



Planning Department

W240N3065 Pewaukee Road
Pewaukee, WI 53072
(262) 691-0770 Fax (262) 691-1798

PLAN COMMISSION MEETING NOTICE AND AGENDA Thursday, February 15, 2024 6:00 PM

Pewaukee City Hall Common Council Chambers
W240 N3065 Pewaukee Road, Pewaukee, WI 53072

-
1. Call to Order and Pledge of Allegiance
 2. Discussion and Action Regarding a Recommendation to the Common Council for a Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee for Starla Enterprises, LLC for Land Located at the Northwest Corner of Johnson Drive and Springdale Road from Manufacturing/Fabrication/Warehousing to Office Commercial (PWC 0961996006)
 3. Discussion and Action and Public Hearing for Starla Enterprises, LLC to Rezone Land Located at the Northwest Corner of Johnson Drive and Springdale Road from M-1 General Wholesale Business/Warehouse District to B-4 Office for the Purpose of Constructing a Two-Story Office Building (PWC 0961996006)
 4. Discussion and Action Regarding the Site and Building Plans for Starla Enterprises, LLC for Land Located at the Northwest Corner of Johnson Drive and Springdale Road for the Purpose of Constructing a Two-Story Office Building (PWC 0961996006)
 5. Discussion and Action Regarding a Conceptual Review for Sagewind Development for a Proposed Car Wash, Market, and Gas Station for Property Located at W240 N2687 Pewaukee Road (PWC 0924995)
 6. Discussion and Action Regarding the Site and Building Plans for Zeilhofer Properties, LLC for Property Located at N4 W22540 Bluemound Road for the Purpose of Raising the Storage Building Height by Four Feet (PWC 0963997)
 7. Adjournment

Ami Hurd
Deputy Clerk

2/8/2024

NOTICE

It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum. At the above stated meeting, no action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the City Planner, Nick Fuchs, at (262) 691-6007 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 2.**

DATE: February 15, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Recommendation to the Common Council for a Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee for Starla Enterprises, LLC for Land Located at the Northwest Corner of Johnson Drive and Springdale Road from Manufacturing/Fabrication/Warehousing to Office Commercial (PWC 0961996006)

BACKGROUND:

FINANCIAL IMPACT:

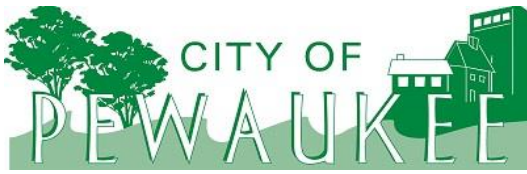
RECOMMENDED MOTION:

ATTACHMENTS:

Description

Radiant Plastic Surgery staff report 2.15.24

Radiant Plastic Surgery narrative



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of February 15, 2024

Date: February 7, 2024

Project Name: Radiant Plastic Surgery Comprehensive Master Plan Amendment, Rezoning, and Site & Building Plan Review

Project Address/Tax Key No.: Not Assigned / PWC 0961996006

Applicant: Alex Colque, MD, SC of Starla Enterprises LLC

Property Owner: B&G Realty LLC and Marcus Consid LLC

Current Zoning: M-1 General Wholesale Business/Warehouse District

2050 Land Use Map Designation: Manufacturing/Fabrication/Warehousing

Use of Surrounding Properties: I-94 and industrial to the north, industrial to the south and west, and City of Brookfield and Marcus Majestic Cinema to the east

History

The applications described below were originally placed on the October 19, 2023 Plan Commission agenda. At that time, the applicant requested that no action be taken to allow for building modifications.

The applicant is now requesting to move forward with the project. According to the applicant, the only building change was to replace the originally proposed brick masonry veneer base of the building with synthetic stucco.

Introduction

The applicant has filed a Comprehensive Master Plan Amendment, Rezoning and Site & Building Plan Review applications for construction of an office building development upon property located at the northwest corner of Johnson Drive and Springdale Road. The applications are further described below.

Comprehensive Master Plan Amendment

The applicant is requesting to amend the Comprehensive Master Plan Year 2050 Land Use/Transportation Plan map future land use designation of the subject property from Manufacturing/Fabrication/Warehousing to Office Commercial.

Rezoning

The applicant has petitioned the City to rezone the subject property from M-1 General Wholesale Business/Warehouse District to B-4 Office District. The proposed medical office use is a Permitted Principal Use within the B-4 District. Future tenants will be subject to Business Plan of Operation or Conditional Use Permit approval, depending upon the proposed use and allowance within the B-4 District.

Note that the proposed land use designation (Comprehensive Master Plan Amendment) and the proposed rezoning are consistent.

Site & Building Plan Review Application

The site plan includes construction of a 2-story, 24,431 square foot office building and associated parking, landscaping, and lighting.

The applicant has also indicated that a potential future building is contemplated. When that building is proposed, a Site & Building Plan Application will be required. The development must continue to conform to the B-4 District standards.

Project Description/Analysis

The subject property has an area of 3.74 acres and is mostly vacant except for an existing drive that connects to the property to the west. The proposed site plan consists of the office building, 62 parking spaces and a bioretention basin for storm water management. The development is in conformance with B-4 District development standards.

Greenspace and Landscaping

Overall, the site plan maintains 68.3% greenspace, which is in conformance with the minimum required greenspace of 40%. The future development of a second building is anticipated to reduce the greenspace onsite to 45.8%.

The Landscape Plan includes 32 trees, 3 evergreen trees, and 312 shrubs. The majority of shrubs are located around the bioretention basin as well as the building.

Access

The development includes ingress/egress from the existing drive abutting Johnson Drive. This drive does not comply with the minimum 5-foot setback requirement; however, at their January 9, 2019, meeting, the Board of Zoning Appeals approved a variance for the existing driveway setback encroachment. This was completed as part of a project that did not move forward. Note variances run with the land.

Lighting

The Lighting Plan includes parking lot lighting as well as six bollard lights along the front or east side of the building. The parking lot lights are 18-feet with a 2-foot base.

There are four light poles located on the west side of the existing drive. Those lights appear to be on the neighboring property. *The applicant shall provide the City with written approval from the property owner of N8W22100 Johnson Drive for any light poles proposed on that property, prior to the permitting and installation of lighting.*

Architecture

The building consists of stucco on the first floor and metal wall panels on the second story. Metal vertical Longboard is utilized as an accent material. Windows are included throughout the building on all elevations.

There are two rooftop mechanical areas, which are screened by gray metal panels.

Signage

A wall sign on the south elevation facing I-94 and a monument sign at the entrance drive are anticipated. These signs are subject to separate review and Sign Permits through the Building Services Department.

Stormwater Management/Engineering

As previously mentioned, a bioretention basin is proposed at the southeast corner of the site for storm water management purposes. Staff recommends that final grading, erosion control, and storm water management plans shall be approved by the Engineering Department prior to issuance of a Building Permit.

Recommendation

Staff recommends approval of the subject applications to allow for the development of an office building upon property bearing Tax Key No. 0961996006.

PROJECT NARRATIVE

Existing Site

The 3.75 acre site is located at the northwest corner of Johnson Road & Springdale Road. It currently is unimproved with a private access road along the west edge. The site is covered by grasses and weeds with abundant trees and shrubs located in the ROW along I94 and Springdale Rd. The site is currently zoned as M-1 Wholesale / Warehouse.

Site Improvements

We request a zoning change to B-4 Neighborhood Business to allow the construction of a two-story, 24,000 square foot professional office building at the northwest portion of the site aligned with the private asphalt drive. Vehicle access will be via the private drive off of Johnson Road. Parking will be provided for 62 cars (3 accessible) with a bioretention basin located at the southeast corner of the site. There will be 68% green space. The trash dumpsters will be kept inside, so there is no trash enclosure on site.

There are provisions for a future office building along the south edge of the site along Johnson Road. This future development would result in 46% green space. The site and bioretention basin will be landscaped per the submitted plans.

Building Use

The building will be two stories in height and will cover 12,000 square feet of the site. The construction cost estimate for the project is \$8.5 million.

The second floor will be occupied by the building owner, Radiant Plastic Surgery and Skiin Anti-Aging Lounge. They will employ 12 people: 2 full-time and 10 part-time. The office will be open 9am – 6pm Monday through Friday, with occasional Saturday hours.

The first floor contains a lobby, support functions and 8,600 square feet of tenant space. The first-floor tenants are not known at this time, but we would anticipate that they would employ approximately 10 to 20 workers depending on the business type.

Building Aesthetics

The building would have light-colored synthetic stucco base at the lower level and modern dark-colored metal panels at the second floor. There will be aluminum windows on both floors with dark anodized metal frames. The roof has a large geometric overhang to give the building character and an identifiable presence to adjacent I94.

There will be two roof mounted air handling units which will be screened as shown on the drawings.

Signage

The building will have illuminated signage integrated onto the building face as shown on the drawings. There will be a small monument sign with building address at the southeast corner of the site.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 3.**

DATE: February 15, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action and Public Hearing for Starla Enterprises, LLC to Rezone Land Located at the Northwest Corner of Johnson Drive and Springdale Road from M-1 General Wholesale Business/Warehouse District to B-4 Office for the Purpose of Constructing a Two-Story Office Building (PWC 0961996006)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Radiant Plastic Surgery rezoning map

I - 94



1" = 100'

REZONE
FROM
M-1 TO
B-4

M-2

JOHNSON

DRIVE

SPRINGDALE ROAD

C.T.H. "SR"

M-2

M-6

M-2

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 4.**

DATE: February 15, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding the Site and Building Plans for Starla Enterprises, LLC for Land Located at the Northwest Corner of Johnson Drive and Springdale Road for the Purpose of Constructing a Two-Story Office Building (PWC 0961996006)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Radiant Plastic Surgery plans

RADIANT PLASTIC SURGERY

SKIIN ANTI-AGING LOUNGE

6661 JOHNSON DRIVE, PEWAUKEE, WI 53702



209 south water street, milwaukee, wisconsin 53204 t 414 359 3060
2310 crossroads drive, suite 2000, madison, wisconsin 53718 t 608 240 9900
1970 main street, suite 201, sarasota, florida 34236 t 941 444 8845
311 canyon wren drive, buda, texas 78610 t 512 649 5627

SHEET INDEX

GENERAL

000 TITLE SHEET

CIVIL

C000 TITLE SHEET
C100 DEMOLITION & EROSION CONTROL PLAN
C200 SITE PLAN
C300 GRADING PLAN
C400 UTILITY PLAN
C500 DETAILS
C501 DETAILS
C502 DETAILS
C503 DETAILS
C600 SPECIFICATIONS

LANDSCAPE

L100 OVERALL LANDSCAPE PLAN
L200 LANDSCAPE PLAN - NORTH
L201 LANDSCAPE PLAN - SOUTH

ARCHITECTURAL

A200 FLOOR PLANS
A400 EXTERIOR ELEVATIONS
A401 EXTERIOR RENDERINGS

ELECTRICAL

ES001 SITE PHOTOMETRIC PLAN

PROJECT INFORMATION

PROJECT DATE: 01/18/2023
PRA PROJECT NUMBER: 230076-01
DRAWING SET: ZONING SUBMITTAL

APPLICABLE CODES AND ZONING

2018 WISCONSIN COMMERCIAL BUILDING CODE (SPS 361-366)
2015 INTERNATIONAL BUILDING CODE
BUSINESS OCCUPANCY, GROUP B

ZONING: CITY OF PEWAUKEE ORDINANCES

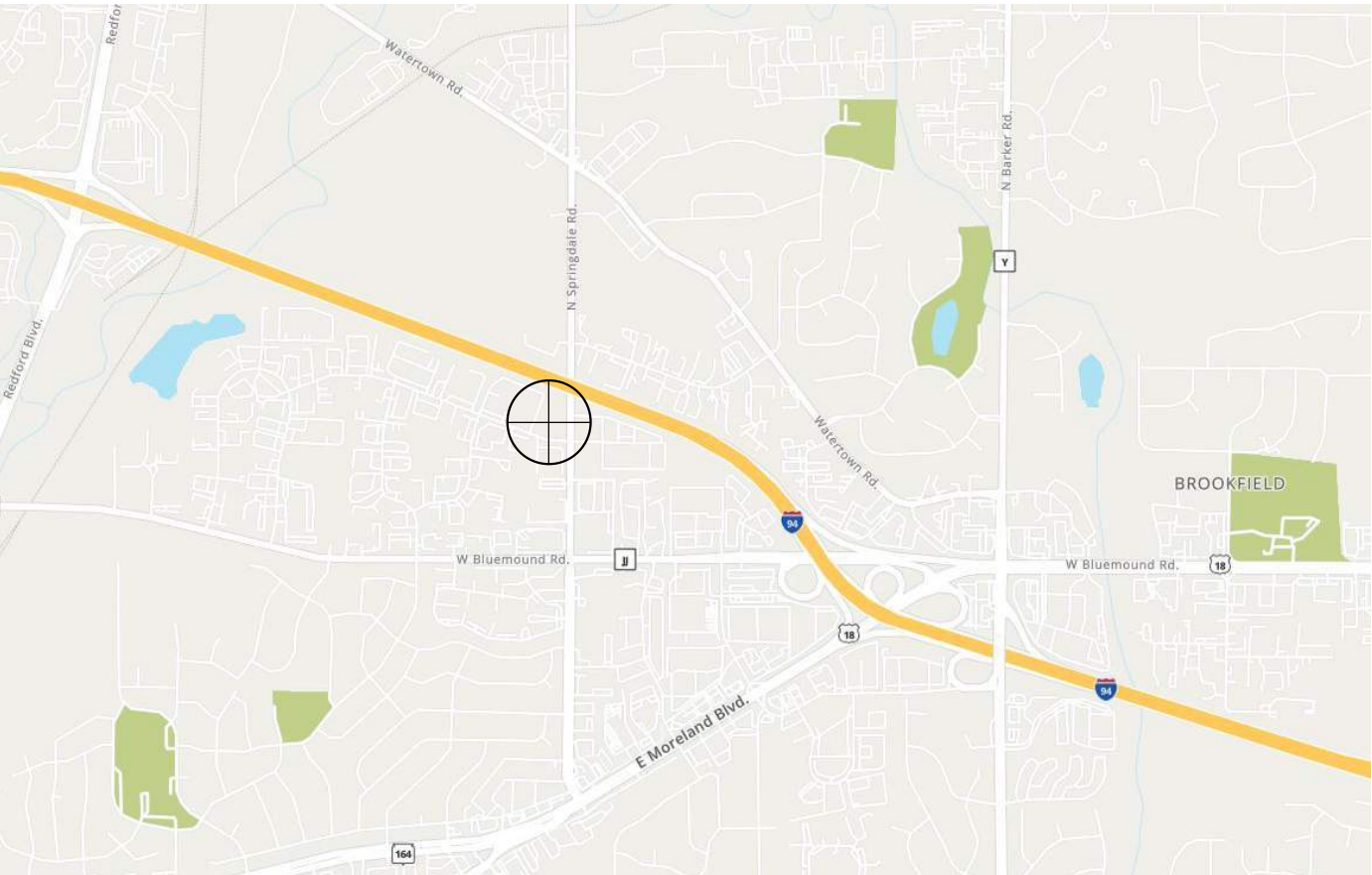
CONSTRUCTION CLASSIFICATION

NEW CONSTRUCTION
TYPE OF CONSTRUCTION: TYPE VB
FIRE PROTECTION: NFPA 13

BUILDING AREA

FIRST FLOOR	12,022 SF
SECOND FLOOR	12,409 SF
TOTAL SF	24,431 SF

PROJECT LOCATION



PROJECT TEAM

CONSTRUCTION MANAGER

PETER SCHWABE, INC TEL(262) 662-5551

CIVIL

RA SMITH TEL(262) 781-1000

LANDSCAPE

RA SMITH TEL(262) 781-1000

STRUCTURAL

PIERCE ENGINEERS TEL(414) 988-7460

PLUMBING & FIRE PROTECTION

TLC ENGINEERING SOLUTIONS TEL(414) 946-0600

MECHANICAL

TLC ENGINEERING SOLUTIONS TEL(414) 946-0600

ELECTRICAL

TLC ENGINEERING SOLUTIONS TEL(414) 946-0600

NOTICE REGARDING DRAWINGS: FOR CONVENIENCE OF REFERENCE, THE DRAWINGS PREPARED BY THE UNDERSIGNED ARCHITECT HAVE BEEN BOUND TOGETHER WITH DRAWINGS PREPARED BY OTHER PERSONS OR FIRMS HIRED DIRECTLY BY THE DESIGN-BUILDER OR OWNER AND NOT UNDER THE DIRECTION OR CONTROL OF THE ARCHITECT. THE DRAWINGS PREPARED BY THE ARCHITECT CAN BE IDENTIFIED BY THE ARCHITECT'S TITLE BLOCK ON EACH INDIVIDUAL DRAWING FOR WHICH IT IS RESPONSIBLE. THE OTHER DRAWINGS ARE THE SOLE RESPONSIBILITY OF THEIR RESPECTIVE PREPARERS.

SITE CIVIL AND LANDSCAPE PLANS

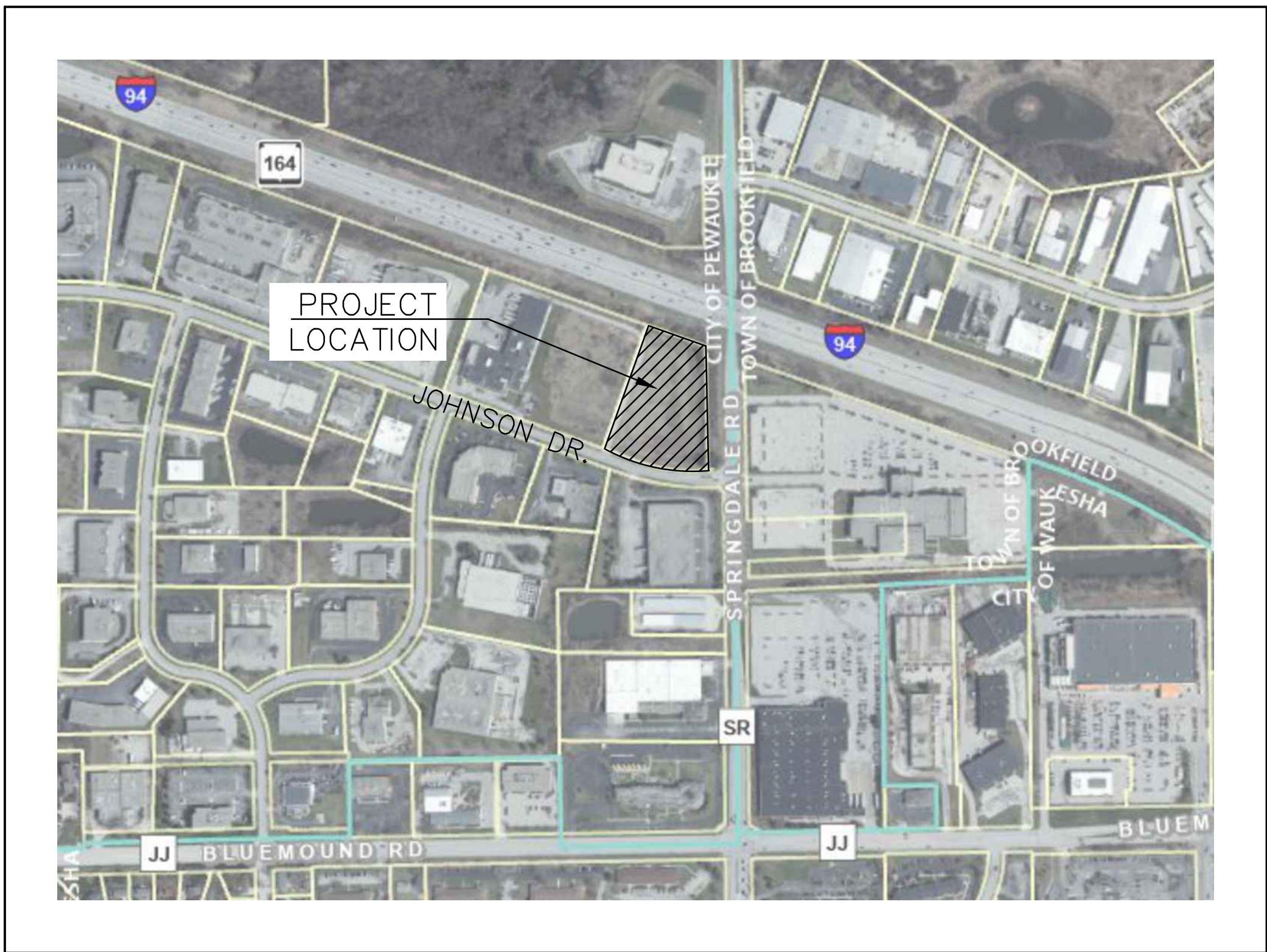
FOR

RADIANT PLASTIC SURGERY

6661 JOHNSON DRIVE

PEWAUKEE, WISCONSIN

VICINITY MAP



LEGEND (PROPOSED FEATURES)

