



Office of the Clerk/Treasurer

W240N3065 Pewaukee Road
Pewaukee, WI 53072
(262) 691-0770 Fax 691-1798

**COMMON COUNCIL
MEETING NOTICE AND AGENDA
Monday, March 4, 2024
6:30 PM**

Common Council Chambers ~ Pewaukee City Hall
W240 N3065 Pewaukee Road ~ Pewaukee, WI 53072

-
1. Call to Order and Pledge of Allegiance
 2. **PUBLIC HEARING**, Discussion and Possible Action Regarding the Takoma Hills Phase 1 Road Reconstruction Project [Wagner]
 - 2.1 Accept the Preliminary Engineering Report and Special Assessments.
 - 2.2 Award the Contract to the Lowest Qualified Bidder, All-Ways Contractors, Inc., in the Amount of \$913,362.12.
 3. Public Comment - Please limit your comments to two (2) minutes, if further time for discussion is needed please contact your District Alderperson prior to the meeting.
 4. Consent Agenda
 - 4.1. Approve Common Council Meeting Minutes Dated February 5, 2024.
 - 4.2. Approve the Accounts Payable Listing Dated March 4, 2024
 5. **PUBLIC HEARING**, Discussion and Possible Action Regarding **Resolution PC 24-02-08** and **Ordinance 24-05** Related to the Comprehensive Master Plan Amendment to Change the Year 2050 Land Use / Transportation Plan Use Designation for the City of Pewaukee for Starla Enterprises, LLC for Land Located at the Northwest Corner of Johnson Drive and Springdale Road (PWC 0961-996-006) from Manufacturing / Fabrication / Warehousing to Office Commercial [Fuchs]
 6. Discussion and Possible Action Regarding **Ordinance 24-06** to Rezone the Land Located at the Northwest Corner of Johnson Drive and Springdale Road (PWC 0961-996-006) from M-1 General Wholesale Business / Warehouse District to B-4 Office District for the Purpose of Constructing a Two-Story Office Building at the Request of Starla Enterprises, LLC [Fuchs]
 7. Discussion and Possible Action Regarding an Easement Agreement for Cardinal Meadow Mailbox Location [Wagner].
 8. Discussion and Possible Action Regarding Swan View Farms [Wagner]
 - 8.1 Approve the Release of Phase 1 Cash Deposit Totaling \$15,000.
 - 8.2 Approve the Release of Phase 2 Cash Deposit Totaling \$110,000.
 9. Discussion and Possible Action Regarding an Easement Agreement to Allow Landscaping within an

Existing Sanitary Sewer Easement for W239 N1690 Busse Road (PWC 0954-998-002) [Wagner]

10. Discussion and Possible Action Regarding Relocation Order **Resolution 24-03-09** for Easements Needed for the Bluemound Water Main Loop [Wagner]
11. Public Comment - Please limit your comments to two (2) minutes, if further time for discussion is needed please contact your district Alderperson prior to the meeting.
12. Closed Session – You are hereby notified that the Common Council and staff of the City of Pewaukee will convene into closed session after all regular scheduled business has been concluded and upon motion duly made and seconded and acted upon by roll-call vote as required under §19.85(1)(a), Stats. The purpose of the closed session is for the following:
 - §19.85(1)(e): Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session specifically related to the Joint Library Contract with the Village of Pewaukee.

You are further notified that at the conclusion of the Closed Session, the Common Council may convene into open session pursuant to 19.85(2), Stats., for possible additional discussion and action concerning any matters discussed in closed session and for adjournment.

13. Adjournment

Kelly Tarczewski
Clerk/Treasurer

March 1, 2024

NOTICE

It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum. At the above stated meeting, no action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the Clerk/Treasurer, Kelly Tarczewski, at (262) 691-0770 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 2.**

DATE: March 4, 2024

DEPARTMENT: PW - Engineering

PROVIDED BY: Magdelene Wagner

SUBJECT:

PUBLIC HEARING, Discussion and Possible Action Regarding the Takoma Hills Phase 1 Road Reconstruction Project [Wagner]

BACKGROUND:

Takoma Hills Phase 1 Road Reconstruction project Includes Mt. Vernon Drive, Richmond Court, Takoma Drive (Mt. Vernon Drive to Lexington Drive), and Virginia Drive. These roads are rated mainly 3's and one small section is a 5 due to a thin overlay because to its prior deterioration. Recall a rating of 10 is a new roadway.

A review of the soil borings completed on these sections indicate areas of thin pavement and inadequate base stone with underlying pour subsoils. For these reasons, we have determine a complete reconstruction is needed. We will be removing the existing asphalt pavement and stone base. If any undercutting is required of the subbase, this will be completed prior to placing new base stone and asphalt.

Many of the driveway culverts will be replaced and the swales will be regraded thru out this phase. Water valves and hydrants will be repaired. Sanitary sewer manholes will also be repaired as part of this project.

The Road paving cap is \$3,290 for all residential properties.

Note: this phase does not include Lexington Drive or Ruben Drive where the concern exists with the major storm and flooding occur. This will be in Phase 2 slated for 2025 construction.

FINANCIAL IMPACT:

The 2024 budget included the following:

Storm Water Utility \$475,000
Road \$750,000
Water Utility \$232,000
Sewer Utility \$320,000

The project costs are broken down as follows per the Engineers Report:

Storm Water Utility \$277,645.36
Road \$795,655.60
Water Utility \$76,997.96
Sewer Utility \$37,071.84

The road project budget is short \$45,655.60. I recommend up to \$46,000 be reallocated from Watertown Road Design

to Takoma Hills if needed.

RECOMMENDED MOTION:

Common Council award the Takoma Hills Phase 1 Road Reconstruction Contract to the lowest qualified bidder, Allways Contractors, Inc. in the amount of \$913,362.12 and accept the preliminary engineers report, special assessments, and reallocate road funds as noted

ATTACHMENTS:

Description

Recommendation of Award

Bid Summary

Preliminary Engineers Report

February 9, 2024

Magdelene Wagner, PE
Director of Public Works
City of Pewaukee
W240 N3065 Pewaukee Road
Pewaukee, WI 53072

**Subject: LETTER OF RECOMMENDATION
Takoma Hills Street Reconstruction – Phase I
AECOM Project No. 60339891**

Dear Ms. Wagner,

Pursuant to the Official Notice to Bidders, sealed bids for the subject project were received at Pewaukee City Hall on February 8, 2024, at 11:00 a.m., and publicly opened and read aloud. We have reviewed the bids received for the work and have enclosed a Bid Tabulation for your information. We take this opportunity to submit our written recommendations for the award of this contract.

Two sealed bids were received. The apparent low bid was submitted by All-Ways Contractors, Inc.; of Elm Grove, Wisconsin, in the base bid amount of \$847,237.12 with a mandatory alternate bid of \$66,125.00 for a total of \$913,362.12. The Engineer's Opinion of Probable Construction Cost was a base bid amount of \$1,153,400 and a mandatory alternate bid of \$38,150 for a total of \$1,191,550.

It is our opinion that the lowest bidder, All-Ways Contractors, Inc., submitted a responsive bid, and is qualified and capable of performing the work as specified. It is therefore recommended that a contract be awarded to All-Ways Contractors, Inc., in the amount of \$913,362.12.

We respectfully present this recommendation for your review and consideration. If you have any questions, please feel free to contact me at emma.connell@aecom.com or 262-470-6045.

Yours sincerely,



Emma Connell, EIT
Project Engineer – AECOM

E-Copy: Rich Wirtz, PE, CFM, City of Pewaukee
Rick Eilertson, Jack Kasprzak, Lu Chen, AECOM

Attachment: Bid Tabulation

BID TABULATION
Takoma Hills Street Reconstruction - Phase I - 60339891
City of Pewaukee, Wisconsin
Bid Opening: February 8, 2024, at 11:00 AM, Local Time, Pewaukee City Hall

Item #	Item	Bid	Units	All-Ways Contractors, Inc.		Musson Bros. Inc.	
		Quantity		Unit Price	Total	Unit Price	Total
1	Mobilization, Insurance, Bonds	1	LS	\$ 5,760.00	\$ 5,760.00	\$ 55,000.00	\$ 55,000.00
2	Traffic Control	1	LS	\$ 4,300.00	\$ 4,300.00	\$ 4,500.00	\$ 4,500.00
3	Dewatering	1	LS	\$ 100.00	\$ 100.00	\$ 1,000.00	\$ 1,000.00
4	Dust Control	10	Per 1000/Gal	\$ 25.00	\$ 250.00	\$ 30.50	\$ 305.00
5	Erosion Log, 12-Inch	610	LF	\$ 5.00	\$ 3,050.00	\$ 6.40	\$ 3,904.00
6	Culvert Pipe Check	37	EACH	\$ 24.00	\$ 888.00	\$ 25.00	\$ 925.00
7	Topsoil Restoration, w/ Class I, Urban, Type B Erosion Mat	8652	SY	\$ 4.90	\$ 42,394.80	\$ 6.50	\$ 56,238.00
8	Topsoil Restoration, w/ Class III Type B Erosion Mat	1124	SY	\$ 10.45	\$ 11,745.80	\$ 12.05	\$ 13,544.20
9	Turfgrass Seed Mix	9569	SY	\$ 0.95	\$ 9,090.55	\$ 0.95	\$ 9,090.55
10	Excavation for Ditches and Culverts	6620	LF	\$ 8.35	\$ 55,277.00	\$ 5.00	\$ 33,100.00
11	Full Depth Asphaltic Pavement Removal	9174	SY	\$ 11.38	\$ 104,400.12	\$ 15.75	\$ 144,490.50
12	Concrete Driveway Removal and Replacement	555	SY	\$ 82.40	\$ 45,732.00	\$ 73.50	\$ 40,792.50
13	Asphalt Driveway Removal and Replacement	980	SY	\$ 37.40	\$ 36,652.00	\$ 36.25	\$ 35,525.00
14	Excavation Below Subgrade	611	CY	\$ 21.00	\$ 12,831.00	\$ 32.15	\$ 19,643.65
15	Excavation Below Subgrade Backfill	1222	TON	\$ 20.95	\$ 25,600.90	\$ 17.90	\$ 21,873.80
16	1 3/4" HMA Pavement 5 LT 58-28S	972	TON	\$ 71.50	\$ 69,498.00	\$ 77.00	\$ 74,844.00
17	3 1/4" HMA Pavement 3 LT 58-28S	1811	TON	\$ 68.50	\$ 124,053.50	\$ 64.00	\$ 115,904.00
18	Base Aggregate Dense ¾-Inch	2577	TON	\$ 25.20	\$ 64,940.40	\$ 14.00	\$ 36,078.00
19	Base Aggregate Dense 1 1/4-inch	2577	TON	\$ 17.85	\$ 45,999.45	\$ 14.00	\$ 36,078.00
20	Geogrid	1851	SY	\$ 6.60	\$ 12,216.60	\$ 6.50	\$ 12,031.50
21	Salvage and Reinstall Riprap	3	SY	\$ 100.00	\$ 300.00	\$ 150.00	\$ 450.00
22	CMPA 17 x 13"	1000	LF	\$ 68.80	\$ 68,800.00	\$ 87.50	\$ 87,500.00
23	RCP-HE 14 x 23", Class IV	114	LF	\$ 145.00	\$ 16,530.00	\$ 196.00	\$ 22,344.00
24	CMPA Endwall 17 x 13"	70	EACH	\$ 185.00	\$ 12,950.00	\$ 350.00	\$ 24,500.00
25	RCP-HE Endwall 14 x 23"	2	EACH	\$ 1,590.00	\$ 3,180.00	\$ 1,800.00	\$ 3,600.00
26	Water Valve Box Straightening	7	EACH	\$ 825.00	\$ 5,775.00	\$ 360.00	\$ 2,520.00
27	Water Valve Box Cleaning	5	EACH	\$ 545.00	\$ 2,725.00	\$ 150.00	\$ 750.00
28	Water Valve Box Top Section and Cover Replacement	15	EACH	\$ 795.00	\$ 11,925.00	\$ 500.00	\$ 7,500.00
29	Chimney Seal Removal for Inspection	19	EACH	\$ 225.00	\$ 4,275.00	\$ 90.00	\$ 1,710.00
30	Mailbox Temporary Relocation and Reinstallation	42	EACH	\$ 145.00	\$ 6,090.00	\$ 150.00	\$ 6,300.00
31	Full Depth Sawcut	729	LF	\$ 3.00	\$ 2,187.00	\$ 3.00	\$ 2,187.00
32	T.B. gravel shoulder	2016	SY	\$ 7.50	\$ 15,120.00	\$ 3.75	\$ 7,560.00
33	Curb Stop/Box Adjustment	15	EACH	\$ 225.00	\$ 3,375.00	\$ 97.00	\$ 1,455.00
34	Insulation of Water Services and Hydrant Leads	375	LF	\$ 49.00	\$ 18,375.00	\$ 25.00	\$ 9,375.00
35	Landscape Removal	1	EACH	\$ 100.00	\$ 100.00	\$ 500.00	\$ 500.00
36	Stone Weeper	50	LF	\$ 15.00	\$ 750.00	\$ 15.00	\$ 750.00

BASE BID TOTAL

\$ 847,237.12

\$ 893,868.70

Item #	Mandatory Alternate Bid Item Description	Bid Quantity	Units	Unit Price	Total	Unit Price	Total
37	Chimney Ring Removal and Replacement	19	VERTICAL INCH	\$ 215.00	\$ 4,085.00	\$ 155.00	\$ 2,945.00
38	Sanitary Manhole Chimney Tuck-Pointing	19	EACH	\$ 295.00	\$ 5,605.00	\$ 135.00	\$ 2,565.00
39	Sanitary Manhole Internal/External Seal Replacement	19	EACH	\$ 750.00	\$ 14,250.00	\$ 750.00	\$ 14,250.00
40	Sanitary Manhole Adjustment	19	VERTICAL INCH	\$ 215.00	\$ 4,085.00	\$ 155.00	\$ 2,945.00
41	Water Valve Box Total Section Replacement	15	EACH	\$ 1,945.00	\$ 29,175.00	\$ 1,300.00	\$ 19,500.00
42	Water Valve Box Middle Section Replacement	3	EACH	\$ 1,270.00	\$ 3,810.00	\$ 1,025.00	\$ 3,075.00
43	Water Valve Box Lower Section Replacement	3	EACH	\$ 1,705.00	\$ 5,115.00	\$ 1,095.00	\$ 3,285.00

MANDATORY ALTERNATE BID TOTAL

\$ 66,125.00

\$ 48,565.00

PROJECT TOTAL

\$ 913,362.12

\$ 942,433.70

Preliminary Report of the Engineer

On the Proposed Takoma Hills Phase One

Pavement Rehabilitation in the City of Pewaukee

In accordance with the resolution passed by the Common Council of the City of Pewaukee, we herewith submit our report on assessments for the rehabilitation of Mount Vernon Drive, Richmond Court, Takoma Drive, and Virginia Drive, sanitary improvements along Mount Vernon Drive, Richmond Court, Takoma Drive, and Virginia Drive, drainage improvements along Mount Vernon Drive, Richmond Court, Takoma Drive, and Virginia Drive, and water main improvements along Mount Vernon Drive, Richmond Court, Takoma Drive, and Virginia Drive to be made in the City of Pewaukee. All data shown here is based on bid prices.

The report consists of the following Schedules:

Schedule “A”: Summary of options for assessments and related costs.

Schedule “B”: Legal description, dated February 2024, and map, dated January 2024, of all parcels within the assessment district.

Schedule “C”: Estimated assessment for each parcel affected.

The properties against which the assessments are proposed are benefited and the improvements constitute an exercise of Police Powers.

Magdelene J. Wagner, P.E.
Director of Public Works/City Engineer
City of Pewaukee
W240N3065 Pewaukee Road
Pewaukee, WI 53072
March 4, 2024

Prepared by:
Brian G. Leightner, P.E.
Civil Engineer
February 9, 2024

Schedule “A” – Takoma Hills Phase 1

The City of Pewaukee is considering the pavement rehabilitation of Mount Vernon Drive, Richmond Court, Takoma Drive, and Virginia Drive. The improvements consist of road rehabilitation, drainage repair, sanitary manhole repair, water valve repair, and related facilities.

The cost of road improvements will be apportioned to all property owners abutting the street with direct or indirect access. The City of Pewaukee caps the road assessments to single-family, duplex residential, and residential condominium properties. All other properties shall pay the full road assessment.

Drainage improvements will be paid by the Storm Water Management Utility.

Sanitary sewer repairs will be paid by the Sewer Utility.

Water main repairs will be paid by the Water Utility.

It is recommended the costs for improvements in Mount Vernon Drive, Richmond Court, Takoma Drive, and Virginia Drive be determined on a unit basis.

UNIT RATE COMPUTATIONS

Road Rehabilitation Unit Rate – Takoma Hills Phase 1

Estimated Road Reconstruction Costs (see attached breakdown)	\$ 612,042.77
Engineering, Administration, & Contingencies	\$ 183,612.83
Total Estimated Road Reconstruction Costs	\$ 795,655.60

$$\frac{\$ 795,655.60}{38 \text{ units}} = \$ 20,938.31/\text{unit}$$

Use \$ 20,938.31/unit as the Road Rehabilitation Unit Rate¹.

