitate to contact me with additional questions. We look forward to collaborating with the City of Pewaukee on this proposed facility.

Thank you,



Caitlin LaJoie
Director of Land Development
clajoie@briohn.com
262-307-8792

Dear Plan Commission,

We, Paul and Stacie Krueger of N46W22979 Charlotte Way, write this as concerned citizens from the Victoria Station Neighborhood regarding the Uzelac Industries proposal (Agenda Items 2 thru 5 on the July 18th 2024 Plan Commission Meeting). The Uzelac proposal will greatly affect our family's well-being and ability to peacefully enjoy our home. The new proposed location of the entrance/exit of Uzelac is directly aligned with the front of our home (Exhibit A).

During the plan commission meeting on June 20th, 2024, this commission suggested two alternative options for a trucking entrance/exit to Uzelac Industries.

1. Trucking entrance/exit be moved East to Wilhar Road.
2. Work with landowner to the West to develop an easement for trucking entrance/exit to be moved further West on Lindsay Road.

However, Uzelac decided to ignore this commission's suggestions and moved the entrance East on Lindsay Road. Instead of the Uzelac trucking entrance/exit being located in front of our neighbors, Jonathan and Brittnay Befus, on N45W22955 Lindsay Road, it is now located across from the Victoria Station neighborhood. This new entrance/exit location not only fails to address the concerns brought by the Befus' but also creates a nuisance for additional neighbors in the Victoria Station neighborhood (Exhibits A, B, C & D). The revised narrative submitted to this commission by Uzelac mentions being interested in making a long-term investment within the city. However, when Uzelac had the opportunity to truly invest in the city and improve Wilhar road for their trucking entrance/exit, as suggested by this commission on June 20th, Uzelac instead not only ignored that suggestion, but also moved their vehicular entrance from Wilhar road and combined it with their trucking entrance on Lindsay Road, creating additional issues. Additionally, this action looks like an attempt by Uzelac to completely escape the cost of improving Wilhar road under the guise of accommodating the well-being of the surrounding community. Additionally, there have been no attempts by Uzelac to reach out the Victoria Station HOA about the placement of their entrance/exit to truly accommodate the well-being of the surrounding community, as Uzelac has stated.

Our neighbors, the Befus', brought multiple concerns to this plan commission on June 20th, 2024, that have not been completely addressed by the revised Uzelac proposal. The below comments and concerns remain:

1. Entrance extends 100' from residential driveway right-of-way per zoning ordinance 17.0604
2. Endangered comfort and health of neighborhood due to truck traffic looking at turn into Uzelac and not seeing traffic/pedestrians exiting residential driveway
3. Does not comply with vision clearance triangle per ordinance 17.0603
4. Residential well water contamination
5. Public nuisance per chapter 07 of Pewaukee municipal code as it renders the public insecure in the use of property

Uzelac's proposed building has four 13,000 lumen lights positioned 24ft high on the South facing exterior. One of these lights is directly aligned with the entrance/exit from Lindsay Road. In addition, another 13,000-lumen light is positioned approximately 80 ft north of Lindsay Road on their entrance/exit driveway. Due to the position of the newly proposed entrance/exit, plantings are unable to

be placed on Uzelac's property to block the light pollution from reaching the windows of homes in the Victoria Station neighborhood (Exhibits A, B, C & D). This is in addition to headlights of up to 39 vehicles per day and 3 trucks per week exiting the now combined entrance/exit onto Lindsay Road. Furthermore, most proposed plantings on the South property line along Lindsay Road are deciduous trees, such as Maples and Oaks, giving little screening between the parking area/loading area and homes in the Victoria Station neighborhood as requested by the Office of the Planner and Community Development Director on May 21, 2024. All proposed plantings are approximately 4' tall at the time of planting and will not reach the height needed to properly screen the property lights and parking/loading area.

For example, KD Glass was required to screen their loading dock with plantings in their Report to the Plan Commission, dated April 18th 2019. However, after 5 years, plantings still fail to adequately screen the loading dock and area being used for storage from backyards in the Victoria Station neighborhood (Exhibit E). Additionally, the lights on the building of KD Glass are not adequately screened.

It was mentioned during the plan commission meeting on June 20th, 2024, KD Glass was made to have their entrance/exit on Duplainville Road. Furthermore, during plan commission meetings for the KD glass building on April 18th 2019, the commission required KD Glass to have a Northbound passing lane on Duplainville Road (Exhibit F). Uzelac should be held to the same requirements and be required to have an Eastbound passing lane, however as shown in Exhibit C, there's inadequate space for this as it would infringe on the property line of our neighbors at N45W22955 Lindsay Road. The entrance to the Victoria Station neighborhood has a 150' deceleration lane while Uzelac only has a 100' deceleration lane. Trucking traffic should have as long, if not longer, of a deceleration lane as residential vehicular traffic to reduce chances of engine braking. It was also mentioned during the plan commission meeting on June 20th, 2024 the latest traffic study for Lindsay Road was done in 2015. Most homes in the Victoria Station neighborhood nearest to Lindsay Road were not built until 2016 and only recently has trucking traffic been permitted on this section of Lindsay Road. This commission should not allow additional traffic onto Lindsay Road without a new traffic study.

As shown in Exhibit D, Lindsay Road's condition is already deteriorating with current traffic. The city engineer commented in the Plan Commission meeting on April 18th 2019, the surface of Lindsay Road is not designed for trucking traffic. The additional tracking traffic by Uzelac will quickly require the repaving of Lindsay Road and likely close the road to thru traffic, causing a situation similar to when Westbound left turns were closed from Lindsay Road onto Hwy F in 2022.

We understand this vacant land will eventually be developed; however additional M-2 industrial property is not the appropriate development. We were concerned when KD Glass was proposed but were assured adequate screening would be provided during their plan commission meeting in 2019. However, this was not true. We were assured trucking traffic would not be allowed on this section of Lindsay Road. However, this was not true. The Uzelac proposal will be far more difficult to adequately screen from the yards and windows of the neighboring community. Approving Uzelac's proposal will further deteriorate Lindsay Road and exacerbated the traffic and accidents at the intersection of Lindsay Road and Hwy F. This commission suggested two alternative options for a trucking entrance/exit to Uzelac during the last plan commission meeting and Uzelac decided to ignore both. Our neighbors voiced multiple concerns during the last plan commission meeting and Uzelac ignored most. These are not the actions of a business or neighbor we want in our community. Since Uzelac industries is unwilling or unable to fully address these concerns, we ask the plan commission for a motion to deny amending

the master plan of properties bearing Tax Key Nos. 0866996002 and 0866996003 from Medium Density Residential to Manufacturing/Fabrication Warehousing. Motion to deny the rezoning from Rs-2 Single-Family Residential District to M-2 Limited Industrial District for properties bearing Tax Key Nos. 086696, 0866996002, and 0866996003. Motion to deny the Certified Survey Map to combine the three existing parcels into a single 6.6955-acre lot (Tax Key Nos. 0866996, 0866996002, and 0866996003). Motion to deny the proposed building and site development plans submitted by Briohn Building Corporation for the property located approximately W229N4781 Wilhar Road (Tax Key Nos. 0866996, 0866996002, and 0866996003).

Thank you, Plan Commission, for listening to our concerns on the proposed Uzelac development.

Sincerely,

A handwritten signature in black ink, appearing to read "Paul Krueger". The signature is fluid and cursive, with a long horizontal stroke at the end.

Paul Krueger

A handwritten signature in black ink, appearing to read "Stacie Krueger". The signature is cursive and stylized, with the first letter 'S' being particularly large and prominent.

Stacie Krueger



Exhibit A (Proposed Uzelac Entrance from N46W22979 Charlotte Way)



Exhibit B (Proposed Uzelac Entrance when Exiting onto Lindsay Road)



Exhibit C (Proposed Uzelac Entrance on Lindsay Road Eastbound)



Exhibit D (Proposed Uzelac Entrance on Lindsay Road Westbound)



Exhibit E (KD Glass Loading Dock & Storage from N46W22992 Charlotte Way)



Exhibit F (KD Glass Entrance on Duplainville Road Northbound)

To:

Date: 16th July, 2024

Planning Department, City of Pewaukee

W240N3065 Pewaukee Road, Pewaukee, WI 53072

Subject: Opposition to the proposed Truck Entrance for the New Industrial Complex in context of "Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee for Uzelac Industries, Inc. for Property Located at the Northwest Corner of Lindsay Road and Wilhar Road from Medium Density Residential (6,500 Sq. Ft. - 1/2 AC. / D.U.) to Manufacturing/Fabrication/Warehousing (PWC 0866996002, PWC 0866996003)"

Respected City Council Members,

We, the undersigned residents of Victoria Station in Pewaukee, respectfully submit this petition to express our strong opposition to the proposed truck entrance for the new industrial complex being planned at Northwest Corner of Lindsay Road and Wilhar Road. The current proposal places the truck entrance directly in front of the main entry to our neighbourhood, and we believe this poses significant concerns and negative impacts on our community.

Our primary concerns are as follows:

1. Increased Traffic and Congestion:

- The proposed truck entrance will significantly increase traffic congestion at the neighbourhood entry, leading to delays and frustration for residents trying to enter or exit the neighbourhood.
- The added traffic from commercial trucks will exacerbate peak hour congestion, making daily commutes and school drop-offs/pick-ups more challenging.

2. Safety Risks:

- The presence of large commercial trucks poses a safety risk to pedestrians, cyclists, and drivers, particularly to children and elderly residents who frequently use the neighbourhood entry.
- Increased truck traffic raises the likelihood of accidents, endangering the lives and well-being of our community members.

3. Noise and Air Pollution:

- The constant flow of commercial trucks will result in increased noise levels, disrupting the peace and quiet of our residential area.
- Truck emissions contribute to air pollution, negatively impacting the health of our residents, especially those with respiratory conditions.

4. Negative Impact on Property Values:

- The presence of a truck entrance at the neighbourhood entry can lead to a decline in property values, as potential buyers may be deterred by the increased traffic, noise, and safety concerns.
- Our neighbourhood's appeal as a quiet and safe residential area will be compromised, affecting long-term investments in our homes.

5. Quality of Life:

- The overall quality of life for residents will be diminished by the constant presence of commercial trucks, noise, and pollution.
- Our neighbourhood is cherished for its tranquillity and community spirit, which will be severely impacted by the proposed truck entrance.

We respectfully request the following actions from the City Council:

1. Relocation of the Truck Entrance:

- We urge the City Council to consider alternative locations, i.e. away from the community entrance, preferably any other entrance than from Lindsay Road, for the truck entrance that does not interfere with residential areas, thereby preserving the safety and quality of life for our community.
- Could be a new road with a direct opening to either Highway F or Commerce Center drive or even Duplainville/Weyer. As there is future potential that the remaining land in this corner can also become an industrial zone at some point of time, this new road will give a completely different way to handle the traffic for those plots from the residential area which is through the Lindsay road.

2. Traffic Impact Study:

- We request a comprehensive traffic impact study to assess the potential effects of the proposed truck entrance on our neighbourhood, including safety, congestion, and environmental impact.

3. Community Consultation:

- We ask that the City Council engage in meaningful consultation with the residents of Victoria Station to understand our concerns and work collaboratively on a solution that prioritises the well-being of our community.



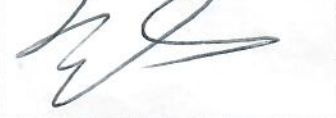

We trust that the City Council will take our concerns seriously and act in the best interests of the residents of Victoria Station, Pewaukee. We are committed to working together to find a solution that ensures the safety, health, and quality of life for all members of our community.