- TREE REMOVAL
- EXISTING CONCRETE PAVEMENT TO BE REMOVED
- EXISTING ASPHALT PAVEMENT TO BE REMOVED
- EXISTING GRAVEL TO BE REMOVED
- EXISTING BUILDING/STRUCTURE TO BE REMOVED
- SAWCUT LINE
- PROPOSED PROPERTY LINE
- PROPOSED SITE LIGHTING (DESIGNED BY OTHERS, FOR REFERENCE ONLY)
- MONUMENT SIGNS (CONSTRUCTION DETAILS BY OTHERS)
- SIGN
- HEAVY-DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- HEAVY-DUTY ASPHALT PAVEMENT
- STANDARD-DUTY ASPHALT PAVEMENT
- COLORED AND STAMPED CONCRETE
- PROPOSED 18" REJECT CURB & GUTTER (AS SHOWN ON SITE PLAN)
- PROPOSED 18" STANDARD CURB & GUTTER (AS SHOWN ON SITE PLAN)
- PROPOSED ACCESSIBLE PAVEMENT MARKING VAN ACCESSIBLE STALL
- PROPOSED TYPE 3 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
- PROPOSED TYPE 3A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
- PROPOSED TYPE 4 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
- PROPOSED TYPE 4A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
- PROPOSED TYPE 7 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
- DOOR
- STRUCTURAL RETAINING WALL - (DESIGNED BY OTHERS)
- PROPOSED 0.5-FOOT GRADE CONTOUR (ONLY USED WHEN CRITICAL)
- PROPOSED 1-FOOT GRADE CONTOUR
- PROPOSED 5-FOOT GRADE CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED TOP OF CURB
- PROPOSED FINISHED SURFACE GRADE ADJACENT TO TOP OF WALL
- PROPOSED FINISHED SURFACE GRADE ADJACENT TO BASE OF WALL
- PROPOSED EROSION CONTROL BALE TEMPORARY DITCH CHECK
- PROPOSED INLET PROTECTION
- PROPOSED SILT FENCE
- PROPOSED TEMPORARY DIVERSION SWALE & BERM
- PROPOSED LEVEL SPREADER
- PROPOSED STONE TRACKING MAT
- PROPOSED PERMANENT TURF REINFORCEMENT MAT
- EROSION CONTROL BLANKET
- PROPOSED RIPRAP
- PROPOSED GAS LINE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE LINE
- PROPOSED WATER MAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED INLET/ CB
- PROPOSED STORM MANHOLE
- PROPOSED AREA DRAIN
- PROPOSED SANITARY MANHOLE

LEGEND

- () INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- OR SECTION OR 1/4 SECTION CORNER AS DESCRIBED
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
- BOLLARD
- SOIL BORING/MONITORING WELL
- FLAGPOLE
- MAILBOX
- SIGN
- BILLBOARD
- AIR CONDITIONER
- CONTROL BOX
- TRAFFIC SIGNAL
- RAILROAD CROSSING SIGNAL
- CABLE PEDESTAL
- POWER POLE
- GUY POLE
- GUY WIRE
- LIGHT POLE
- SPOT/YARD/PEDESTAL LIGHT
- HANDICAPPED PARKING
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- MARKED FIBER OPTIC
- GAS VALVE
- GAS METER
- GAS WARNING SIGN
- STORM MANHOLE
- ROUND INLET
- SQUARE INLET
- STORM SEWER END SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT OR SEPTIC VENT
- SANITARY INTERCEPTOR MANHOLE
- MISCELLANEOUS MANHOLE
- WATER VALVE
- HYDRANT
- WATER SERVICE CURB STOP
- WATER MANHOLE
- WELL
- WATER SURFACE
- WETLANDS FLAG
- MARSH
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUB
- EDGE OF TREES
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- BUREAU ELEC. SERV.
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- INDICATES EXISTING CONTOUR ELEVATION
- INDICATES EXISTING SPOT ELEVATION
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE

PLAN INDEX

SHEET NO.	DESCRIPTION
C000	TITLE SHEET
C100	DEMOLITION & EROSION CONTROL PLAN
C200	SITE PLAN
C300	GRADING PLAN
C400	UTILITY PLAN
C500 - C503	DETAILS
C600	SPECIFICATIONS
L100	OVERALL LANDSCAPE PLAN
L200	LANDSCAPE PLAN - NORTH
L201	LANDSCAPE PLAN - SOUTH

ENGINEER AND LANDSCAPE ARCHITECT:

raSmith
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

ARCHITECT:

PLUNKETT RAYSISH ARCHITECTS, LLP
209 SOUTH WATER STREET
MILWAUKEE, WI 53204



Know what's below.
Call before you dig.

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PLAN DATE: 01/11/2024

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

RADIANT PLASTIC SURGERY
CITY OF PEWAUKEE, WISCONSIN

COVER SHEET



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R.A. Smith, Inc.

DATE: 01/11/2024

SCALE: Custom

JOB NO. 3230082

PROJECT MANAGER:
RYAN J. LANCOUR, P.E.

DESIGNED BY: CRR









CHECKED BY: RJL

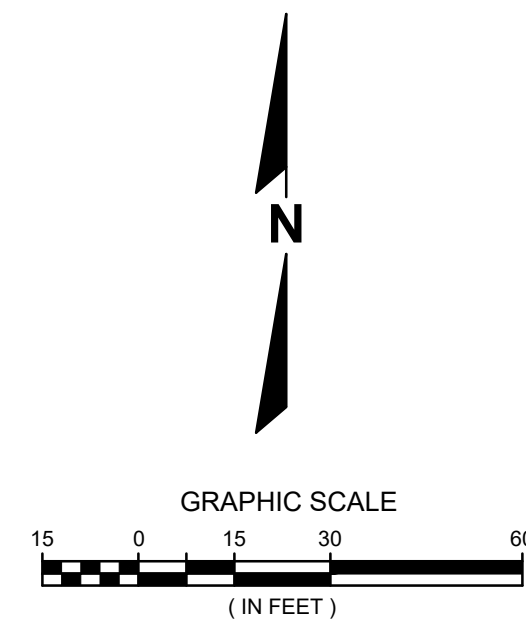
SHEET NUMBER

C000

- * INSTALL ROCK CONSTRUCTION ENTRANCE. THIS IS THE ONLY ENTRANCE AND EXIT TO BE USED FOR ALL CONSTRUCTION ACTIVITIES.
- * INSTALL SILT FENCE AND STRAW WATTLE.
- * INSTALL STORM DRAIN INLET PROTECTION ON EXISTING INDICATED STORM INLETS.
- * INSTALL EROSION CONTROL AND GRADE SITE IN INCREMENTS APPROPRIATE TO WORK WHILE MAINTAINING SEDIMENTATION AND EROSION CONTROL PRACTICES IN CONFORMANCE WITH LOCAL AND STATE GUIDELINES.
- * INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL BMPs WHEN SITE WORK AND GRADING ALOWS.
- * CONSTRUCT UTILITIES AND INSTALL ADDITIONAL STORM DRAIN INLET PROTECTION ON INLETS AS SOON AS THEY ARE CONSTRUCTED.
- * CONSTRUCT ROADS, DRIVEWAYS AND PARKING LOT SUBGRADE. INSTALL CURB AND GUTTER AND PAVE SITE.
- * APPLY SEED FERTILIZER AND MULCH TO LANDSCAPE LAWN AREAS AS SOON AS POSSIBLE.
- * FLUSH STORM SEWER.
- * ONCE THE PROJECT SITE IS 80% STABILIZED, ALL REMAINING TEMPORARY EROSION CONTROL BMPs SHALL BE REMOVED.
- * AT THE END OF THE SITE CONSTRUCTION DURING THE FINAL STABILIZATION, THIS BIORETENTION MEDIA SHALL BE FULLY RESTORED AND ANY SEDIMENT IN THE MEDIA AS A RESULT OF THE CONSTRUCTION PROCESS SHALL BE REMOVED.



- | | |
|---|--|
|  | PROPERTY LINE/ RIGHT OF WAY |
|  | PROTECT AND MAINTAIN EXISTING CURB & GUTTER |
|  | DEMO CURB |
|  | SAWCUT PAVEMENT |
|  | PROPOSED SILT FENCE |
|  | PROPOSED STRAW WATTLE |
|  | EXISTING ASPHALT PAVEMENT TO BE REMOVED |
|  | INLET PROTECTION - TO BE INSTALLED ON ALL EXISTING AND PROPOSED INLETS |



- INITIAL EROSION CONTROL MEASURES (SILT FENCE, ROCK CONSTRUCTION ENTRANCE, INLET PROTECTION) SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY WITHIN PROJECT LIMITS.
- STABILIZE ALL DISTURBED AREAS AS SOON AS GRADING IS COMPLETE IN ORDER TO ENSURE SEEDING MEASURES, EROSION CONTROL MATTING AND MISCELLANEOUS EROSION CONTROL DEVICES ARE INSTALLED AS INDICATED ON THE EROSION CONTROL PLANS.
- UPON FOLLOWING SPRING SEASON OF CONSTRUCTION, CHECK THE VEGETATIVE COVER IN AREAS WHERE SEEDING WAS COMPLETED DURING THE FALL OF THE PREVIOUS YEAR. RESEED AREAS WHERE VEGETATION IS NO LONGER ESTABLISHED OR HAS DIED. INSPECT ALL EROSION CONTROL DEVICES AND REPAIR AS NECESSARY. RESUME CONSTRUCTION ACTIVITY: CONTINUE BUILDING CONSTRUCTION, UTILITY INSTALLATION, AND PAVING.
- WINTER STABILIZATION: ALL PROPOSED VEGETATED AREAS HAVING A SLOPE LESS THAN 15 PERCENT WHICH DO NOT EXHIBIT A MINIMUM 70 PERCENT VEGETATIVE GROWTH BY NOVEMBER 1, OR WHICH IS DISTURBED AFTER NOVEMBER 1 SHOULD BE DORMANT SEEDED AT A RATE 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND COVERED WITH 2 TO 3 TONS OF HAY OR STRAW MULCH PER ACRE WITH EITHER ANCHORED NETTING OR AN APPROVED TACKIFIER FROM THE WISDOT PRODUCT ACCEPTABILITY LIST (PAL). AN EROSION CONTROL BLANKET OR SOIL STABILIZER FROM THE WISDOT PAL MAY BE USED IN LIEU OF MULCH AND NETTING OR MULCH AND TACKIFIER.
- WINTER STABILIZATION: ALL PROPOSED VEGETATED AREAS HAVING A SLOPE GREATER THAN 15 PERCENT WHICH DO NOT EXHIBIT A MINIMUM OF 70 PERCENT VEGETATIVE GROWTH BY NOVEMBER 1 OR WHICH ARE DISTURBED AFTER NOVEMBER 1, SHOULD BE DORMANT SEEDING AT A RATE 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND COVERED WITH A PROPERLY INSTALLED AND ANCHORED EROSION CONTROL BLANKET.

1. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL SITE AND DEMOLITION PERMITS.
2. THE DEMOLITION CONTRACTOR SHALL PREPARE AND MAINTAIN A PROJECT SAFETY PLAN, ALL SITE SAFETY EQUIPMENT AND MEASURES, INCLUDING FENCING, FIRE PROTECTION, AND THE LIKE ARE THE SOLE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR.
3. THE DEMOLITION CONTRACTOR SHALL DEVELOP, OBTAIN NECESSARY APPROVALS/PERMITS AND MAINTAIN TRAFFIC AND PEDESTRIAN CONTROL PLANS THROUGHOUT ALL PHASES OF DEMOLITION.

-ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY SITE WORK.

-SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDING AREAS MUST EXHIBIT MINIMUM OF 80% SOIL COVERAGE.

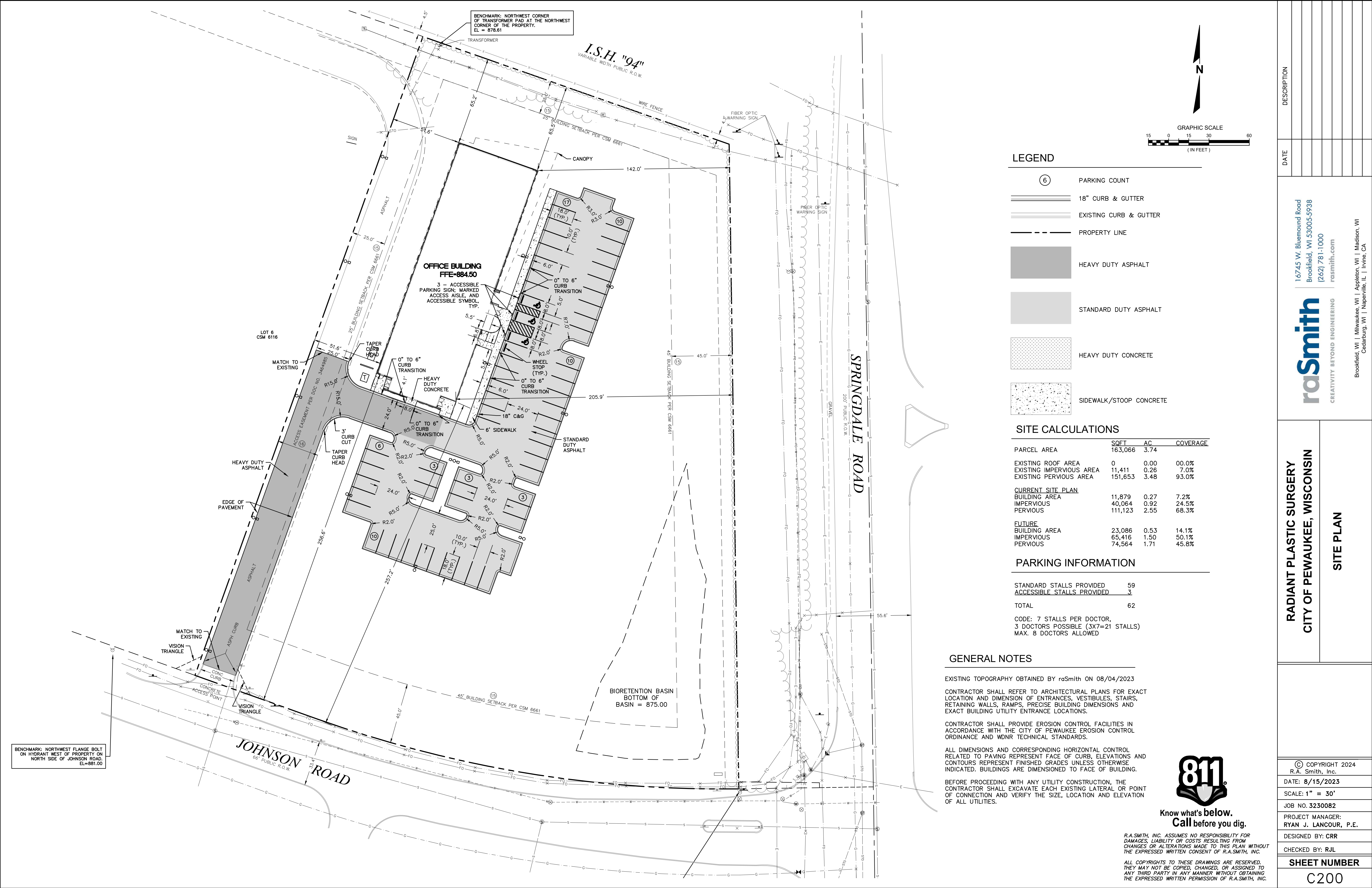


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Call before you dig.

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[illegible]



DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
raSmith CREATIVITY BEYOND ENGINEERING	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA	
RADIANT PLASTIC SURGERY CITY OF PEWAUKEE, WISCONSIN	
SITE PLAN	
© COPYRIGHT 2024 R.A. Smith, Inc.	
DATE: 8/15/2023	
SCALE: 1" = 30'	
JOB NO. 3230082	
PROJECT MANAGER: RYAN J. LANCOUR, P.E.	
DESIGNED BY: CRR	
CHECKED BY: RJL	
SHEET NUMBER	
C200	

Figure A

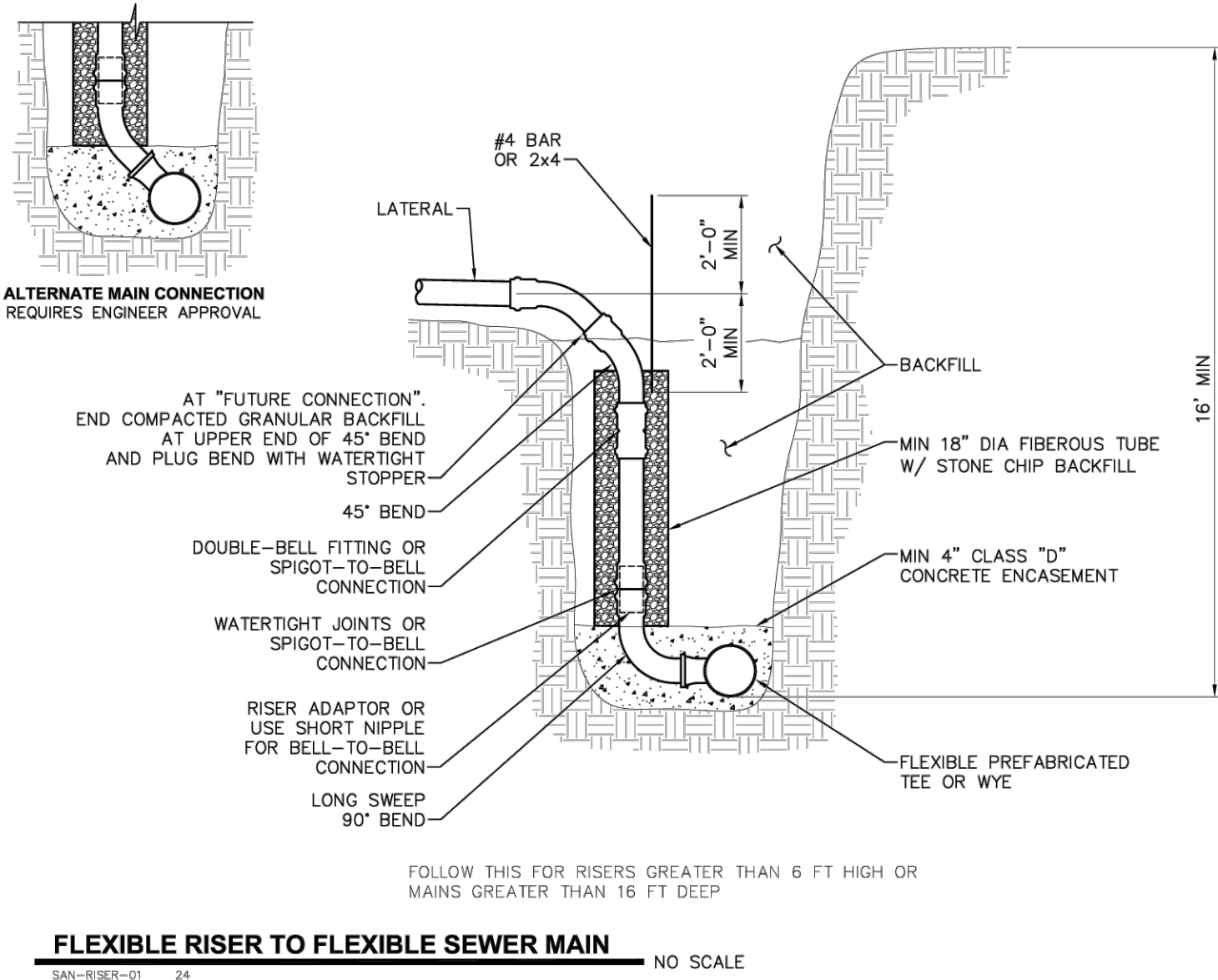
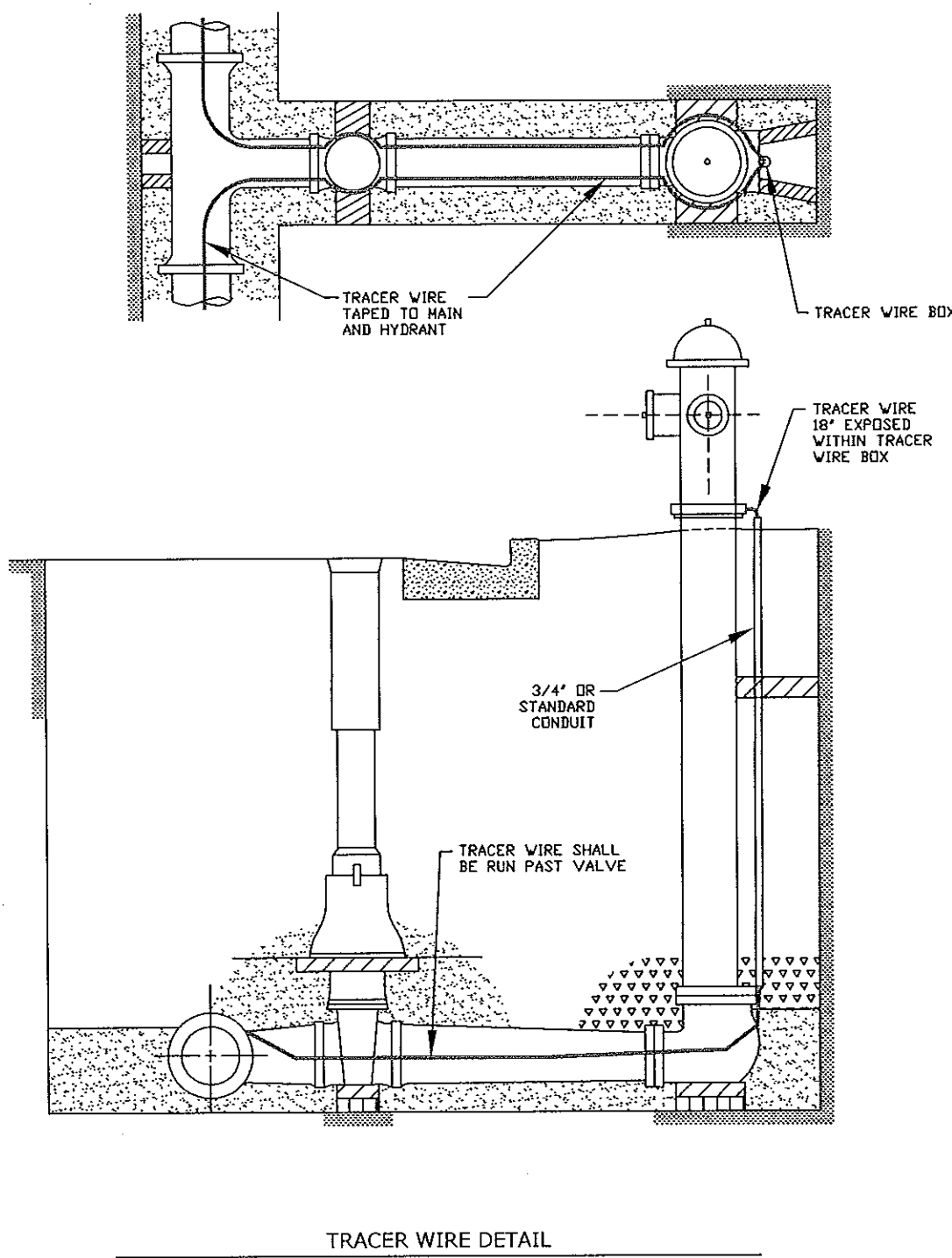