Storm Water Management – Takoma Hills Phase 1

Estimated Drainage Improvement Costs (see attached breakdown)	\$ 213,573.35
Engineering, Administration, & Contingencies	\$ 64,072.01
Total Estimated Drainage Improvement Costs	\$ 277,645.36

Sanitary Sewer Utility – Takoma Hills Phase 1

Estimated Sanitary Sewer Costs (see attached breakdown)	\$ 28,516.80
Engineering, Administration, & Contingencies	\$ 8,555.04
Total Estimated Sanitary Sewer Costs	\$ 37,071.84

Water Utility – Takoma Hills Phase 1

Estimated Water Utility Costs (see attached breakdown)	\$ 59,229.20
Engineering, Administration, & Contingencies	\$ 17,768.76
Total Estimated Water Utility Costs	\$ 76,997.96

COST SUMMARY

Cost Summary

Total Estimated Project Costs	\$ 1,187,370.76
Total Road Assessable Costs (deduct)	\$ (125,020.00)
Total Storm Water Utility Costs (deduct)	\$ (277,645.36)
Total Sanitary Sewer Costs (deduct)	\$ (37,071.84)
Total Water Utility Costs (deduct)	\$ (76,997.96)
Net Non-assessable & City Costs	\$ 670,635.60

¹ A maximum of \$ 3,290.00 (2024 Pavement Cap) will be assessed to single-family, duplex, and condominium residential properties.

Computation of Costs

Total Estimated Rehabilitation Project Costs

<u>Item</u> <u>No.</u>	<u>Description</u>	<u>Estimated</u> <u>Quantity</u>	<u>Unit</u>	<u>Bid Unit</u> <u>Price</u>	<u>Bid Total</u> <u>Price</u>
1	Mobilization, Insurance, Bonds	1	LS	\$5,760.00	\$ 5,760.00
2	Traffic Control	1	LS	\$4,300.00	\$ 4,300.00
3	Dewatering	1	LS	\$ 100.00	\$ 100.00
4	Dust Control	10	Per 1000/Gal	\$ 25.00	\$ 250.00
5	Erosion Log, 12-Inch	610	LF	\$ 5.00	\$ 3,050.00
6	Culvert Pipe Check	37	EACH	\$ 24.00	\$ 888.00
7	Topsoil Restoration, w/ Class I, Urban, Type B Erosion Mat	8652	SY	\$ 4.90	\$ 42,394.80
8	Topsoil Restoration, w/ Class III, Type B Erosion Mat	1124	SY	\$ 10.45	\$ 11,745.80
9	Turfgrass Seed Mix	9569	SY	\$ 0.95	\$ 9,090.55
10	Excavation for Ditches and Culverts	6620	LF	\$ 8.35	\$ 55,277.00
11	Full Depth Asphaltic Pavement and Base Removal	9174	SY	\$ 11.38	\$ 104,400.12
12	Concrete Driveway Removal and Replacement with HES Concrete	555	SY	\$ 82.40	\$ 45,732.00
13	Asphalt Driveway Removal and Replacement	980	SY	\$ 37.40	\$ 36,652.00
14	Excavation Below Subgrade	611	CY	\$ 21.00	\$ 12,831.00
15	Excavation Below Subgrade Backfill	1222	TON	\$ 20.95	\$ 25,600.90
16	1 ¾" HMA Pavement 5 LT 58-28S	972	TON	\$ 71.50	\$ 69,498.00
17	3 ¼" HMA Pavement 3 LT 58-28S	1811	TON	\$ 68.50	\$ 124,053.50
18	Base Aggregate Dense ¾-Inch	2577	TON	\$ 25.20	\$ 64,940.40
19	Base Aggregate Dense 1 ¼- Inch	2577	TON	\$ 17.85	\$ 45,999.45
20	Geogrid	1851	SY	\$ 6.60	\$ 12,216.60
21	Salvage and Reinstall Riprap	3	SY	\$ 100.00	\$ 300.00
22	CMPA 17 × 13"	1000	LF	\$ 68.80	\$ 68,800.00
23	RCP-HE 14 × 23", Class IV	114	LF	\$ 145.00	\$ 16,530.00
24	CMPA Endwall 17 × 13"	70	EACH	\$ 185.00	\$ 12,950.00
25	RCP-HE Endwall 14 × 23"	2	EACH	\$1,590.00	\$ 3,180.00
26	Water Valve Box Straightening	7	EACH	\$ 825.00	\$ 5,775.00

Total Estimated Rehabilitation Project Costs – Continued

<u>Item</u>		<u>Estimated</u>		<u>Bid Unit</u>	<u>Bid Total</u>
<u>No.</u>	<u>Description</u>	<u>Quantity</u>	<u>Unit</u>	<u>Price</u>	<u>Price</u>
27	Water Valve Box Cleaning	5	EACH	\$ 545.00	\$ 2,725.00
28	Water Valve Box Top Section and Cover Replacement	15	EACH	\$ 795.00	\$ 11,925.00
29	Chimney Seal Removal for Inspection	19	EACH	\$ 225.00	\$ 4,275.00
30	Mailbox Temporary Relocation and Reinstallation	42	EACH	\$ 145.00	\$ 6,090.00
31	Full depth Sawcut	729	LF	\$ 3.00	\$ 2,187.00
32	T.B. gravel shoulder	2016	SY	\$ 7.50	\$ 15,120.00
33	Curb stop/Box Adjustment	15	EACH	\$ 225.00	\$ 3,375.00
34	Insulation of Water Services and Hydrant Leads	375	LF	\$ 49.00	\$ 18,375.00
35	Landscape Removal	1	LS	\$ 100.00	\$ 100.00
36	Stone weeper	50	LF	\$ 15.00	\$ 750.00
MA-1	Chimney Ring Removal and Replacement	19	VERTICAL INCH	\$ 215.00	\$ 4,085.00
MA-2	Sanitary Manhole Chimney Tuckpointing	19	EACH	\$ 295.00	\$ 5,605.00
MA-3	Sanitary Manhole Internal/External Seal Replacement	19	EACH	\$ 750.00	\$ 14,250.00
MA-4	Sanitary Manhole Adjustment	19	VERTICAL INCH	\$ 215.00	\$ 4,085.00
MA-5	Water Valve Box Total Section Replacement	15	EACH	\$1,945.00	\$ 29,175.00
MA-6	Water Valve Box Middle Section Replacement	3	EACH	\$1,270.00	\$ 3,810.00
MA-7	Water Valve Box Lower Section Replacement	3	EACH	\$1,705.00	\$ 5,115.00
Subtotal of Contract					\$ 913,362.12
Engineering, Administration, & Contingencies					\$ 274,008.64
Total Estimated Project Costs					\$1,187,370.76

Total Estimated Project Costs = \$ 1,187,370.76

Total Estimated Road Rehabilitation and Assessable Costs

<u>Item</u>		<u>Estimated</u>		<u>Bid Unit</u>	<u>Bid Total</u>
<u>No.</u>	<u>Description</u>	<u>Quantity</u>	<u>Unit</u>	<u>Price</u>	<u>Price</u>
1	Mobilization, Insurance, Bonds	0.67	LS	\$5,760.00	\$ 3,859.20
2	Traffic Control	0.67	LS	\$4,300.00	\$ 2,881.00
4	Dust Control	10	Per 1000/Gal	\$ 25.00	\$ 250.00
5	Erosion Log, 12-Inch	305	LF	\$ 5.00	\$ 1,525.00
6	Culvert Pipe Check	18.5	EACH	\$ 24.00	\$ 444.00
7	Topsoil Restoration, w/ Class I, Urban, Type B Erosion Mat	4326	SY	\$ 4.90	\$ 21,197.40
8	Topsoil Restoration, w/ Class III, Type B Erosion Mat	562	SY	\$ 10.45	\$ 5,872.90
9	Turfgrass Seed Mix	4784	SY	\$ 0.95	\$ 4,544.80
11	Full Depth Asphaltic Pavement and Base Removal	9174	SY	\$ 11.38	\$104,400.12
12	Concrete Driveway Removal and Replacement with HES Concrete	555	SY	\$ 82.40	\$ 45,732.00
13	Asphalt Driveway Removal and Replacement	980	SY	\$ 37.40	\$ 36,652.00
14	Excavation Below Subgrade	611	CY	\$ 21.00	\$ 12,831.00
15	Excavation Below Subgrade Backfill	1222	TON	\$ 20.95	\$ 25,600.90
16	1 ¾" HMA Pavement 5 LT 58- 28S	972	TON	\$ 71.50	\$ 69,498.00
17	3 ¼" HMA Pavement 3 LT 58- 28S	1811	TON	\$ 68.50	\$124,053.50
18	Base Aggregate Dense ¾-Inch	2577	TON	\$ 25.20	\$ 64,940.40
19	Base Aggregate Dense 1 ¼-Inch	2577	TON	\$ 17.85	\$ 45,999.45
20	Geogrid	1851	SY	\$ 6.60	\$ 12,216.60
30	Mailbox Temporary Relocation and Reinstallation	42	EACH	\$ 145.00	\$ 6,090.00
31	Full depth Sawcut	729	LF	\$ 3.00	\$ 2,187.00
32	T.B. gravel shoulder	2016	SY	\$ 7.50	\$ 15,120.00
33	Curb stop/Box Adjustment	7.5	EACH	\$ 225.00	\$ 1,687.50
36	Stone weeper	25	LF	\$ 15.00	\$ 375.00
MA-4	Sanitary Manhole Adjustment	19	VERTICAL INCH	\$ 215.00	\$ 4,085.00
Subtotal of Contract					\$612,042.77
Engineering, Administration, & Contingencies					\$183,612.83
Total Estimated Project Costs					\$795,655.60

Total Estimated Road Rehabilitation Costs = \$ 795,655.60

Total Estimated Rehabilitation Project Costs – Continued

Total Units abutting the Road = 38 units

Computation of the Road Rehabilitation Unit Rate: $\frac{\$ 795,655.60}{38 \text{ units}} = \$ 20,938.31/\text{unit}$

Use \$ 20,938.31/unit as the Road Rehabilitation Unit Rate¹.

¹ A maximum of \$ 3,290.00 (2024 Pavement Cap) will be assessed to single-family, duplex, and condominium residential properties.

Total Estimated Storm Water Utility Costs

<u>Item</u>		<u>Estimated</u>		<u>Bid Unit</u>	<u>Bid Total</u>
<u>No.</u>	<u>Description</u>	<u>Quantity</u>	<u>Unit</u>	<u>Price</u>	<u>Price</u>
1	Mobilization, Insurance, Bonds	0.23	LS	\$ 5,760.00	\$ 1,324.80
2	Traffic Control	0.23	LS	\$ 4,300.00	\$ 989.00
3	Dewatering	1	LS	\$ 100.00	\$ 100.00
5	Erosion Log, 12-Inch	305	LF	\$ 5.00	\$ 1,525.00
6	Culvert Pipe Check	18.5	EACH	\$ 24.00	\$ 444.00
7	Topsoil Restoration, w/ Class I, Urban, Type B Erosion Mat	4326	SY	\$ 4.90	\$ 21,197.40
8	Topsoil Restoration, w/ Class III, Type B Erosion Mat	562	SY	\$ 10.45	\$ 5,872.90
9	Turfgrass Seed Mix	4785	SY	\$ 0.95	\$ 4,545.75
10	Excavation for Ditches and Culverts	6620	LF	\$ 8.35	\$ 55,277.00
21	Salvage and Reinstall Riprap	3	SY	\$ 100.00	\$ 300.00
22	CMPA 17 × 13"	1000	LF	\$ 68.80	\$ 68,800.00
23	RCP-HE 14 × 23", Class IV	114	LF	\$ 145.00	\$ 16,530.00
24	CMPA Endwall 17 × 13"	70	EACH	\$ 185.00	\$ 12,950.00
25	RCP-HE Endwall 14 × 23"	2	EACH	\$ 1,590.00	\$ 3,180.00
33	Curb stop/Box Adjustment	7.5	EACH	\$ 225.00	\$ 1,687.50
34	Insulation of Water Services and Hydrant Leads	375	LF	\$ 49.00	\$ 18,375.00
35	Landscape Removal	1	LS	\$ 100.00	\$ 100.00
36	Stone weeper	25	LF	\$ 15.00	\$ 375.00
Subtotal of Contract					\$213,573.35
Engineering, Administration, & Contingencies					\$ 64,072.01
Total Estimated Project Costs					\$277,645.36

Total Estimated Storm Water Utility Costs = \$ 277,645.36

Total Estimated Sanitary Sewer Utility Costs

<u>Item</u> <u>No.</u>	<u>Description</u>	<u>Estimated</u> <u>Quantity</u>	<u>Unit</u>	<u>Bid Unit</u> <u>Price</u>	<u>Bid Total</u> <u>Price</u>
1	Mobilization, Insurance, Bonds	0.03	LS	\$ 5,760.00	\$ 172.80
2	Traffic Control	0.03	LS	\$ 4,300.00	\$ 129.00
29	Chimney Seal Removal for Inspection	19	EACH	\$ 225.00	\$ 4,275.00
MA-1	Chimney Ring Removal and Replacement	19	VERTICAL INCH	\$ 215.00	\$ 4,085.00
MA-2	Sanitary Manhole Chimney Tuckpointing	19	EACH	\$ 295.00	\$ 5,605.00
MA-3	Sanitary Manhole Internal/External Seal Replacement	19	EACH	\$ 750.00	\$14,250.00
Subtotal of Contract					\$28,516.80
Engineering, Administration, & Contingencies					\$ 8,555.04
Total Estimated Project Costs					\$37,071.84

Total Estimated Sanitary Sewer Utility Costs = \$ 37,071.84

Total Estimated Water Utility Costs

<u>Item</u> <u>No.</u>	<u>Description</u>	<u>Estimated</u> <u>Quantity</u>	<u>Unit</u>	<u>Bid Unit</u> <u>Price</u>	<u>Bid Total</u> <u>Price</u>
1	Mobilization, Insurance, Bonds	0.07	LS	\$5,760.00	\$ 403.20
2	Traffic Control	0.07	LS	\$4,300.00	\$ 301.00
26	Water Valve Box Straightening	7	EACH	\$ 825.00	\$ 5,775.00
27	Water Valve Box Cleaning	5	EACH	\$ 545.00	\$ 2,725.00
28	Water Valve Box Top Section and Cover Replacement	15	EACH	\$ 795.00	\$11,925.00
MA-5	Water Valve Box Total Section Replacement	15	EACH	\$ 1,945.00	\$29,175.00
MA-6	Water Valve Box Middle Section Replacement	3	EACH	\$ 1,270.00	\$ 3,810.00
MA-7	Water Valve Box Lower Section Replacement	3	EACH	\$ 1,705.00	\$ 5,115.00
Subtotal of Contract					\$59,229.20
Engineering, Administration, & Contingencies					\$17,768.76
Total Estimated Project Costs					\$76,997.96