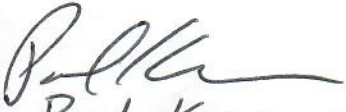

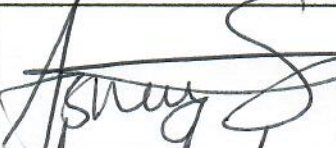
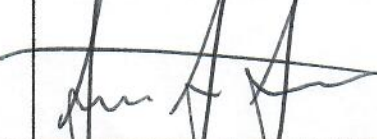
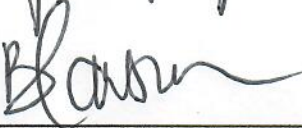
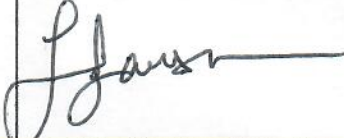
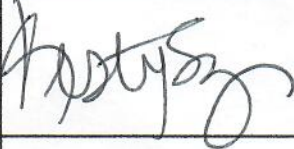



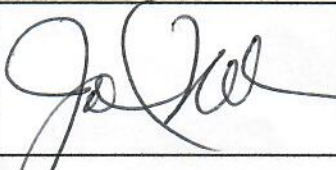

Thank you for your attention to this important matter.










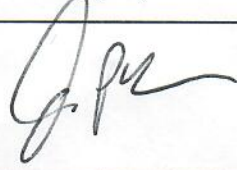

Sincerely,


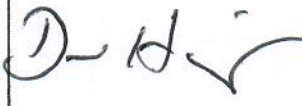
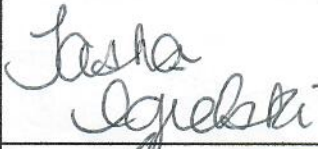


Signatures of Concerned Residents:


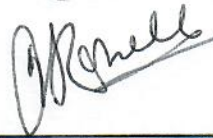

Name	Address, Contact No	Signature
Jill Wendt	N46W22807 Charlotte way Pewaukee, WI 53072	Jill Wendt
Scott Wendt	N46W22807 Charlotte way Pewaukee WI 53072	Scott Wendt

Name	Address, Contact No	Signature
Sophranie Schranett	N45W22849 Charlotte Way	S. Schranett
Meg Greco	N45W22830 Charlotte Way	
Brienne Ortega	N45W22924 Charlotte Way	
Amy Free	N45W22861 Charlotte Way	A Free
Margaret Baker	N45W22766 Charlotte Way	M Baker
Adam Baker	N45W22764 Charlotte Way	Adam Baker
Phillip Barnabow	N45W22726 Charlotte Way	P Barnabow
Tyler Guetschan	N45W22711 Charlotte Way	
Kari Clark	N45W22956 Charlotte Way	Kari Clark
Stacie Krueger	N46W22979 Charlotte Way	S Krueger
Omar Ortega	N45W22924 Charlotte Way	

Name	Address, Contact No	Signature
 Paul Kraeger	N46W22979 Charlotte Way	
Ashley Schmidt	N46W22899 Charlotte Way	
Scott Schmidt	N46W22899 Charlotte Way	
Bridget Larson	N46W22878 Charlotte Way	
Luke Larson	N46W22878 Charlotte Way	
Kristy Sprung	N45W22774 Charlotte Way	
Steve Sprung	N45W22774 Charlotte Way	
Sam Davis	N46W22979 Charlotte Way	
Mitch Davis	N46W22979 Charlotte Way	
Joel Weber	N45W22718 Charlotte Way	
Suzanne Harding	N45W22729 Charlotte Way	

Name	Address, Contact No	Signature
Monuj Nath	N46W22987 Charlotte way, Pewaukee, WI 425-220-5086	
Shreyas Patel	N46W22995 Charlotte way Pewaukee WI (630) 400-5393	
Kelly Baumgart	N45W22742 Charlotte way Pewaukee, WI 53072 262-278-7229	
Dan Baumgart	N45W22742 Charlotte way Pewaukee, WI 53072 262-357-2088	
Pete PETER Carlo CARLO	W227 N4296 Bridge St. Pewaukee WI 53072	
Sandra Carlo	W227 N 4296 Bridge St. Pewaukee WI 53072	
Vinay Kollumetz	W229 N4428 Bridge St Pewaukee	
VASHISTH SHARMA	N44 W22807 BRIDGE ST. PEWAUKEE	
Sabeen Hans	N46 W22980 Charlotte way Pewaukee	
James P Hanson	N46 W22980 Charlotte way Pewaukee	
Arora Todd	N46W22992 Charlotte Way, Pewaukee, WI 53072	

Name	Address, Contact No	Signature
Natalie Carleton	N44 W22829 BridgeSt	
Dan Harding	N45W22729 Charlotte Way	
Tasha Igielski	N46W22843 Charlotte Way	
Mike B&D	N45W22788 Charlotte way	
Mukoro Oziel	N45W22771 Charlotte Way	

Name	Address, Contact No	Signature
Gulam	N45 W22948 CHARLOTTE WAY PEWAUKEE	
Vijay Kumar	N46W22970 Charlotte way, Pewaukee	
Ajay Kumar	N45W22964 Charlotte Way Pewaukee	

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 6.**

DATE: July 18, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding the Site and Building Plans for Simply Smart Property, LLC for Property Located at the Northeast Corner of College Avenue and Meadowbrook Road for the Purpose of Constructing a Multi-Family Development with Five Condominium Units (PWC 0929986002)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

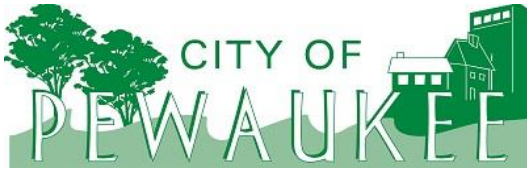
Simply Smart Property staff report 7.18.24

Simply Smart Property staff report 6.20.24

Simply Smart Property narrative

Simply Smart Property revised plans

Simply Smart Property revised landscape plan



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of July 18, 2024

Date: July 10, 2024

Project Name: Simply Smart Property, LLC Site & Building Plan Review

Project Address/Tax Key No.: Not Assigned/PWC 0929986002

Applicant: Simply Smart Property LLC

Property Owner: Simply Smart Property LLC

Current Zoning: Rm-2 Multiple-Residential District

2050 Land Use Map Designation: High Density Residential

Use of Surrounding Properties: Multi-family to the north, senior living and single-family to the south, Rd-2 zoned properties to the east, and Ken Weber Towing & Recovery to the west.

Background

The subject application for the construction of a 5-unit multi-family development was tabled at the June 20, 2024, Plan Commission meeting. The Plan Commission expressed concerns related to parking, landscaping, fencing, and architecture.

The June 20th staff report is attached, which provides details regarding the project. Below describes plan changes made following the comments provided at the previous meeting.

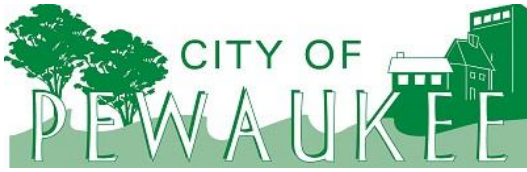
Site & Building Plan Review Update

According to the applicant, the following changes were made to the previously submitted plans:

1. Guest Parking revision for discussion (architecture shows five perpendicular to the access road, civil shows previous version of three off the access road and a parallel orientation)
2. Revised fencing for each unit. Lowered height from 6'-0" to 4'-6" and slightly more open board configuration.
3. Updated building elevations and renderings to better depict the building materials.
4. Updated fenestration, adding variety including larger picture windows at two story townhome bays, a ribbon window at the ranch sunroom, and different spacing for the bedroom fenestration on the ranch.
5. Refinement of building mounted lighting, specifically heights and alignments of all exterior wall sconces.

Recommendation

Staff recommends approval of the Site & Building Plan Review Application for the development of five condominium units at W264N2731 Christian Lane, subject to the staff recommended conditions included in this report.



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of June 20, 2024

Date: June 12, 2024

Project Name: Simply Smart Property, LLC Site & Building Plan Review

Project Address/Tax Key No.: Not Assigned/PWC 0929986002

Applicant: Simply Smart Property LLC

Property Owner: Simply Smart Property LLC

Current Zoning: Rm-2 Multiple-Residential District

2050 Land Use Map Designation: High Density Residential

Use of Surrounding Properties: Multi-family to the north, senior living and single-family to the south, Rd-2 zoned properties to the east, and Ken Weber Towing & Recovery to the west.

Introduction

The applicant, Simply Smart Property, LLC, filed a Site & Building Plan Review Application requesting approval of a 5-unit multi-family condominium unit development upon property located at the northeast corner of College Avenue and Meadowbrook Road. The property also abuts Christian Court to the east.

This property was previously dedicated as expansion lands of the Foxtrail Condominium development. This development was approved around 2007. Following the construction of the two condominium buildings to the north, the Foxtrail Condominium development did not move forward with the two other planned buildings.

The four buildings originally planned for the Foxtrail Condominiums project were all three-unit buildings. As such, this property was previously planned for six units, opposed to the five condominium units now proposed.

Note this development would be a separate condominium association, and not part of the Foxtrail Condominium Association. However, the project does utilize the existing 30-foot driveway easement area, which is shown on the Proposed Site Plan (Sheet 2).

The 5-unit development is a Permitted Use in the Rm-2 District and conforms to the allowed density requirements of the district as well as the City's Year 2050 Land Use/Transportation Plan land use designation of Medium Density Residential.

Site & Building Plan Review

The subject property has an area of 1.26-acres and is currently vacant, except for a small portion of an entrance drive. No known protected natural resources exist onsite. The development proposes a density of about 4-units per acre in conformance with the nine units allowed within the Rm-2 District.

The site plan consists of three buildings with connecting garages, which creates a “parking court” between the buildings within the interior of the site.

An 8-foot-tall privacy screen is proposed between the yards of each unit. The yards will also be enclosed by a 4’-6” decorative style fence. The material, size, height, and location of the fence are all subject to Plan Commission review and approval as part of this Site and Building Plan Review Application.

There are two storm water facilities onsite. A wet pond is located at the southwest corner of the property and a smaller infiltration basin is located on the east side of the property. Final utility, grading, erosion control and storm water management plans will require Engineering Department approval prior to any land disturbance.

Access

As previously indicated, the site will be accessed through an easement located on the existing Foxtrail Condominium development to the north, which is accessible from Christian Lane.

Parking

The Rm-2 District requires that “There shall be a minimum of two and one-half (2 ½) 200-square-foot off-street parking spaces provided for each residential unit, of which at least two (2) must be located in a garage as defined in sub-section 17.1402 (Also see Section 17.0600).”

This standard is met as the site includes three exterior spaces and each unit includes a two-car attached garage. Staff suggests that a fourth exterior parking space be included, so that each side of the entrance drive contains two parking spaces.

Lighting

The applicant is only intending to have low level, decorative and pedestrian style lighting. It is recommended that a Lighting Plan consisting of light and fixture details be provided to Community Development staff for review and approval, prior to permitting and installation.

Landscaping

The applicant has included a Landscape Plan illustrating the proposed plantings throughout the site. Staff recommends that a revised Landscape Plan be provided, for staff review and approval, that includes a minimum of five additional trees, generally to be located in open areas adjacent to the fencing and storm water basins.

The landscape plan includes eighteen Common Juniper plantings. Staff recommends that more variety be provided for these evergreen plantings.

Architecture

The buildings consist of primarily lap siding and a shingle roof. Staff does not have any objections or specific recommendations related to architecture. It was suggested that the bump-outs on the east elevation not extend beyond the roofline.

Signage

Currently the applicant has not provided sign details and may not plan to propose signage as part of this development. Any signage proposed in the future is subject to the City's Sign Ordinance and review and approval of a Sign Permit. Below are allowances for a residential development sign.

Permanent Subdivision/Development Identification Sign no more than six (6) feet in height; constructed of wood, metal and/or masonry; and, of a design which will be compatible with the landscape and shall state only the name and address of the subdivision. Such signs and their location, height and size shall be reviewed and approved by the Plan Commission and/or the City Planner prior to issuance of a permit.

Recommendation

Staff recommends approval of the Site & Building Plan Review Application for the development of five condominium units at W264N2731 Christian Lane, subject to the staff recommended conditions included in this report.

Written Narrative for W264N2731 Christian Lane

As the Owner of Simply Smart Property LLC, an Illinois limited liability company, this document is submitted to you as our Project Narrative.

Simply Smart Property proposes a multi-unit residential condominium development on the open lot at the corner of College Ave and Meadowbrook Road in Pewaukee, WI. The proposed condominium project consists of 5 units, 4 of which are 2-story with basement townhouses and one of which is a 1-story with basement ranch. Each townhouse has 1 bedroom and 1 bathroom on the first floor and 2 bedrooms and 2 bathrooms on the second floor. The ranch unit has 2 bedrooms and 2.5 bathrooms on the first floor.