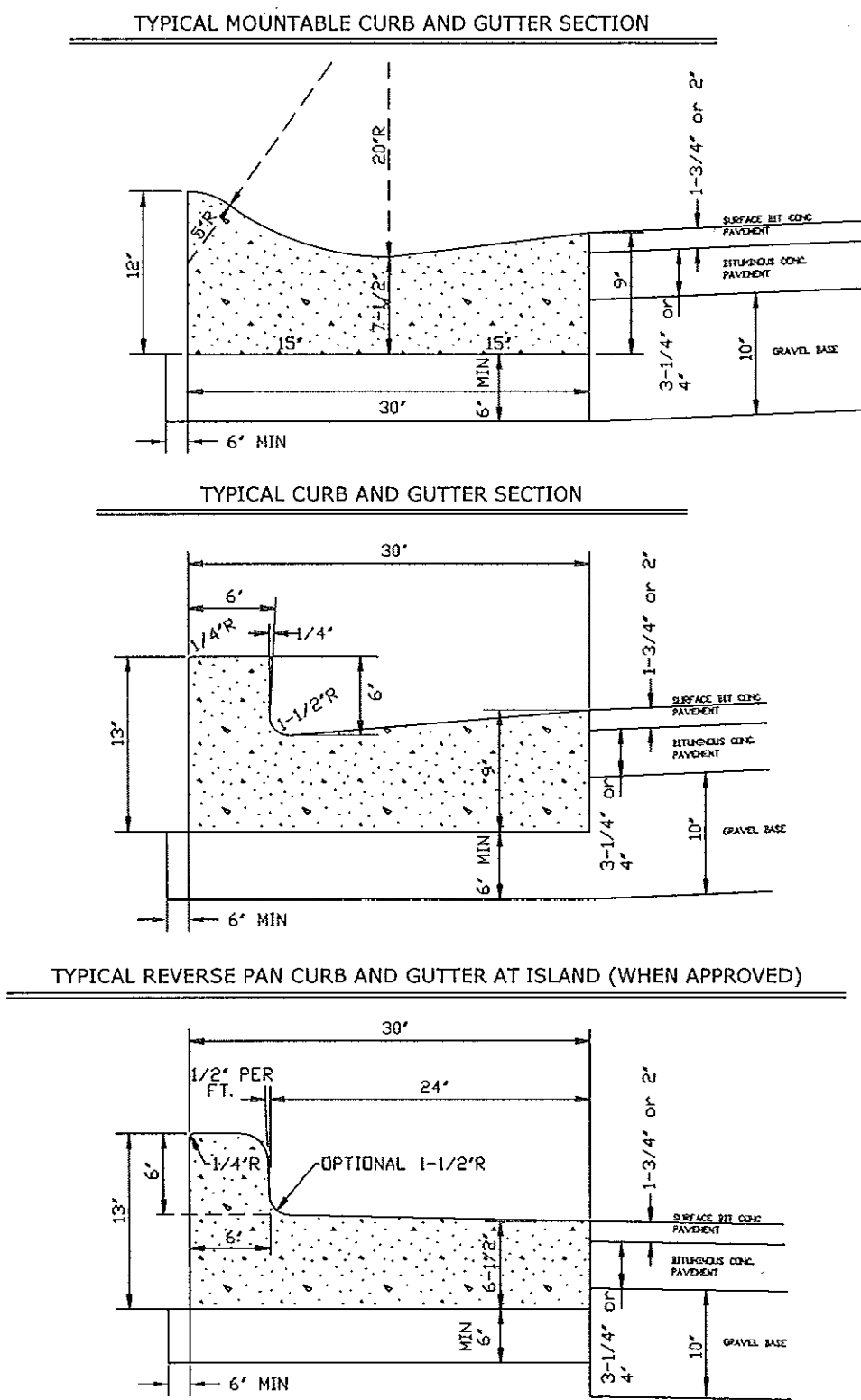
Figure E



CITY OF PEWAUKEE

SCALE: 1"=3' SEPTEMBER 2016 DRAWN BY: JJF

Figure F



CITY OF PEWAUKEE

SCALE: 1"=1' SEPTEMBER 2016 DRAWN BY: JJF

Figure P

Valvco

Tracer Wire Access Box
Specification and Submittal

Tracer wire shall be terminated at each end in a flush mount access box. Access Box shall have a cast iron lid that can be locked and opened with a standard pentagon head key wrench. Tracer wires shall be stripped and attached to stainless steel screws mounted to the underside of the lid. Sufficient slack shall be left in wire length so cover can be lifted with wire intact. Tracer wire access box shall be located directly in front of fire hydrants or where indicated on drawings and be set to grade. Tracer wire access box shall be of domestic manufacture and be equal to Valvco TWAB.

Contact: Fischer, Harris & Associates for information 800-224-7579.

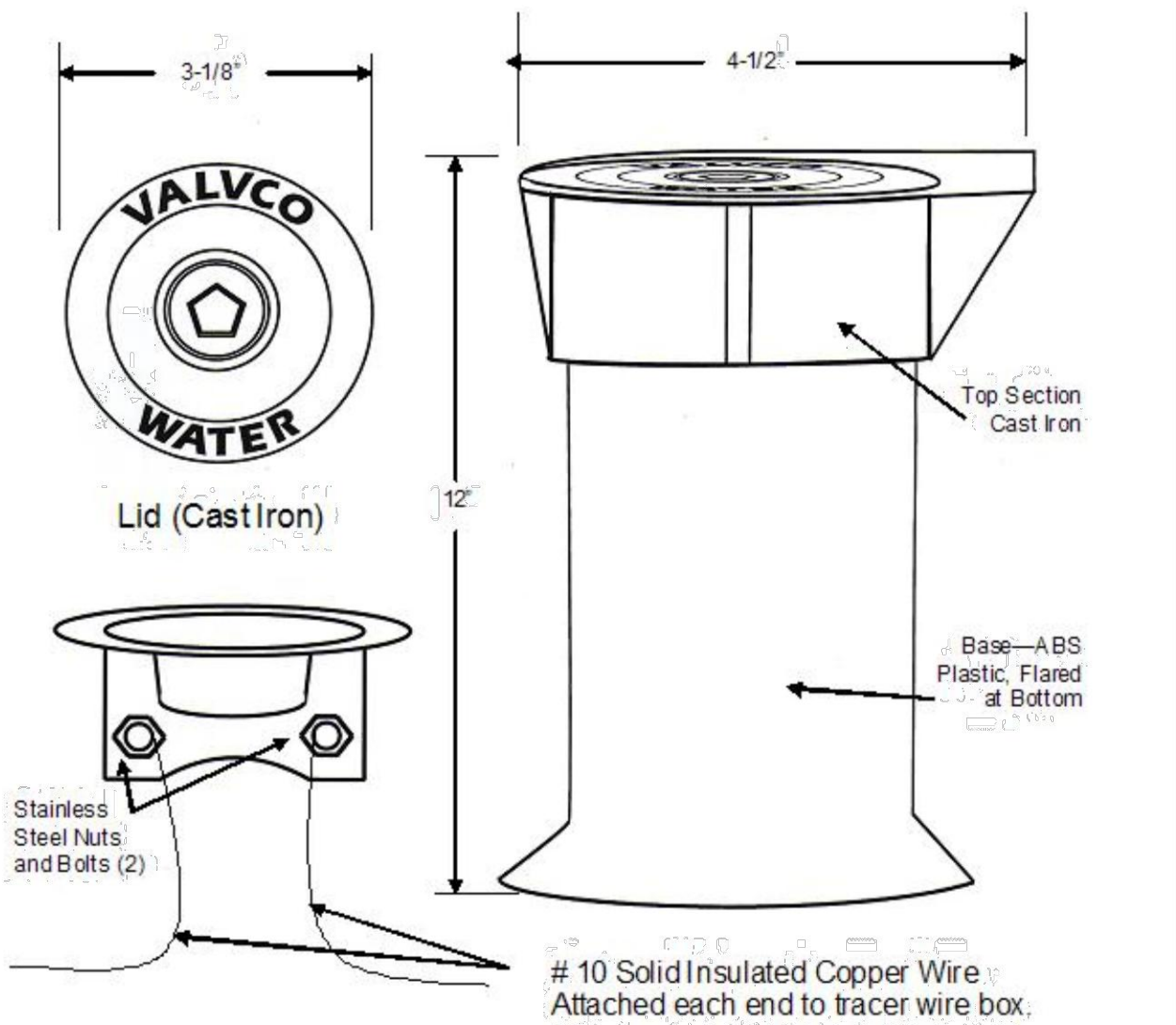
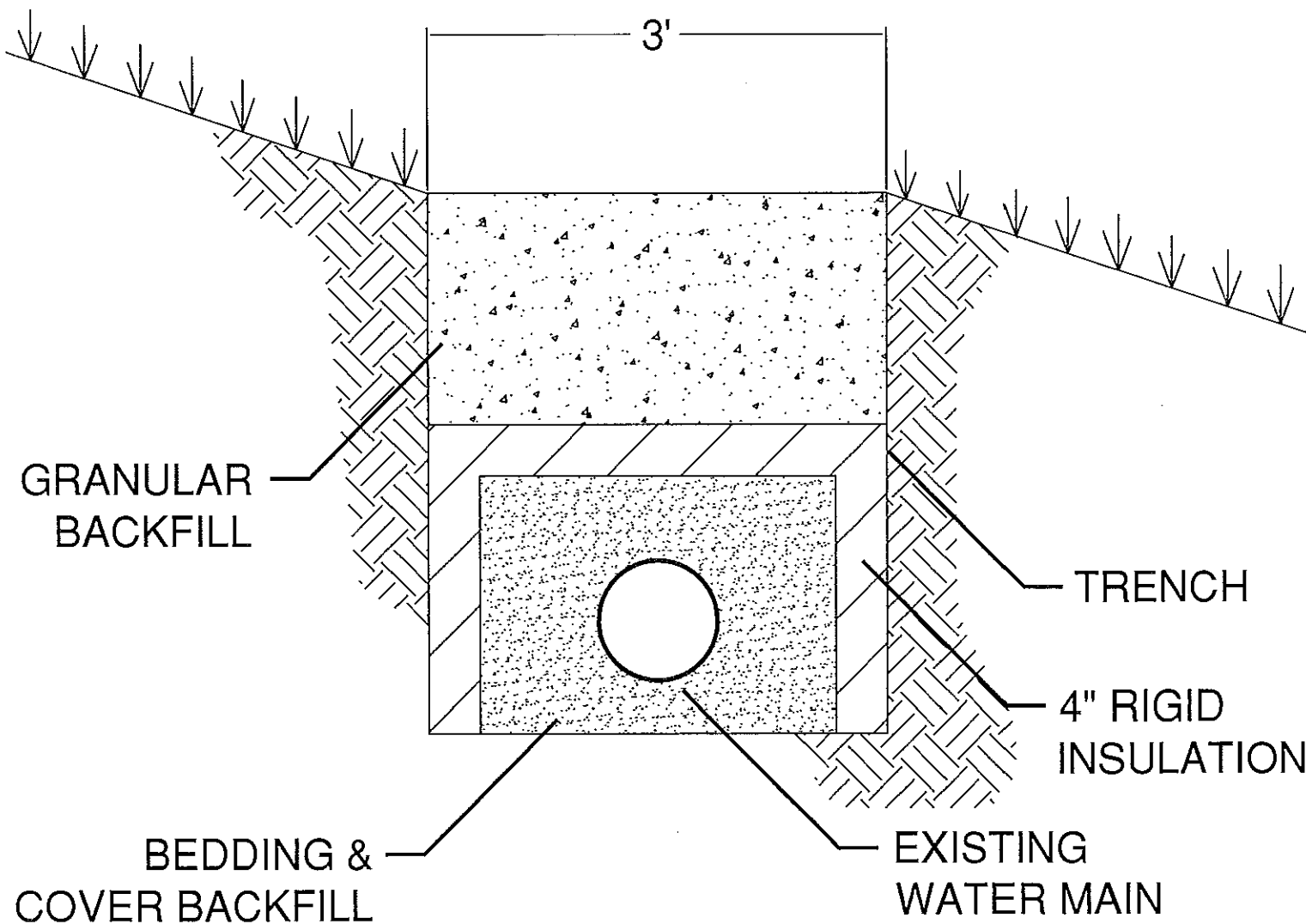


Figure Q



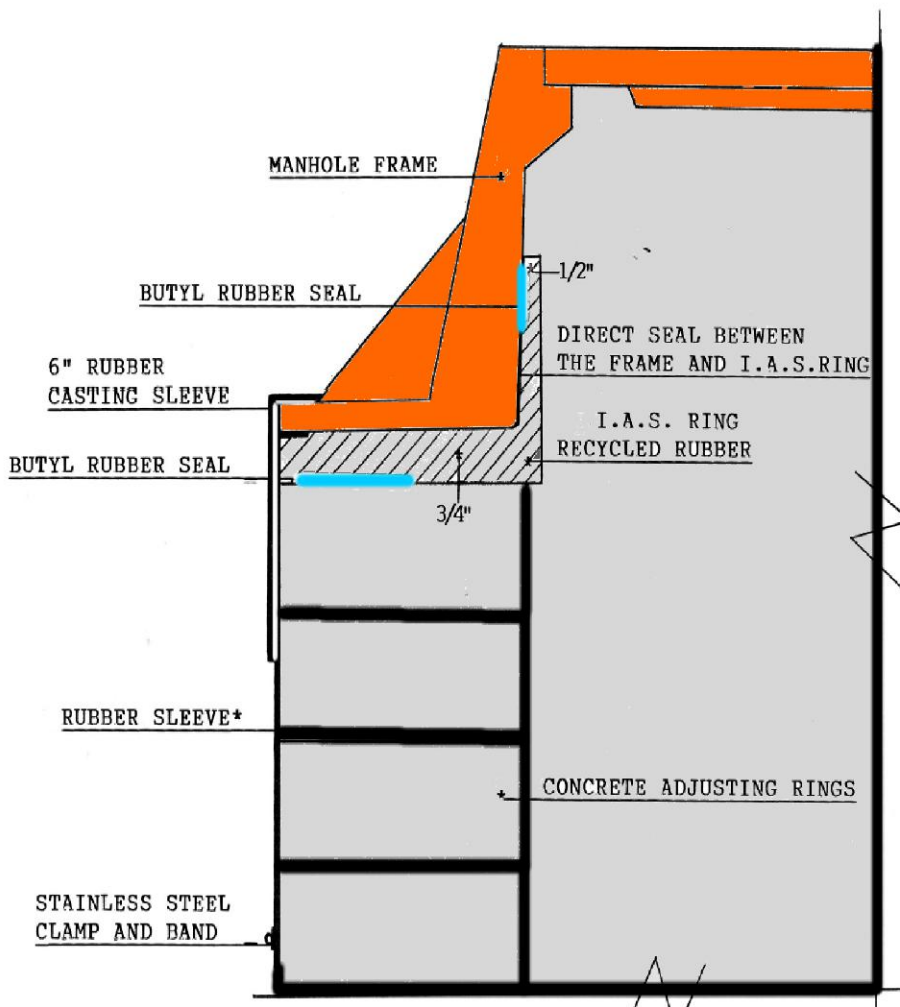
WATER MAIN INSULATION DETAIL

Figure R-1

2151 South 54th Street
West Allis, WI. 53120
P: 414-764-6733
F: 414-764-1494
Web: www.adaptorinc.com



Internal/External Adaptor Seal
Detail Specification



All sanitary manholes shall be provided with an Internal/External Adaptor Seal with a high grade EPDM rubber sleeve having a minimum of 60 mils, to seal the outside of the chimney from the manhole frame down to the cone. It shall have a 3/4" rubber ring that the external sleeve is adhered to and a 1/2" vertical lip that seals to the inside of the casting using butyl mastic. A 304 Stainless Steel band will be used to seal the bottom of the sleeve to the cone section of the manhole. The I/E.A.Seal shall be installed per Adaptor Inc. installation instructions.



Know what's below.
Call before you dig.

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DESCRIPTION		DATE	CITY DETAILS	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com			RADIANT PLASTIC SURGERY CITY OF PEWAUKEE, WISCONSIN	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA			CITY DETAILS	
© COPYRIGHT 2024 R.A. Smith, Inc.			PROJECT MANAGER: RYAN J. LANCOUR, P.E.	
DATE: 01/11/2024			DESIGNED BY: CRR	
SCALE: NTS			CHECKED BY: RJL	
JOB NO. 3230082			SHEET NUMBER	
			C502	

DIVISION 1 – GENERAL REQUIREMENTS

01 41 00 – REGULATORY REQUIREMENTS

1. THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
- a. WISCONSIN NATURAL RESOURCES (NWR) STORM WATER TECHNICAL STANDARDS
 - b. WISCONSIN EROSION CONTROL PRODUCT ACCEPTABILITY LIST
 - c. STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (SSSWCW)
 - d. WISCONSIN ADMINISTRATIVE CODE, SECTIONS SPS 382-387
 - e. WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION
 - f. FEDERAL HIGHWAY ADMINISTRATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
 - g. WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (WMUTCD)
 - h. UNITED STATES DEPARTMENT OF JUSTICE ADA STANDARDS
 - i. UNITED STATES DEPARTMENT OF TRANSPORTATION ADA STANDARDS FOR TRANSPORTATION FACILITIES
 - j. MUNICIPALITY DEVELOPMENT STANDARDS
2. THE OWNER, ENGINEER AND MUNICIPALITY SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS AND FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
5. SHOP DRAWINGS AND/OR MANUFACTURER'S PRODUCT DATA SUBMITTALS ARE REQUIRED ONLY IF THE PRODUCT OR METHOD OF CONSTRUCTION IS DIFFERENT FROM THAT SPECIFIED OR IF REQUIRED BY THE MUNICIPAL ENGINEER.
- a. ALL DOCUMENTS SUBMITTED FOR REVIEW SHALL HAVE THE SPECIFIC MATERIAL, PART, SIZE, ETC. HIGHLIGHTED IN SOME FASHION. EXAMPLE: A FITTING CUT SHEET HAS MULTIPLE PRESSURE RATING FOR DIFFERENT SIZES. HIGHLIGHT THE SPECIFIC SIZE TO BE USED ON PROJECT. ALL SUBMITTALS NOT PROPERLY IDENTIFYING THE SPECIFIC MATERIAL BEING USED WILL BE REJECTED.
 - b. CONTRACTOR SHALL SUBMIT A PDF COPY AND AN EXPLANATION AS TO HOW THE SUBSTITUTION MEETS THE PROPOSED DRAWING (PRODUCT SPECIFICATION SHEETS WITHOUT EXPLANATION WILL NOT BE ACCEPTED) TO THE OWNER'S REPRESENTATIVE OR ENGINEER FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL NOT PROCEED UNTIL THE OWNER'S APPROVAL IS GIVEN. IN PROJECT SCHEDULING CONTRACTOR SHALL ACCOUNT FOR 5 WORKING DAYS FOR SUBMITTAL REVIEW. IN THE EVENT SUCH SUBSTITUTION IS APPROVED, THE OWNER WILL REQUIRE THE CONTRACTOR A CREDITED DEDUCTION FROM THE CONTRACT AMOUNT EQUAL TO ANY SAVINGS IN MATERIAL COST RESULTING FROM THE PROPOSED SUBSTITUTION.
6. THE CONTRACTOR SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR THE QUALITY OF WORK. IF CHANGES OR ADJUSTMENTS ARE RECOMMENDED BY THE CONTRACTOR, THEY MAY BE MADE ONLY UPON WRITTEN APPROVAL OF THE OWNER OR HIS REPRESENTATIVE.
- a. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE **OWNER OR HIS REPRESENTATIVE** SHALL DECIDE ALL QUESTIONS WHICH SHALL ARISE AS TO THE QUALITY AND DIMENSIONS OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTERPRETATION OF THE PLANS AND SPECIFICATIONS HE SHALL DETERMINE THE AMOUNT OF WORK PERFORMED AND MATERIALS FURNISHED.
 - b. FAILURE OR NEGLIGENCE ON THE PART OF THE **OWNER OR HIS REPRESENTATIVE** TO CONDEMN OR REJECT SUBSTANDARD OR OTHERWISE CONSTRUCTED WORK OR NOT TO MAKE ANY ACCEPTABLE ADJUSTMENTS OF SUCH WORK OR MATERIALS, IF IT BECOMES EVIDENT AT ANY TIME PRIOR TO THE FINAL ACCEPTANCE OF THE WORK BY THE OWNER, NEITHER SHALL IT BE CONSTRUED AS BARRING THE OWNER, AT ANY SUBSEQUENT TIME OR WORK, FROM THE RIGHT OF INSPECTION, AND ANY MATERIAL FURNISHED UNDER THESE SPECIFICATIONS IS SUBJECT TO SUCH INSPECTION. THE OWNER OR HIS REPRESENTATIVES SHALL BE ALLOWED ACCESS TO ALL PART OF THE WORK, AND SHALL BE FURNISHED WITH SUCH INFORMATION AND ASSISTANCE BY THE CONTRACTOR AS IS DETERMINED BY THE OWNER OR HIS REPRESENTATIVE, TO MAKE A COMPLETE AND DETAILED INSPECTION.
 - c. ALL WORKMANSHIP SHALL CONFORM TO THE BEST STANDARD PRACTICE, UNLESS OTHERWISE SPECIFIED, THE SPECIFICATIONS OR RECOGNIZED ASSOCIATION OF MANUFACTURERS AND CONTRACTORS OR INDUSTRIAL MANUFACTURERS SHALL BE USED AS GUIDES FOR THE WORKMANSHIP.
 - d. ALL EXPOSED ITEMS OF WORK SHALL PRESENT A NEAT WORKMANLIKE APPEARANCE AND SHALL BE AS TRUE TO SHAPE AND ALIGNMENT AS POSSIBLE TO OBTAIN WITH MEASURING OR LEVELING INSTRUMENTS. GENERALLY USED IN THE RESPECTIVE TYPES OF WORK SHALL BE SOLID AND FULLY PROTECTED AGAINST DAMAGE AND PREMATURE DETEIORATION. IT IS SPECIFICALLY UNDERSTOOD THAT IN ALL QUESTIONS OF QUALITY AND ACCEPTABILITY OF WORKMANSHIP, THE CONTRACTOR AGREES TO ABIDE BY THE DECISION OF THE **OWNER OR HIS REPRESENTATIVE**.
 - e. ALL MATERIALS AND WORKMANSHIP NOT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE CONSIDERED AS DEFECTIVE, AND ALL SUCH MATERIALS, WHETHER IN-PLACE OR NOT, SHALL BE REJECTED AND SHALL BE REMOVED FROM THE WORK BY THE CONTRACTOR AT HIS EXPENSE. UPON FAILURE ON THE PART OF THE CONTRACTOR TO COMPLY WITH ANY ORDER OF THE OWNER RELATIVE TO THE PROVISIONS OF THIS ARTICLE, THE OWNER SHALL HAVE THE AUTHORITY TO REMOVE AND REPLACE SUCH DEFECTIVE MATERIAL AND TO DEDUCT THE COST OF REMOVAL AND REPLACEMENT FROM ANY MONIES DUE OR WHEN DUE TO THE CONTRACTOR.
 - f. THE CONTRACTOR SHALL KEEP A LEGIBLE COPY OF THE PLANS, SPECIFICATIONS, AND ALL PERMITS AT THE SITE OF THE WORK AT ALL TIMES.
 - g.
 - i. AT THE COMPLETION OF THE WORK AND PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL PROVIDE THE **OWNER OR HIS REPRESENTATIVE** WITH A MARKED-UP SET OF DRAWINGS SHOWING CHANGES OR VARIATIONS FROM THE ORIGINAL DRAWINGS. THESE CHANGES SHALL BE MADE ON A SET OF FIELD DRAWINGS AS THE WORK TAKES PLACE, AND NOT FROM MEMORY WHEN THE WORK IS DONE. THIS SET OF DRAWINGS SHOULD BE KEPT IN A LOCATION AT THE SITE WHERE THE **OWNER OR HIS REPRESENTATIVE** MAY EXAMINE THEM.
 - ii. THE MARKED-UP DRAWINGS SHALL BE ACCURATE. ARBITRARY MARKINGS ARE OF NO VALUE. CAREFUL MEASUREMENTS SHALL BE MADE TO LOCATE UNDERGROUND EXTERIOR AND UNDERGROUND INTERIOR SEWERS, GAS LINES, WATER LINES, ELECTRICAL CONDUIT AND MISCELLANEOUS PIPING.
7. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRAFFIC CONTROL PLANS AND PERMITTING FOR ALL WORK TO BE COMPLETED ONSITE OR IN THE PUBLIC RIGHT-OF-WAY.