Total Estimated Water Utility Costs = \$ 76,997.96

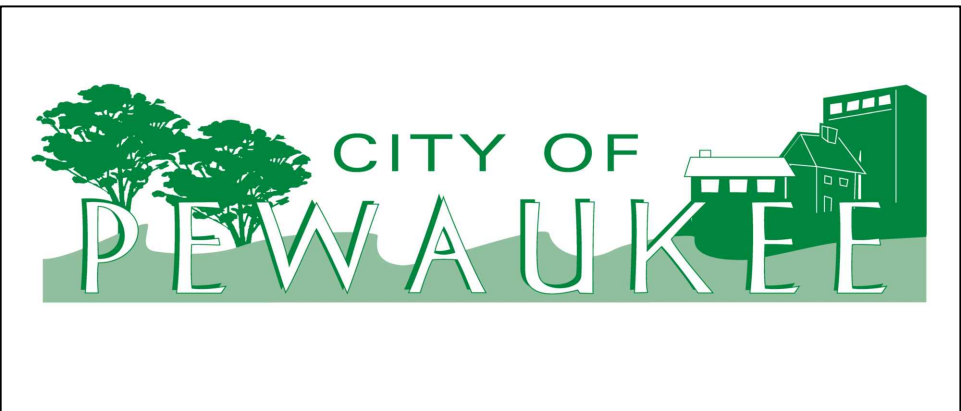
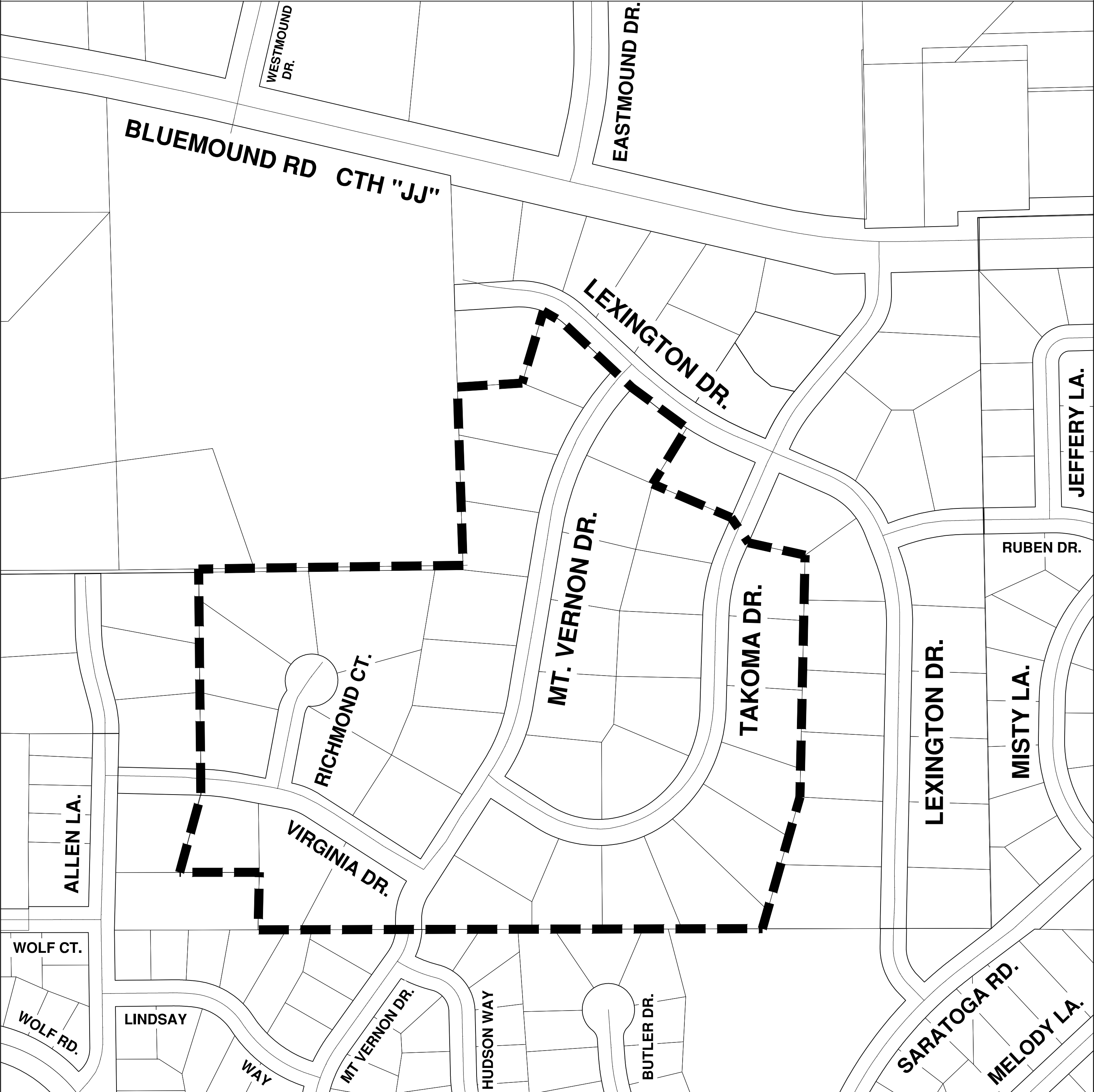
February 5th, 2024

An Area of Assessment in parts of the Southwest ¼ and the Southeast ¼ of Section 25, T7N, R19E, In the City of Pewaukee, Waukesha County, Wisconsin. Bound and Described as Follows:

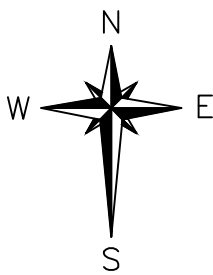
Commencing at the SW Corner of the SW ¼ of Section 25, T7N, R19E; Thence Due East along the South Line of Said SW 1/4, 709.50 Feet, to a Point in the East R/W Line of Allen Lane; Thence N1°30'00"E Along Said East R/W Line, 132.00 Feet to the SW Corner of Lot 4 Block F of Takoma Hills Subdivision; Thence Due East Along the South line of Said Lot 4, 147.00 Feet to the SW Corner of Lot 3 Block F of Said Subdivision, Also Being the Point of Beginning of Lands to be Described; Thence N14°20'05"E Along the West Line of Said Lot 3, 183.63 Feet to a point on the South R/W Line of Virginia Drive; Thence N0°00'55"W, 511.50 Feet to the NW Corner of Lot 13 Block D of Said Subdivision; Thence N89°36'00"E Along the North Line of Said Lot 13, 607.00 Feet to the SW corner of Lot 5, Block D of said Subdivision; Thence N1°43'00"W, Along a Westerly line of Said Subdivision, 419.50 Feet, to the NW Corner of Lot 3 Block D of Said subdivision; Thence N86°36'00"E, Along the Northerly line of Said lot 3, 148.88 Feet to the SW Corner of Lot 2 Block D of Said Subdivision; Thence N16°50'00"E, 172.00 Feet to the NW Corner of Said Lot 2, Also Being a point on the South R/W of Lexington Dr.; Thence Along Said South R/W along the Arc of a curve whose center is to the SW, whose Radius is 156.88 Feet, whose Cord Bears S58°10'00"E, 60.23 Feet; Thence Continuing Along Said South R/W Line, S47°10'00"E, 210.00 Feet to the NE Corner of Lot 1 Block H of Said Subdivision, Also being the East R/W Line of Mount Vernon Dr.; Thence Continuing Along Said South R/W Line, Along the Arc of a Curve Whose Center is to the NE, Whose Radius is 836.74 Feet, Whose Cord Bears S52°29'00", 155.25 Feet, to the NW Corner of Lot 12 Block H of Said Subdivision; Thence S31°30'00"W, 150.00 Feet to the SW Corner of Said Lot 12; Thence S66°42'00"E, 195.84 Feet, to the SE Corner of Said Lot 12, Also Being a Point on the West R/W Line of Takoma Dr.; Thence S34°30'21", 70.49 Feet, to a Point on the East R/W Line of Takoma Dr., Also Being the NW Corner of Lot 8 Block G of Said Subdivision; Thence S77°31'00"E, 132.76 Feet, to the NE Corner of Said Lot 8; Thence S1°20'00"W, 555.00 Feet, To a point in the East Line of Lot 11 Block G of Said Subdivision; Thence S16°04'00"W, 321.41 Feet, To the SE Corner of Lot 13 Block G of Said Subdivision Also Being a point in the South Line of Said Subdivision; Thence N89°40'00"W Along the South Line of Said Subdivision, 1155.56 Feet to the SW Corner of Lot 2 Block F of Said Subdivision; Thence N1°30'00"E Along the West Line of Said Lot 2 Block F, 132.00 Feet to the SE Corner of Lot 3 Block F of Said Subdivision; Thence Due West, 183.00 feet Along the South Line of Said Lot 3 Block F to the Point of Beginning.

Dave Geis
Senior Engineering Technician
City of Pewaukee

**TAKOMA HILLS
ROAD RECONSTRUCTION
RD-23-57426
ROAD ASSESSMENT
CITY OF PEWAUKEE
WAUKESHA COUNTY, WISCONSIN**



LEGEND



0 100 200 300 400 500 10

SCALE IN FEET

DATE: JANUARY 11, 2024

SCHEDULE C
PRELIMINARY ASSESSMENT ROLL
TAKOMA HILLS PHASE 1 2024 PAVING
RD-23-57426

NO.	OWNER'S NAME AND ADDRESS	TAX KEY NO.	DESCRIPTION	UNIT	COST/UNIT	ASSESSMENT	ASSESSMENT CAP	TOTAL ASSESSMENT
1	JAYNEE L ANDREE W226N385 MT VERNON DR WAUKESHA WI 53186	PWC 0963021	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
2	DANIEL DUSS JESSICA DUSS W226N355 MT VERNON DR WAUKESHA WI 53186-0405	PWC 0963022	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
3	HARRY HUBERT JR W226N325 MT VERNON DR WAUKESHA WI 53186	PWC 0963023	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
4	PETER HAESELICH W226N295 MT VERNON DR WAUKESHA WI 53186	PWC 0963024	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
5	SCOTT S SKREPENSKI AND SUSAN L PHANEUF REVOCABLE LIVING TRUST OF 2021 W226N251 MT VERNON DR WAUKESHA WI 53186-1634	PWC 0963025	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
6	JAYSON CONNER JENNIFER CONNER W226N225 MT VERNON DR WAUKESHA WI 53186-1634	PWC 0963026	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
7	NICHOLAS GONZALEZ NICOLE E HAGEN W227N177 MT VERNON DR WAUKESHA WI 53186-1634	PWC 0963027	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
8	THOMAS KARPINSKI ROMAINE KARPINSKI N1W22746 VIRGINIA DR WAUKESHA WI 53186	PWC 0963028	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
9	MICHAEL GOSA ROBIN GOSA N1W22776 VIRGINIA DR WAUKESHA WI 53186	PWC 0963029	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00

SCHEDULE C
PRELIMINARY ASSESSMENT ROLL
TAKOMA HILLS PHASE 1 2024 PAVING
RD-23-57426

NO.	OWNER'S NAME AND ADDRESS	TAX KEY NO.	DESCRIPTION	UNIT	COST/UNIT	ASSESSMENT	ASSESSMENT CAP	TOTAL ASSESSMENT
10	CHERI THURNER 217 WEST ST NAPLES FL 33963	PWC 0963030	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
11	CLIFFORD J CARLSON JR & CAROL RIESNER CARLSON REVOCABLE TRUST DATED JUNE 26, 2007 W227N240 RICHMOND CT WAUKESHA WI 53186-1637	PWC 0963031	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
12	JOHN HAYDEN CAROL HAYDEN W227N280 RICHMOND CT WAUKESHA WI 53186	PWC 0963032	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
13	PETER CORRAO SHARON CORRAO W228N240 RICHMOND CT WAUKESHA WI 53186	PWC 0963033	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
14	JOSEPH A MONROE LYNDSAY A FOLEY N1W22818 VIRGINIA DR WAUKESHA WI 53186-1646	PWC 0963034	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
15	PHILIP F HAHN N1W22763 VIRGINIA DR WAUKESHA WI 53186	PWC 0963040	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
16	RICHARD KURBER PENNY KURBER N1W22791 VIRGINIA DR WAUKESHA WI 53186	PWC 0963041	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
17	KEANA L SPENCER N1W22825 VIRGINIA DR WAUKESHA WI 53186-1644	PWC 0963042	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
18	LAURO LEMUS TONYIA LEMUS W226N280 TAKOMA DR WAUKESHA WI 53186-1639	PWC 0963051	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00

SCHEDULE C
PRELIMINARY ASSESSMENT ROLL
TAKOMA HILLS PHASE 1 2024 PAVING
RD-23-57426

NO.	OWNER'S NAME AND ADDRESS	TAX KEY NO.	DESCRIPTION	UNIT	COST/UNIT	ASSESSMENT	ASSESSMENT CAP	TOTAL ASSESSMENT
19	AMANDA M BESCHTA ROBERT D BESCHTA W226N260 TAKOMA DR WAUKESHA WI 53186-1639	PWC 0963052	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
20	CHRISTOPHER D LUCIER W226N220 TAKOMA DR WAUKESHA WI 53186-1639	PWC 0963053	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
21	ROBERT O SAESS ANNDEE J SAESS 3460 N 77TH ST MILWAUKEE WI 53222-3914	PWC 0963054	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
22	MICHELLE M SCHULZ W226N174 TAKOMA DR WAUKESHA WI 53186-1639	PWC 0963055	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
23	DONNA A ROOKER W226N136 TAKOMA DR WAUKESHA WI 53186	PWC 0963056	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
24	AYULO PROPERTIES LLC W226N148 TAKOMA DR WAUKESHA WI 53186-1639	PWC 0963057	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
25	JAMES S KLABUNDE JESSICA L TALAVERA-KLABUNDE N1W22651 TAKOMA DR WAUKESHA WI 53186-1642	PWC 0963058	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
26	BARBARA TREMEL W227N150 MT VERNON DR WAUKESHA WI 53186-1635	PWC 0963059	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
27	GARY & NELDA CHAMPLIN LIVING TRUST DATED DECEMBER 7, 1998 W227N120 MT VERNON DR WAUKESHA WI 53186	PWC 0963060	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
28	JOSEPH B AZZOLINA W226N370 MT VERNON DR WAUKESHA WI 53186-1636	PWC 0963061	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00

SCHEDULE C
PRELIMINARY ASSESSMENT ROLL
TAKOMA HILLS PHASE 1 2024 PAVING
RD-23-57426

NO.	OWNER'S NAME AND ADDRESS	TAX KEY NO.	DESCRIPTION	UNIT	COST/UNIT	ASSESSMENT	ASSESSMENT CAP	TOTAL ASSESSMENT
29	DEAN A KOHN W226N320 MT VERNON DR WAUKESHA WI 53186	PWC 0963062	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
30	AMANDA SCHROEDER 19570 OVERLOOK CIR BROOKFIELD WI 53045-2218	PWC 0963063	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
31	STANLEY INDERMUEHLE E INDERMUEHLE W226N216 MT VERNON DR WAUKESHA WI 53186	PWC 0963064	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
32	CHARLES J BROWN FAMILY TRUST MARGARET A BROWN FAMILY TRUST W226N212 MT VERNON DR WAUKESHA WI 53186	PWC 0963065	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
33	FRITZ PEARSON BONNIE PEARSON N1W22662 TAKOMA DR WAUKESHA WI 53186	PWC 0963066	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
34	LYNNE M ENGSTROM W226N165 TAKOMA DR WAUKESHA WI 53186-1638	PWC 0963067	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
35	LAWRENCE DAKE JANE DAKE W226N249 TAKOMA DR WAUKESHA WI 53186	PWC 0963068	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
36	DAVID C MEHRING W226N269 TAKOMA DR WAUKESHA WI 53186	PWC 0963069	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
37	ROSITA HAYS CHRISTOPHER HAYS W226N279 TAKOMA DR WAUKESHA WI 53186-1638	PWC 0963070	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00

SCHEDULE C
PRELIMINARY ASSESSMENT ROLL
TAKOMA HILLS PHASE 1 2024 PAVING
RD-23-57426

NO.	OWNER'S NAME AND ADDRESS	TAX KEY NO.	DESCRIPTION	UNIT	COST/UNIT	ASSESSMENT	ASSESSMENT CAP	TOTAL ASSESSMENT
38	EDMUND LEMANSKI ANITA LEMANSKI W226N309 TAKOMA DR WAUKESHA WI 53186	PWC 0963071	Road Reconstruction	1 each	\$ 20,938.31	\$ 20,938.31	\$ 3,290.00	\$ 3,290.00
TOTAL CONTRIBUTION IN AID OF ROAD RECONSTRUCTION								\$ 125,020.00

The properties against which contributions in aid of construction of proposed benefits and improvements constitute an exercise of Police Powers.

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 4.1.**

DATE: March 4, 2024

DEPARTMENT: Clerk/Treasurer

PROVIDED BY:

SUBJECT:

Approve Common Council Meeting Minutes Dated February 5, 2024.

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

CC Minutes 2.5.2024

In Attendance:

Mayor S. Bierce, Aldermen C. Brown, I. Clark (arrived at 7:04 p.m.), B. Dziwulski, R. Reinbold, P. Vetterkind and J. Wamser.

Also in Attendance:

Attorney L. Martell, Administrator S. Klein, DPW Director M. Wagner, City Planner & Community Development Director N. Fuchs, and Clerk/Treasurer K. Tarczewski.

1. Call to Order and Pledge of Allegiance

Mayor Bierce called the meeting to order at 6:30 p.m. and asked everyone to stand for the Pledge of Allegiance.

2. Public Comment - None.

3. Consent Agenda

- 3.1 Approve Common Council Meeting Minutes Dated December 4, 2023
- 3.2 Approve Common Council Meeting Minutes Dated December 18, 2024
- 3.3 Approve Accounts Payable Listing Dated February 5, 2024

It was noted that the agenda had the wrong year for the December 18th minutes. It should state December 18, 2023.

A motion was made and seconded (P. Vetterkind, R. Reinbold) to approve the consent agenda with the date correction. Motion Passed: 5-For, 0-Against.

4. **PUBLIC HEARING**, Discussion and Possible Action Regarding a Conditional Use Permit for AP Tattoo for Property Located at N20 W22951 Watertown Road Suite 113 (PWC 0958-982-004) for the Purpose of Operating a Professional Tattoo Parlor

Mr. Fuchs stated Conditional Use Permit for a tattoo parlor. He said they would move into an existing tenant space at the Crossings. The space equals approximately 1,089 square feet. Mr. Fuchs stated their hours will be Monday through Saturday, 11:00 a.m. to 7:00 p.m. He stated there were no exterior or site changes proposed. All operations will occur within the building. Mr. Fuchs stated the Plan Commission and staff recommended approval.

Mayor Bierce reminded the Council that they are acting as a Quasi-Judicial body and should only consider the information that is presented during the public hearing this evening. He stated the Plan Commission only provides recommendations for the Conditional Use Permit but ultimately the Council decides what they will be.

Mayor Bierce opened the public hearing, no one from the audience indicated an interest in speaking.

Mr. Vetterkind stated there were no drawings within the packet and asked what the signage would look like. Mr. Fuchs stated the applicant did not provide anything at this point. He stated they will have to submit a sign permit and he will make sure it is in conformance with the sign standards.

Mayor Bierce stated this was very important because the area is fairly conservative, and he doesn't think the City would want a bunch of crazy signs. He suggested something should be written into the Conditional Use Permit prohibiting outdoor signage. Mayor Bierce stated the staff report reviewed the permitted uses within a B-4 Office District. He stated "special services" activity must be compatible to neighborhood / residential uses. He asked Mr. Fuchs to describe how a tattoo parlor is compatible in a residential area.