Density Requirements

The site is zoned RM-2 Multiple-Family Residential District.

Setbacks

See Drawing Exhibits for the development's compliance to required setbacks.

Parking

See Drawing Exhibits for the development's compliance for parking requirements. Each unit has an attached 2-car garage, and an additional 3 surface parking spots are provided as just north of the entrance to the condominiums. This exceeds the 2.5 parking spaces per unit required.

Height

See Drawing Exhibits for the development's compliance to height limitations.

Open Space

See Drawing Exhibits for the development's compliance for Open Space requirements.

Landscaping

See Drawing Exhibits for the development's Landscape plan.

Business Operations

A condominium plat will be created, and an HOA will be formed. The HOA will oversee the maintenance of the common areas. No future development or improvements are planned for the site outside this proposal. We will seek to keep the HOA fees as minimal as possible while covering the ongoing maintenance costs and keeping sufficient reserves for unexpected maintenance events.

Project Value

The project will bring much-needed multi-family residential units to a key area of Pewaukee Lake. We anticipate the cost of each townhouse unit to start around \$480,000. We believe the pricing of these units and the project broadly, will be a great opportunity to attract young families or provide housing for older couples looking to downsize while staying in the Pewaukee Lake area.

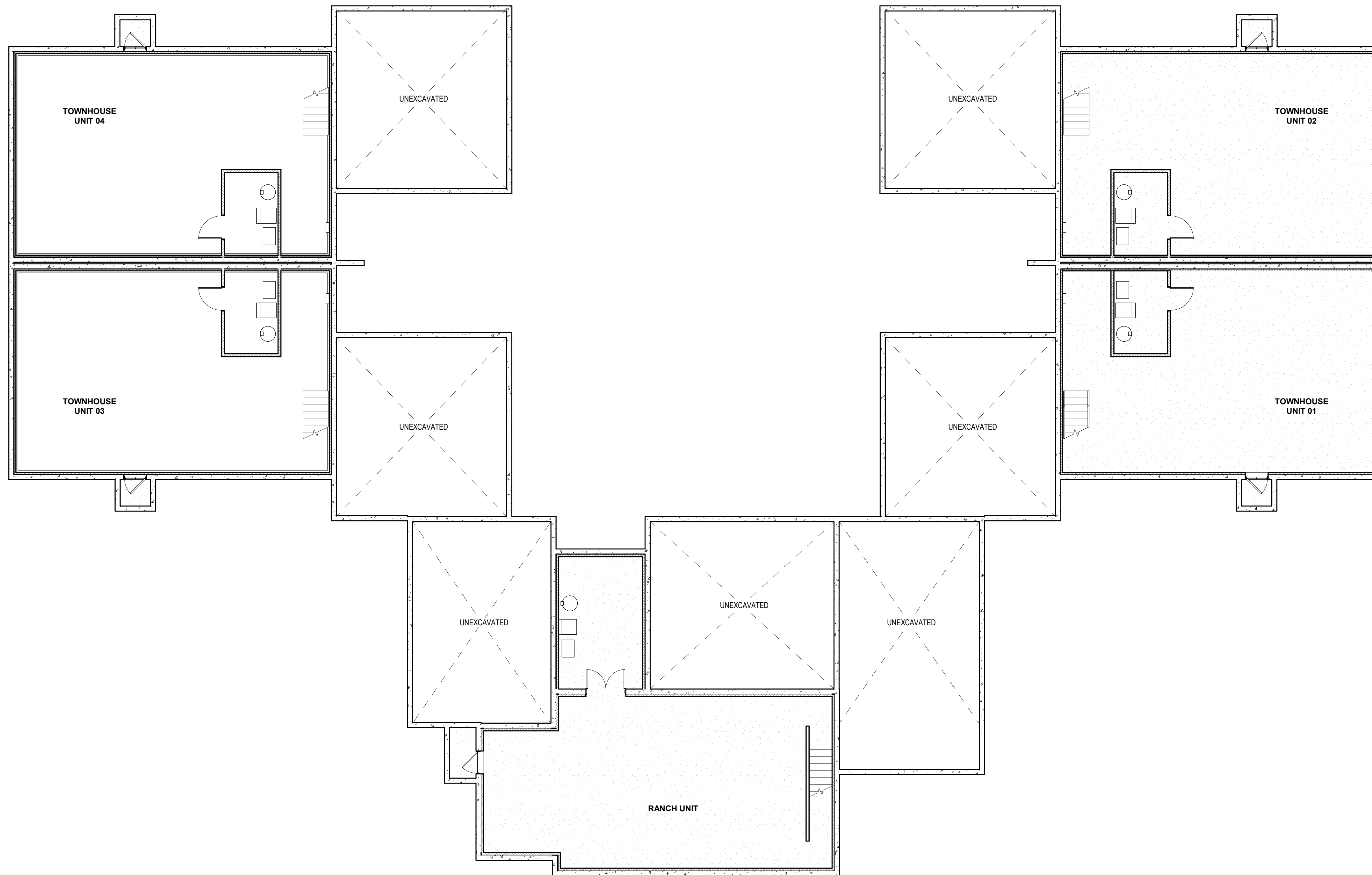
PEWAUKEE DEVELOPMENT METRICS

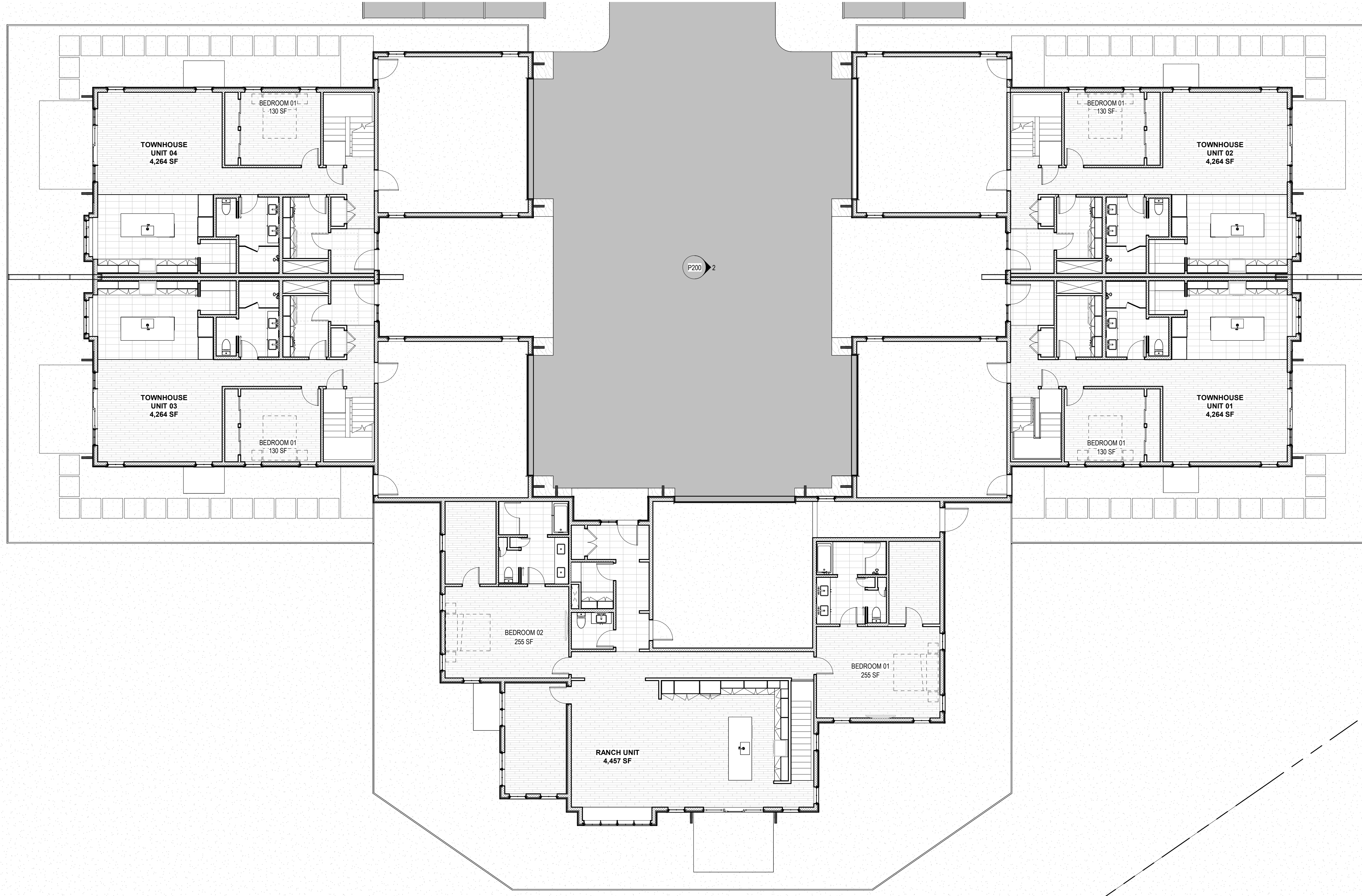
ZONING DISTRICT	RM-2
SITE AREA	54,855 SF (1.26 ACRE)
TOTAL NUMBER OF UNITS	5 UNITS
PROPOSED UNITS PER ACRE	3.96
MINIMUM TOTAL FLOOR AREA (2 BED)	4,457 SF (MIN ALLOWED 2,400 SF)
MINIMUM TOTAL FLOOR AREA/DU	2,228.5 SF (MIN ALLOWED 800 SF)
MINIMUM TOTAL FLOOR AREA (3 BED)	4,264 SF (MIN ALLOWED 3,000 SF)
MINIMUM TOTAL FLOOR AREA/DU	1,421 SF (MIN ALLOWED 1,000 SF)
SETBACKS	35' AT STREET, 25' AT SIDE
PARKING COUNT	13 PROVIDED (13 REQUIRED, 2.5 PER DWELLING UNIT)
TOTAL IMPERVIOUS SURFACE AREA	12,019 SF
TOTAL GREENSPACE AREA	38,629 SF (PLUS 4,207 SF PERMEABLE PAVING PARKING COURT)
PROPOSED LOT COVERAGE	18.9% (10,378 SF) MAX ALLOWED 20% (10,971 SF)

PLANT SCHEDULE

QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE
6	COTINUS	SMOKE BUSH	1 GAL
8	CORNUS FLORIDA	FLOWERING DOGWOOD	2.5" CAL , 12'-14' HT
2	ACER RUBRUM	RED MAPLE	2.5" CAL , 12'-14' HT
8	ASTILBE ARENDII	ASTILBE	18"
6	JUNIPERUS COMMUNIS	COMMON JUNIPER	2.5" CAL , 4'-6" HT
20	PASPALUM DISTICHUM	THOMPSON GRASS	3 GAL
16	HYDRANGEA ARBORESCENS	SMOOTH HYDRANGEA	3 GAL
22	RHODODENDRON	AZALEAS	2.5 QT