01 70 00 – EXECUTION & CLOSEOUT REQUIREMENTS

1. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPLY WITH THIS PLAN.
2. EXISTING UTILITY INFORMATION IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, BASED ON BEST AVAILABLE PUBLIC RECORDS, AS-BUILT DRAWINGS, AND FIELD OBSERVATIONS. NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR ACCURACY OR COMPLETENESS. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND NATURE OF EXISTING UTILITIES, AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.
3. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL PROPOSED UTILITY CONNECTIONS AND CROSSINGS PRIOR TO PROCEEDING WITH ANY WORK. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF THE BENCHMARKS AND HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES, AND SHALL NOTIFY THE ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH ANY WORK.
6. SURVEY BENCHMARKS AND CONTROL POINTS SHALL BE MAINTAINED AND PROTECTED FROM DISTURBANCE. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED AT ALL TIMES. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
7. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR. THE COST OF RESTORATION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED.
8. PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SITE SHALL BE LIMITED TO THE CONSTRUCTION ENTRANCE.
9. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES, SHALL BID ON THEIR OWN ESTIMATE OF THE WORK REQUIRED, AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
11. REQUESTS FOR CLARIFICATION WILL BE INTERPRETED BY THE OWNER/ENGINEER PRIOR TO AWARD OF CONTRACT, AND WHEN NECESSARY, OFFICIAL WRITTEN RESPONSES SHALL BE ISSUED. WRITTEN RESPONSES SHALL BE BINDING TO THE WORK. IN NO WAY SHALL VERBAL DIALOGUE CONSTITUTE OFFICIAL RESPONSE.
12. SHOULD ANY DISCREPANCIES BE DISCOVERED BY THE CONTRACTOR AFTER AWARD OF CONTRACT, NOTIFY OWNER/ENGINEER IN WRITING IMMEDIATELY. CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES SHALL NOT COMMENCE OR CONTINUE UNTIL AN OFFICIAL WRITTEN RESPONSE IS RECEIVED.
13. ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE. THIS GUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP.
14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE MUNICIPALITY, AND THE MUNICIPALITY'S INSURANCE, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

DIVISION 31 – EARTHWORK

31 10 00 – SITE CLEARING & DEMOLITION

1. WORK SHALL CONSIST OF DEMOLITION, ABANDONMENT, AND REMOVAL OF EXISTING FOUNDATIONS, WALLS, SLABS, FENCES, PIPING, PAVEMENTS, AND OTHER MANMADE ITEMS INTERFERING WITH NEW CONSTRUCTION. WORK SHALL ALSO INCLUDE EXISTING CURBING, SIDEWALKS, PATIOS, STUMPS, STUMPS, RUBBISH, AND OTHER PERISHABLE MATERIAL INTERFERING WITH NEW CONSTRUCTION.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. ALL 811 OR NOTIFIED FIELD LOCATION OF EXISTING UTILITIES WITHIN PROJECT LIMITS PRIOR TO ANY CONSTRUCTION RELATED ACTIVITIES.
4. INSTALL PERIMETER FENCING AS INDICATED PRIOR TO COMMENCING ANY CONSTRUCTION RELATED ACTIVITY.
5. CLEARLY IDENTIFY ALL VEGETATION TO BE PRESERVED AND/OR RELOCATED PRIOR TO CLEARING AND GRUBBING.
6. PROTECT EXISTING IMPROVEMENTS TO REMAIN DURING CONSTRUCTION. ANY DAMAGED IMPROVEMENTS SHALL BE RESTORED TO ORIGINAL CONDITION, OR AS OTHERWISE ACCEPTABLE TO THE OWNER.
7. REMOVE EXISTING ABOVE-GRADE AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
8. SAWCUT ALL PAVEMENT TO BE REMOVED IN STRAIGHT LINES TO FULL DEPTH.
9. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. BREAK UP CONCRETE SLABS THAT ARE 2 FEET OR MORE BELOW PROPOSED SUBGRADE TO PERMIT DRAINAGE.
10. DISCONNECT AND SEAL/CAP EXISTING UTILITIES TO BE REMOVED, RELOCATED, OR ABANDONED IN ACCORDANCE WITH REQUIREMENTS OF UTILITY PROVIDERS.
11. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING NECESSARY REMOVAL AND/OR RELOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS.
12. DISCONNECT AND SEAL/CAP EXISTING UTILITIES TO BE REMOVED, RELOCATED, OR ABANDONED BY THE OWNER.
13. VOIDS LEFT BY REMOVALS SHALL BE LEVELED TO PREVENT PONDING OF WATER.
14. REMOVE AND LEGALLY DISPOSE OF DEMOLISHED MATERIALS, TRASH, AND DEBRIS FROM THE PROJECT SITE. RUBBISH, TRASH, GARBAGE, AND LITTER SHALL BE PLACED IN SEALED CONTAINERS THROUGHOUT CONSTRUCTION.

31 20 00 – EARTH MOVING

1. WORK SHALL CONSIST OF STRIPPING AND STORAGE OF TOPSOIL, EXCAVATION, EMBANKMENT, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE LAND BALANCE, COMPACTION, FINISH GRADING, SUBGRADE PREPARATION, AND REPLACEMENT OF TOPSOIL.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. ALL EARTHMOVING SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION BASED ON FIELD CONDITIONS, AND THESE REQUIREMENTS, THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.
4. EXCAVATE TO SUBGRADE REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS. UNENCOUNTERED, EXCAVATED MATERIAL MAY INCLUDE ROCK AND UNCLASSIFIED OBSTRUCTIONS, WHICH IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE WORK.
5. EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND MINIMUM OF 10 FEET BEYOND BUILDING PAD AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL.
6. EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE REMOVED TO A MINIMUM OF 2 FEET BELOW PROPOSED SUBGRADE AND PAVEMENT AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL.
7. AREAS SHALL BE GRADED TO WITHIN 1 INCH, MORE OR LESS, OF PROPOSED SUBGRADE. DEVIATIONS SHALL NOT BE CONSIDERED.
8. PLOTTING, HARROWING, AND VIBRATION TECHNIQUES SHALL BE USED TO DRY SUBGRADE PRIOR TO PROOF ROLLING.
9. IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER, PROOF ROLL SUBGRADE BELOW BUILDING PAD AND PAVEMENT AREAS DURING DRY WEATHER WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK WHERE COHESIVE SOILS ARE PREDOMINANT, AND WITH A SINGLE WHEEL ROLLER WHERE GRANULAR SOILS ARE PREDOMINANT. PROOF ROLLING SUBGRADE WHICH IS OBSERVED TO RUT OR DEFLECT EXCESSIVELY SHALL BE UNDERCUT IN CONFORMANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. DO NOT PROOF ROLL WET OR SATURATED SUBGRADE.
10. TOPSOIL REPLACEMENT DEPTH SHALL BE TO SUBGRADE. THIS SHALL INCLUDE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVATE WATER PONDING, SURFACE WATER AND GROUNDWATER SHALL BE PREVENTED FROM ENTERING EXCAVATIONS, PONDING ON PREPARED SUBGRADES, AND FLOODING PROJECT SITE AND/OR SURROUNDING AREAS.
11. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR ALL EARTHWORK COMPUTATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SHOUL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
12. TOPSOIL REPLACEMENT DEPTH SHALL BE AS CALLED OUT ON THE CIVIL OR LANDSCAPE PLANS, OR A MINIMUM OF FOUR INCHES IF NOT CALLED OUT ON LANDSCAPE PLAN.

31 25 00 – EROSION & SEDIMENTATION CONTROLS

1. WORK SHALL CONSIST OF INSTALLATION OF TEMPORARY AND PERMANENT PRACTICES FOR SEDIMENTATION CONTROL, EROSION CONTROL, SLOPE PROTECTION, AND REMOVAL OF PRACTICES UPON FINAL SITE STABILIZATION.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. INSTALLATION AND MAINTENANCE OF PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE MGNR TECHNICAL STANDARD, OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE.
4. ALL PRACTICES SHALL BE INSTALLED PRIOR TO COMMENCING ANY LAND DISTURBING CONSTRUCTION RELATED ACTIVITY. EARTHWORK ASSOCIATED WITH INSTALLATION OF PRACTICES MAY OCCUR CONCURRENTLY.
5. ALL PRACTICES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH PERMIT REQUIREMENTS.
6. ALL PRACTICES SHALL BE ROUTINELY INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. THE CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND CONDUCT REPAIRS AS NEEDED.
7. ALL DISTURBED AREAS SHALL DRAIN TO A CONTROL PRACTICE AT ALL TIMES DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED, DEPENDING UPON HOW THE CONTRACTOR GRADDES THE SITE, IT MAY BE NECESSARY TO INSTALL ADDITIONAL CONTROL PRACTICES IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT SITE. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL CONTROL PRACTICES NECESSARY TO PREVENT EROSION AND SEDIMENTATION.
8. ALL DISTURBED GROUND LEFT INACTIVE FOR 7 DAYS SHALL BE STABILIZED WITH A TEMPORARY SEED MIXTURE AND MULCH. THE TEMPORARY SEED MIXTURE SHALL BE IN ACCORDANCE WITH SECTION 630 OF WISDOT STANDARD SPECIFICATIONS. MULCH SHALL BE USED FOR TEMPORARY SEED AFTER SEPTEMBER.
9. DISTURBED AREAS THAT CAN NOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM).
10. ALL ACTIVITIES ON THE PROJECT SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME.
11. DUST GENERATED BY CONSTRUCTION RELATED ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING, OR OTHER APPROPRIATE MEASURES.
12. THE CONTRACTOR SHALL MAINTAIN SAFE WORKING CONDITIONS BY HAVING APPROPRIATE PUMPS AND FILTER BAGS ONSITE. WATER FROM CONSTRUCTION DETERIORING SHALL BE TREATED PRIOR TO DISCHARGE FROM THE PROJECT SITE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT SITE AND PUBLIC ROADS DURING CONSTRUCTION. PUBLIC ROADS SHALL BE KEPT FREE OF SEDIMENT TRACKED FROM AREAS UNDER CONSTRUCTION BY DAILY SWEEPING OR OTHER APPROPRIATE MEASURES.
14. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
15. ALL SEEDED AREAS SHALL BE MAINTAINED AND RESEED AS NECESSARY. MULCH SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN TO MAINTAIN A DENSE PERENNIAL VEGETATIVE COVER.

DIVISION 32 – EXTERIOR IMPROVEMENTS

32 12 00 – ASPHALT PAVING

1. WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF HOT-MIX ASPHALT, PAVEMENT MARKING, SIGNAGE, AND CLEANUP.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.
4. ASPHALTIC MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 455 OF WISDOT STANDARD SPECIFICATIONS.
5. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 460 OF WISDOT STANDARD SPECIFICATIONS.
6. DO NOT CONDUCT ASPHALT PAVING IF ANY OF THE FOLLOWING CONDITIONS EXIST: CRUSHED STONE BASE IS WET OR EXCESSIVELY DAMP; TEMPERATURE IS BELOW 50 DEGREES FAHRENHEIT AT TIME OF BINDER COURSE INSTALLATION; TEMPERATURE HAS BEEN BELOW 35 DEGREES FAHRENHEIT WITHIN 12 HOURS PRIOR TO TACK COAT APPLICATION; TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AT TIME OF SURFACE COURSE INSTALLATION. COMPACT ASPHALT IN ACCORDANCE WITH SECTION 450 OF WISDOT STANDARD SPECIFICATIONS. COMPACT ASPHALT TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/4-INCH FOR BINDER COURSE, AND WITHIN PLUS 1/4-INCH FOR SURFACE COURSE (NO MINUS).
8. APPLY TACK COAT BETWEEN ASPHALT COURSES AT A MINIMUM RATE OF 0.25 GAL/SY.
9. NO TRAFFIC SHALL BE ALLOWED ON ASPHALT AFTER FINAL ROLLING UNTIL IT HAS COOLED AND HARDENED.
10. FINAL ASPHALT SURFACE SHALL BE WITHIN A 1 1/8-INCH TOLERANCE AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED LONGITUDINALLY OR TRANSVERSELY. REMOVE AND REPLACE ALL RAISED AND DEPRESSED AREAS EXCEEDING TOLERANCE.
11. A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS AT ADA PARKING STALLS AND ADJACENT UNLOADING AREAS IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
12. A SLOPE NO GREATER THAN 3% ALONG THE LENGTH OF THE ACCESSIBLE ROUTE IS REQUIRED. A SLOPE NO GREATER THAN 2% ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

32 13 00 – CONCRETE PAVING

1. WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF CONCRETE, AND CLEANUP.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.
4. CONCRETE SHALL BE GRADE A AIR-ENTRAINED IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
5. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS.
6. WATER SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C94 / C94M.
7. AIR-ENTRAINING SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C660.
8. LIQUID CURING COMPOUND SHALL BE IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS AND AASHTO M 148.
9. CURBING SHALL BE IN ACCORDANCE WITH SECTION 601 OF WISDOT STANDARD SPECIFICATIONS.
10. SIDEWALK AND PATIO SHALL BE IN ACCORDANCE WITH SECTION 601 OF WISDOT STANDARD SPECIFICATIONS.
11. CONCRETE FORMS SHALL REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE INSTALLATION AND SHALL BE CLEANED AFTER EACH USE. CONCRETE FORMS SHALL BE COATED WITH RELEASE AGENT TO ALLOW SEPARATION WITHOUT DAMAGE TO THE CONCRETE.
12. CONSTRUCTION AND CONNECTION JOINTS SHALL BE IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS. JOINT PATTERN SHALL FOLLOW ARCHITECTURAL PLANS IF AVAILABLE.
13. ISOLATION JOINTS SHALL CONSIST OF PREFORMED JOINT FILLER STRIPS ABUTTING CURBING, INLETS, CATCH BASINS, MANHOLES, STRUCTURES, AND OTHER FIXED OBJECTS.

DIVISION 32 – EXTERIOR IMPROVEMENTS

14. EDGES OF CONCRETE PAVEMENT, CURBING, SIDEWALK, PATIOS, AND JOINTS SHALL BE TOOLED IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING AFTER APPLYING SURFACE FINISHES AND ELIMINATE TOOL MARKS ON SURFACES.
15. FINISH, CURE, AND PROTECT CURBING IN ACCORDANCE WITH SECTION 601 OF WISDOT STANDARD SPECIFICATIONS.
16. FINISH (LIGHT BROOM) CURE, AND PROTECT SIDEWALK AND PATIOS IN ACCORDANCE WITH SECTION 602 OF WISDOT STANDARD SPECIFICATIONS.
17. FINISH (ARTIFICIAL TURF DRAG), CURE, AND PROTECT VEHICULAR PAVEMENT AND PADS IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS.
18. MAINTAIN CONCRETE FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PRIOR TO SUBSTANTIAL COMPLETION INSPECTION.
19. MAXIMUM DIFFERENCE BETWEEN CONCRETE SIDEWALKS AND ADJACENT PAVEMENT SURFACES SHALL NOT EXCEED 1/4-INCH VERTICAL.
20. A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS AT ADA PARKING STALLS AND ADJACENT UNLOADING AREAS IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
21. A SLOPE NO GREATER THAN 3% ALONG THE LENGTH OF THE ACCESSIBLE ROUTE IS REQUIRED. A SLOPE NO GREATER THAN 2% ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
22. ALL HANDICAP ACCESSIBLE DOORWAYS REQUIRE AN EXTERIOR LANDING THAT IS A MINIMUM OF 5 FEET BY 5 FEET WITH A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
23. REMOVE AND REPLACE CONCRETE THAT IS BROKEN, DAMAGED, DEFECTIVE, OR DOES NOT COMPLY WITH THE REQUIREMENTS LISTED ABOVE.

32 17 00 – PAVEMENT MARKING & SIGNAGE

1. WORK SHALL CONSIST OF INSTALLATION OF PARKING LOT STRIPING, DIRECTION ARROWS, HANDICAP ACCESSIBLE SYMBOLS, AND SITE SIGNAGE.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. PAVEMENT MARKING PAINT SHALL BE IN ACCORDANCE WITH SECTION 646 OF WISDOT STANDARD SPECIFICATIONS AND WISDOT APPROVED PRODUCTS LIST. COLOR SHALL BE WHITE UNLESS NOTED OTHERWISE ON THIS PLAN. MARKINGS SEPARATING OPPOSING TRAFFIC SHALL BE YELLOW.
4. ALL PARKING LOT STRIPING SHALL BE 4-INCH WIDTH UNLESS NOTED OTHERWISE ON THIS PLAN.
5. PRECISE WORK AREA DURING INSTALLATION AND UNTIL PAVEMENT MARKING PAINT IS DRIED. PROTECT ADJACENT AREAS FROM RECEIVING PAINT.
6. APPLY PAINT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS TO PRODUCE MARKINGS AS INDICATED WITH UNIFORM, STRAIGHT EDGES. TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS.
7. APPLY PAINT TO CLEAN AND DRY SURFACE. FREE FROM FROST TO ENSURE PROPER BONDING.
8. NOTIFY OWNER OF ANY UNSOUND CONDITIONS PRIOR TO COMMENCING WORK. APPLYING PAVEMENT MARKING PAINT CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.

32 32 00 – RETAINING WALLS

1. WORK SHALL CONSIST OF FURNISHING DETAILED DESIGN, MATERIALS, LABOR, EQUIPMENT, SUPERVISION, AND DIRECTION TO CONSTRUCT RETAINING WALL SYSTEMS IN REASONABLY CLOSE CONFORMITY TO THE LINES, GRADES, AND DIMENSIONS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR GENERAL LOCATION AND MATERIAL REFERENCE ONLY.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. THE CONTRACTOR SHALL PROVIDE ALL CALCULATIONS AND DRAWINGS, PREPARED AND SEALED BY A PROFESSIONAL ENGINEER EXPERIENCED WITH RETAINING WALL DESIGN AND LICENSED IN THE STATE IN WHICH THE RETAINING WALLS ARE TO BE CONSTRUCTED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL SURROUNDING STRUCTURES AND UTILITIES ARE PROTECTED FROM THE EFFECTS OF EXCAVATION AND PROVIDING ANY NECESSARY EXCAVATION SUPPORT. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT CONSTRUCTION ADJACENT TO THE RETAINING WALLS DOES NOT DISTURB OR PLACE TEMPORARY LOADS ON THE RETAINING WALLS THAT EXCEED DESIGN LOADS.