Mr. Fuchs stated the property is zoned B-6 which refers to B-4 and B-5 for conditional and permitted uses. He said staff look at this as a service use which they didn't find dissimilar to retail uses or fitting in with the other tenants within the building. He said there is industrial business behind the building and a Kwik Trip across the street. He said they didn't see any adverse impacts to the surrounding area.

Mayor Bierce stated he wouldn't want a tattoo parlor in his neighborhood. He said the tattoo parlor is not compatible with the neighborhood usages.

Ms. Brown stated the next residential area to this building is a half mile away. Mr. Wamser stated it is over the railroad tracks. Mayor Bierce stated Springdale Estates is only a mile away from this location and is literally the biggest subdivision in the City. Mr. Dziwulski stated he doesn't consider that area part of his neighborhood. Mr. Wamser reminded everyone that the new condominiums were just approved in the area. Mr. Dziwulski stated they will be a quarter of a mile away. Additional discussion took place. Mr. Dziwulski stated he doesn't have a problem with this business going in or with their signage as long as it meets the requirements. He said all the rest of the tenants have signs and this should be allowed to have a matching sign too.

Mayor Bierce asked which of those businesses have outdoor signs. The response was that they all do. Mr. Reinbold stated they have them on the building. He asked if the City has control over the temporary signage. Mr. Fuchs stated the City controls temporary and window signage. He said window signage is limited. Mr. Reinbold stated the neighbors have voiced concerns over potential lighting issues.

Mr. Fuchs stated the Council could add conditions around no added lighting or modifications to the window and limit them to what is in the sign ordinance. Mayor Bierce asked what that would be. Mr. Fuchs stated they are able to have a wall sign limited to two square feet per linear foot of tenant space and window signs are limited to 25% of the window space.

Ms. Brown stated the applicant had a good plan and it's up to them whether or not they are going to be successful. She said she thought there was a nice mix of business in this area. She said this is nothing more than someone coming in with their skills and talents and trying to make something work. She said she hasn't seen anything suggesting they would not adhere to the City's regulations. She wouldn't be against adding no illuminated signage to their Conditional Use Permit.

Mr. Wamser stated the City needs to police our ordinances.

Mayor Bierce asked at what age people were able to get tattoos. The petitioner stated they must be at least 18 years of age and staff verify it.

The Mayor closed the public hearing at this time.

A motion was made and seconded (B. Dziwulski, C. Brown) to approve the Conditional Use Permit for AP Tattoo subject to staff recommendation and conditions.

Ms. Brown stated she would like changes to those conditions. She said she wanted no illumination facing out of the window signs and requested the hours of operation only be allowed from 11:00 a.m. to 9:00 p.m., Monday through Saturday, with no hours of operation on Sundays.

Mr. Dziwulski agreed to these new conditions being added to his motion. Motion Passed: 5-For, 0-Against.

5. **PUBLIC HEARING,** Discussion and Possible Action Regarding a Conditional Use Permit for M&M 2020 / Muhanned Musaitif for Property Located at N20 W22951 Watertown Road Suite 105 (PWC 0958-982-004) for the Purpose of Operating a Multi-Cultural Convenience Store with Tobacco Products

Mr. Fuchs stated this was a Conditional Use Permit for the same multi-tenant retail building. He said this tenant space was 2,113 square feet. The applicant is proposing the hours of operation to be Monday through Sunday 9:00 a.m. to 10:00 p.m. He said no exterior building or site modifications are being proposed. He said staff and Plan Commission recommended approval.

Mayor Bierce opened the public hearing.

Ms. Tarczewski read an email from Michael Ruka who was not able to attend this evening. He stated Kwik Trip is right across the street and is a convenience store with a large selection of products. He stated tobacco stores typically have very bright LED lighting that faces outwards and inquired whether this was in their plan and if so, could it be limited to only the hours of operation.

Mr. Dziwulski stated it appears the Council is focusing on the tobacco products and asked if it will have other items that true convenience stores have.

Mr. Vetterkind stated he felt this was going to be a smoke shop with pipes and vaping options.

Ms. Brown asked where this fits into the City's Conditional Use Permits. She asked if staff was categorizing this as a B-4 District even though it is actually a B-6 District.

Mr. Fuchs explained that a B-6 District can have any retail, service, or office use if it is compatible with the other allowable businesses in that area. He said since the proposed business is general retail it would be acceptable in that location.

Ms. Brown asked what the difference was from gas station selling cigarettes, vaping cartridges, chewing tobacco and smoking cessation items versus this proposed usage which would consist of 70 percent of other retail items.

Mayor Bierce added CBD products, pipes and bongs.

Ms. Brown asked where gas stations that are legal to sell those items fall into the City's Zoning Code.

Mr. Fuchs stated he would have to verify but felt it was under a B-5 zoning.

Ms. Brown stated there is definitely a need for something that is multicultural, but she struggled with the selling of CBD products and pipes. She stated she'd like to know how the City would regulate the proposed 30 to 70 percent of their product line.

Mr. Vetterkind stated the petitioner did not define what the other 70 percent of their product line would be.

Ms. Brown stated if it was straight goods such as cooking and spices and multicultural things, she stated she would have a problem. To her it was 30 percent of the other stuff they wanted to sell.

Mr. Wamser asked what the applicant's signage proposal was going to be. Mr. Fuchs stated he believes they will ask for signage similar to the other tenants. He said they are not proposing to change the building. Mr. Wamser asked what the hours of operation would be. Mr. Fuchs stated they are asking to be open until 10 p.m. He said Jimmy Johns is open until 9 p.m.

Mayor Bierce stated he doesn't feel that the Council knows enough about this proposal yet to be able to take action on it. He said they are proposing selling tobacco yet talk about recognizing the significance of health-conscious choices which are in direct conflict with one another. He said they fail to mention what the other 70 percent of their business will be.

Mr. Reinbold stated he does not like the proposed hours of operation and doesn't like the fact that this store would be located across the street from a dance studio. He also stated he wants to know more about what the other 70 percent of their store would entail.

Muhammed Musaitif was present. He said he dealt with something similar in Cudahy. He stated they had requirements for him such as what his hours could be and prohibited LED strips on his windows. He said they didn't just turn them down. He asked the Council to give him "Do's and Don'ts" and he would comply.

Mr. Dziwulski stated they haven't given the Council any detail on what the other 70 percent was going to be.

Mr. Clark arrived at this time (7:04 p.m.)

Mr. Musaitif stated it will be a multi-cultural convenience store and stated a sample of the products would be snacks from Japan and Vietnam. Mr. Dziwulski suggested he should create a list.

Mr. Klein asked if their Cudahy store was still in operation. Mr. Musaitif stated it was located on Lincoln and Pennsylvania and was only about 500 square feet. He said the products between the two stores would be different. He stated it is not their intent to be a "head-shop" but wanted to have a humidor and sell a large selection of cigars.

Mr. Wamser stated he would not be in favor of this store as it has been presented. Mr. Reinbold stated he too wants a more complete list of products. He doesn't want to see glass bongs but said if they were looking to go in the direction of ethnic foods and tapestries that is a different story. He suggested they do a better job marketing their business to the Council.

Mr. Dziwulski stated those details would allow the Council to make an informed decision.

Mayor Bierce closed the public hearing at his time. No motions were made, and the petitioner was told another public hearing could be held in the future once they provided more details related to the items they wanted to sell at this location.

6. Discussion and Possible Action Regarding **Resolution 24-02-05** to Amend the 2024 Fee Schedule

Pertaining to Impact Fees

Mr. Fuchs suggested a change to the fee schedule to update the impact fees based on the customer price index which increased by 3.2%

A motion was made and seconded (B. Dziwulski, C. Brown) to approve Resolution 24-02-05 amending the 2024 fee schedule. Motion Passed: 6-For, 0-Against.

7. Public Comment - None.

8. Closed Session – You are hereby notified that the Common Council and staff of the City of Pewaukee will convene into closed session after all regular scheduled business has been concluded and upon motion duly made and seconded and acted upon by roll call vote as required under §19.85(1)(a), Stats. The purpose of the closed session is for the following: §19.85(1)(e): Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session for the Busse Road Bridge Replacement.

You are further notified that at the conclusion of the Closed Session, the Common Council may convene into open session pursuant to 19.85(2), Stats., for possible additional discussion and action concerning any matters discussed in closed session and for adjournment.

Ms. Wagner stated that she did not receive all the information she needed for tonight's discussion and requested that this item be withdrawn from the agenda at this time.

9. Adjournment

A motion was made and seconded (C. Brown, P. Vetterkind) to adjourn the meeting at 7:11 p.m. Motion Passed: 6-For, 0-Against.

Respectfully Submitted,

Kelly Tarczewski
Clerk/Treasurer

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 4.2.**

DATE: March 4, 2024

DEPARTMENT: Clerk/Treasurer

PROVIDED BY:

SUBJECT:

Approve the Accounts Payable Listing Dated March 4, 2024

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

A/P 3.4.2024

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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 100 GENERAL FUND							
02/19/2024	100	1516 (E)	DELTA DENTAL	DENTAL CLEARING	21903	00000	1,335.00
02/19/2024	100	1517 (E)	DIVERSIFIED BENEFIT SERVICES, INC.	FLEX SPEND	21590	00000	444.00
02/19/2024	100	1518 (E)	DIVERSIFIED BENEFIT SERVICES, INC.	FLEX SPEND	21590	00000	1,097.27
02/23/2024	100	140310	AMI HURD	CLERK/TREASURER - MILEAGE	53300	51420	19.00
02/23/2024	100	140311	BOND TRUST SERVICES CORP	INVESTMENT EXPENSE - EHLERS	52140	51510	400.00
				INVESTMENT EXPENSE - EHLERS	52140	51510	400.00
				INVESTMENT EXPENSE - EHLERS	52140	51510	400.00
				INVESTMENT EXPENSE - EHLERS	52140	51510	400.00
				INVESTMENT EXPENSE - EHLERS	52140	51510	400.00
				CHECK 100 140311 TOTAL FOR FUND 100:			2,000.00
02/23/2024	100	140315	CONLEY MEDIA	PLANNER - NOTICES & PUBLICAT	53470	56300	374.76
02/23/2024	100	140316	CONTREE SPRAYER & EQUIPMENT	PARKS - EQUIP REPAIR & MAINT	52430	55200	148.83
				PARKS - EQUIP REPAIR & MAINT	52430	55200	630.80
				CHECK 100 140316 TOTAL FOR FUND 100:			779.63
02/23/2024	100	140320*#	GRAINGER	PARKS - BUILDING REPAIRS & MAINT	52410	55200	31.11
02/23/2024	100	140321	HEARTLAND BUSINESS SYSTEMS	IT - SOFTWARE MAINTENANCE & UPDATES	52480	51450	2,398.21
02/23/2024	100	140322	IS OUTFITTERS	IT - OTHER PROFESSIONAL SERVICES	52190	51450	560.00
02/23/2024	100	140324*#	MENARDS	PARKS - BUILDING REPAIRS & MAINT	52410	55200	8.90
02/23/2024	100	140328	VILLAGE OF PEWAUKEE	BUILDING SERVICES DUE TO VILLAGE	24400	00000	1,384.48
02/23/2024	100	140329*#	WE ENERGIES	HIGHWAY - ELECTRICITY	52210	53100	891.57
				GAS FOR HEAT (NATURAL GAS)	52220	53100	835.50
				CHECK 100 140329 TOTAL FOR FUND 100:			1,727.07
02/23/2024	100	140330	Westridge Builders	BOB23-0027	23175	00000	500.00
02/27/2024	100	140331	AT&T MOBILITY	FIRE ADMINISTRATION - PHONE & CELL	52260	52210	839.17
02/27/2024	100	140333	BEN WESTON	DEER CONTROL - CONTRACTED SERVICES	52990	54160	50.00
02/27/2024	100	140335	CHILDS, CRAIG D, PHD S.C.	FIRE ADMINISTRATION - EMPLOYMENT	52150	52210	500.00
02/27/2024	100	140338	DAN PLAUTZ CLEANING SERVICE	CITY HALL - JANITORIAL SUPPLIES	52400	51600	2,873.00

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 100 GENERAL FUND							
02/27/2024	100	140339	FIRE SERVICE INC	FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	1,900.00
				FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	750.00
				FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	1,030.34
				FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	750.00
				FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	925.36
				FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	1,182.51
				FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	1,175.30
				FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	1,450.00
				FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	750.00
				CHECK 100 140339 TOTAL FOR FUND 100:			9,913.51
02/27/2024	100	140340	GALLS	FIRE PROTECTIVE SERVICES - UNIFORMS	53410	52230	302.33
02/27/2024	100	140342	INDIANHEAD ASSOCIATION OF	ASSESSOR - TRAINING	52980	51530	80.00
02/27/2024	100	140343	INTERSTATE PARTNERS	DEVELOPER DEPOSITS	23170	00000	44,540.00
02/27/2024	100	140344	JAN DASSOW	RECREATION PROGRAM - CONTRACTED	52190	55300	78.00
02/27/2024	100	140345	JENNIFER SCHOLTKA	RECREATION PROGRAM - CONTRACTED	52190	55300	222.00
02/27/2024	100	140346	KARMEN LEHMAN	RECREATION PROGRAM - CONTRACTED	52190	55300	235.20
02/27/2024	100	140349	NANCY TEAS	RECREATION PROGRAM - CONTRACTED	52190	55300	78.00
02/27/2024	100	140350	PEAK SOFTWARE SYSTEMS, INC	RECREATION PROGRAM - SOFTWARE	52480	55300	440.70
02/27/2024	100	140351	PLUMBING INSPECTORS ASSOC OF	BUILDING SERVICES - DUES, MEMBERSHIPS &	53200	52400	40.00
02/27/2024	100	140352	PMC	BUILDING SERVICES - TRAINING	52980	52400	25.00
02/27/2024	100	140353	ST. BARTHOLOMEW'S EPISCOPAL CHURCH	RECREATION PROGRAM - PROGRAM EXPENSES	53430	55300	400.00
02/27/2024	100	140355	WAUKESHA CO TREASURER	POLICE - CONTRACT FOR SERVICES	52160	52100	284,741.34
02/27/2024	100	140356*#	WI RURAL WATER ASSOCIATION	EMPLOYEE SERVICES - SAFETY PERSONAL	53480	51430	266.20
02/27/2024	100	140357	WOLDANSKI, KELLEY	EMPLOYEE SERVICES - SERVICE RECOGNITION	53430	51430	49.75
02/28/2024	100	1519 (E) *#	MUTUAL OF OMAHA	DISABILITY INSURANCE	21531	00000	1,966.50
				LTD - FIRE UNION	21533	00000	688.21
				VOLUNTARY LIFE	21534	00000	1,307.30
				COURT - LIFE INSURANCE	51340	51200	23.36
				COURT - DISABILITY INSURANCE	51350	51200	19.66
				ADMINISTRATOR - LIFE INSURANCE	51340	51410	9.86
				ADMINISTRATOR - DISABILITY INSURANCE	51350	51410	27.79
				CLERK/TREASURER - LIFE INSURANCE	51340	51420	49.12
				CLERK/TREASURER - DISABILITY INSURANCE	51350	51420	63.46
				EMPLOYEE SERVICES - LIFE INSURANCE	51340	51430	16.16

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Fund: 100 GENERAL FUND							
				EMPLOYEE SERVICES - DISABILITY	51350	51430	27.79
				IT - LIFE INSURANCE	51340	51450	19.20
				IT - DISABILITY INSURANCE	51350	51450	27.79
				ASSESSOR - LIFE INSURANCE	51340	51530	40.16
				ASSESSOR - DISABILITY INSURANCE	51350	51530	69.35
				POLICE - LIFE INSURANCE	51340	52100	10.24
				POLICE - DISABILITY INSURANCE	51350	52100	14.61
				FIRE ADMINISTRATION - LIFE INSURANCE	51340	52210	67.36
				FIRE ADMINISTRATION - DISABILITY	51350	52210	83.37
				FIRE PROTECTIVE SERVICES - LIFE	51340	52230	509.60
				FIRE PROTECTIVE SERVICES - DISABILITY	51350	52230	111.16
				BUILDING SERVICES - LIFE INSURANCE	51340	52400	63.68
				BUILDING SERVICES - DISABILITY	51350	52400	82.00
				HIGHWAY - LIFE INSURANCE	51340	53100	124.80
				HIGHWAY - DISABILITY INSURANCE	51350	53100	204.85
				ENGINEERING - LIFE INSURANCE	51340	53110	111.04
				ENGINEERING - DISABILITY INSURANCE	51350	53110	164.32
				PARKS - LIFE INSURANCE	51340	55200	52.48
				PARKS - DISABILITY INSURANCE	51350	55200	70.32
				RECREATION PROGRAM - LIFE INSURANCE	51340	55300	32.96
				RECREATION PROGRAM - DISABILITY	51350	55300	51.71
				PLANNER - LIFE INSURANCE	51340	56300	21.44
				PLANNER - DISABILITY INSURANCE	51350	56300	27.79
				CHECK 100 1519(E) TOTAL FOR FUND 100:			6,159.44
02/28/2024	100	1520 (E)	DELTA DENTAL	DENTAL CLEARING	21903	00000	1,404.80
02/28/2024	100	1521 (E)	DIVERSIFIED BENEFIT SERVICES, INC.	FLEX SPEND	21590	00000	175.08
02/29/2024	100	1509 (E)	WISCONSIN RETIREMENT SYSTEM	WRS GENERAL EMPLOYEES	21520	00000	41,196.08
				WRS FIRE EMPLOYEES	21522	00000	61,069.31
				WRS VOLUNTARY CONTRIBUTIONS	21523	00000	181.14
				CHECK 100 1509(E) TOTAL FOR FUND 100:			102,446.53
03/01/2024	100	11 (S) *#	BUMPER TO BUMPER HARTLAND	HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	167.76
				HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	(108.42)
				CHECK 100 11(S) TOTAL FOR FUND 100:			59.34
03/01/2024	100	140358*#	A&M CLEANING SOLUTIONS	HIGHWAY - CONTRACTED JANITORIAL	52400	53100	1,360.00
03/01/2024	100	140361*#	ARAMARK	HIGHWAY - CONTRACTED JANITORIAL	52400	53100	39.78