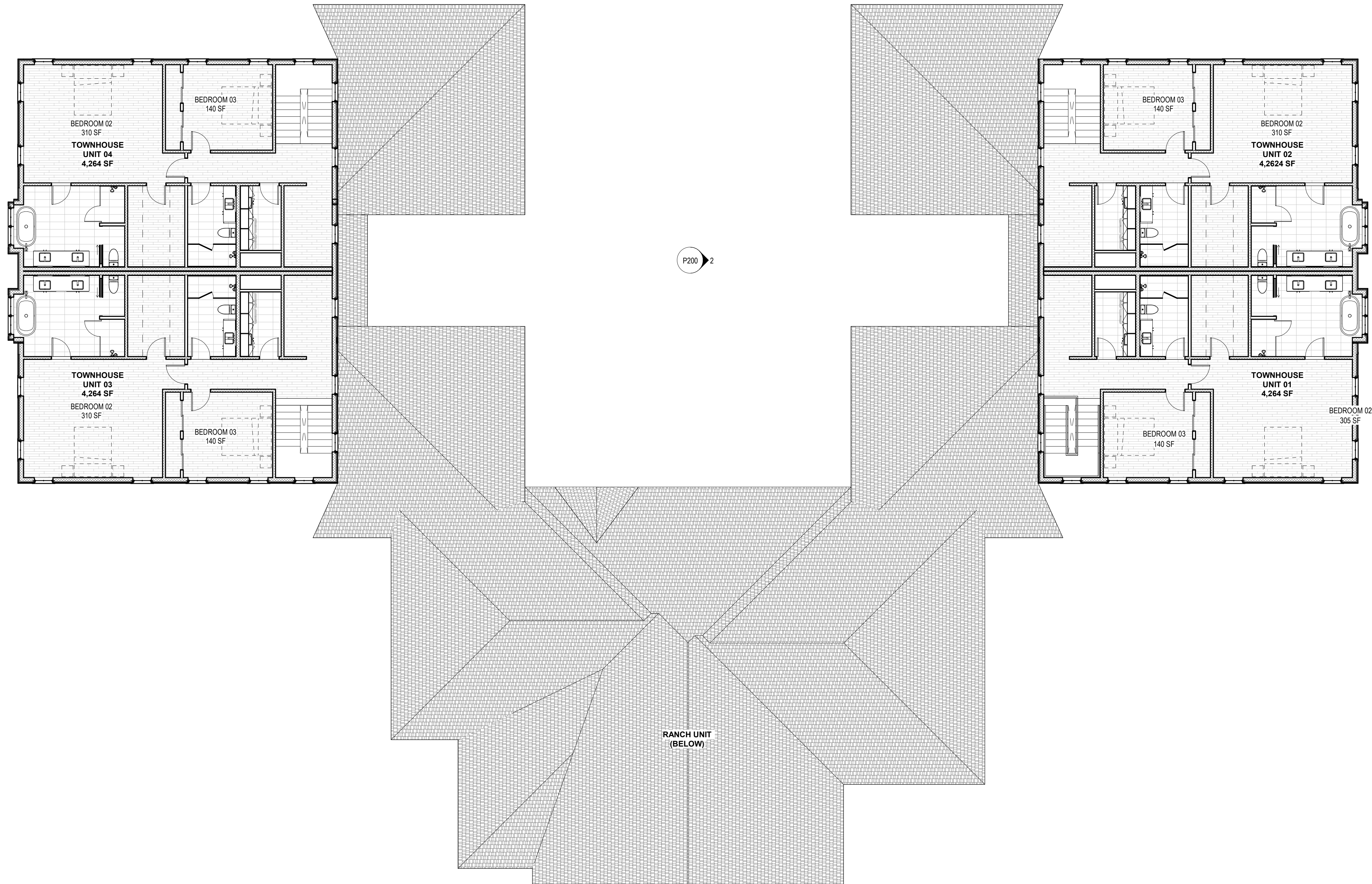
P201
2

P200
2

P200
1

P201
1

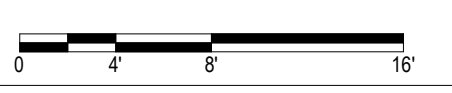
P201
2

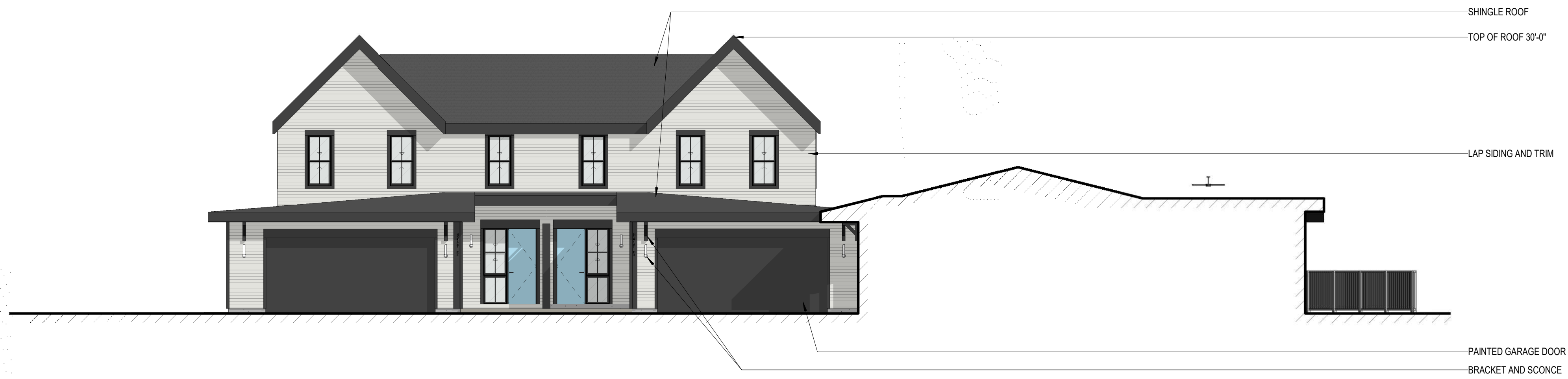


P200
2

P200
1

P201
1

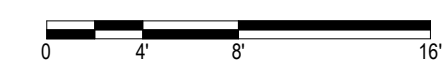




2 ELEVATION - OVERALL WEST
1/8" = 1'-0"

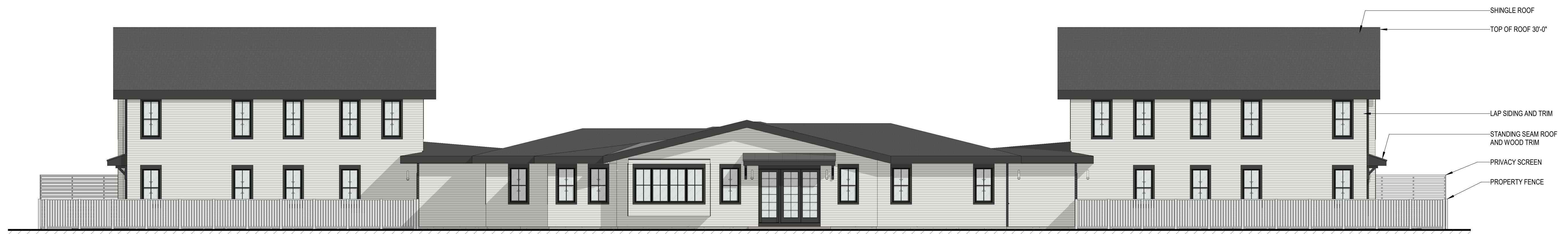


1 ELEVATION - OVERALL EAST
1/8" = 1'-0"

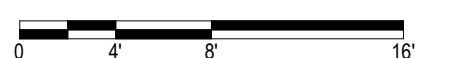




2 ELEVATION - OVERALL NORTH
1/8" = 1'-0"



1 ELEVATION - OVERALL SOUTH
1/8" = 1'-0"





01. AERIAL FROM SOUTHEAST



04. VIEW FROM EAST (FENCE NOT SHOWN FOR CLARITY)



02. PERSPECTIVE FROM SOUTHWEST



05. PERSPECTIVE FROM NORTHEAST



03. PERSPECTIVE FROM SOUTH



06. PERSPECTIVE FROM SOUTHEAST WITHIN COURTYARD



RANCH PATIO



TOWNHOUSE PATIO



TOWNHOUSE ENTRANCE



TOWNHOUSE EXIT



RANCH ENTRANCE



COURTYARD

LEGAL DESCRIPTION:

Expansion Real Estate of Foxtrail Condominium Addendum No. 1, as recorded in the Register of Deeds office for Waukesha County as Document No. 3860448, being a part of the Southeast 1/4 of the Northwest 1/4 and the Southwest 1/4 of the Northeast 1/4 of Section 17, Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin.

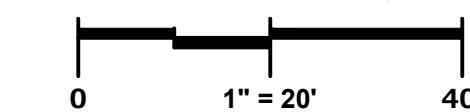
GENERAL NOTES

1. Survey prepared for: Jim Forester
2. Field work completed on JUNE 8, 2018.
3. Flood Zone Classification: The property lies within in Zone "X" of the Flood Insurance Rate Map Community Panel No. 55133C0184H dated OCTOBER 19, 2023. Zone "X" areas are determined to be areas of minimal flood hazard.
4. Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Contours are shown at a 1' interval based on actual ground survey of the current ground terrain. Reference Benchmark: Concrete monument with brass cap at the Center of Section 17, Town 7 North, Range 19 East, Elevation = 905.46.
5. Underground utility locations shown are based on field location markings by Digger's Hotline ticket #20182318893. The location and size of underground structures and utilities shown hereon have been located based on a reasonable visual observation and are shown for informational purposes only. PINNACLE ENGINEERING GROUP, LLC, does not guarantee the location of utilities shown. Contact Digger's Hotline prior to the start of any activity.

CURVE DATA				
CURVE NO.	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	12.72'	150.00'	S01°51'16"W	12.72'



GRAPHICAL SCALE (FEET)



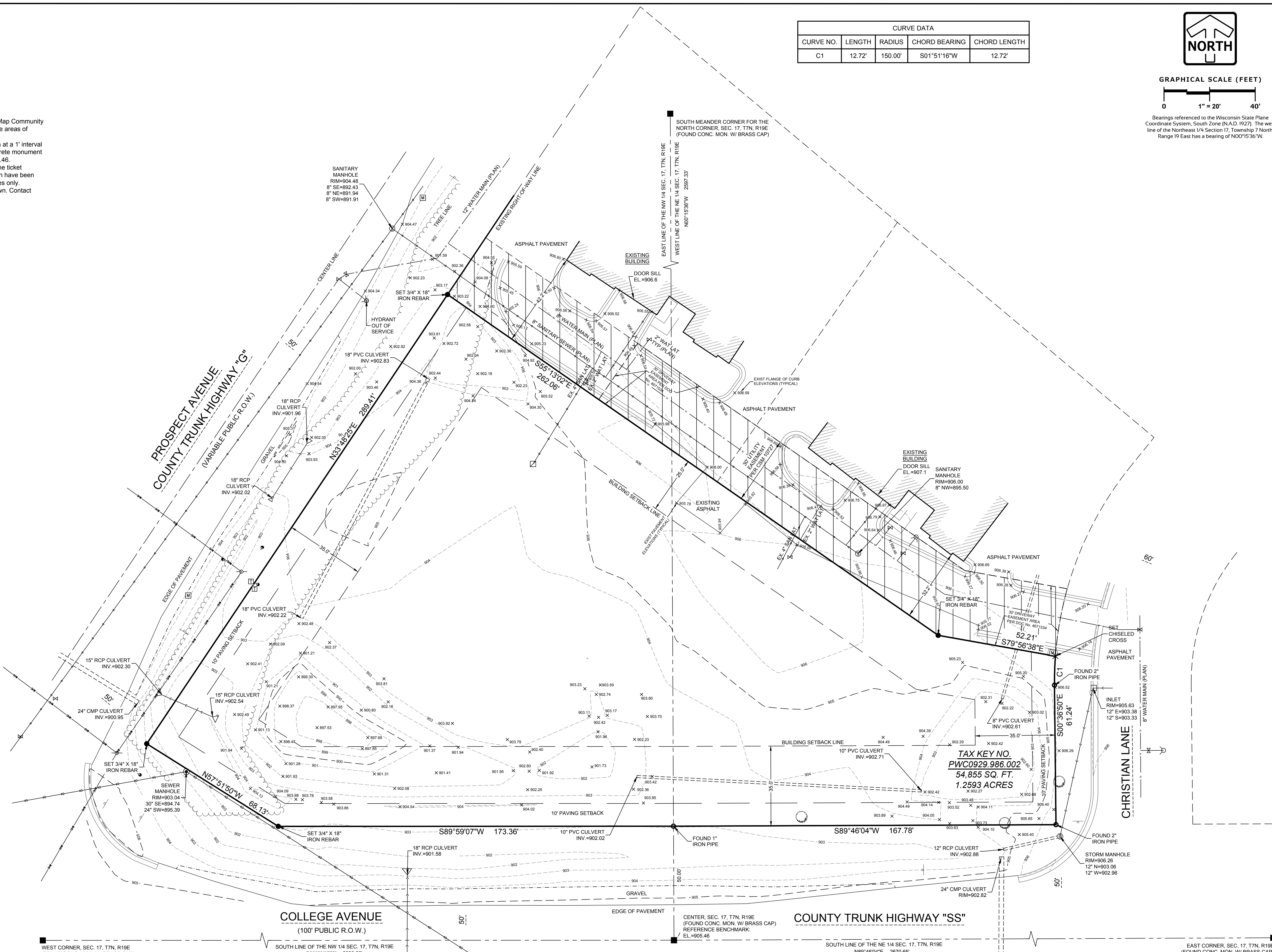
Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The west line of the Northeast 1/4 Section 17, Township 7 North, Range 19 East has a bearing of N00°15'36"W.