DIVISION 33 – UTILITIES

33 10 00 – WATER DISTRIBUTION

1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE WATER DISTRIBUTION SYSTEM AND ALL APPURTENANCES.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. ALL PUBLIC WATER DISTRIBUTION WORK SHALL BE IN ACCORDANCE WITH SSSWCW AND MUNICIPALITY DEVELOPMENT STANDARDS.
4. ALL PRIVATE WATER DISTRIBUTION WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND MUNICIPALITY DEVELOPMENT STANDARDS.
5. POLYVINYL CHLORIDE (PVC) PIPE SHALL BE SDR 18, CLASS 150 CONFORMING TO AWWA C900 WITH INTEGRAL ELASTOMERIC BELL AND SPOUT JOINTS IN ACCORDANCE WITH SECTION 8.20.0 OF SSSWCW.
6. DUCTILE IRON PIPE SHALL BE IN ACCORDANCE WITH SECTION 8.18.0 OF SSSWCW WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTION 8.18.0 OF SSSWCW.
7. POLYETHYLENE TUBING SHALL BE SDR 9 IN ACCORDANCE WITH SECTION 8.24.0 OF SSSWCW AND CONFORM TO AWWA C901.
8. COPPER TUBING SHALL BE TYPE "K" IN ACCORDANCE WITH SECTION 8.24.0 OF SSSWCW AND CONFORM TO ASTM B88.
9. BALL VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.30.0 OF SSSWCW AND CONFORM TO AWWA C800 AND ASTM B662.
10. ALL VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.27.0 OF SSSWCW AND CONFORM TO AWWA C500.
11. BUTTERFLY VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.28.0 OF SSSWCW AND CONFORM TO AWWA C504.
12. VALVE BOXES SHALL BE IN ACCORDANCE WITH SECTION 8.29.0 OF SSSWCW AND CONFORM TO ASTM A48. VALVE BOXES SHALL BE SIZE DD, SCREW TYPE, 3 PIECE ASSEMBLY, WITH COVERS MARKED "WATER". ALL VALVE BOXES SHALL BE SET TO PROPOSED GRADE. VALVE BOXES SHALL BE SUPPORTED BY A MINIMUM OF 18 INCHES.
13. HYDRANTS SHALL BE IN ACCORDANCE WITH SECTION 8.26.0 OF SSSWCW AND CONFORM TO AWWA C502. PUMPER NOZZLE SHALL BE PERPENDICULAR TO AND ORIENTED TOWARDS THE PAVEMENT. HYDRANTS SHALL BE ATTACHED BY MEANS OF A 1 1/2 INCH HYDRANT.
14. FITTINGS SHALL BE CLASS 150 IN ACCORDANCE WITH SECTION 8.22.0 OF SSSWCW, CONFORMING TO AWWA C110, AND PROVIDED WITH MECHANICAL JOINTS.
15. MECHANICAL JOINTS SHALL BE MADE WITH "COR TEN" NUTS AND BOLTS, OR CORROSION-RESISTANT EQUIVALENTS CONFORMING TO AWWA C111.
16. POLYETHYLENE WRAP SHALL BE IN ACCORDANCE WITH SECTION 8.21.0 OF SSSWCW AND PROVIDED FOR ALL METAL PIPES AND FITTINGS.
17. TURST RESTRAINT SHALL BE IN ACCORDANCE WITH SECTION 4.31.3 OF SSSWCW AND PROVIDED FOR ALL BENDS, CAPS, PLUGS, AND TEES.
18. TRENCH SECTION SHALL BE IN ACCORDANCE WITH FILE NO. 36 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.
19. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.
20. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF SSSWCW. SPILL BACKFILL SHALL BE IN ACCORDANCE WITH SECTION 8.43.5 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.
21. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
22. TRACER WIRE SHALL BE BLUE AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC SANITARY SEWER PIPE, PRIVATE SANITARY INTERCEPTOR PIPE, AND BUILDING SANITARY SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 300 FEET.
23. PROPOSED WATER SERVICES SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL.
24. THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF BENDS REQUIRED TO COMPLETE CONSTRUCTION, WHICH SHALL BE INCIDENTAL AND INCLUDED IN THE COST OF WORK.
25. THE CONTRACTOR SHALL ADJUST ALL VALVE BOXES TO FINISHED SURFACE UPON COMPLETION OF PAVING OPERATIONS.
26. THE CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING AND SAFE WATER SAMPLING. HYDROSTATIC TESTING SHALL BE IN ACCORDANCE WITH SECTION 4.15.0 OF SSSWCW. DISINFECTION SHALL BE IN ACCORDANCE WITH SECTION 4.16.0 OF SSSWCW AND CONFORM TO AWWA C651. WATER MAINS SHALL BE FLUSHED AND TESTED IN THE PRESENCE OF THE WATER UTILITY OPERATOR.

33 30 00 – SANITARY SEWERAGE

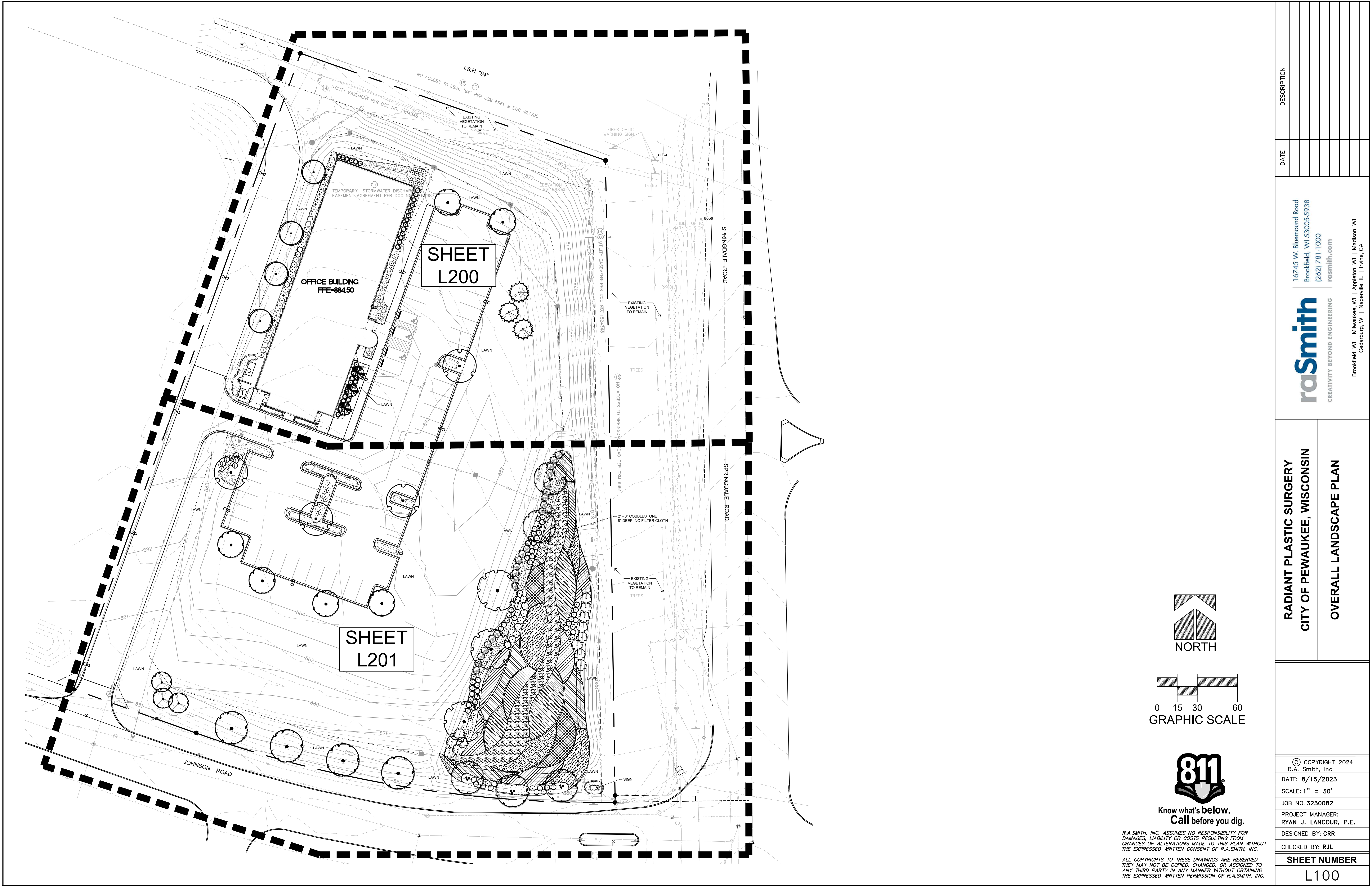
1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE SANITARY SEWERAGE SYSTEM AND ALL APPURTENANCES.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. ALL PUBLIC SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH SSSWCW AND MUNICIPALITY DEVELOPMENT STANDARDS.
4. ALL PRIVATE SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND MUNICIPALITY DEVELOPMENT STANDARDS.
5. POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS SHALL BE SDR 35 CONFORMING TO ASTM D3034 FOR DEPTHS LESS THAN 18 FEET, AND SHALL BE SDR 18 CONFORMING TO AWWA C900 FOR DEPTHS GREATER THAN 18 FEET, BOTH WITH PUSH-ON RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTIONS 8.10.6 AND 8.41.4 OF SSSWCW.
6. MANHOLES SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 8.9.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
7. TRENCH SECTION SHALL BE CLASS B IN ACCORDANCE WITH SECTION 3.2.6 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.
8. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.
9. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF SSSWCW. SPILL BACKFILL SHALL BE IN ACCORDANCE WITH SECTION 8.43.5 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.
10. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
11. ALL CONNECTIONS TO EXISTING SANITARY SEWER PIPES AND STRUCTURES SHALL BE CORED CONNECTIONS, UNLESS NOTED OTHERWISE. PREPARED WYE CONNECTIONS ARE REQUIRED FOR ALL BUILDING SANITARY SEWER PIPES, UNLESS NOTED OTHERWISE.
12. CLEANOUTS AND RISER EXTENSIONS SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.35 FROM SEWER PIPES TO GROUND SURFACE. LIGHT DUTY LOADING CLASSIFICATION SHALL BE USED IN UNPAVED AREAS. MEDIUM DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED FOOT TRAFFIC AREAS. HEAVY DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED VEHICULAR TRAFFIC AREAS. FRAMES AND COVERS SHALL BE SET FLUSH WITH SURFACE.
13. TRACER WIRE SHALL BE GREEN AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC SANITARY SEWER PIPE, PRIVATE SANITARY INTERCEPTOR PIPE, AND BUILDING SANITARY SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 300 FEET.

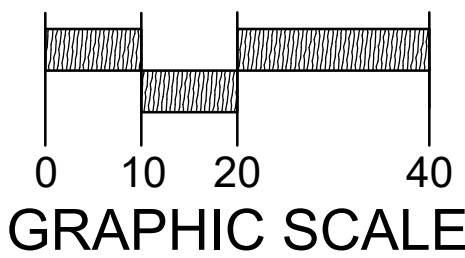
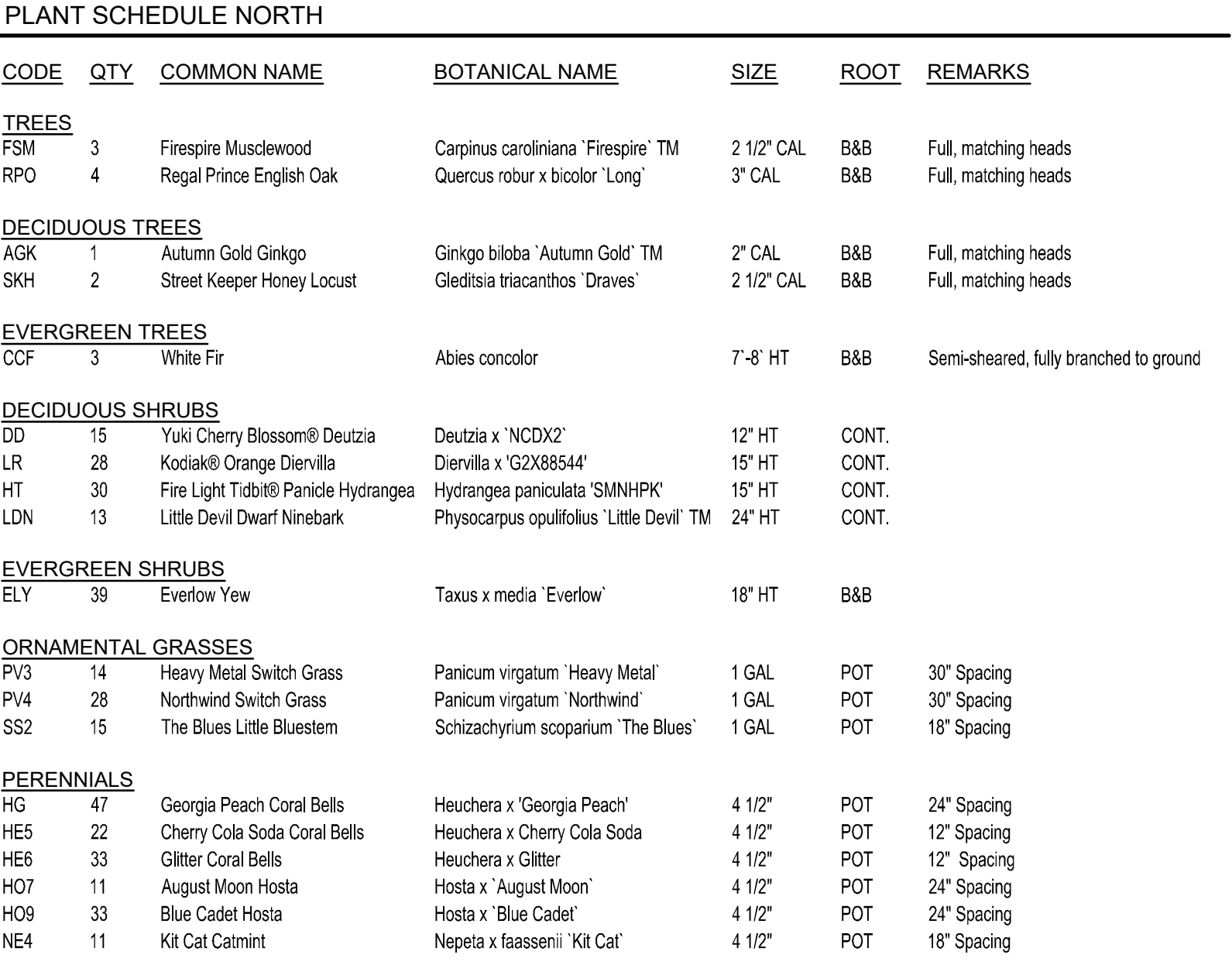
DIVISION 33 – UTILITIES

13. TRACER WIRE SHALL BE GREEN AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC SANITARY SEWER PIPE, PRIVATE SANITARY INTERCEPTOR PIPE, AND BUILDING SANITARY SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 300 FEET.
14. PROPOSED SANITARY SERVICES SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL.
15. THE CONTRACTOR SHALL ADJUST ALL MANHOLE RIMS TO FINISHED SURFACE UPON COMPLETION OF PAVING OPERATIONS.
16. AFTER INSTALLATION OF SANITARY SEWERAGE SYSTEM, CLEAN ALL DEBRIS FROM SYSTEM AND INSPECT FOR DAMAGE. CONDUCT TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SSSWCW. REPAIR ANY DAMAGE AND REPLACE ANY PIPE NOT PASSING TESTING.

33 40 00 – STORMWATER DRAINAGE

1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE STORMWATER DRAINAGE SYSTEM AND ALL APPURTENANCES.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. ALL PUBLIC STORMWATER DRAINAGE WORK SHALL BE IN ACCORDANCE WITH SSSWCW AND MUNICIPALITY DEVELOPMENT STANDARDS.
4. ALL PRIVATE STORMWATER DRAINAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND MUNICIPALITY DEVELOPMENT STANDARDS.
5. REINFORCED CONCRETE PIPE (RCP) AND END SECTIONS SHALL BE IN ACCORDANCE WITH SECTION 8.6.0 OF SSSWCW AND CONFORM TO ASTM C76 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM C443. UNLESS NOTED OTHERWISE, 12-INCH DIAMETER PIPE SHALL BE CLASS V, 15-INCH DIAMETER PIPE SHALL BE CLASS IV, AND 18-INCH DIAMETER PIPE SHALL BE CLASS III.
6. CORRUGATED METAL PIPE (CMP) AND END SECTIONS SHALL BE 16 GAUGE CONFORMING TO ASTM A760.
7. HIGH-DENSITY POLYETHYLENE (HDPE) PIPE AND FITTINGS SHALL BE ADS N12 AS APPROVED BY THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCTS REGISTER.
8. POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS SHALL BE SDR 35 CONFORMING TO ASTM D3034 WITH PUSH-ON RUBBER GASKETED JOINTS CONFORMING TO ASTM D3212.
9. MANHOLES SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 8.39.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
10. CATCH BASINS SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 3.6.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
11. INLETS SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 3.6.0 OF SSSWCW AND CONFORM TO ASTM C913. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
12. AREA DRAINS SHALL BE ADS NYLOPLAST AS APPROVED BY THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCTS REGISTER.
13. FRAMES AND GRATES SHALL BE AS INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FRAMES AND GRATES ARE CORRECTLY INSTALLED WITH PRECAST STRIPS PRIOR TO ORDERING.
14. TRENCH SECTION SHALL BE CLASS B IN ACCORDANCE WITH SECTION 3.2.6 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.
15. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.
16. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF SSSWCW BENEATH AND WITHIN 5 FEET OF PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF SSSWCW BENEATH GREENSPACE AREAS. UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
17. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
18. ALL CONNECTIONS TO EXISTING STORM SEWER PIPES AND STRUCTURES SHALL BE CORED CONNECTIONS, UNLESS NOTED OTHERWISE.
19. FLEXIBLE COMPRESSION COUPLINGS SHALL BE USED IN THE CONNECTION OF






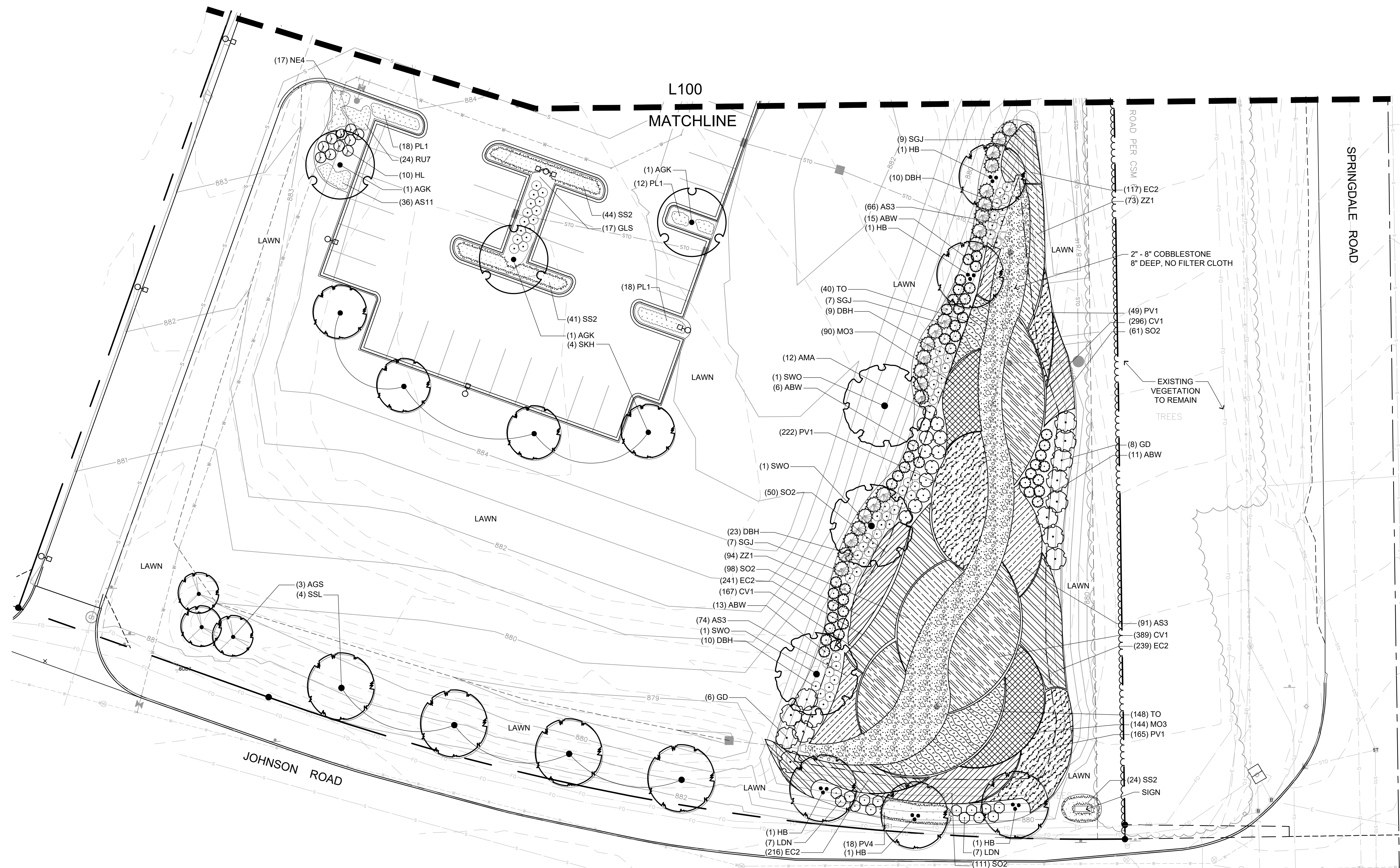
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- ALL DETAILS AND SPECIFICATIONS TO BE DETERMINED ON FINAL LANDSCAPE PLANS.
- ALL PLANTINGS SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - ANSI Z60.1 (LATEST VERSION)
- MULCH: ALL PLANTING BEDS TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH.
- TURF SEED: DURABLE, PREMIUM COMMERCIAL BLEND.