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 100 GENERAL FUND				HIGHWAY - UNIFORMS	53410	53100	107.38
				CHECK 100 140361 TOTAL FOR FUND 100:			147.16
03/01/2024	100	140362*#	ARC	ENGINEERING - OPERATING SUPPLIES	53400	53110	11.57
03/01/2024	100	140363	Aspen Homes, Inc.	BOB23-0037	23175	00000	500.00
03/01/2024	100	140366	BRIAN ANDERSON	HIGHWAY - OPERATING SUPPLIES	53400	53100	169.13
03/01/2024	100	140367	BURKE TRUCK & EQUIPMENT	HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	7,229.54
				HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	(245.56)
				CHECK 100 140367 TOTAL FOR FUND 100:			6,983.98
03/01/2024	100	140371	COREY OIL	HIGHWAY - FUEL	53420	53100	877.50
03/01/2024	100	140372	ELEVITY GORDON FLESCH CO INC	IT - SOFTWARE MAINTENANCE & UPDATES	52480	51450	4,638.30
03/01/2024	100	140376*#	HUMPHREY SERVICE PARTS, INC	HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	40.68
03/01/2024	100	140377	LINCOLN CONTRACTORS	HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	92.20
03/01/2024	100	140378*#	MAGDELENE WAGNER	ENGINEERING - MILEAGE	53300	53110	72.73
03/01/2024	100	140379	MATRIX TRUST COMPANY	DEFERRED COMPENSATION	21570	00000	50.00
03/01/2024	100	140380*#	MENARDS	HIGHWAY - BLDG REPAIRS & MAINT	52410	53100	377.07
				HIGHWAY - BLDG REPAIRS & MAINT	52410	53100	56.10
				HIGHWAY - BLDG REPAIRS & MAINT	52410	53100	54.65
				HIGHWAY - BLDG REPAIRS & MAINT	52410	53100	67.48
				HIGHWAY - BLDG REPAIRS & MAINT	52410	53100	30.03
				HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	26.32
				HIGHWAY - OPERATING SUPPLIES	53400	53100	26.95
				CHECK 100 140380 TOTAL FOR FUND 100:			638.60
03/01/2024	100	140381	MILLER-BRADFORD & RISBERG, INC	HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	168.44
03/01/2024	100	140382	NATIONWIDE RETIREMENT SOLUTIONS	DEFERRED COMPENSATION	21570	00000	2,369.00
03/01/2024	100	140383	NICK PHALIN	RECREATION PROGRAM - MEETINGS &	53210	55300	10.00
03/01/2024	100	140384	PREMIUM WATERS, INC	PARKS - OPERATING SUPPLIES	53400	55200	61.49
03/01/2024	100	140386*#	RUEKERT & MIELKE, INC.	ENGINEERING - OUTSIDE ENGINEERING	52190	53110	1,123.00
				ENGINEERING - OUTSIDE ENGINEERING	52190	53110	1,223.00

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 100 GENERAL FUND				ENGINEERING - OUTSIDE ENGINEERING	52190	53110	528.00
				CHECK 100 140386 TOTAL FOR FUND 100:			<u>2,874.00</u>
03/01/2024	100	140387	STACI JOERS	RECREATION PROGRAM - CONTRACTED	52190	55300	480.00
03/01/2024	100	140389	TODD TENNYSON	HIGHWAY - OPERATING SUPPLIES	53400	53100	77.52
03/01/2024	100	140390	TOM ROGACZEWSKI	HIGHWAY - SAFETY EQUIPMENT	53480	53100	200.00
				Total for fund 100 GENERAL FUND			490,401.12

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Fund: 230 STORM WATER MANAGEMENT							
02/23/2024	100	140317*#	DIGGERS HOTLINE	STORM SEWER MAINT - DIGGER'S HOTLINE	52201	53651	56.22
02/23/2024	100	140329*#	WE ENERGIES	ELECTRICITY	52210	53650	891.56
				GAS FOR HEAT (NATURAL GAS)	52220	53650	835.51
				CHECK 100 140329 TOTAL FOR FUND 230:			1,727.07
03/01/2024	100	140358*#	A&M CLEANING SOLUTIONS	CONTRACTED JANITORIAL	52400	53650	680.00
03/01/2024	100	140360*#	AECOM TECHNICAL SERVICES, INC	PROJECTS - YENCH ROAD CULVERT	58210	57355	5,036.95
				PROJECTS - FOXWOOD/KATHRINE CT	58210	57358	742.11
				PROJECTS - WAGNER PARK POND	58200	57367	13,390.96
				PROJECTS - SPRINGDALE DRAINAGE EASEMENT	58210	57370	4,574.25
				PROJECTS - SPRINGDALE DRAINAGE EASEMENT	58210	57370	11,206.86
				CHECK 100 140360 TOTAL FOR FUND 230:			34,951.13
03/01/2024	100	140361*#	ARAMARK	CONTRACTED JANITORIAL	52400	53650	19.91
03/01/2024	100	140362*#	ARC	OPERATING SUPPLIES	53400	53650	11.58
03/01/2024	100	140365	BIEBEL'S TRUE VALUE AND JUST ASK	UNIFORMS & PROTECTIVE EQUIPMENT	53410	53650	168.97
03/01/2024	100	140378*#	MAGDELENE WAGNER	MILEAGE	53300	53650	72.73
03/01/2024	100	140385	RICHARD WIRTZ	TRAINING & SEMINARS	52980	53650	115.44
				MILEAGE	53300	53650	109.34
				CHECK 100 140385 TOTAL FOR FUND 230:			224.78
03/01/2024	100	140386*#	RUEKERT & MIELKE, INC.	OUTSIDE ENGINEERING	52190	53650	127.78
				OUTSIDE ENGINEERING	52190	53650	96.53
				OUTSIDE ENGINEERING	52190	53650	161.81
				OUTSIDE ENGINEERING	52190	53650	576.42
				OUTSIDE ENGINEERING	52190	53650	31.25
				OUTSIDE ENGINEERING	52190	53650	481.97
				OUTSIDE ENGINEERING	52190	53650	190.28
				PROJECTS - HILL 'N DALE	58210	57301	513.22
				CHECK 100 140386 TOTAL FOR FUND 230:			2,179.26
				Total for fund 230 STORM WATER MANAGEMENT			40,091.65

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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 420 CAPTIAL ROAD PROJECTS							
03/01/2024	100	140360*#	AECOM TECHNICAL SERVICES, INC	LEXINGTON/TACOMA	58210	57426	50,052.39
				LEXINGTON/TACOMA	58210	57426	22,040.52
				CHECK 100 140360 TOTAL FOR FUND 420:			72,092.91
03/01/2024	100	140386*#	RUEKERT & MIELKE, INC.	SPICE CREEK/MEADOWBROOK FARMS #2	58210	57552	477.00
				JOSEPH ROAD	58210	57553	13,355.93
				SPICE CREEK/MEADOWBROOK FARMS PH 4	58210	57557	188.00
				APPLE TREE/PEAR TREE	58210	57561	575.72
				CHECK 100 140386 TOTAL FOR FUND 420:			14,596.65
03/01/2024	100	140388#	STRAND ASSOCIATES, INC	DUPLAINVILLE TRACKS TO WEYER	58210	57420	203.73
				APPLE TREE/PEAR TREE	58210	57561	725.77
				CHECK 100 140388 TOTAL FOR FUND 420:			929.50
03/01/2024	100	140393*#	WOLF PAVING	SPICE CREEK/MEADOWBROOK FARMS #2	58210	57552	55,324.45
				Total for fund 420 CAPTIAL ROAD PROJECTS			142,943.51

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 440 BIKE & PEDESTRIAN							
03/01/2024	100	140393*#	WOLF PAVING	NORTHVIEW ROAD SIDEWALK	58230	53550	1,201.78
				Total for fund 440 BIKE & PEDESTRIAN			1,201.78

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 480 DPW BUILDING							
03/01/2024	100	140359	ABSOLUTE CONSTRUCTION	DPW BUILDING	58100	57700	16,725.53
				Total for fund 480 DPW BUILDING			16,725.53

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Fund: 600 WATER UTILITY							
02/23/2024	100	140309	AMERICAN WATER WORKS	ADMIN & GEN OPS-UTILITY MEMB & CONT	53200	10930	430.00
02/23/2024	100	140312*#	CINTAS CORP	TRANS & DIST OPS-UNIFORMS	53410	10665	51.25
02/23/2024	100	140317*#	DIGGERS HOTLINE	TRANS & DIST OPS-DIGGERS HOTLINE WATER	52450	10665	56.22
02/23/2024	100	140318*#	ELLIOTTS ACE HARDWARE	SOURCE OPS- SUPPLIES AND EXPENSES	53400	10603	2.36
02/23/2024	100	140319	FERGUSON WATERWORKS #1476	TRANS & DIST MAINT-MAINT OF HYDRANTS	52400	10677	883.22
02/23/2024	100	140320*#	GRAINGER	TRANS & DIST MAINT-MISC PLANT REPAIRS	52400	10678	73.45
02/23/2024	100	140323	JK LAWN SERVICE	SOURCE MAINT-BUILDINGS AND GROUNDS	52310	10611	722.00
				SOURCE MAINT-BUILDINGS AND GROUNDS	52310	10611	285.00
				CHECK 100 140323 TOTAL FOR FUND 600:			1,007.00
02/23/2024	100	140324*#	MENARDS	SOURCE MAINT-BUILDINGS AND GROUNDS	52310	10611	34.29
				SOURCE MAINT-MAINT OF WELLS	52400	10614	349.99
				CHECK 100 140324 TOTAL FOR FUND 600:			384.28
02/23/2024	100	140325	MIDWEST METER INC.	CUSTOMER ACCTS OPS-METER READING EXPS	52401	10902	4,750.00
02/23/2024	100	140326*#	NAPA PEWAUKEE AUTO PARTS	PUMP MAINT-GENERATOR MAINT & LABOR	51239	10632	117.91
02/23/2024	100	140327	NORTHERN LAKE SERVICE, INC	TREATMENT OPS-WATER TESTING & LAB EXPS	52310	10642	2,508.22
02/27/2024	100	140336*#	CINTAS CORP	TRANS & DIST OPS-UNIFORMS	53410	10665	51.25
				TRANS & DIST OPS-UNIFORMS	53410	10665	52.91
				CHECK 100 140336 TOTAL FOR FUND 600:			104.16
02/27/2024	100	140337	CORE & MAIN LP	TRANS & DIST MAINT-MAINT OF HYDRANTS	52400	10677	1,159.06
02/27/2024	100	140341	HAWKINS, INC.	TREATMENT OPS-CHEMICALS	53410	10641	3,925.96
02/27/2024	100	140347#	KMB ELECTRIC	BUILDING AND GROUNDS	52310	00602	3,004.32
				BUILDING AND GROUNDS	52310	00623	3,004.32
				CHECK 100 140347 TOTAL FOR FUND 600:			6,008.64
02/27/2024	100	140348*#	MENARDS	SOURCE OPS- SUPPLIES AND EXPENSES	53400	10603	48.92
				TREATMENT MAINT-MAINT OF TREATMENT	52400	10652	31.97

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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 600 WATER UTILITY				TRANS & DIST MAINT-MAINT OF HYDRANTS	52400	10677	96.96
				CHECK 100 140348 TOTAL FOR FUND 600:			177.85
02/27/2024	100	140354*#	STRAND ASSOCIATES, INC	LINDSAY WATER - PARK TO SWAN	12814	00107	7,780.00
				PFAS TREATMET	12818	00107	6,450.00
				OUTSIDE PROFESSIONAL SERVICES-ENGINEER	52380	00923	7,200.00
				CHECK 100 140354 TOTAL FOR FUND 600:			21,430.00
02/27/2024	100	140356*#	WI RURAL WATER ASSOCIATION	ADMIN & GEN OPS-UTILITY MEMB & CONT	53200	10930	130.00
02/28/2024	100	1519 (E) *#	MUTUAL OF OMAHA	BENEFITS - LIFE INSURANCE	51340	00926	97.86
				BENEFITS - DISABILITY INSURANCE	51350	00926	143.47
				CHECK 100 1519(E) TOTAL FOR FUND 600:			241.33
03/01/2024	100	11 (S) *#	BUMPER TO BUMPER HARTLAND	TRANSPORTATION EXPENSE - REPAIR &	52400	00933	(10.69)
				TRANSPORTATION EXPENSE - REPAIR &	52400	00933	(18.98)
				CHECK 100 11(S) TOTAL FOR FUND 600:			(29.67)
03/01/2024	100	140364*#	AT&T MOBILITY	TRANS & DIST MAINT-SCADA MAINT	52100	10678	20.41
				ADMIN & GEN OPS-PHONE, INTERNET CELL	52230	10921	301.64
				CHECK 100 140364 TOTAL FOR FUND 600:			322.05
03/01/2024	100	140368	CGC, INC.	LINDSAY WATER - PARK TO SWAN	12814	00107	4,614.46
03/01/2024	100	140369*#	CINTAS CORP	TRANS & DIST OPS-UNIFORMS	53410	10665	52.91
03/01/2024	100	140373#	ELLIOTTS ACE HARDWARE	PUMPING OPS-MISC EXPENSE	53400	10626	14.99
				PUMPING OPS-MISC EXPENSE	53400	10626	(5.00)
				TRANS & DIST MAINT-MAINT OF METERS	52400	10676	31.98
				TRANS & DIST MAINT-MAINT OF HYDRANTS	52400	10677	39.27
				CHECK 100 140373 TOTAL FOR FUND 600:			81.24
03/01/2024	100	140374	FERGUSON WATERWORKS #1476	TRANS & DIST MAINT-TRANS& DISTR MAINS	52400	10673	160.68
03/01/2024	100	140376*#	HUMPHREY SERVICE PARTS, INC	ADMIN & GEN OPS-TRANSP EXPS REPAIRS	52400	10921	16.66
				ADMIN & GEN OPS-TRANSP EXPS REPAIRS	52400	10921	29.16
				CHECK 100 140376 TOTAL FOR FUND 600:			45.82

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 600 WATER UTILITY							
03/01/2024	100	140380*#	MENARDS	SOURCE MAINT-BUILDINGS AND GROUNDS	52310	10611	38.24
03/01/2024	100	140386*#	RUEKERT & MIELKE, INC.	BLUMD WATER MAIN-BUSSE TO FOSTER	12810	00107	32,890.65
				BLUMD WATER MAIN-BUSSE TO FOSTER	12810	00107	5,751.50
				TRANS & DIST MAINT-SCADA MAINT	52100	10678	920.88
				CHECK 100 140386 TOTAL FOR FUND 600:			39,563.03
03/01/2024	100	140391	USA BLUEBOOK	TREATMENT MAINT-BUILDINGS & GROUNDS	52310	10651	2,338.23
03/01/2024	100	140392	WATER REMEDIATION TECHNOLOGY	TREATMENT MAINT-WRT RADIUM TREATMENT	52900	10652	4,230.35
				Total for fund 600 WATER UTILITY			94,858.25