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE REPRODUCED OR USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC.
 REVIEWED: ASZ
 DESIGNED: ASZ
 DRAFTED: BR

www.pinnacle-engr.com
 FOR REVIEW
 EXISTING SITE PLAN

LEGEND OF SYMBOLS & ABBREVIATIONS

- | | | |
|---|--|---|
| <ul style="list-style-type: none"> ⊙ SANITARY MANHOLE ⊖ STORM MANHOLE ⊕ STORM INLET ⊖ CLEANOUT ⊖ CATCH BASIN ⊖ LATERAL ⊖ UNKNOWN MANHOLE ⊖ WELL ⊖ HYDRANT ⊖ WATER VALVE ⊖ DOWN SPOUT ⊖ SPRINKLER VALVE ⊖ WATER SHUT OFF ⊖ STANDPIPE ⊖ WATER MANHOLE ⊖ FLOOD LIGHT ⊖ LIGHT POLE ⊖ TRAFFIC SIGNAL ⊖ UTILITY POLE ⊖ GUY WIRE | <ul style="list-style-type: none"> ▲ FIBER OPTIC MARKER ⊖ FIBER OPTIC MANHOLE/VAULT ⊖ TELEPHONE PEDESTAL ⊖ TELEPHONE MANHOLE/VAULT ⊖ TELEPHONE MARKER ⊖ TRANSFORMER ⊖ ELECTRIC METER/PEDESTAL ⊖ ELECTRIC MANHOLE/VAULT ⊖ CABLE TV RISER/BOX ⊖ CABLE TV MANHOLE/VAULT ⊖ GAS VALVE ⊖ GAS METER ⊖ AIR CONDITIONING UNIT ⊖ VENT ➔ DIRECTIONAL ARROW ⊖ DUMPSTER ⊖ HANDICAP STALL ⊖ SPOT ELEVATION | <ul style="list-style-type: none"> ⊖ SIGN ⊖ MAIL BOX ⊖ FLAG POLE ⊖ BASKETBALL HOOP ⊖ BOLLARD ⊖ CROSS CUT ⊖ IRON PIPE ⊖ IRON REBAR/ROD ⊖ MAG NAIL ⊖ SECTION MONUMENT ⊖ BENCH MARK ⊖ CONIFER TREE ⊖ DECIDUOUS TREE ⊖ BUSH ⊖ WETLAND SYMBOL |
| <ul style="list-style-type: none"> — SANITARY SEWER — STORM SEWER — WATER MAIN — FIBER OPTIC LINE — TELEPHONE LINE — ELECTRIC LINE — OVERHEAD WIRES — CABLE TELEVISION — GAS MAIN — WETLANDS — TREE LINE — NO ACCESS | <ul style="list-style-type: none"> CL — CENTERLINE CONC. — CONCRETE EL — ELEVATION EXT. — EXISTING INV. — INVERT MON. — MONUMENT P.O.B. — POINT OF BEGINNING P.O.C. — POINT OF COMMENCEMENT R.O.W. — RIGHT OF WAY SEC. — SECTION SQ. FT. — SQUARE FEET W/ — WITH (R) — RECORDED AS (D) — DEEDED AS | |



TAX KEY NO.
PWC0929.986.002
54,855 SQ. FT.
1.2593 ACRES

PINNACLE ENGINEERING GROUP
 ENGINEERING | NATURAL RESOURCES | SURVEYING
 CHICAGO | MILWAUKEE | NATIONWIDE
 PLAN | DESIGN | DELIVER
 www.pinnacle-engr.com
 WISCONSIN OFFICE:
 20725 WATERTOWN ROAD, SUITE 100
 BROOKFIELD, WI 53186
 (262) 754-8888

PEWAUKEE TOWNHOMES
CITY OF PEWAUKEE, WAUKESHA COUNTY

EXISTING SITE PLAN

REVISIONS	
1	PC SUBMITTAL 06/10/24

SHEET 1 OF 5
 SCALE 1" = 20'
 DATE 05/03/24
 PEG JOB No. 1375.00A
 ASZ
 PEG PM
 DATE 05/03/24
 SCALE 1" = 20'

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC.

LEGAL DESCRIPTION:

Expansion Real Estate of Foxtrail Condominium Addendum No. 1, as recorded in the Register of Deeds office for Waukesha County as Document No. 3860448, being a part of the Southeast 1/4 of the Northwest 1/4 and the Southwest 1/4 of the Northeast 1/4 of Section 17, Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin.

GENERAL NOTES:

- Survey prepared for: Jim Forester
- Field work completed on JUNE 8, 2018.
- Flood Zone Classification: The property lies within in Zone "X" of the Flood Insurance Rate Map Community Panel No. 55133C0184H dated OCTOBER 19, 2023. Zone "X" areas are determined to be areas of minimal flood hazard.
- Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Contours are shown at a 1' interval based on actual ground survey of the current ground terrain. **Reference Benchmark:** Concrete monument with brass cap at the Center of Section 17, Town 7 North, Range 19 East, Elevation = 905.46.
- Underground utility locations shown are based on field location markings by Digger's Hotline ticket #20182318893. The location and size of underground structures and utilities shown hereon have been located based on a reasonable visual observation and are shown for informational purposes only. PINNACLE ENGINEERING GROUP, LLC, does not guarantee the location of utilities shown. Contact Digger's Hotline prior to the start of any activity.

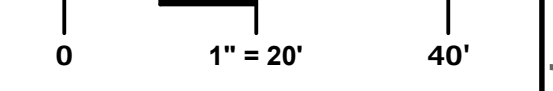
NOTES:

- No obstructions such as structures, automobile parking, fences or vegetation shall be permitted in any district between the heights of two and one-half (2-1/2) feet and seven (7) feet above the mean curb grades within the triangular (vision clearance) space formed by any two existing or proposed intersecting street or utility right-of-way (property) lines and a line joining points on such lines located a minimum of 15 feet from their intersection (25 feet of arterial streets).

CURVE DATA				
CURVE NO.	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	12.72'	150.00'	S01°51'16"W	12.72'

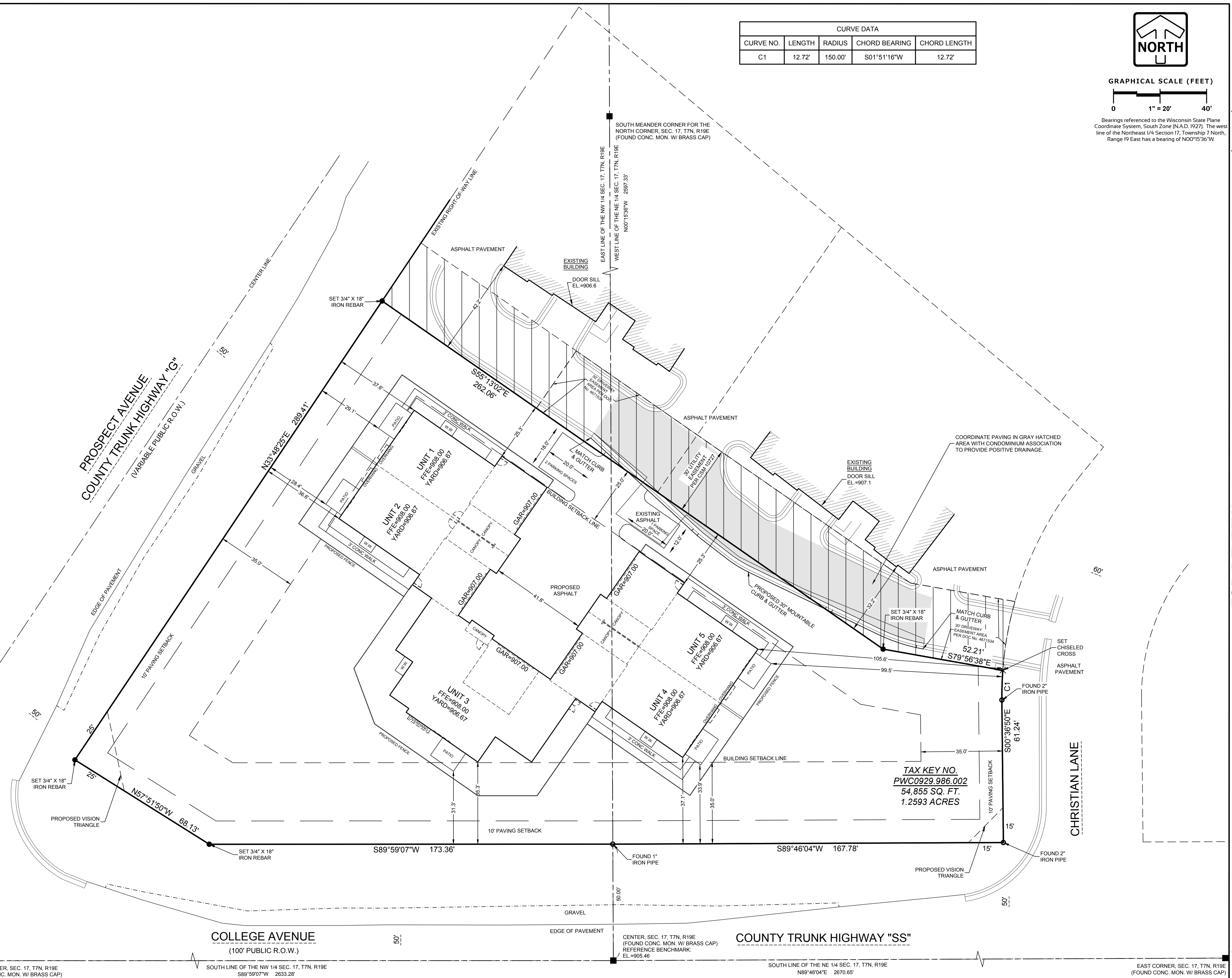


GRAPHICAL SCALE (FEET)



Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The west line of the Northeast 1/4 Section 17, Township 7 North, Range 19 East has a bearing of N00°15'36"W.