<div> <div> RADIANT PLASTIC SURGERY CITY OF PEWAUKEE, WISCONSIN </div> <div> LANDSCAPE PLAN - NORTH </div> </div>	<div> <div>  <div> CREATIVITY BEYOND ENGINEERING </div> </div> <div> 16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com </div> </div>		<div> <div>DATE</div> <div>DESCRIPTION</div> </div>
	<div> <div> Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Oscarburg, WI Naperville, IL Irvine, CA </div> </div>		
<div> <div>© COPYRIGHT 2024</div> <div>R.A. Smith, Inc.</div> <div>DATE: 8/15/2023</div> <div>SCALE: 1" = 20'</div> <div>JOB NO. 3230082</div> <div>PROJECT MANAGER: RYAN J. LANCOUR, P.E.</div> <div>DESIGNED BY: NJW/REW</div> <div>CHECKED BY: REW</div> <div>SHEET NUMBER</div> <div>L200</div> </div>			



PLANT SCHEDULE SOUTH

CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
DECIDUOUS TREES						
AGS	3	Allegheny Serviceberry	Amelanchier laevis	2" CAL	B&B	Full, matching heads
HB	5	Heritage River Birch	Betula nigra 'Heritage'	8'-10' HT	B&B	Clump, min. 3 stems
AGK	3	Autumn Gold Ginkgo	Ginkgo biloba 'Autumn Gold' TM	2" CAL	B&B	Full, matching heads
SKH	4	Street Keeper Honey Locust	Gleditsia triacanthos 'Draves'	2 1/2" CAL	B&B	Full, matching heads
SWO	3	Swamp White Oak	Quercus bicolor	2 1/2" CAL	B&B	Full, matching heads
SSL	4	Sweet Street Linden	Tilia americana 'Kromm'	3" CAL	B&B	Full, matching heads
DECIDUOUS SHRUBS						
AMA	12	Autumn Magic Black Chokeberry	Aronia melanocarpa 'Autumn Magic'	24" HT	CONT.	
GD	14	Gray Dogwood	Cornus racemosa	3" HT	CONT.	
DBH	52	Dwarf Bush Honeysuckle	Dienella ionocera	15" HT	CONT.	
HL	10	Little Quick Fire Hydrangea	Hydrangea paniculata 'Little Quick Fire'	18" HT	CONT.	
LDN	14	Little Devil Dwarf Ninebark	Physocarpus opulifolius 'Little Devil' TM	24" HT	CONT.	
GLS	15	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	15" HT	CONT.	
ABW	45	Dwarf Blue Arctic Willow	Salix purpurea 'Nana'	24" HT	CONT.	
EVERGREEN SHRUBS						
SGJ	23	Sea Green Juniper	Juniperus chinensis 'Sea Green'	18"SPD	CONT.	
ORNAMENTAL GRASSES						
PV4	18	Northwind Switch Grass	Panicum virgatum 'Northwind'	1 GAL	POT	30" Spacing
SS2	109	The Blues Little Bluestem	Schizachyrium scoparium 'The Blues'	1 GAL	POT	18" Spacing

PERENNIALS

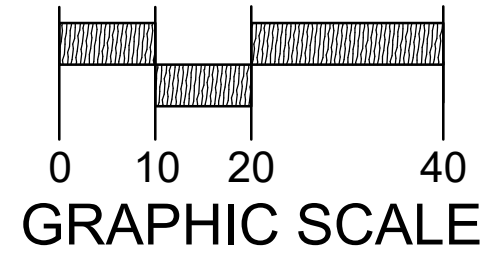
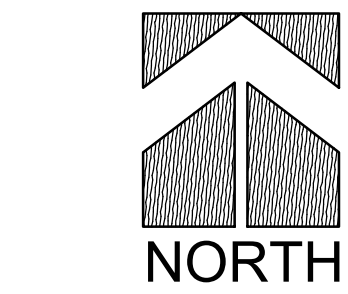
AS11	36	Summer Beauty Ornamental Onion	Allium x 'Summer Beauty'	4 1/2"	POT	15" Spacing
NE4	17	Kit Cat Catmint	Nepeta x faassenii 'Kit Cat'	4 1/2"	POT	18" Spacing
PL1	48	Little Spire Russian Sage	Perovskia x 'Little Spire'	4 1/2"	POT	18" Spacing
RU7	24	Little Goldstar Black-eyed Susan	Rutbeckia fulgida var. sullivantii 'Little Goldstar'	4 1/2"	POT	18" Spacing

SYMBOL

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	SPACING	SPACING
INFILTRATION BASIN								
	AS3	190	Swamp Milkweed	Asclepias incarnata	4 1/2"	POT	24" Spacing	24" o.c.
	CV1	852	Brown Fox Sedge	Carex vulpinoidea	4 1/2"	POT	18" Spacing	18" o.c.
	EC2	803	Pale Purple Coneflower	Echinacea pallida	4 1/2"	POT	18" Spacing	18" o.c.
	MO3	234	Wild Bergamot	Monarda fistulosa	4 1/2"	POT	24" Spacing	24" o.c.
	PV1	415	Switch Grass	Panicum virgatum	4 1/2"	POT	24" Spacing	24" o.c.
	SO2	270	Stiff Goldenrod	Solidago rigida	4 1/2"	POT	24" Spacing	24" o.c.
	TO	188	Ohio Spikenard	Tradescantia ohioensis	4 1/2"	POT	24" Spacing	24" o.c.
	ZZ1	167	Golden Alexander	Zizia aurea	4 1/2"	POT	24" Spacing	24" o.c.

GENERAL LANDSCAPE NOTES

- ALL DETAILS AND SPECIFICATIONS TO BE DETERMINED ON FINAL LANDSCAPE PLANS.
- ALL PLANTINGS SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - ANSI Z60.1 (LATEST VERSION)
- MULCH: ALL PLANTING BEDS TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH.
- TURF SEED: DURABLE, PREMIUM COMMERCIAL BLEND.



Know what's below.
Call before you dig.

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DESCRIPTION

DATE

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

RADIANT PLASTIC SURGERY
CITY OF PEWAUKEE, WISCONSIN

LANDSCAPE PLAN - SOUTH

© COPYRIGHT 2024
R.A. Smith, Inc.

DATE: 8/15/2023

SCALE: 1" = 20'

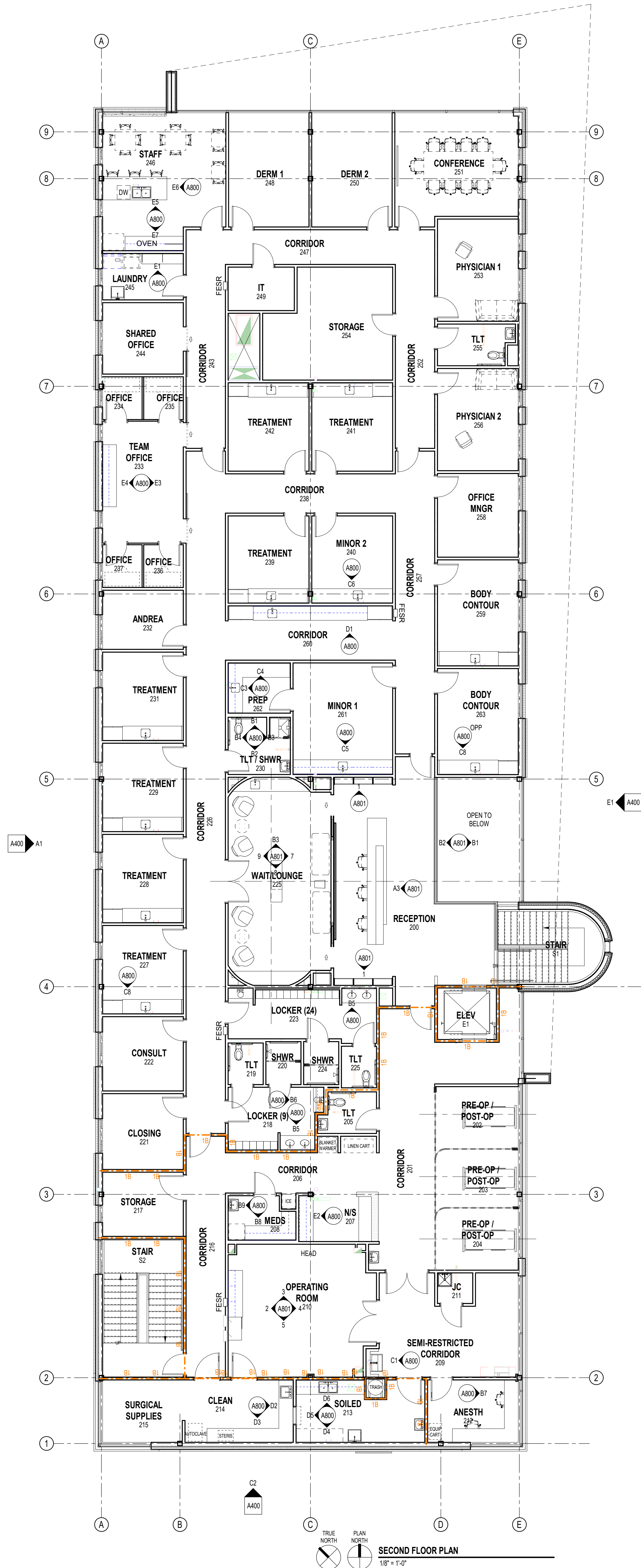
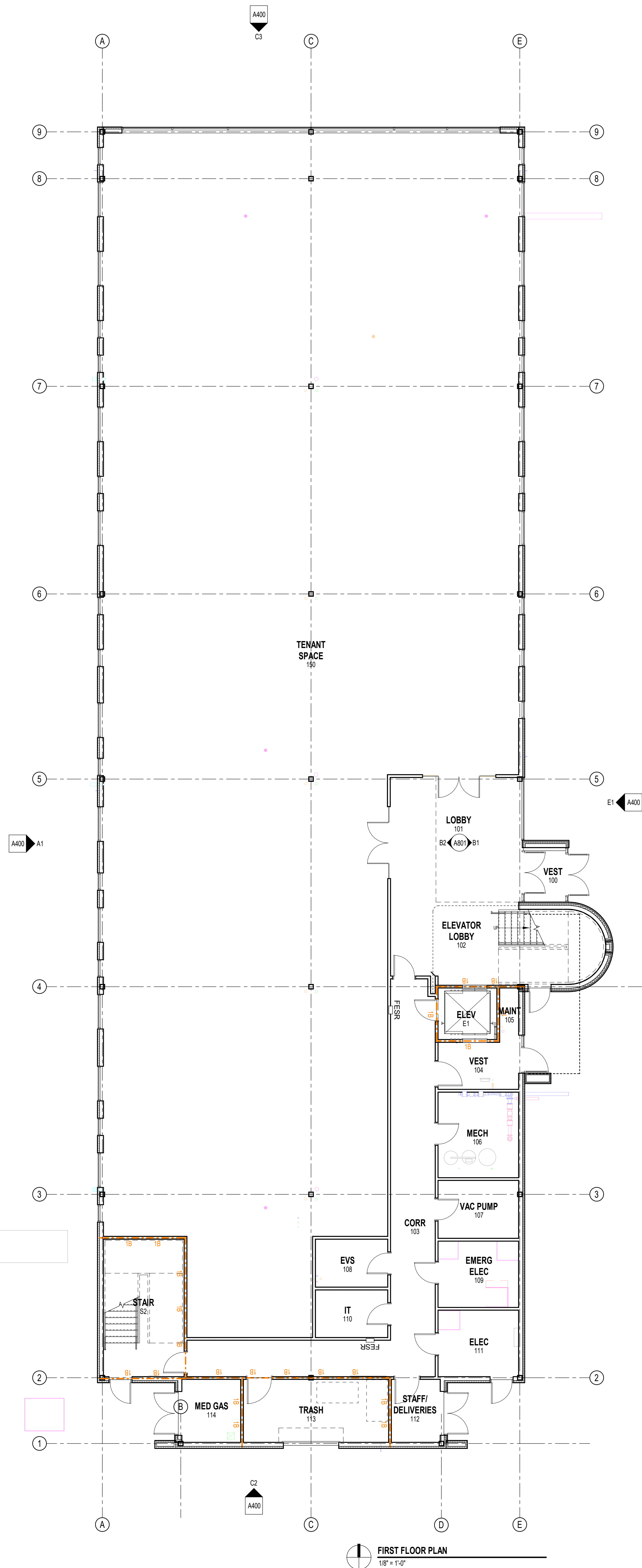
JOB NO. 3230082

PROJECT MANAGER:
RYAN J. LANCOUR, P.E.

DESIGNED BY: NJW/REW

CHECKED BY: REW

SHEET NUMBER
L201



FLOOR PLAN SYMBOLS LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING DOOR TO REMAIN
	SECTION REFERENCE
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	FLOOR PLAN NOTE
	CONSTRUCTION LIMITS
	ONE-HOUR RATED FIRE BARRIER
	NEW WALL/PARTITION
	NEW DOOR
	DETAIL REFERENCE
	EQUIPMENT
	WINDOW TYPE
	WALL/PARTITION TYPE
	FLOOR DRAIN - PITCH FLOOR TO DRAIN
	SEMI-RECESSED FIRE EXTINGUISHER

FLOOR PLAN GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

B. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. PORTIONS OF EXISTING CONSTRUCTION MAY HAVE BEEN REMOVED BY OWNER.

C. MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. COORDINATE WITH OWNER ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING PIPING, DUCTWORK OR ANY ASSOCIATED EQUIPMENT.

D. CONTRACTOR TO VERIFY FLOOR TO FLOOR HEIGHTS.

GYPSUM BOARD PARTITIONS GENERAL NOTES

A. ALL GYPSUM BOARD PARTITIONS SHALL BE (1/2") UNLESS OTHERWISE NOTED ON FLOOR PLAN.

B. GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

C. REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

D. PROVIDE FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

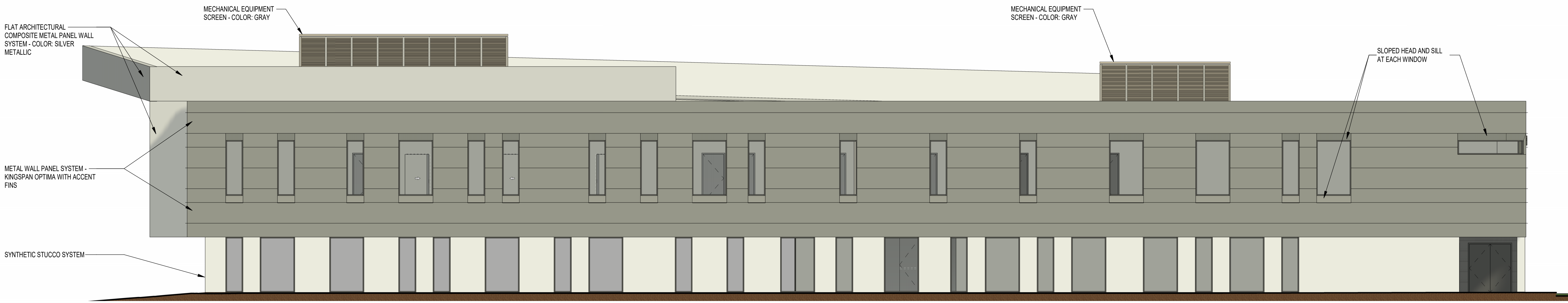
E. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

F. EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF STEEL DECK ABOVE. AT METAL DECK CONSTRUCTION ABOVE PROVIDE SLIP JOINT BETWEEN TOP OF PARTITION AND UNDERSIDE OF METAL DECK / STRUCTURAL STEEL MEMBER ABOVE. REFER TO DETAIL.

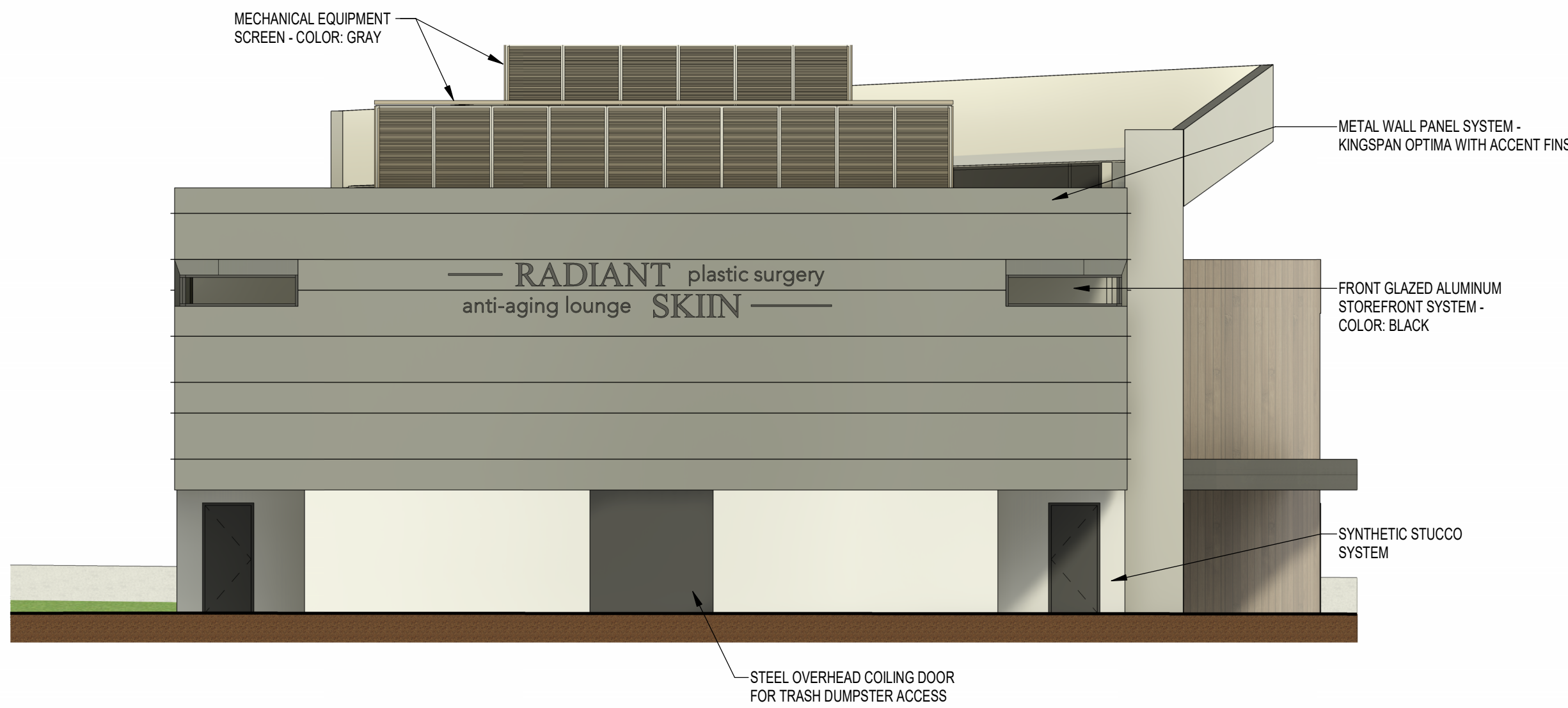
G. EXTEND GYPSUM BOARD PARTITIONS 1" ABOVE FINISH CEILING. REFER TO REFLECTED CEILING PLAN FOR PARTITIONS THAT EXTEND TO UNDERSIDE OF DECK ABOVE INDICATED WITH SHADED WALLS. AT METAL DECK CONSTRUCTION ABOVE PROVIDE SLIP JOINT BETWEEN TOP OF WALL AND UNDERSIDE OF METAL DECK / STRUCTURAL STEEL MEMBER ABOVE. REFER TO DETAIL.

EXTERIOR WALL TYPES	
MARK	ASSEMBLY DESCRIPTION
10.1	EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) STUD WALL CONSISTING OF XX" INSULATION, EIFS MANUFACTURER'S RECOMMENDED AIR/VAPOR BARRIER SYSTEM ON 5/8" EXTERIOR GYPSUM SHEATHING (EDIT FOR CONCRETE BOARD), 1" GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD @ INTERIOR FACE.
11.1	PANEL WALL SYSTEM CONSISTING OF XX" METAL PANEL XX" HAT CHANNEL (EDIT FOR X" FIBERGLASS GRT), 3" RIGID INSULATION, SPRAY APPLIED AIR/VAPOR BARRIER SYSTEM ON 5/8" EXTERIOR GYPSUM SHEATHING, 1" GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD @ INTERIOR FACE.