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 650 SEWER UTILITY							
02/23/2024	100	140312*#	CINTAS CORP	Uniforms & Protective Equipment	53410	01827	51.25
02/23/2024	100	140313	CITY OF BROOKFIELD	SEWER SERVICE CHARGE - BROOKFIELD	52340	01827	566,851.10
02/23/2024	100	140314	CITY OF WAUKESHA TREASURER	SEWER CONSTRUCTION	46314	01623	4,139.11
				SEWER CONSTRUCTION	46314	01623	5,370.33
				CHECK 100 140314 TOTAL FOR FUND 650:			9,509.44
02/23/2024	100	140317*#	DIGGERS HOTLINE	DIGGERS HOTLINE SEWER	52450	10665	56.22
02/23/2024	100	140318*#	ELLIOTTS ACE HARDWARE	SUPPLIES AND EXPENSES	53400	01827	3.12
				SUPPLIES AND EXPENSES	53400	01827	26.99
				SUPPLIES AND EXPENSES	53400	01827	89.39
				SUPPLIES AND EXPENSES	53400	01827	2.20
				SUPPLIES AND EXPENSES	53400	01827	15.29
				SUPPLIES AND EXPENSES	53400	01827	5.08
				CHECK 100 140318 TOTAL FOR FUND 650:			142.07
02/23/2024	100	140324*#	MENARDS	SUPPLIES AND EXPENSES	53400	01827	52.87
				SUPPLIES AND EXPENSES	53400	01827	26.94
				CHECK 100 140324 TOTAL FOR FUND 650:			79.81
02/23/2024	100	140326*#	NAPA PEWAUKEE AUTO PARTS	MAINTENANCE OF GENERAL PLANT STRUCTURE	52400	01834	61.49
				MAINTENANCE OF GENERAL PLANT STRUCTURE	52400	01834	202.65
				CHECK 100 140326 TOTAL FOR FUND 650:			264.14
02/27/2024	100	140332#	BATTERIES PLUS LLC	MAINTENANCE/SCS - CONTROL PANEL	52430	01831	20.95
				MAINTENANCE OF GENERAL PLANT STRUCTURE	52400	01834	152.95
				CHECK 100 140332 TOTAL FOR FUND 650:			173.90
02/27/2024	100	140334	BROOKFIELD, TOWN OF	SEWER SERVICE CHARGE SANITARY DISTIRCT	52343	01827	5,363.31
02/27/2024	100	140336*#	CINTAS CORP	Uniforms & Protective Equipment	53410	01827	51.25
				Uniforms & Protective Equipment	53410	01827	52.91
				CHECK 100 140336 TOTAL FOR FUND 650:			104.16
02/27/2024	100	140348*#	MENARDS	SUPPLIES AND EXPENSES	53400	01827	48.92

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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 650 SEWER UTILITY							
02/27/2024	100	140354*#	STRAND ASSOCIATES, INC	Gun Club Sewer Study	12831	00107	15,352.40
				KOPMEIER SEWER PIPE REPAIR	12837	00107	218.33
				CHECK 100 140354 TOTAL FOR FUND 650:			15,570.73
02/27/2024	100	140356*#	WI RURAL WATER ASSOCIATION	ADMIN & GEN OPS- MEMBERSHIP & CONT EDU	53200	10930	130.00
02/28/2024	100	1519(E)*#	MUTUAL OF OMAHA	BENEFITS - LIFE INSURANCE	51340	00926	52.70
				BENEFITS - DISABILITY INSURANCE	51350	00926	77.26
				CHECK 100 1519(E) TOTAL FOR FUND 650:			129.96
03/01/2024	100	11(S)*#	BUMPER TO BUMPER HARTLAND	TRANSPORTATION EXPENSE - REPAIR &	52400	00933	(10.69)
				TRANSPORTATION EXPENSE - REPAIR &	52400	00933	(18.98)
				CHECK 100 11(S) TOTAL FOR FUND 650:			(29.67)
03/01/2024	100	140364*#	AT&T MOBILITY	SCADA/TELEMETRY MAINT	52100	01831	20.41
				ADMIN & GEN OPS PHONE INTERNET CELL	52230	10921	301.65
				CHECK 100 140364 TOTAL FOR FUND 650:			322.06
03/01/2024	100	140369*#	CINTAS CORP	Uniforms & Protective Equipment	53410	01827	52.91
03/01/2024	100	140370	CITY OF BROOKFIELD	PRE - PAYMENTS	16200	00143	28,259.59
03/01/2024	100	140375	GRAINGER	MAINTENANCE OF GENERAL PLANT STRUCTURE	52400	01834	455.83
03/01/2024	100	140376*#	HUMPHREY SERVICE PARTS, INC	ADMIN & GEN OPS-TRANSP EXPS & REPAIRS	52400	10921	16.67
				ADMIN & GEN OPS-TRANSP EXPS & REPAIRS	52400	10921	29.16
				CHECK 100 140376 TOTAL FOR FUND 650:			45.83
03/01/2024	100	140380*#	MENARDS	SUPPLIES AND EXPENSES	53400	01827	27.25
03/01/2024	100	140386*#	RUEKERT & MIELKE, INC.	SCADA/TELEMETRY MAINT	52100	01831	920.88
				Total for fund 650 SEWER UTILITY			628,529.69
			TOTAL - ALL FUNDS				1,414,751.53

'*'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE FUND

'#'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE DEPARTMENT

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 5.**

DATE: March 4, 2024

DEPARTMENT: Planning

PROVIDED BY: Nick Fuchs

SUBJECT:

PUBLIC HEARING, Discussion and Possible Action Regarding **Resolution PC 24-02-08** and **Ordinance 24-05** Related to the Comprehensive Master Plan Amendment to Change the Year 2050 Land Use / Transportation Plan Use Designation for the City of Pewaukee for Starla Enterprises, LLC for Land Located at the Northwest Corner of Johnson Drive and Springdale Road (PWC 0961-996-006) from Manufacturing / Fabrication / Warehousing to Office Commercial [Fuchs]

BACKGROUND:

At their February 15, 2024, meeting, the Plan Commission unanimously recommended approval of the subject Comprehensive Master Plan Amendment.

The Plan Commission also approved a Site & Building Plan Review Application for the development of the proposed multi-tenant office building.

FINANCIAL IMPACT:

RECOMMENDED MOTION:

A motion to approve the Comprehensive Master Plan Amendment to change the Year 2050 Land Use/Transportation Plan map designation for property located at the northwest corner of Johnson Drive and Springdale Road from Manufacturing/Fabrication/Warehousing to Office Commercial.

ATTACHMENTS:

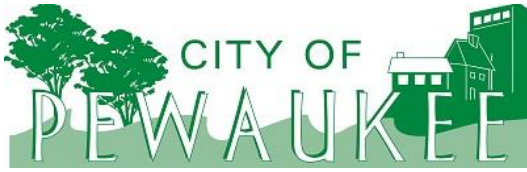
Description

Radiant Plastic Surgery staff report 2.15.24

Radiant Plastic Surgery narrative

Ordinance 24-05

Resolution PC 24-02-08



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of February 15, 2024

Date: February 7, 2024

Project Name: Radiant Plastic Surgery Comprehensive Master Plan Amendment, Rezoning, and Site & Building Plan Review

Project Address/Tax Key No.: Not Assigned / PWC 0961996006

Applicant: Alex Colque, MD, SC of Starla Enterprises LLC

Property Owner: B&G Realty LLC and Marcus Consid LLC

Current Zoning: M-1 General Wholesale Business/Warehouse District

2050 Land Use Map Designation: Manufacturing/Fabrication/Warehousing

Use of Surrounding Properties: I-94 and industrial to the north, industrial to the south and west, and City of Brookfield and Marcus Majestic Cinema to the east

History

The applications described below were originally placed on the October 19, 2023 Plan Commission agenda. At that time, the applicant requested that no action be taken to allow for building modifications.

The applicant is now requesting to move forward with the project. According to the applicant, the only building change was to replace the originally proposed brick masonry veneer base of the building with synthetic stucco.

Introduction

The applicant has filed a Comprehensive Master Plan Amendment, Rezoning and Site & Building Plan Review applications for construction of an office building development upon property located at the northwest corner of Johnson Drive and Springdale Road. The applications are further described below.

Comprehensive Master Plan Amendment

The applicant is requesting to amend the Comprehensive Master Plan Year 2050 Land Use/Transportation Plan map future land use designation of the subject property from Manufacturing/Fabrication/Warehousing to Office Commercial.

Rezoning

The applicant has petitioned the City to rezone the subject property from M-1 General Wholesale Business/Warehouse District to B-4 Office District. The proposed medical office use is a Permitted Principal Use within the B-4 District. Future tenants will be subject to Business Plan of Operation or Conditional Use Permit approval, depending upon the proposed use and allowance within the B-4 District.

Note that the proposed land use designation (Comprehensive Master Plan Amendment) and the proposed rezoning are consistent.

Site & Building Plan Review Application

The site plan includes construction of a 2-story, 24,431 square foot office building and associated parking, landscaping, and lighting.

The applicant has also indicated that a potential future building is contemplated. When that building is proposed, a Site & Building Plan Application will be required. The development must continue to conform to the B-4 District standards.

Project Description/Analysis

The subject property has an area of 3.74 acres and is mostly vacant except for an existing drive that connects to the property to the west. The proposed site plan consists of the office building, 62 parking spaces and a bioretention basin for storm water management. The development is in conformance with B-4 District development standards.

Greenspace and Landscaping

Overall, the site plan maintains 68.3% greenspace, which is in conformance with the minimum required greenspace of 40%. The future development of a second building is anticipated to reduce the greenspace onsite to 45.8%.

The Landscape Plan includes 32 trees, 3 evergreen trees, and 312 shrubs. The majority of shrubs are located around the bioretention basin as well as the building.

Access

The development includes ingress/egress from the existing drive abutting Johnson Drive. This drive does not comply with the minimum 5-foot setback requirement; however, at their January 9, 2019, meeting, the Board of Zoning Appeals approved a variance for the existing driveway setback encroachment. This was completed as part of a project that did not move forward. Note variances run with the land.

Lighting

The Lighting Plan includes parking lot lighting as well as six bollard lights along the front or east side of the building. The parking lot lights are 18-feet with a 2-foot base.

There are four light poles located on the west side of the existing drive. Those lights appear to be on the neighboring property. *The applicant shall provide the City with written approval from the property owner of N8W22100 Johnson Drive for any light poles proposed on that property, prior to the permitting and installation of lighting.*

Architecture

The building consists of stucco on the first floor and metal wall panels on the second story. Metal vertical Longboard is utilized as an accent material. Windows are included throughout the building on all elevations.

There are two rooftop mechanical areas, which are screened by gray metal panels.

Signage

A wall sign on the south elevation facing I-94 and a monument sign at the entrance drive are anticipated. These signs are subject to separate review and Sign Permits through the Building Services Department.

Stormwater Management/Engineering

As previously mentioned, a bioretention basin is proposed at the southeast corner of the site for storm water management purposes. Staff recommends that final grading, erosion control, and storm water management plans shall be approved by the Engineering Department prior to issuance of a Building Permit.

Recommendation

Staff recommends approval of the subject applications to allow for the development of an office building upon property bearing Tax Key No. 0961996006.

PROJECT NARRATIVE

Existing Site

The 3.75 acre site is located at the northwest corner of Johnson Road & Springdale Road. It currently is unimproved with a private access road along the west edge. The site is covered by grasses and weeds with abundant trees and shrubs located in the ROW along I94 and Springdale Rd. The site is currently zoned as M-1 Wholesale / Warehouse.

Site Improvements

We request a zoning change to B-4 Neighborhood Business to allow the construction of a two-story, 24,000 square foot professional office building at the northwest portion of the site aligned with the private asphalt drive. Vehicle access will be via the private drive off of Johnson Road. Parking will be provided for 62 cars (3 accessible) with a bioretention basin located at the southeast corner of the site. There will be 68% green space. The trash dumpsters will be kept inside, so there is no trash enclosure on site.

There are provisions for a future office building along the south edge of the site along Johnson Road. This future development would result in 46% green space. The site and bioretention basin will be landscaped per the submitted plans.

Building Use

The building will be two stories in height and will cover 12,000 square feet of the site. The construction cost estimate for the project is \$8.5 million.

The second floor will be occupied by the building owner, Radiant Plastic Surgery and Skiin Anti-Aging Lounge. They will employ 12 people: 2 full-time and 10 part-time. The office will be open 9am – 6pm Monday through Friday, with occasional Saturday hours.

The first floor contains a lobby, support functions and 8,600 square feet of tenant space. The first-floor tenants are not known at this time, but we would anticipate that they would employ approximately 10 to 20 workers depending on the business type.

Building Aesthetics

The building would have light-colored synthetic stucco base at the lower level and modern dark-colored metal panels at the second floor. There will be aluminum windows on both floors with dark anodized metal frames. The roof has a large geometric overhang to give the building character and an identifiable presence to adjacent I94.

There will be two roof mounted air handling units which will be screened as shown on the drawings.

Signage

The building will have illuminated signage integrated onto the building face as shown on the drawings. There will be a small monument sign with building address at the southeast corner of the site.

ORDINANCE NO. 24-05

**AN ORDINANCE TO AMEND THE CITY OF PEWAUKEE 2035 COMPREHENSIVE
MASTER PLAN AND NEIGHBORHOOD PLANS 2015-2050 TO CHANGE THE YEAR
2050 LAND USE/TRANSPORTATION PLAN
OF A PROPERTY BEARING TAX KEY NUMBER PWC 0961-996-006
FROM MANUFACTURING / FABRICATION / WAREHOUSING
TO OFFICE COMMERCIAL**

WHEREAS, pursuant to Wis. Stat. §§ 62.23(2) and (3) and 66.1001(4), the City of Pewaukee is authorized to prepare and adopt and to amend a comprehensive plan as defined in Wis. Stat. §§ 66.1001(1)(a) and 66.1001(2); and

WHEREAS, the Applicant, Alex Colque, applied for an amendment to the Comprehensive Master Plan to change the Year 2050 Land Use/Transportation Plan of a property bearing Tax Key Number PWC 0961-996-006 from Manufacturing / Fabrication / Warehousing to Office Commercial; and

WHEREAS, the Plan Commission of the City of Pewaukee by a majority vote of the entire Commission on February 15, 2024, recorded in its minutes, has adopted a resolution recommending to the Common Council the adoption of the Ordinance to Amend the City of Pewaukee Comprehensive Master Plan to change the Year 2050 Land Use/Transportation Plan of a property bearing Tax Key Number PWC 0961-996-006 from Manufacturing / Fabrication / Warehousing to Office Commercial; and

WHEREAS, the City of Pewaukee held a public hearing upon this proposed Ordinance, in compliance with the requirements of Wis. Stat. § 66.1001(4)(d); the Common Council having received input from the public at a duly noticed public hearing on March 4, 2024; and

NOW THEREFORE, the Mayor and Common Council of the City of Pewaukee, Wisconsin, do ordain as follows:

SECTION 1: Adoption

The City of Pewaukee Comprehensive Master Plan is hereby amended to change the Year 2050 Land Use/Transportation Plan of a property bearing Tax Key Number PWC 0961-996-006 from Manufacturing / Fabrication / Warehousing to Office Commercial.

SECTION 2: Document Transmittal

The City Common Council hereby directs the City Clerk/Treasurer to transmit a copy of the amendment as well as a signed copy of both the **Resolution No. PC 24-02-08** and this **Ordinance No. 24-05** to the Wisconsin Department of Administration, the Southeastern Wisconsin Regional Planning Commission, the Waukesha Park and Land Use Department, the Pewaukee Public Library and to each town, village and city that abuts the City of Pewaukee.

SECTION 3: Severability

The several sections and portions of this ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of a court of competent jurisdiction to be invalid, unlawful, or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and shall not affect the validity of all other provisions, sections, or portions thereof of the ordinance. The remainder of the ordinance shall remain in full force and effect. Any other ordinances whose terms are in conflict with the provisions of this ordinance are hereby repealed as to those terms that conflict.

SECTION 4: Effective Date

This ordinance shall take effect immediately upon passage and posting of publication as provided by law.

Passed and adopted this 4th day of November 2024.

FOR THE COMMON COUNCIL OF THE CITY OF
PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

ATTEST:

Steve Bierce, Mayor

Kelly Tarczewski, Clerk/Treasurer

RESOLUTION NO. 24-02-08

A RESOLUTION RECOMMENDING THE ADOPTION OF AN ORDINANCE TO AMEND THE CITY OF PEWAUKEE 2035 COMPREHENSIVE MASTER PLAN AND NEIGHBORHOOD PLANS 2015-2050 TO CHANGE THE YEAR 2050 LAND USE / TRANSPORTATION PLAN OF A PROPERTY BEARING TAX KEY NUMBER PWC 0961-996-006 FROM MANUFACTURING / FABRICATION / WAREHOUSING TO OFFICE COMMERCIAL, PURSUANT TO WIS. STAT. § 66.1001(4)(b)

WHEREAS, pursuant to Wis. Stat. §§ 62.23(2) and (3) and 66.1001(4), the City of Pewaukee is authorized to prepare and adopt and to amend a comprehensive plan as defined in Wis. Stat. §§ 66.1001(1)(a) and 66.1001(2); and

WHEREAS, pursuant to Wis. Stat. § 66.1001(4)(b), the Plan Commission may recommend the amendment of the Comprehensive Master Plan to the Common Council by adopting a resolution by a majority vote of the entire Commission, which vote shall be recorded in the official minutes of the Plan Commission; and

WHEREAS, the Applicant, Alex Colque, applied for an amendment to the Comprehensive Master Plan to change the Year 2050 Land Use / Transportation Plan of a property bearing Tax Key Number. PWC 0961-996-006 from Manufacturing / Fabrication / Warehousing to Office Commercial, more particularly described as follows:

Lot 7, Block 1 of Certified Survey Map No. 6661, Recorded February 17, 1992, in Volume 55 of Certified Survey Maps on Pages 255 to 257 as Document No. 1705985, being a part of the Southeast 1/4 of the Northeast 1/4 of Section 25, Town 7 North, Range 19 East, in the City of Pewaukee, County of Waukesha, State of Wisconsin; containing 3.7607 acres of land more or less.