LEGEND OF SYMBOLS & ABBREVIATIONS



PINNACLE ENGINEERING GROUP
 ENGINEERING | NATURAL RESOURCES | SURVEYING
 www.pinnacle-engr.com
 WISCONSIN OFFICE: 20725 WATERTOWN ROAD, SUITE 100, BROOKFIELD, WI 53186 (262) 754-8888
 CHICAGO | MILWAUKEE | NATIONWIDE

PEWAUKEE TOWNHOMES
 CITY OF PEWAUKEE, WAUKESHA COUNTY
PROPOSED SITE PLAN

REVISIONS

NO.	DESCRIPTION	DATE
1	PC SUBMITTAL	06/10/24

SHEET **2** OF **5**
 PEG JOB NO. 13725.000A
 PEG PM: ASZ
 DATE: 05/03/24
 SCALE: 1"=20'
 © COPYRIGHT 2018

FOR REVIEW

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC. REVIEWED: ASZ DESIGNED: ASZ DRAFTED: BR



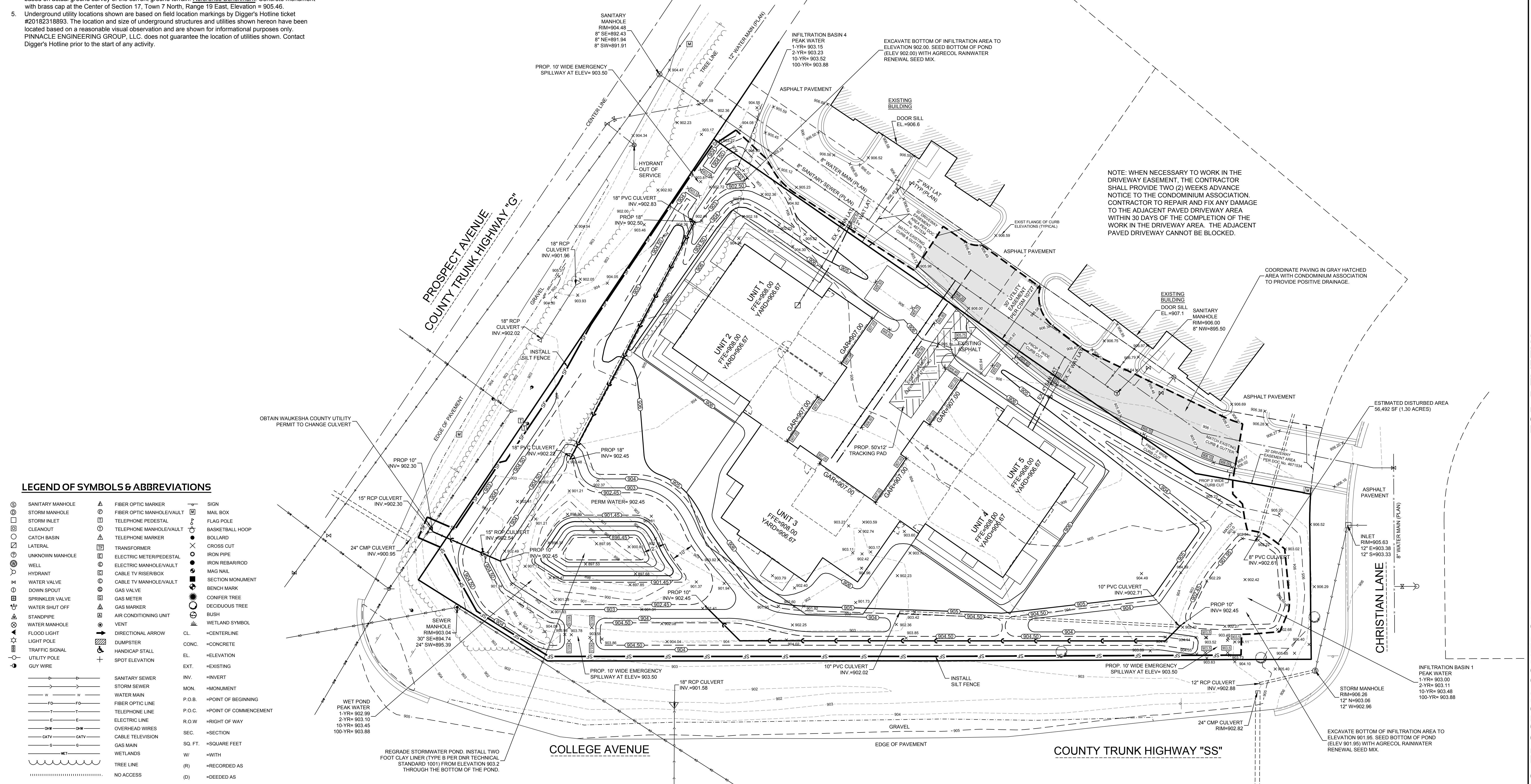
GRAPHICAL SCALE (FEET)
0 1" = 20' 40'

Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The west line of the Northeast 1/4 Section 17, Township 7 North, Range 19 East has a bearing of N00°15'36" W.

GENERAL NOTES

- Survey prepared for: Jim Forester
- Field work completed on JUNE 8, 2018.
- Flood Zone Classification: The property lies with in Zone "X" of the Flood Insurance Rate Map Community Panel No. 55133C0184H dated OCTOBER 19, 2023. Zone "X" areas are determined to be areas of minimal flood hazard.
- Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Contours are shown at a 1' interval based on actual ground survey of the current ground terrain. Reference Benchmark: Concrete monument with brass cap at the Center of Section 17, Town 7 North, Range 19 East, Elevation = 905.46.
- Underground utility locations shown are based on field location markings by Digger's Hotline ticket #20182318893. The location and size of underground structures and utilities shown herein have been located based on a reasonable visual observation and are shown for informational purposes only. PINNACLE ENGINEERING GROUP, LLC, does not guarantee the location of utilities shown. Contact Digger's Hotline prior to the start of any activity.

LEGEND OF SYMBOLS & ABBREVIATIONS



PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
(262) 754-8888

CHICAGO | MILWAUKEE | NATIONWIDE

PEWAUKEE TOWNHOMES
CITY OF PEWAUKEE, WAUKESHA COUNTY

GRADING & EROSION CONTROL PLAN

REVISIONS	
1	PC SUBMITTAL 06/10/24

PEC JOB No. 13725.000A
PEC PM ASZ
DATE 05/03/24
SCALE 1"=20'

SHEET 3 OF 5

© COPYRIGHT 2018

FOR REVIEW GRADING & EROSION CONTROL PLAN

www.pinnacle-engr.com

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC



GRAPHICAL SCALE (FEET)
0 1" = 20' 40'

Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The west line of the Northeast 1/4 Section 17, Township 7 North, Range 19 East has a bearing of N00°15'36" W.

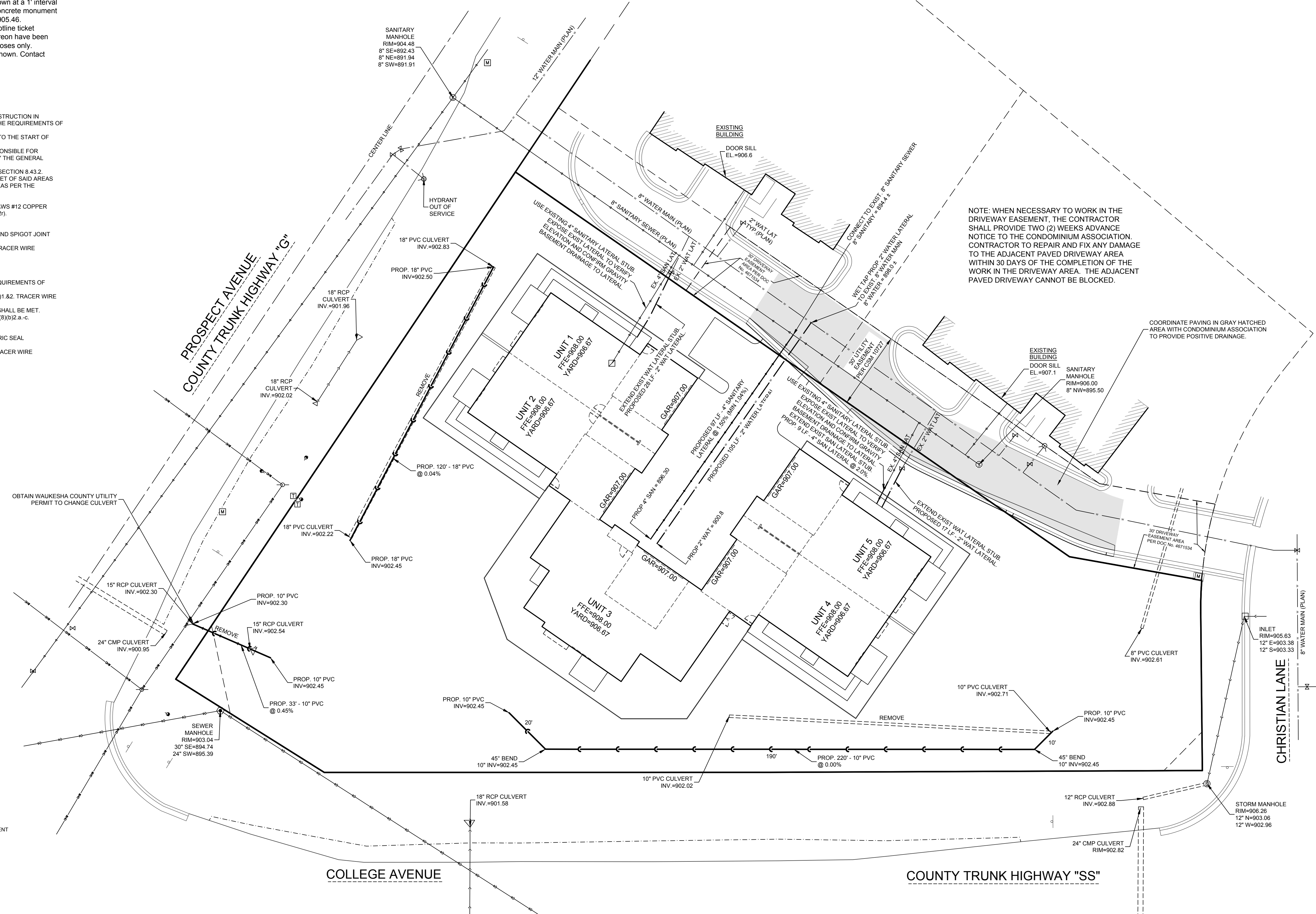
GENERAL NOTES

- Survey prepared for: Jim Forester
- Field work completed on JUNE 8, 2018.
- Flood Zone Classification: The property lies within in Zone "X" of the Flood Insurance Rate Map Community Panel No. 55133C0184H dated OCTOBER 19, 2023. Zone "X" areas are determined to be areas of minimal flood hazard.
- Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Contours are shown at a 1' interval based on actual ground survey of the current ground terrain. **Reference Benchmark:** Concrete monument with brass cap at the Center of Section 17, Town 7 North, Range 19 East, Elevation = 905.46.
- Underground utility locations shown are based on field location markings by Digger's Hotline ticket #20182318893. The location and size of underground structures and utilities shown herein have been located based on a reasonable visual observation and are shown for informational purposes only. PINNACLE ENGINEERING GROUP, LLC, does not guarantee the location of utilities shown. Contact Digger's Hotline prior to the start of any activity.

UTILITY NOTES:

- GENERAL:**
 - ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, SIXTH EDITION (STANDARD SPECS), THE WISCONSIN ADMINISTRATIVE CODE AND THE REQUIREMENTS OF THE CITY OF PEWAUKEE.
 - THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
 - ALL UTILITY WORK SHALL BE COORDINATED WITH THE BUILDER. UTILITY CONTRACTOR IS RESPONSIBLE FOR REMOVING THE EXCESS SPOIL MATERIAL FROM THE TRENCH UNLESS OTHERWISE DIRECTED BY THE GENERAL CONTRACTOR.
 - ALL BEDDING AND COVER MATERIAL SHALL BE CRUSHED STONE CHIPS PER STANDARD SPECS SECTION 8.43.2.
 - GRANULAR BACKFILL SHALL BE USED IN ALL PAVED AND CONCRETE AREAS AND WITHIN FIVE FEET OF SAID AREAS PER THE STANDARD SPEC. SECTION 8.43.4. SPOIL BACKFILL SHALL BE USED IN LANDSCAPE AREAS PER THE STANDARD SPEC. SECTION 8.43.5.
 - COORDINATE ALL BUILDING LATERALS WITH THE BUILDER PRIOR TO INSTALLING SAID LATERAL.
 - ALL UTILITY PIPING SHALL BE INSTALLED WITH A TRACER WIRE CONSISTING OF AN INSULATED AWS #12 COPPER SOLID CORE WIRE TAPED TO THE LATERAL/MAIN. THIS IS IN ACCORDANCE WITH STAT. 1820715(2).
- SANITARY SEWER LATERAL:**
 - SANITARY SEWER LATERALS SHALL BE 4" SCH 40 PVC. ELASTOMERIC JOINTS SHALL BE A BELL AND SPIGOT JOINT CONFORMING TO ASTM D3212 SEALED BY A RUBBER GASKET CONFORMING TO ASTM F477.
 - WIRE TRACING FOR NON-METALLIC SANITARY SEWER IS REQUIRED PER SPS 382.30(1)(b)1a-j. TRACER WIRE INSULATION COLOR FOR NON-METALLIC SANITARY SEWER PIPE SHALL BE GREEN.
- WATER LATERAL:**
 - WATER LATERALS SHALL BE 2" HDPE, PE 4710, SDR 9 (PRESSURE RATING PSI) MEETING THE REQUIREMENTS OF AWWA C-901.
 - WIRE TRACING FOR NON-METALLIC POTABLE WATER SERVICE IS REQUIRED PER SPS 382.40(9)(k)1 & 2. TRACER WIRE INSULATION COLOR FOR NON-METALLIC WATER SERVICE SHALL BE BLUE.
 - NEW WATER SERVICE DISINFECTING AND FLUSHING REQUIREMENTS PER SPS 382.40(9)(2)a-d. SHALL BE MET.
 - SEPARATION REQUIREMENTS OF WATER PIPING AND SANITARY SEWER SHALL MEET SPS 382.40(8)(b)2.a-c.
- STORM SEWER:**
 - STORM SEWER SHALL BE PVC ASTM D-3034. JOINTS SHALL BE MADE BY THE USE OF ELASTOMERIC SEAL CONFORMING TO ASTM D3212.
 - WIRE TRACING FOR NON-METALLIC STORM SEWER IS REQUIRED PER SPS 382.36(7)(d)10.a.&b. TRACER WIRE INSULATION COLOR FOR NON-METALLIC STORM SEWER PIPE SHALL BE BROWN.