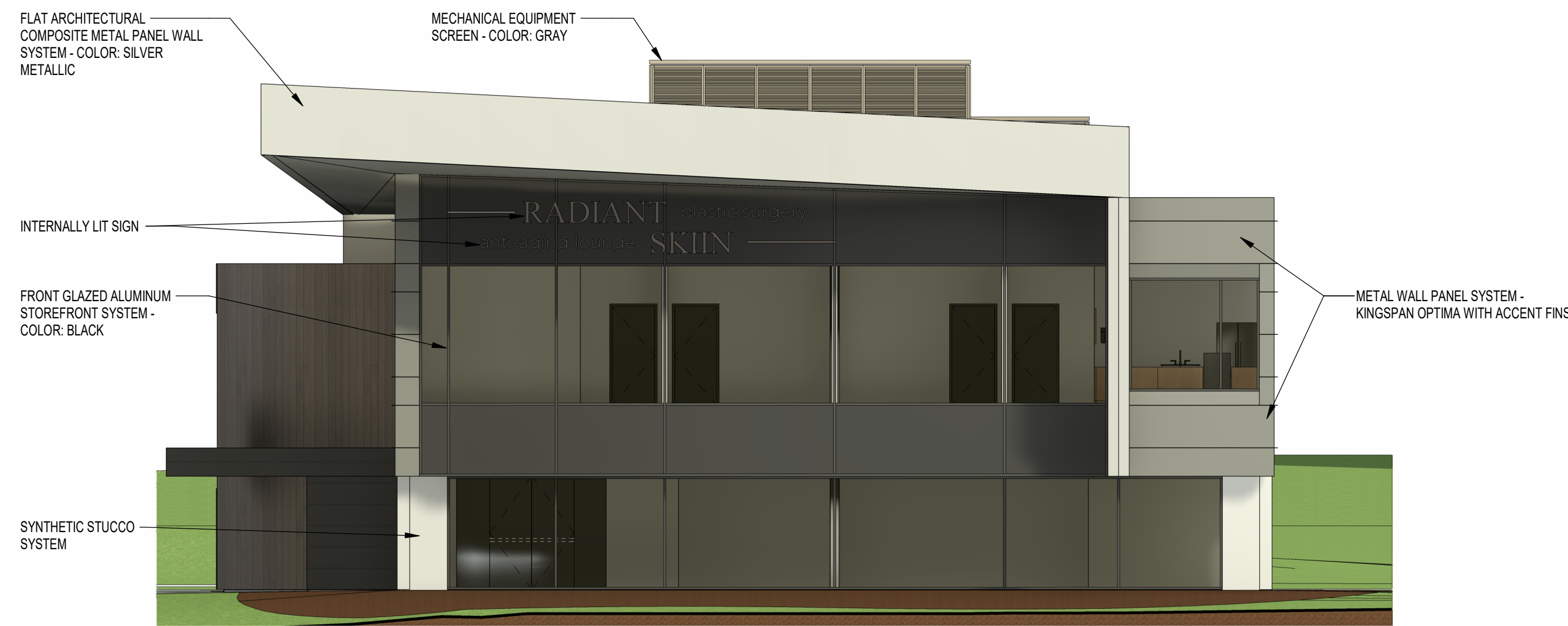
INTERIOR PARTITION TYPES				
MARK	ASSEMBLY DESCRIPTION	FIRE RATING	UL	INSULATION
B00	1-5/8" STEEL STUDS @ 16" OC 4 LAYERS 1/2" GYPSUM BOARD @ EACH FACE.	--	--	FULL WIDTH SOUND
B02	2-1/2" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	--	--	FULL WIDTH SOUND
B03	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	--	--	3-1/2" SOUND
B04	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	--	--	3-1/2" SOUND
B05	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	1 HR	U419	3" MINERAL WOOL BATT
B10	6" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	--	--	FULL WIDTH SOUND
B11	6" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	--	--	FULL WIDTH SOUND
B12	6" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	1 HR	--	FULL WIDTH SOUND
G00	2-1/2" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD.	--	--	--
G01	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD.	--	--	--
H00	1-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD.	--	--	FULL WIDTH SOUND
H01	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD.	--	--	3-1/2" THERMAL
Q01	2-1/2" STEEL C-H STUDS @ 24" OC 1-LAYER 1" GYPSUM BOARD, INNER PANEL @ INTERIOR FACE 1-LAYER 5/8" GYPSUM BOARD @ EXTERIOR FACE.	1 HR	U415(A)	--



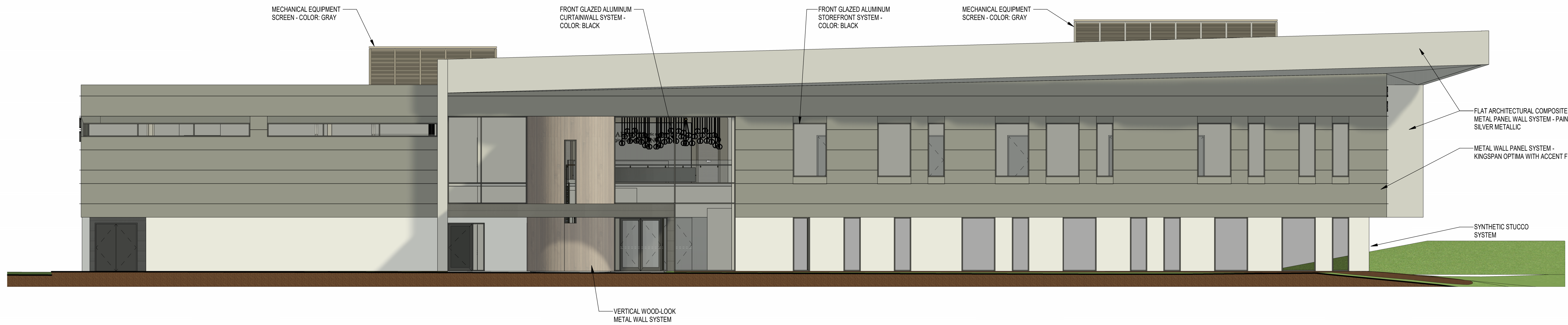
A1 WEST ELEVATION
1/8" = 1'-0"



C2 SOUTH ELEVATION
1/8" = 1'-0"



C3 NORTH ELEVATION
1/8" = 1'-0"



E1 EAST ELEVATION
1/8" = 1'-0"



**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 5.**

DATE: February 15, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Conceptual Review for Sagewind Development for a Proposed Car Wash, Market, and Gas Station for Property Located at W240 N2687 Pewaukee Road (PWC 0924995)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

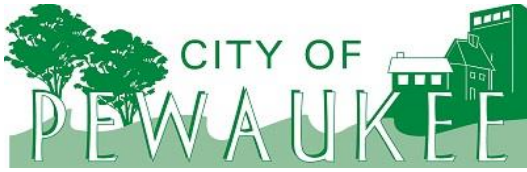
Description

Sagewind Development staff report 2.15.24

Sagewind Development narrative

Sagewind Development concept renderings

Sagewind Development site plan



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of February 15, 2024

Date: February 7, 2024

Project Name: Sagewind Development Conceptual Review

Project Address/Tax Key No.: W240N2687 Watertown Rd/PWC 0924995

Applicant: Sagewind Development

Property Owner: ENVENTURE GROUP LLC

Current Zoning: B-6 Mixed Use Business District

2050 Land Use Map Designation: Retail/Service Commercial and Floodplains, Lowland & Upland Conservancy

Use of Surrounding Properties: Single-family residential and multi-family residential to the West, River Park Drive and multi-family residential to the south, HWY 164 to the east, and Watertown Plank Rd./ HWY M to the north.

Project Description/Analysis

The applicant submitted a Conceptual Review Application for a mixed-use development located at W240N2687 Watertown Road.

The 5.4-acre property is currently vacant and zoned B-6 Mixed Use Business District. The property is located on the southwest corner of Watertown Plank Road and Pewaukee Road (Hwy 164). The proposed mixed-use development anticipates three separate buildings consisting of a carwash, market and gas station, and a drive-through restaurant. Access to the development includes ingress/egress from River Park Drive as well as Watertown Road.

The conceptual site plan illustrates the carwash located at the southeast corner of the site. Directly to the north is the market and to the west are the fuel pumps and canopies. The drive through restaurant is located on the far west side of the site. The applicant has noted that the operators of the restaurant and carwash are not known at this time.

The B-6 District may accommodate the proposed uses; however, the majority, if not all, will require approval of a Conditional Use Permit. Additionally, the development would require a Site & Building Plan Review Application.

The applicant has been made aware that there will be zoning complications, and it may not be feasible to subdivide the property if that is the intent. It is anticipated that setbacks would not be met from internal property lines and lot size minimums may be difficult to meet as well as continued compliance with the minimum 40% greenspace standard.

Recommendation

No action required.

It is recommended that sufficient feedback be provided to allow the applicant to determine whether to proceed or not with the required applications and plans.



City of Pewaukee – Plan Commission

Project Narrative

Parcel: PWC 0924-995

Address: W240N2687 Pewaukee Rd

To the Honorable Mayor and Plan Commission of the City of Pewaukee,

Sagewind Development, a wholly owned subsidiary of the Potawatomi Business Development Corporation, submits the following project narrative and supporting documents for your review and consideration in seeking approvals to entitle and develop the parcel located at W240N2687 Pewaukee Rd.

Request:

We request that the Mayor and Plan Commission opine on the proposed siteplan, uses and architecture for the subject property to provide clear entitlement requirements and approval guidance based on the following information and supporting siteplan and concept building renderings. The site is currently zoned B-6 Mixed Use Business District. Sagewind Development proposes the subject parcel be developed as a mixed use development and further divided into three parcels, each operating a complimentary use requiring conditional use approval.

Business/Use Operational Information:

The anchor use, fireside Markettm, a wholly owned subsidiary of the Potawatomi Business Development Corporation, will require conditional use approval to occupy approximately 2 acres of the developable land and consist of a 9,500+ sq/ft market with wrap-around multi-lane drive-thru, EV charging, dedicated fuel canopy with multiple fuel pumps, indoor / outdoor seating, fireplaces, family restrooms, and 1,500 sq/ft professional kitchen.

The site is not intended to be operational 24 hours a day, operating within the guidelines of the city ordinances, as applicable. The fireside Market premises will obtain a class A license for the sale of beer and wine.

Future Development Plans:

At this time Sagewind Development is discussing with potential operators for an additional retail or food use on the western portion of the property. A quick service restaurant (QSR) with a drive thru is shown on the site plan. fireside Market intends to create a third parcel out of the property for a future expansion for a car wash at a near term future date (shown on southern portion of the property).



Sagewind is also seeking guidance on the modification of the access point along Watertown Road. In its current form, there is only right-in and right-out access to the site from eastbound Watertown traffic. Sagewind has engaged traffic engineers to conceptually review off-site improvements to the intersection for a full access, non-signalized access point to the development site to reduce traffic utilizing River Park Drive on the south end of the site.

Site & Building Improvements:

See supporting documents for the proposed siteplan and conceptual renderings of the fireside Market. The primary structure for fireside Market is a single story, steel frame building. The site will be improved with on-site stormwater management, a master sign plan and coordinated development standards with shared access. Landscaping requirements will be met on site, with additional landscaping improvements provided along the shared parcel boundary with the residential uses to address unwanted acoustic and light disturbances.

Tentative Development Schedule:

Sagewind Development is working with Greenfire Management Services, a wholly owned subsidiary of the Potawatomi Business Development Corporation, on the development of the site and building construction. Assuming siteplan and conditional use approval is obtained in spring of 2024, construction on the site is anticipated to commence in early Summer with fireside Market opening in early 2025.

Estimated Project Value:

The fireside Market improvements alone may exceed \$9,000,000 of investment exclusive of the car wash. Additional improvements for the site and two development parcels are expected to require more than \$3,000,000 in construction costs.

Respectfully,

Andy Wiegman, General Manager
Sagewind Development







ZONING INFORMATION	
ZONING CLASSIFICATION:	B-6, Mixed Use Business District
PERMITTED PRINCIPAL USES:	All B-4 and B-5 uses having no outside storage of equipment, materials, or vehicles <i>B-4: administrative and public service offices; banks and financial or tax consultants; interior decorators; professional offices of an architect, landscape architect, lawyer, doctor, dentist, clergy, engineer, or other similarly recognized profession; real estate and insurance offices; studios for photography, painting, music, sculpture, dance, or other recognized fine art</i> <i>B-5: auto sales/service (indoor); auto and truck accessory sales; building supply stores (enclosed storage); motels and hotels; restaurants (no drive-thru); transit station; commercial kennels (Cr. 13-09)</i>
PERMITTED ACCESSORY USES:	None
CONDITIONAL USES:	All principal and accessory uses permitted in the B-4 and B-5 districts with outside storage <i>B-4: accessory garages for storage of licensed vehicles used in conjunction with the operation of the business or for occupants of the premises; off-street parking areas</i> <i>B-5: accessory garages for storage of licensed vehicles used in conjunction with the operation of the business or for occupants of the premises; off-street parking and loading areas</i> Any retail, service, or office use that is compatible with those uses listed above as determined by the Plan Commission.
MINIMUM LOT AREA:	2 acres
MINIMUM FRONTAGE:	160 ft
MAXIMUM BUILDING HEIGHT:	Principal structure: 3 stories/45 ft; accessory structure: 18 ft
MAXIMUM BUILDING SIZE:	The sum total of the first floor area of all principal and accessory buildings shall not exceed 35% of the total parcel area REQUIRED: <98,752 sf PROVIDED: 16,072 sf The sum total of the first floor area of all principal and accessory buildings and all paved or gravel surfaces not within a principal building shall not exceed 60% of the total parcel area REQUIRED: <169,288 sf PROVIDED: 132,937 sf
SETBACK AND YARDS:	There shall be a minimum building (or street) setback of 55 ft from any street or highway right-of-way or not less than 30 ft from any other parcel boundary; except for ingress/egress points, all paved area shall be not less than 10 ft from any property boundary

DRAWING KEY PLAN NOTES
① MONUMENT SIGN, X1, DOUBLE SIDED.
② MONUMENT SIGN, X2, EA. DOUBLE SIDED.
③ COVERED E.V. PARKING
④ MPD LOCATION W/ COVERED CANOPY
⑤ UNDERGROUND STORAGE TANK LOCATION

OPTION 1
FIRESIDE MARKET W240N2687 PEWAUKEE ROAD PEWAUKEE, WI 53072

NELSON	470 Park Ave South 7th Floor New York, NY 10016
--------	---

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 6.**

DATE: February 15, 2024

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding the Site and Building Plans for Zeilhofer Properties, LLC for Property Located at N4 W22540 Bluemound Road for the Purpose of Raising the Storage Building Height by Four Feet (PWC 0963997)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

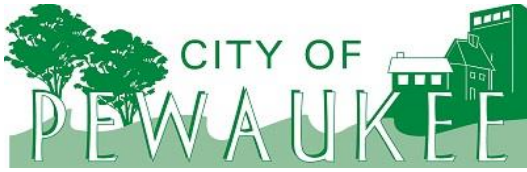
Description

Zeilhofer staff report 2.15.24

Zeilhofer storage building narrative

Zeilhofer storage building exterior elevations

Zeilhofer storage building landscape & site plan



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of February 15, 2024

Date: February 7, 2024

Project Name: Revision to the Zeilhofer storage building

Project Address/Tax Key No.: N4W22540 Bluemound Road/PWC 0963997

Applicant: Robb Zeilhofer

Property Owner: Robb Zeilhofer

Current Zoning: B-4 Office District

2050 Land Use Map Designation: Manufacturing / Fabrication / Warehousing

Use of Surrounding Properties: Industrial to the north and west, single-family residential to the south, and mixed-use property zoned single-family residential to the east

Project Description/Analysis

At their September 21, 2023, meeting, the Plan Commission approved a 7,600 square foot storage building for property located at N4W22540 Bluemound Road. A Conditional Use Permit was also granted for the proposed storage use in the B-4 District.

The building is currently under construction, and the applicant is now requesting allowance to increase the height of the building by 4-feet. In conjunction with this change, the height of the overhead garage doors on the north elevation will be two feet taller. Otherwise, building materials and number of doors and windows are not changing.

It can also be noted that there are no proposed changes or modifications to the site or the use of the building. All conditions from previous approvals remain in place.

Recommendation

Staff recommends approval of the request to increase the height of the storage building located at N4W22540 Bluemound Road by four feet as illustrated on the attached plans.

January 24, 2024

Nick Fuchs
Planner & Community Development Director
City of Pewaukee
W240N3065 Pewaukee Road
Pewaukee, WI 53072

RE: Zeilhofer Storage Building,
N4W22540 Bluemound Road
Plan Commission Submittal

Mr. Fuchs,

We present to you this request for Plan Commission review for an alteration to our storage building plans located at N4W22540 Bluemound Road, Pewaukee WI 53186

This request is to add 4ft of height to the building taking the second level wall height from 12ft to 16ft. The additional head space will allow more flexibility in storing some of our larger vehicles and materials.

The proposed change would keep us under the max height for B4 zoning and make the building more aesthetically pleasing from the rear and side elevations. The front elevation will remain largely blocked from view with the building being located behind our office and there being such a great elevation change. Our landscape plan is also designed to block all viewing corridors of the building from the abutting properties and Bluemound Rd.