WHEREAS, the Plan Commission having determined that the proposed amendment in form and content as presented to the Commission on February 15, 2024, is consistent with the Comprehensive Master Plan's goals, objectives and policies and in proper form and content for adoption by the Common Council as an amendment to the Comprehensive Master Plan, subject to such modifications the Common Council may consider reasonable and necessary, following public hearing, in order to protect and promote the health, safety and welfare of the City of Pewaukee.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Pewaukee, Wisconsin, that the application for and the proposed ordinance to amend the City of Pewaukee Comprehensive Master Plan to change the Year 2050 Land Use / Transportation Plan of a property bearing Tax Key Number PWC 0961-996-006

from Manufacturing / Fabrication / Warehousing to Office Commercial, be and the same is hereby recommended for adoption and incorporation into the Comprehensive Master Plan by the Common Council.:

Passed and adopted this 15th day of February 2024.

FOR THE PLAN COMMISSION OF THE CITY OF
PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

ATTEST:

Steve Bierce, Mayor

Colleen Brown, Secretary

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 6.**

DATE: March 4, 2024

DEPARTMENT: Planning

PROVIDED BY: Nick Fuchs

SUBJECT:

Discussion and Possible Action Regarding **Ordinance 24-06** to Rezone the Land Located at the Northwest Corner of Johnson Drive and Springdale Road (PWC 0961-996-006) from M-1 General Wholesale Business / Warehouse District to B-4 Office District for the Purpose of Constructing a Two-Story Office Building at the Request of Starla Enterprises, LLC [Fuchs]

BACKGROUND:

At their February 15, 2024, meeting, the Plan Commission unanimously recommended approval of the subject rezoning request to allow development of an office building.

The Plan Commission also approved the attached site and building plans.

FINANCIAL IMPACT:

RECOMMENDED MOTION:

A motion to approve the rezoning of property located at the northwest corner of Johnson Drive and Springdale Road from M-1 General Wholesale Business/Warehouse District to B-4 Office District.

ATTACHMENTS:

Description

Radiant Plastic Surgery rezoning map

Site & Building Plans

Ordinance 24-06

I - 94



1" = 100'

REZONE
FROM
M-1 TO
B-4

M-2

JOHNSON

DRIVE

SPRINGDALE ROAD

C.T.H. "SR"

M-2

M-6

M-2

RADIANT PLASTIC SURGERY

SKIIN ANTI-AGING LOUNGE

6661 JOHNSON DRIVE, PEWAUKEE, WI 53702



209 south water street, milwaukee, wisconsin 53204 t 414 359 3060
2310 crossroads drive, suite 2000, madison, wisconsin 53718 t 608 240 9900
1970 main street, suite 201, sarasota, florida 34236 t 941 444 8845
311 canyon wren drive, buda, texas 78610 t 512 649 5627

SHEET INDEX

GENERAL

000 TITLE SHEET

CIVIL

C000 TITLE SHEET
C100 DEMOLITION & EROSION CONTROL PLAN
C200 SITE PLAN
C300 GRADING PLAN
C400 UTILITY PLAN
C500 DETAILS
C501 DETAILS
C502 DETAILS
C503 DETAILS
C600 SPECIFICATIONS

LANDSCAPE

L100 OVERALL LANDSCAPE PLAN
L200 LANDSCAPE PLAN - NORTH
L201 LANDSCAPE PLAN - SOUTH

ARCHITECTURAL

A200 FLOOR PLANS
A400 EXTERIOR ELEVATIONS
A401 EXTERIOR RENDERINGS

ELECTRICAL

ES001 SITE PHOTOMETRIC PLAN

PROJECT INFORMATION

PROJECT DATE: 01/18/2023
PRA PROJECT NUMBER: 230076-01
DRAWING SET: ZONING SUBMITTAL

APPLICABLE CODES AND ZONING

2018 WISCONSIN COMMERCIAL BUILDING CODE (SPS 361-366)
2015 INTERNATIONAL BUILDING CODE
BUSINESS OCCUPANCY, GROUP B

ZONING: CITY OF PEWAUKEE ORDINANCES

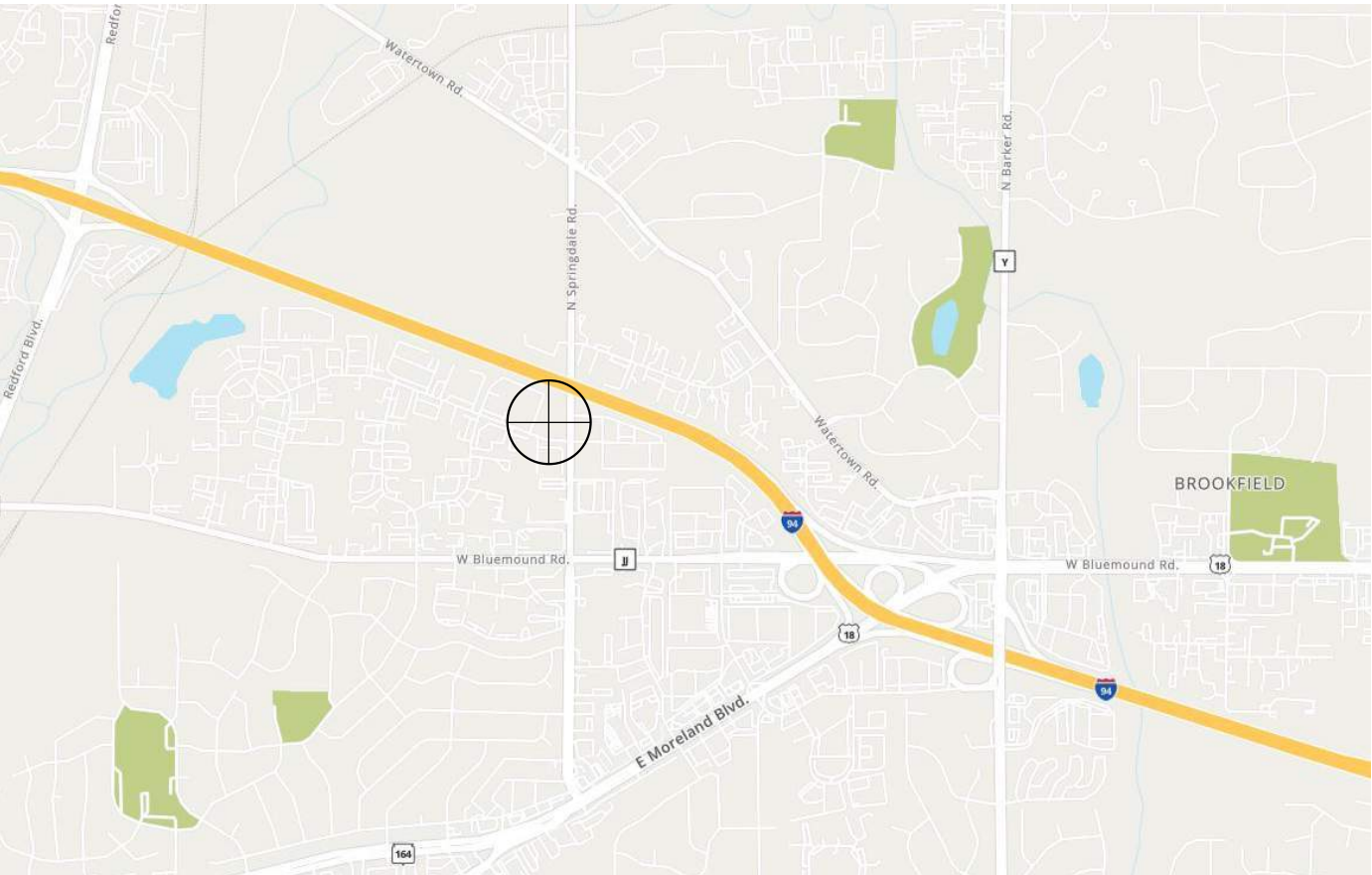
CONSTRUCTION CLASSIFICATION

NEW CONSTRUCTION
TYPE OF CONSTRUCTION: TYPE VB
FIRE PROTECTION: NFPA 13

BUILDING AREA

FIRST FLOOR	12,022 SF
SECOND FLOOR	12,409 SF
TOTAL SF	24,431 SF

PROJECT LOCATION



PROJECT TEAM

CONSTRUCTION MANAGER

PETER SCHWABE, INC TEL(262) 662-5551

CIVIL

RA SMITH TEL(262) 781-1000

LANDSCAPE

RA SMITH TEL(262) 781-1000

STRUCTURAL

PIERCE ENGINEERS TEL(414) 988-7460

PLUMBING & FIRE PROTECTION

TLC ENGINEERING SOLUTIONS TEL(414) 946-0600

MECHANICAL

TLC ENGINEERING SOLUTIONS TEL(414) 946-0600

ELECTRICAL

TLC ENGINEERING SOLUTIONS TEL(414) 946-0600

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SITE CIVIL AND LANDSCAPE PLANS
FOR
RADIANT PLASTIC SURGERY
6661 JOHNSON DRIVE
PEWAUKEE, WISCONSIN

VICINITY MAP



PLAN INDEX

SHEET NO.	DESCRIPTION
C000	TITLE SHEET
C100	DEMOLITION & EROSION CONTROL PLAN
C200	SITE PLAN
C300	GRADING PLAN
C400	UTILITY PLAN
C500 - C503	DETAILS
C600	SPECIFICATIONS
L100	OVERALL LANDSCAPE PLAN
L200	LANDSCAPE PLAN - NORTH
L201	LANDSCAPE PLAN - SOUTH

LEGEND
(PROPOSED FEATURES)

- TREE REMOVAL
- EXISTING CONCRETE PAVEMENT TO BE REMOVED
- EXISTING ASPHALT PAVEMENT TO BE REMOVED
- EXISTING GRAVEL TO BE REMOVED
- EXISTING BUILDING/STRUCTURE TO BE REMOVED
- SAWCUT LINE
- PROPOSED PROPERTY LINE
- PROPOSED SITE LIGHTING (DESIGNED BY OTHERS, FOR REFERENCE ONLY)
- MONUMENT SIGNS (CONSTRUCTION DETAILS BY OTHERS)
- SIGN
- HEAVY-DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- HEAVY-DUTY ASPHALT PAVEMENT
- STANDARD-DUTY ASPHALT PAVEMENT
- COLORED AND STAMPED CONCRETE
- PROPOSED 18" REJECT CURB & GUTTER (AS SHOWN ON SITE PLAN)
- PROPOSED 18" STANDARD CURB & GUTTER (AS SHOWN ON SITE PLAN)
- PROPOSED ACCESSIBLE PAVEMENT MARKING VAN ACCESSIBLE STALL
- PROPOSED TYPE 3 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
- PROPOSED TYPE 3A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
- PROPOSED TYPE 4 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
- PROPOSED TYPE 4A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
- PROPOSED TYPE 7 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
- DOOR
- STRUCTURAL RETAINING WALL - (DESIGNED BY OTHERS)
- PROPOSED 0.5-FOOT GRADE CONTOUR (ONLY USED WHEN CRITICAL)
- PROPOSED 1-FOOT GRADE CONTOUR
- PROPOSED 5-FOOT GRADE CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED TOP OF CURB
- PROPOSED FINISHED SURFACE GRADE ADJACENT TO TOP OF WALL
- PROPOSED FINISHED SURFACE GRADE ADJACENT TO BASE OF WALL
- PROPOSED EROSION CONTROL BALE TEMPORARY DITCH CHECK
- PROPOSED INLET PROTECTION
- PROPOSED SILT FENCE
- PROPOSED TEMPORARY DIVERSION SWALE & BERM
- PROPOSED LEVEL SPREADER
- PROPOSED STONE TRACKING MAT
- PROPOSED PERMANENT TURF REINFORCEMENT MAT
- EROSION CONTROL BLANKET
- PROPOSED RIPRAP
- PROPOSED GAS LINE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE LINE
- PROPOSED WATER MAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED INLET/ CB
- PROPOSED STORM MANHOLE
- PROPOSED AREA DRAIN
- PROPOSED SANITARY MANHOLE

LEGEND

- () INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- OR SECTION OR 1/4 SECTION CORNER AS DESCRIBED
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
- BOLLARD
- SOIL BORING/MONITORING WELL
- FLAGPOLE
- MAILBOX
- SIGN
- BILLBOARD
- AIR CONDITIONER
- CONTROL BOX
- TRAFFIC SIGNAL
- RAILROAD CROSSING SIGNAL
- CABLE PEDESTAL
- POWER POLE
- GUY POLE
- GUY WIRE
- LIGHT POLE
- SPOT/YARD/PEDESTAL LIGHT
- HANDICAPPED PARKING
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- MARKED FIBER OPTIC
- GAS VALVE
- GAS METER
- GAS WARNING SIGN
- STORM MANHOLE
- ROUND INLET
- SQUARE INLET
- STORM SEWER END SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT OR SEPTIC VENT
- SANITARY INTERCEPTOR MANHOLE
- MISCELLANEOUS MANHOLE
- WATER VALVE
- HYDRANT
- WATER SERVICE CURB STOP
- WATER MANHOLE
- WELL
- WATER SURFACE
- WETLANDS FLAG
- MARSH
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUB
- EDGE OF TREES
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- BUREAU ELEC. SERV.
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- INDICATES EXISTING CONTOUR ELEVATION
- INDICATES EXISTING SPOT ELEVATION
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE

ENGINEER AND LANDSCAPE ARCHITECT:

raSmith
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

ARCHITECT:

PLUNKETT RAYSISH ARCHITECTS, LLP
209 SOUTH WATER STREET
MILWAUKEE, WI 53204



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PLAN DATE: 01/11/2024

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

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CREATIVITY BEYOND ENGINEERING

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Cedarburg, WI | Naperville, IL | Irvine, CA

RADIANT PLASTIC SURGERY
CITY OF PEWAUKEE, WISCONSIN
COVER SHEET



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DATE: 01/11/2024

SCALE: Custom

JOB NO. 3230082

PROJECT MANAGER:
RYAN J. LANCOUR, P.E.

DESIGNED BY: CRR









CHECKED BY: RJL

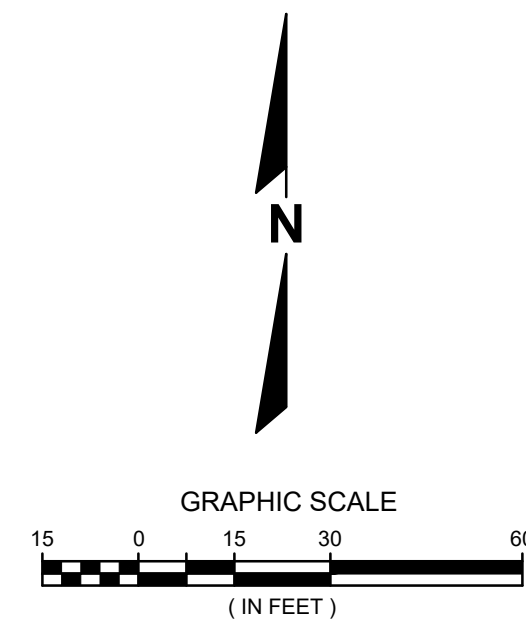
SHEET NUMBER

C000

- * INSTALL ROCK CONSTRUCTION ENTRANCE. THIS IS THE ONLY ENTRANCE AND EXIT TO BE USED FOR ALL CONSTRUCTION ACTIVITIES.
- * INSTALL SILT FENCE AND STRAW WATTLE.
- * INSTALL STORM DRAIN INLET PROTECTION ON EXISTING INDICATED STORM INLETS.
- * INSTALL EROSION CONTROL AND GRADE SITE IN INCREMENTS APPROPRIATE TO WORK WHILE MAINTAINING SEDIMENTATION AND EROSION CONTROL PRACTICES IN CONFORMANCE WITH LOCAL AND STATE GUIDELINES.
- * INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL BMPs WHEN SITE WORK AND GRADING ALLOWS.
- * CONSTRUCT UTILITIES AND INSTALL ADDITIONAL STORM DRAIN INLET PROTECTION ON INLETS AS SOON AS THEY ARE CONSTRUCTED.
- * CONSTRUCT ROADS, DRIVEWAYS AND PARKING LOT SUBGRADE. INSTALL CURB AND GUTTER AND PAVE SITE.
- * APPLY SEED FERTILIZER AND MULCH TO LANDSCAPE LAWN AREAS AS SOON AS POSSIBLE.
- * FLUSH STORM SEWER.
- * ONCE THE PROJECT SITE IS 80% STABILIZED, ALL REMAINING TEMPORARY EROSION CONTROL BMPs SHALL BE REMOVED.
- * AT THE END OF THE SITE CONSTRUCTION DURING THE FINAL STABILIZATION, THIS BIORETENTION MEDIA SHALL BE FULLY RESTORED AND ANY SEDIMENT IN THE MEDIA AS A RESULT OF THE CONSTRUCTION PROCESS SHALL BE REMOVED.