LEGEND OF SYMBOLS & ABBREVIATIONS



NOTE: WHEN NECESSARY TO WORK IN THE DRIVEWAY EASEMENT, THE CONTRACTOR SHALL PROVIDE TWO (2) WEEKS ADVANCE NOTICE TO THE CONDOMINIUM ASSOCIATION. CONTRACTOR TO REPAIR AND FIX ANY DAMAGE TO THE ADJACENT PAVED DRIVEWAY AREA WITHIN 30 DAYS OF THE COMPLETION OF THE WORK IN THE DRIVEWAY AREA. THE ADJACENT PAVED DRIVEWAY CANNOT BE BLOCKED.

COORDINATE PAVING IN GRAY HATCHED AREA WITH CONDOMINIUM ASSOCIATION TO PROVIDE POSITIVE DRAINAGE.

FOR REVIEW

UTILITY PLAN

PINNACLE ENGINEERING GROUP
 ENGINEERING | NATURAL RESOURCES | SURVEYING
 CHICAGO | MILWAUKEE | NATIONWIDE
 WISCONSIN OFFICE:
 20725 WATERTOWN ROAD, SUITE 100
 BROOKFIELD, WI 53186
 (262) 754-8888

PEWAUKEE TOWNHOMES

CITY OF PEWAUKEE, WAUKESHA COUNTY

UTILITY PLAN

REVISIONS	
NO.	DESCRIPTION
1	PC SUBMITTAL

SHEET
4
 OF
5
 PEG JOB No.: 13725.000A
 PEG PM: ASZ
 DATE: 05/03/24
 SCALE: 1"=20'
 © COPYRIGHT 2018

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

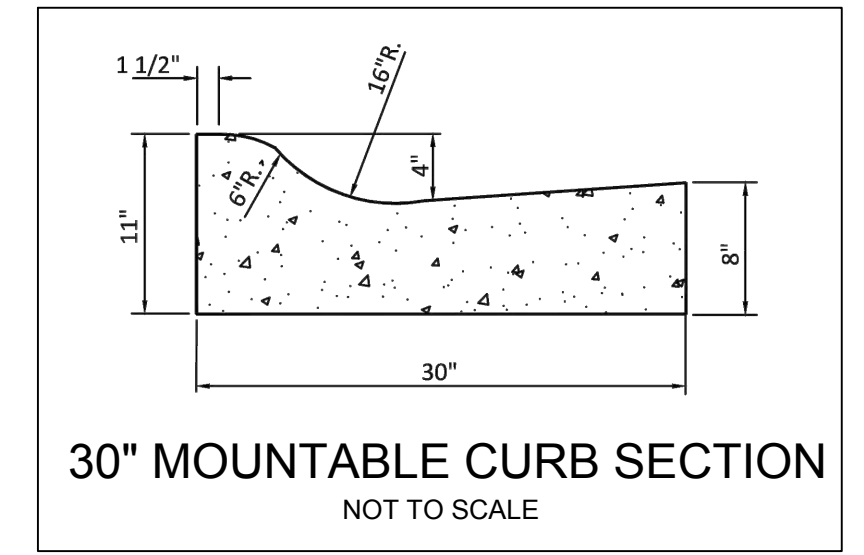
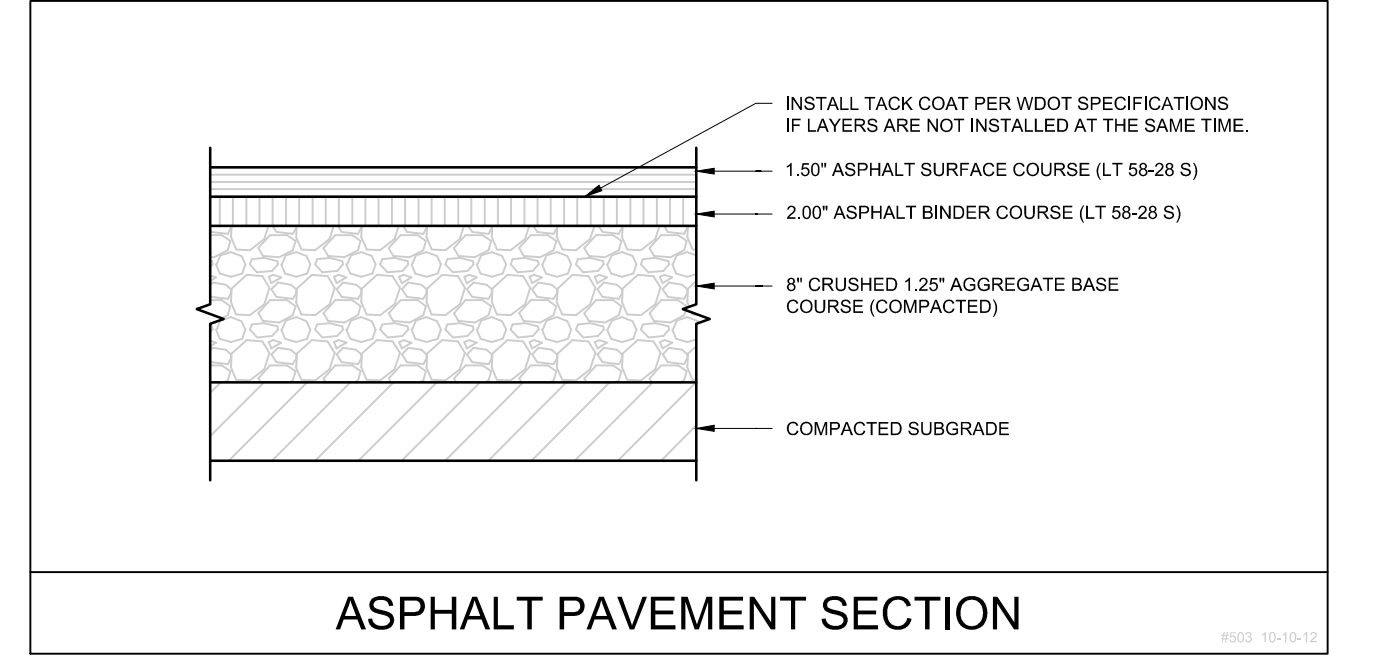
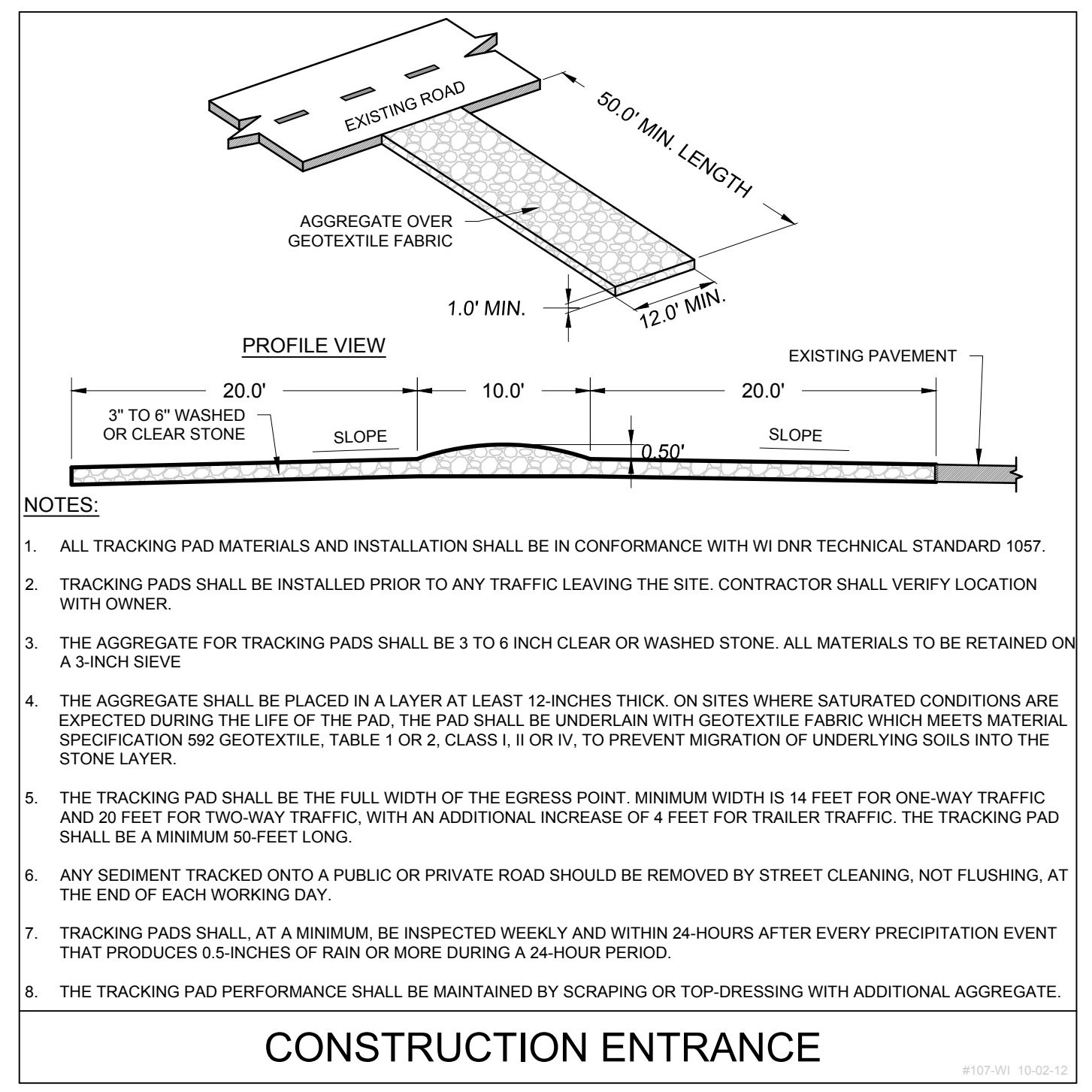
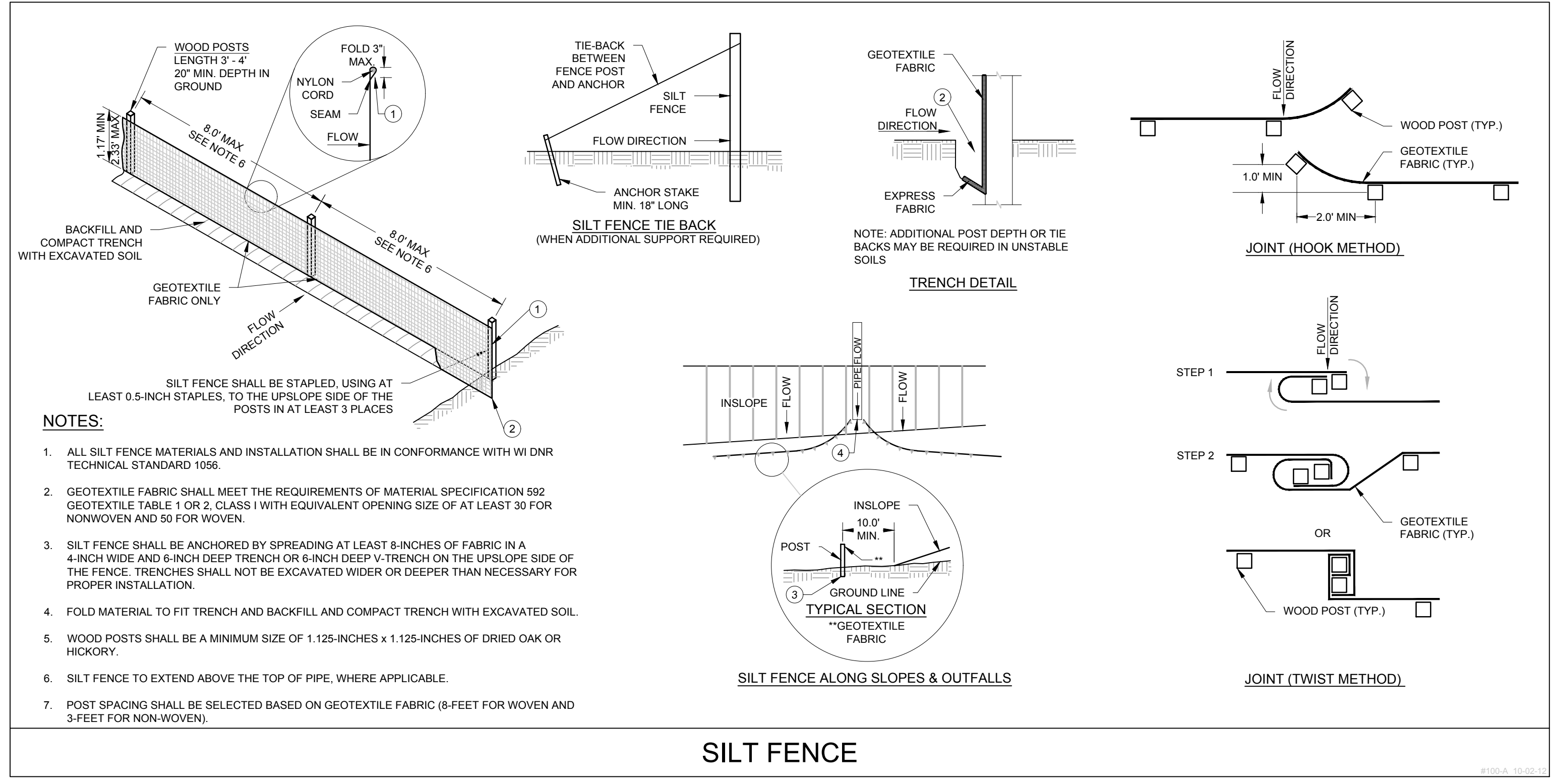