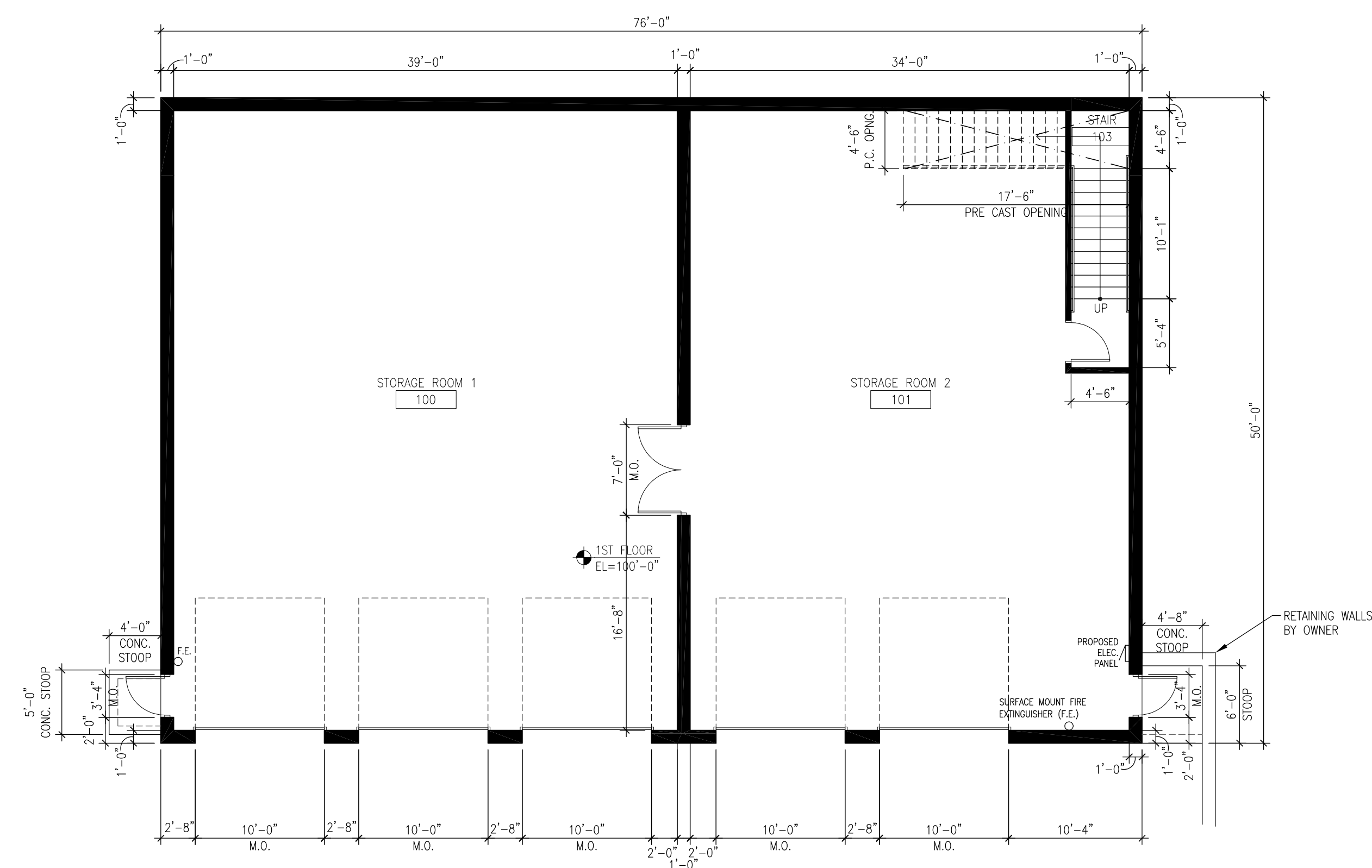
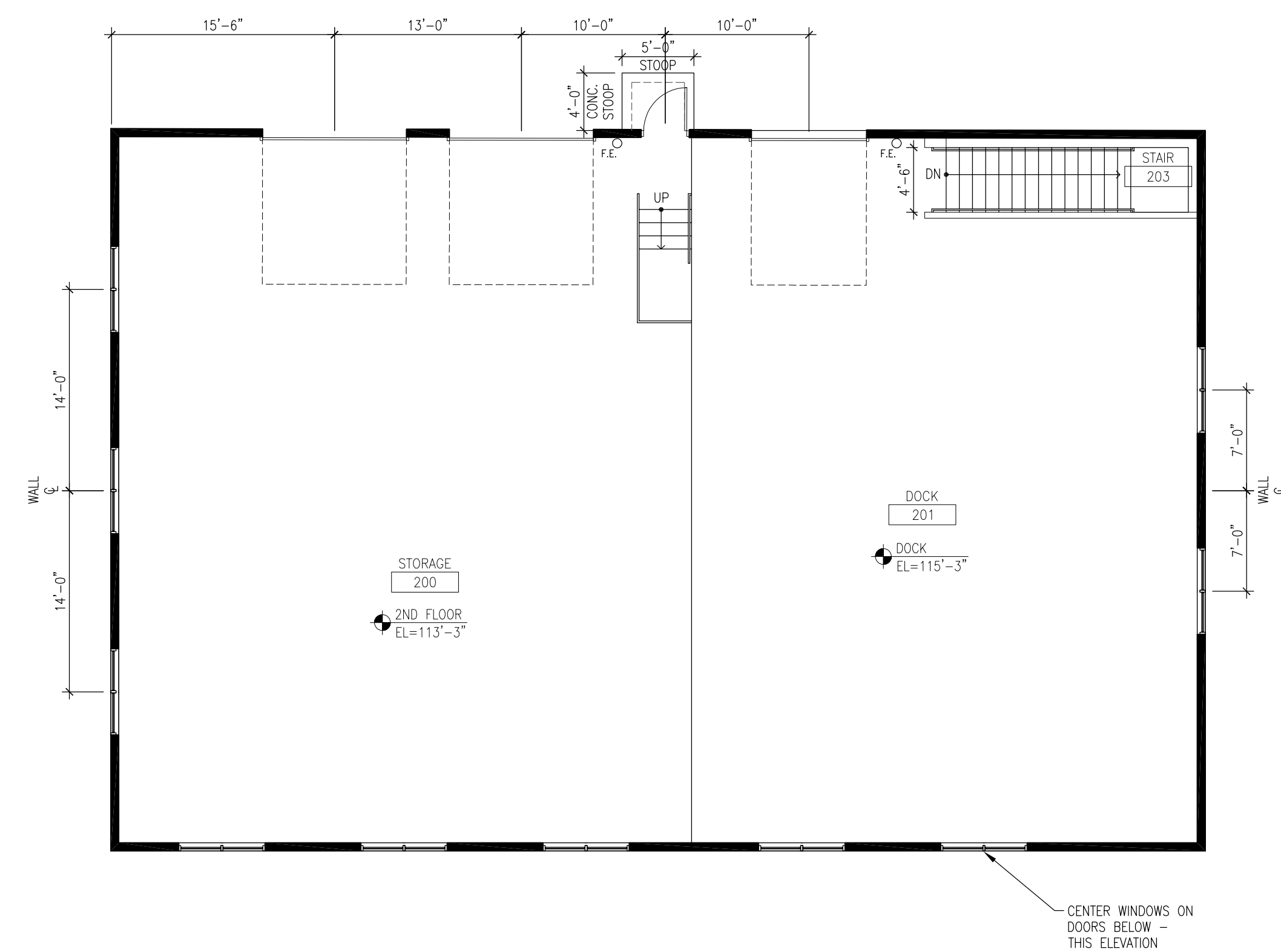
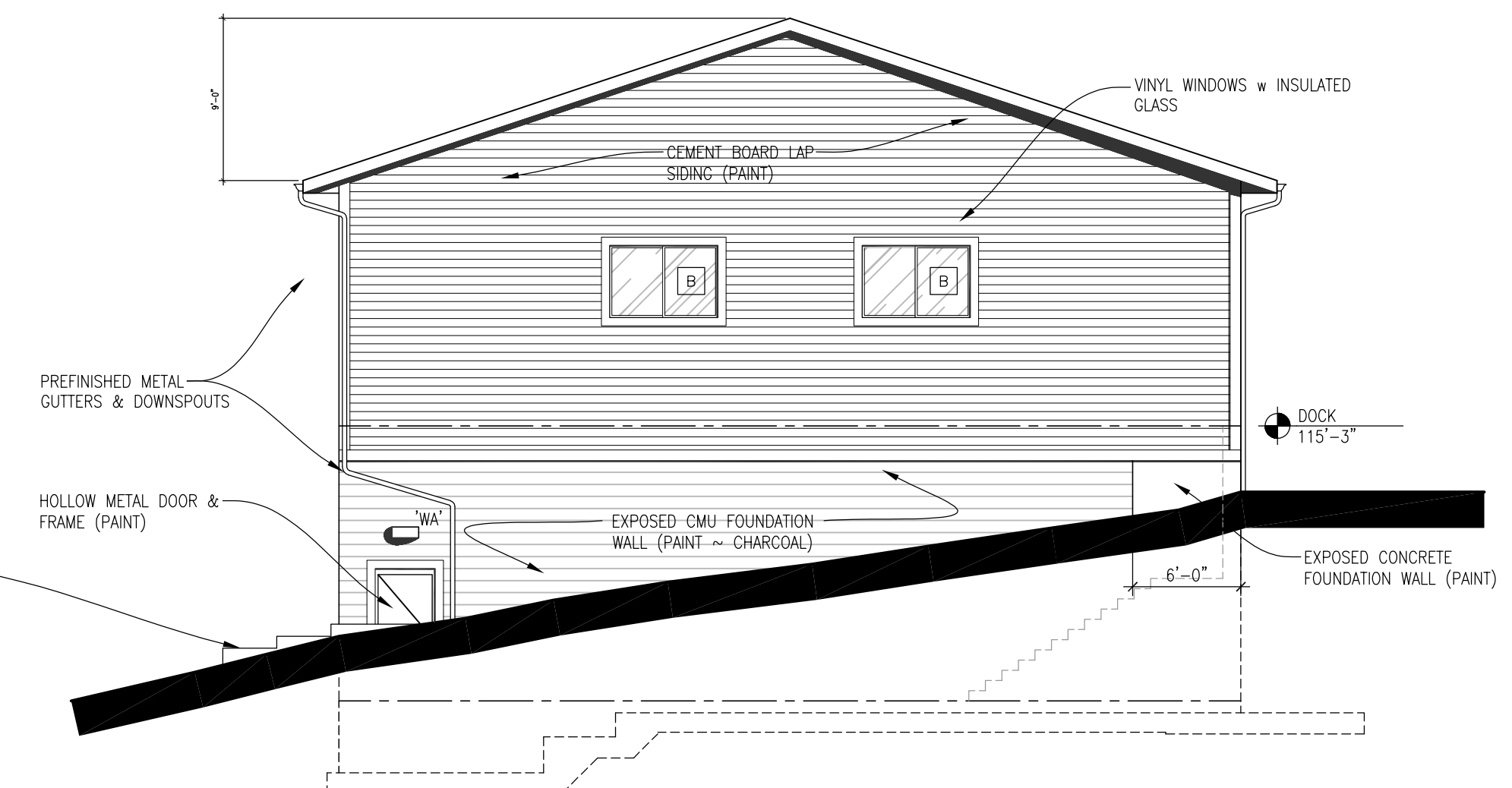
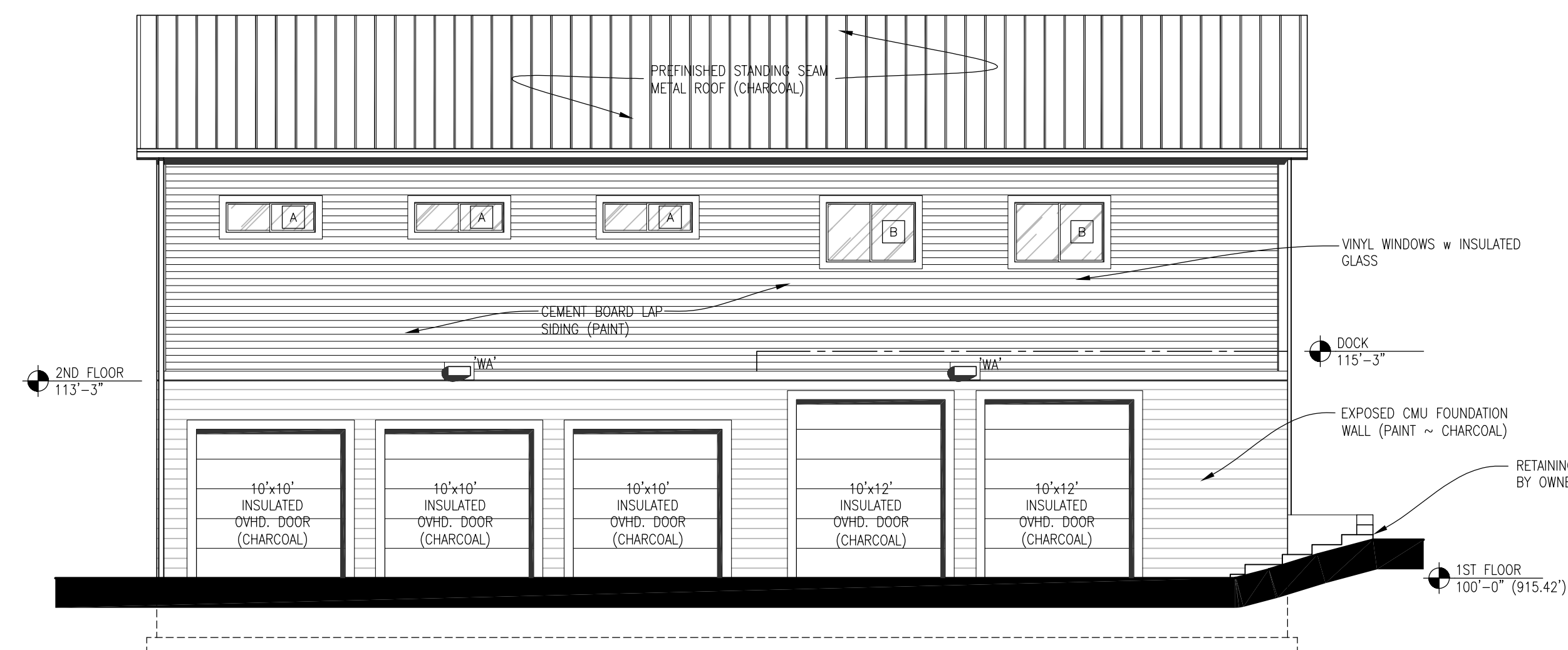
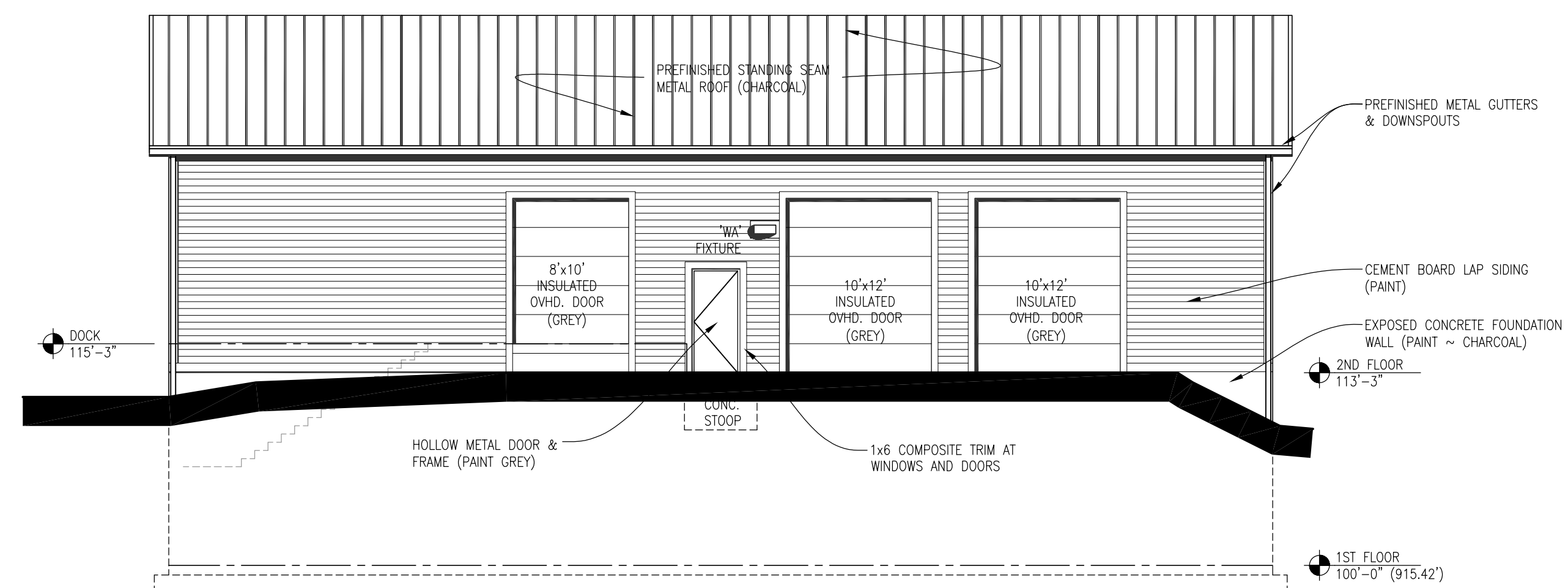
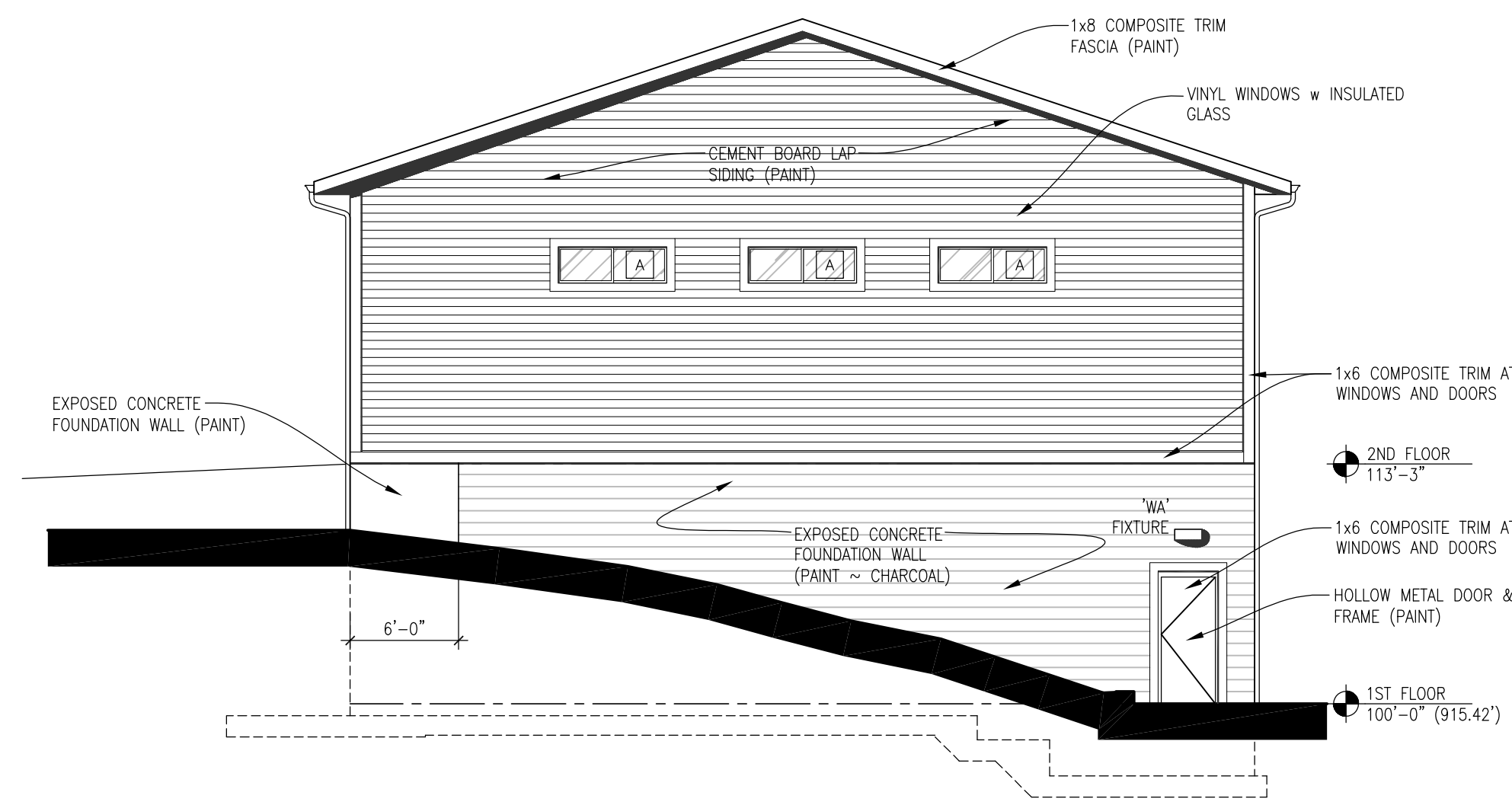
The proposed use of the 7,600 square foot building will be unchanged, storage of goods consumed in real estate management and real estate construction related businesses. Hours of operation would be unchanged; 7:00am – 7:00 pm, Monday through Saturday.

This alteration would not change our schedule with the project still forecasted to be wrapped up by Fall of 2024.

If you have any additional questions, please reach out to me directly.

Thank you,

Robb Zeilhofer, Owner
Zeilhofer Properties, LLC
(414) 507-1550



Consultant:

HEC Project Number: 20-0110.00

Project:

Zeilhofer Properties, LLC
New Storage Building

Location:
N4W22540 Bluemound Road
Pewaukee, Wi 53186

Key Plan:

North

PLAN COMMISSION
FINAL SUBMITTAL

Proposed Elevations

Sheet:
Exterior Elevations

Scale:
1/8" = 1'-0"

Revisions:

[illegible]

Date:

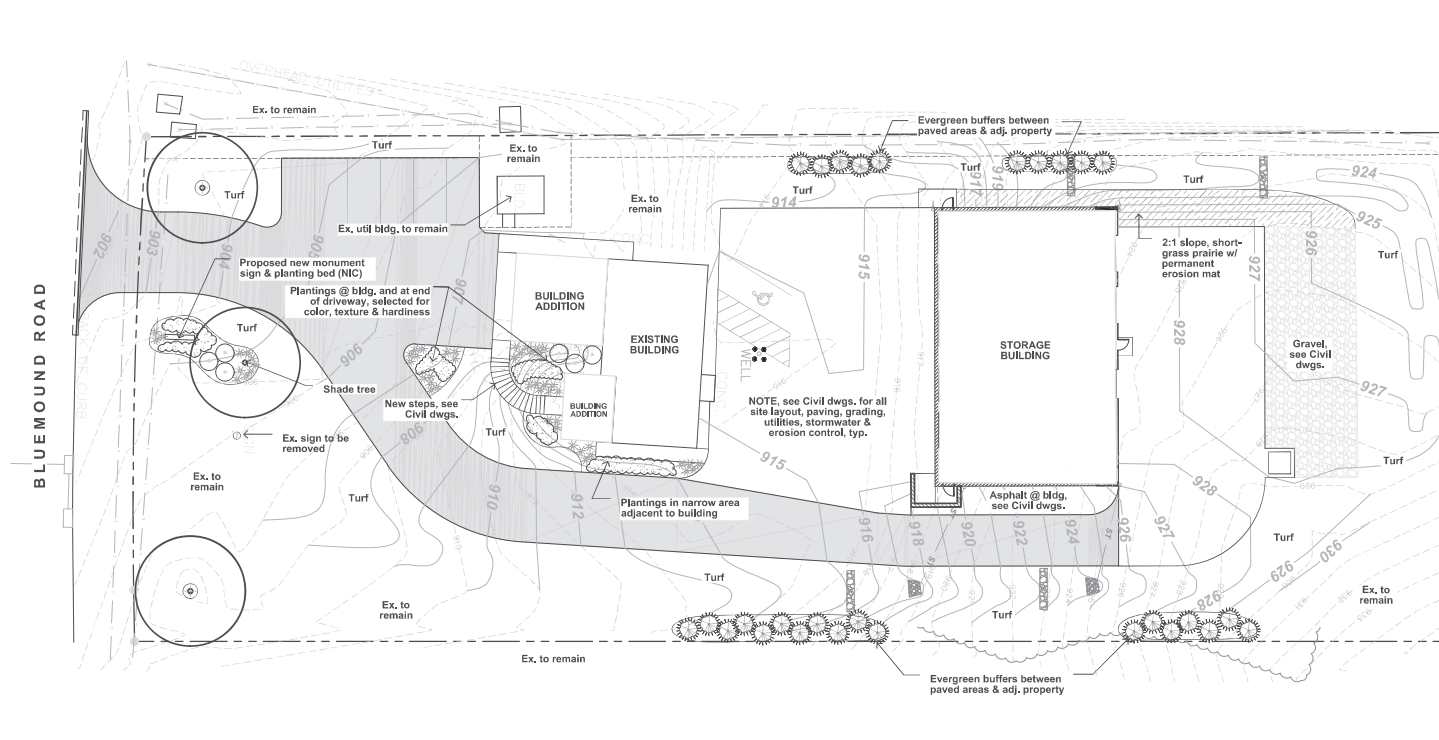
December 11, 2023

Project No.:

200110.00

Sheet No.:

A4.0



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zimmerman
ARCHITECTURAL STUDIOS, INC.

2122 West Mount Vernon Avenue | Milwaukee, WI 53233 | zstudio.com
TELEPHONE [414] 476.8500
FACSIMILE [414] 476.8582

Consultant:

HARWOOD
200 N 2nd Street, Milwaukee, WI 53233 | 414-475-9554

REC Project Number: 202011030

Project:

Zeilhofer Properties, LLC
New Storage Building

Location:
N4W22540 Bluemound Road
Pewaukee, WI 53186

Key Plan:



Sheet:
**Schematic
Landscape Plan**



Scale:
1/16" = 1'-0" @ 36x24"

Revisions:

No. Date Description

No.	Date	Description

Date:

December 11, 2023

Project No.:

200110.00

Sheet No.:

L1.00