Table 1 – Prescriptive Compliance Area Soil Stabilization

Prescriptive Compliance Areas	Bare Soil	Slope & Channel Management	Periods of Inactivity	Final Grade
Soil stockpiles that will exist for more than 7 days	Areas that Do Not Drain to Sediment Basins or Traps	General	Planned Inactivity	Permanent Features
Utility trench backfills	Limit the duration of soil exposure to no more than 30 days.	Design and implement approved soil stabilization practices per DNR technical standards.	Stabilize immediately if area will be left inactive for more than 14 days.	Stabilize area immediately after reaching final grade.
Temporary ditches/swales that will exist for more than 7 days	Areas that Drain to Sediment Basins or Traps	Refer to WisDOT Slope & Channel Matrices for appropriate slope and slope length conditions.	Unplanned Inactivity	Temporary Features
Permanent ditches/swales	Limit the duration of soil exposure to no more than 90 days. However, use the duration from the soil loss and sediment discharge calculations for the other areas of the site if less than 90 days.	Slopes Steeper than 20%	Stabilize area immediately if period of inactivity reaches 14 days.	Stabilize area immediately after establishment of temporary feature or reaching specified temporary grade.
Small areas – Less than 1 acre and less than 1% of site		Provide stable diversion of off-site runoff around the slope.		
Discrete areas – Less than 1 acre		Provide slope interruption devices in accordance with Manufactured Perimeter Control & Slope Interruption Products Technical Standard 1071 or equivalent methods to reduce uninterrupted slope length.		
Storm water practice side slopes				
Slopes steeper than 20%				

- NOTES:**
- All construction practices shall comply with the City of Pewaukee, Wisconsin DNR requirements and the Wisconsin DNR Technical Standards.
 - All disturbed areas shall be topsoiled (4" thick), seeded and stabilized with Wisconsin DOT Class I, Type B erosion mat per Wisconsin DNR Technical Standard 1052. September 15th is the deadline for permanent seed. Any areas exposed after September 15th and before October 15th shall be temporary seeded with agricultural rye at the rate of 3 lbs/1000 s.f. This temporary cover shall be fertilized at same rate & mixture as permanent seed. Any disturbed areas not stabilized by October 15th should be stabilized by placing topsoil, seed and type a soil stabilizer by November 15th. The approved soil stabilizers are identified in the Wisconsin DOT Pal list. The placement of the soil stabilizer shall meet the requirements in the pal list and per Wisconsin DNR Technical Standard 1050.
 - Temporary stabilization is required for any area left inactive for more than seven days. Topsoil and spoil stockpiles shall be seeded and mulched within 7 days of layup using agricultural rye with a seeding rate of 3 lbs/1000 square feet. Any stockpiles placed after October 15 shall be seeded with dormant seed and either stabilized with Wisconsin DOT Class I, type B erosion mat or seeded with dormant seed, covered with straw and staked biodegradable netting.
 - Trees shall be removed as shown on the plan. No other trees shall be removed. Coordinate tree removal with the owner prior to any tree removal.
 - All construction traffic is to enter/exit the site from Christian Lane over the existing driveway and tracking pad. The tracking pad is per Wisconsin DNR Technical Standard 1057. All private driveways and public streets to be kept clean at all times.
 - The permanent seed mixture shall be Wisconsin DOT seed mixture No. 40 and sown at a rate of 4 lbs/1000 square feet. Seed mixture No. 40 consists of 35% kentucky bluegrass, 20% red fescue, 20% hard fescue and 25% improved fine perennial ryegrass.
 - Fertilize soil with 10 lbs/1000 square feet of 20-0-10 fertilizer. The fertilizer used for restoration shall be free of any phosphorus.
 - Any dewatering that maybe required due to building construction shall be completed so that the water is pumped into a type II geotextile bag on the upslope side of the silt fence. The geotextile bag shall be placed in a location that allows the discharged water to flow over a healthy vegetative cover. Follow DNR Technical Standard 1061.
 - All building end waste material shall be disposed of off site to prevent runoff of material into the lake.
 - Dust control should be addressed per Wisconsin DNR Technical Standard 1068.

- CONSTRUCTION SEQUENCE:**
- Install silt fence and tracking pad. Continuous inspections throughout the project. The builder shall inspect erosion and sediment control practices weekly, and within 24 hours after every rain event that produces 0.5 inches of rain or more in a 24 hour period. Written documentation of each inspection shall be maintained at the construction site and shall include the time, date and location of inspection, the phase of land disturbance at the construction site, person conducting the inspection, assessment of control practices, and description of any erosion or sediment control measure installation or maintenance performed in response to the inspection. Use Wisconsin DNR report forms.
 - Remove trees and strip topsoil.
 - Begin building construction.
 - Rough grade the site and install utilities.
 - Finish grade site.
 - Stone paved areas and install concrete and then asphalt.
 - Topsoil, seed and stabilize any remaining disturbed areas with erosion mat.
 - Contractor to remove and dispose of all temporary erosion control measures once the site is 80% stabilized.
- Estimated Start Date: August 2024
Estimated Completion Date: August 2025
Estimated Disturbed Area = 56,492 S.F. (1.30 AC.)

DESIGNED: BR
DRAWN: ASZ
CHECKED: ASZ
REVIEWED: ASZ

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
(262) 754-8888

CHICAGO | MILWAUKEE | NATIONWIDE

PEWAUKEE TOWNHOMES
CITY OF PEWAUKEE, WAUKESHA COUNTY

CONSTRUCTION DETAILS

REVISIONS

NO.	DESCRIPTION	DATE
1	PC SUBMITTAL	06/10/24

PROJECT NO.: 13725.000A
SHEET NO.: 5
DATE: 05/03/24
SCALE: 1"=20'

FOR REVIEW CONSTRUCTION DETAILS www.pinnacle-engr.com

PEWAUKEE DEVELOPMENT METRICS

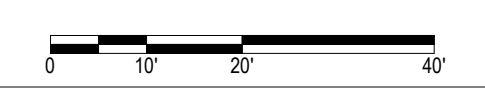
ZONING DISTRICT	RM-2
SITE AREA	54,855 SF (1.26 ACRE)
TOTAL NUMBER OF UNITS	5 UNITS
PROPOSED UNITS PER ACRE	3.96
MINIMUM TOTAL FLOOR AREA (2 BED)	4,457 SF (MIN ALLOWED 2,400 SF)
MINIMUM TOTAL FLOOR AREA/DU	2,228.5 SF (MIN ALLOWED 800 SF)
MINIMUM TOTAL FLOOR AREA (3 BED)	4,264 SF (MIN ALLOWED 3,000 SF)
MINIMUM TOTAL FLOOR AREA/DU	1,421 SF (MIN ALLOWED 1,000 SF)
SETBACKS	35' AT STREET, 25' AT SIDE
PARKING COUNT	13 PROVIDED (13 REQUIRED, 2.5 PER DWELLING UNIT)
TOTAL IMPERVIOUS SURFACE AREA	12,019 SF
TOTAL GREENSPACE AREA	38,629 SF (PLUS 4,207 SF PERMEABLE PAVING PARKING COURT)
PROPOSED LOT COVERAGE	18.9% (10,378 SF) MAX ALLOWED 20% (10,971 SF)

PLANT SCHEDULE

QUANTITY	SCIENTIFIC NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	SIZE
6	Cotinus coggygria 'Royal Purple'	Royal Purple Smokebush	12'	3'	1 Gal
15	CORNUS FLORIDA VAR RUBRA	DOGWOOD FLORIDA PINK	15'	15'	1-1.5"
2	MAPLE FREEMANII AUTUMN BLAZE	ACER X FREEMANII 'JEFFERS RED'	40-60'	20-40'	1.5-2"
13	MAPLE FREEMAN ARMSTRONG GOLD	Armstrong Gold® Maple Tree	40'	12'	4.5"
8	ASTILBE 'VERSILILAC'	ASTILBE YOUNIQUE LILAC	16"	18"	1 Gal
15	JUNIPER STAR POWER	JUNIPERUS 7.N. SELECT BLUE'	15-18"	8-10"	6.7"
20	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Reed Grass	5'	2-3'	1 Gal
25	Hydrangea macrophylla 'Ballerina'	Endless Summer™ The Original Hydrangea	4'	4'	1 Gal
22	Rhododendron 'Rosebud'	Rosebud Azalea	8'	8'	1 Gal
12	Berberis thunbergii 'Orange Rocket'	BARBERRY ORANGE ROCKET	8'	5'	1 Gal
12	ATHYRIUM NIPPONICUM PICTUM'	FERN JAPANESE PAINTED	18"	24"	1 Qt



GRAPHIC LEGEND	
	EXISTING TREE TO REMAIN
	FLOWERING DOGWOOD TREE
	GOLD MAPLE TREE
	BLUE STAR CONIFER
	GOLD MAPLE TREE
	ORANGE BARBERRY
	ASTILBE LILAC
	JAPANESE FERN
	SMOKE BUSH
	FOERSTER REED GRASS
	HYDRANGEA
	AZALEA





01. AERIAL FROM SOUTHEAST



04. VIEW FROM EAST (FENCE NOT SHOWN FOR CLARITY)



02. PERSPECTIVE FROM SOUTHWEST



05. PERSPECTIVE FROM NORTHEAST



03. PERSPECTIVE FROM SOUTH



06. PERSPECTIVE FROM SOUTHEAST WITHIN COURTYARD



RANCH PATIO (FENCE NOT SHOWN FOR CLARITY)



TOWNHOUSE PATIO



TOWNHOUSE ENTRANCE



TOWNHOUSE EXIT



RANCH ENTRANCE



COURTYARD