- | | |
|---|--|
|  | PROPERTY LINE/ RIGHT OF WAY |
|  | PROTECT AND MAINTAIN EXISTING CURB & GUTTER |
|  | DEMO CURB |
|  | SAWCUT PAVEMENT |
|  | PROPOSED SILT FENCE |
|  | PROPOSED STRAW WATTLE |
|  | EXISTING ASPHALT PAVEMENT TO BE REMOVED |
|  | INLET PROTECTION – TO BE INSTALLED ON ALL EXISTING AND PROPOSED INLETS |



- INITIAL EROSION CONTROL MEASURES (SILT FENCE, ROCK CONSTRUCTION ENTRANCE, INLET PROTECTION) SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY WITHIN PROJECT LIMITS.
- STABILIZE ALL DISTURBED AREAS AS SOON AS GRADING IS COMPLETE IN AN AREA. ENSURE SEEDING MEASURES, EROSION CONTROL MATTING AND MISCELLANEOUS EROSION CONTROL DEVICES ARE INSTALLED AS INDICATED ON THE EROSION CONTROL PLANS.
- UPON FOLLOWING SPRING SEASON OF CONSTRUCTION, CHECK THE VEGETATIVE COVER IN AREAS WHERE SEEDING WAS PLANTED DURING THE FALL OF THE PREVIOUS YEAR. RESEED AREAS WHERE VEGETATION IS NO LONGER ESTABLISHED OR HAS DIED. INSPECT ALL EROSION CONTROL DEVICES AND REPAIR AS NECESSARY. RESUME CONSTRUCTION ACTIVITY: CONTINUE BUILDING CONSTRUCTION, UTILITY INSTALLATION, AND PAVING.
- WINTER STABILIZATION: ALL PROPOSED VEGETATED AREAS HAVING A SLOPE LESS THAN 15 PERCENT WHICH DO NOT EXHIBIT A MINIMUM 70 PERCENT VEGETATIVE GROWTH BY NOVEMBER 1, OR WHICH IS DISTURBED AFTER NOVEMBER 1 SHOULD BE DORMANT SEEDED AT A RATE 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND COVERED WITH 2 TO 3 TONS OF HAY OR STRAW MULCH PER ACRE WITH EITHER ANCHORED NETTING OR AN APPROVED TACKIFIER FROM THE WISDOT PRODUCT ACCEPTABILITY LIST. IF AN EROSION CONTROL BLANKET OR TYPE A SOIL STABILIZER FROM THE WISDOT PAL MAY BE USED IN LIEU OF MULCH AND NETTING OR MULCH AND TACKIFIER.
- WINTER STABILIZATION: ALL PROPOSED VEGETATED AREAS HAVING A SLOPE GREATER THAN 15 PERCENT WHICH DO NOT EXHIBIT A MINIMUM OF 70 PERCENT VEGETATIVE GROWTH BY NOVEMBER 1 OR WHICH IS DISTURBED AFTER NOVEMBER 1, SHOULD BE DORMANT SEEDED AT A RATE 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND COVERED WITH A PROPERLY INSTALLED AND ANCHORED EROSION CONTROL BLANKET.

1. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL SITE AND DEMOLITION PERMITS.
2. THE DEMOLITION CONTRACTOR SHALL PREPARE AND MAINTAIN A PROJECT SAFETY PLAN, ALL SITE SAFETY EQUIPMENT AND MEASURES, INCLUDING FENCING, FIRE PROTECTION, AND THE LIKE ARE THE SOLE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR.
3. THE DEMOLITION CONTRACTOR SHALL DEVELOP, OBTAIN NECESSARY APPROVALS/PERMITS AND MAINTAIN TRAFFIC AND PEDESTRIAN CONTROL PLANS THROUGHOUT ALL PHASES OF DEMOLITION.

-ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY SITE WORK.


-SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDING AREAS MUST EXHIBIT MINIMUM OF 80% SOIL COVERAGE.

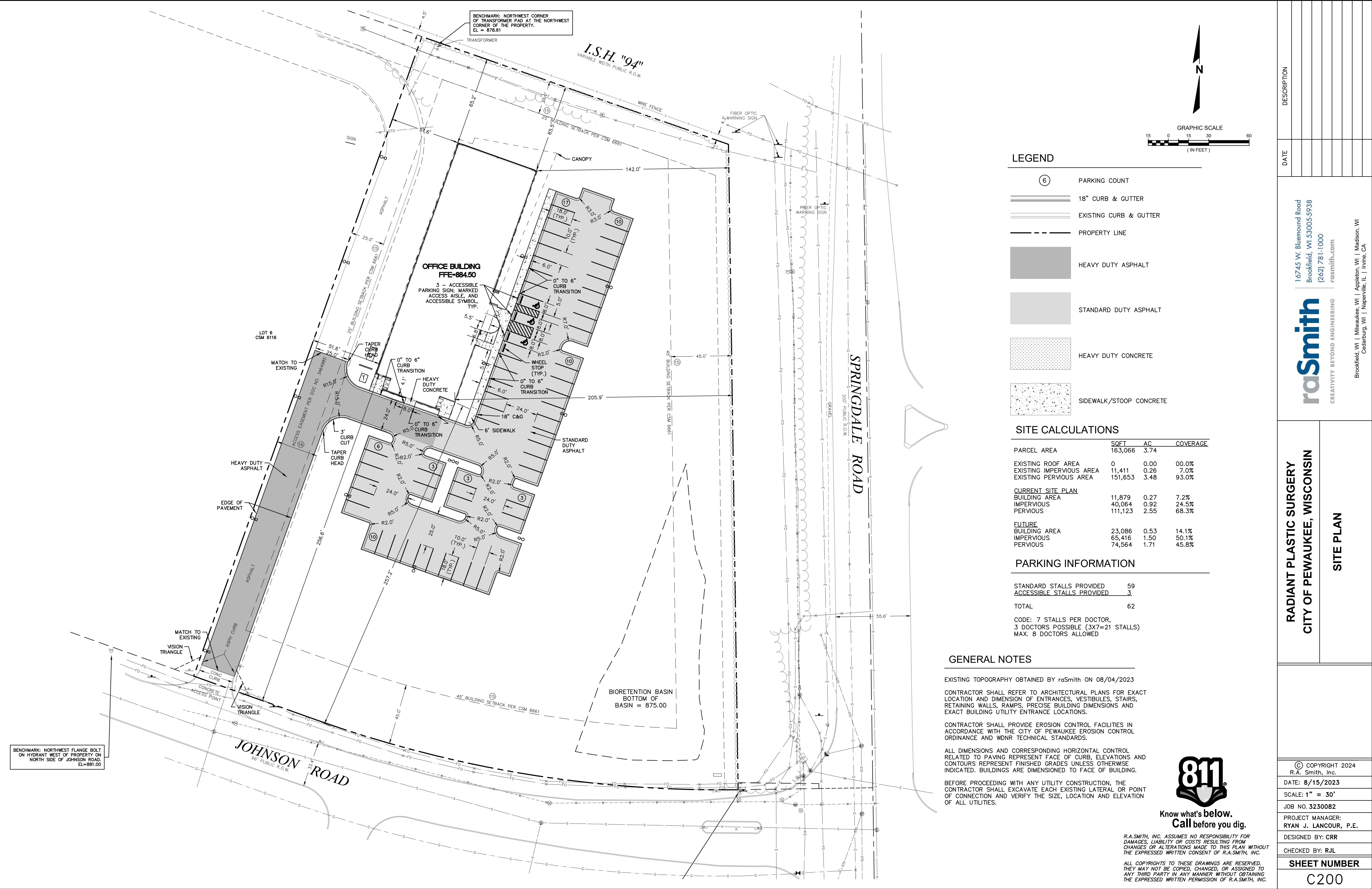


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<div><div><div>RADIANT PLASTIC SURGERY</div><div>CITY OF PEWAUKEE, WISCONSIN</div></div><div><div>DEMOLITION AND EROSION</div><div>CONTROL PLAN</div></div></div>		<div><div><div><div></div><div>16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com</div></div><div><div>CREATIVITY BEYOND ENGINEERING</div><div>Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA</div></div></div></div>		DATE	DESCRIPTION
<div><div>© COPYRIGHT 2024 R.A. Smith, Inc.</div><div>DATE: 01/11/2024</div><div>SCALE: 1" = 30'</div><div>JOB NO. 3230082</div><div>PROJECT MANAGER: RYAN J. LANCOUR, P.E.</div><div>DESIGNED BY: CRR</div><div>CHECKED BY: RJL</div><div>SHEET NUMBER</div><div>C100</div></div>					



DESCRIPTION

DATE

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CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

RADIANT PLASTIC SURGERY
CITY OF PEWAUKEE, WISCONSIN

SITE PLAN

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DATE: 8/15/2023

SCALE: 1" = 30'

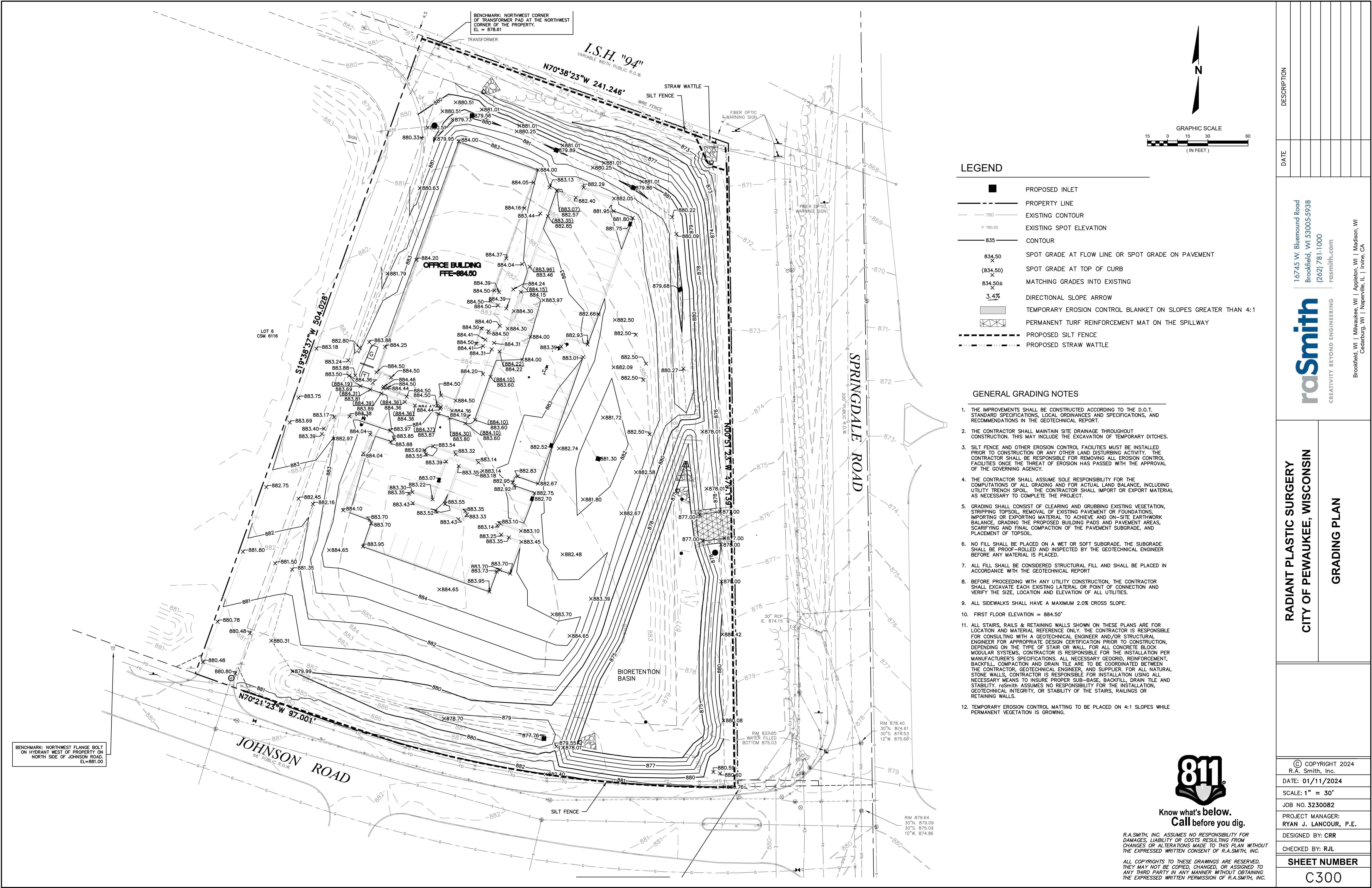
JOB NO. 3230082

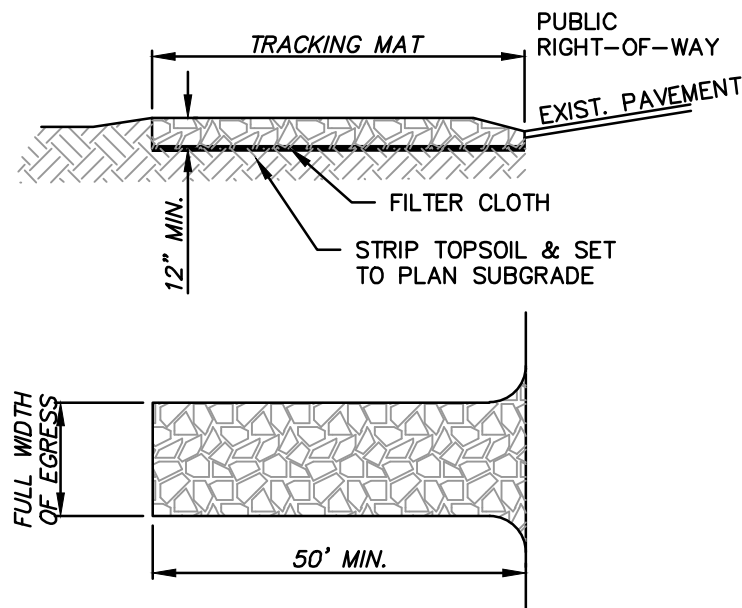
PROJECT MANAGER:
RYAN J. LANCOUR, P.E.

DESIGNED BY: CRR

CHECKED BY: RJL

SHEET NUMBER
C200



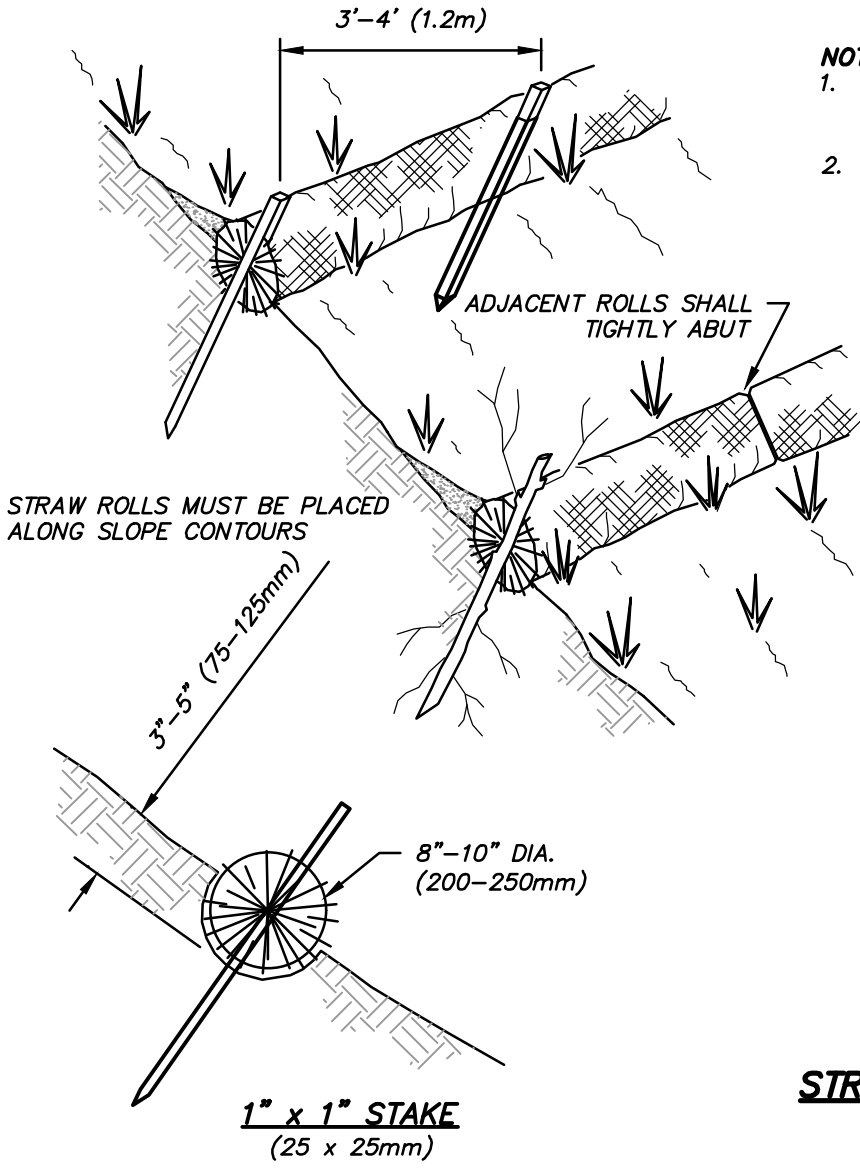


CONSIDERATIONS:

1. TIRE WASHING AND TRACKING PAD TO CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1057.
2. VEHICLES TRAVELING ACROSS THE TRACKING PAD SHOULD MAINTAIN A SLOW CONSTANT SPEED.
3. THE BEST APPROACH TO PREVENTING OFF-SITE TRACKING IS TO RESTRICT VEHICLES TO STABILIZED AREAS.
4. IT IS ALWAYS PREFERABLE TO PREVENT SEDIMENT FROM BEING DEPOSITED UPON THE ROAD THAN CLEANING THE ROAD LATER. SEDIMENT ON A ROAD CAN CREATE A SAFETY HAZARD AS WELL AS A POLLUTION PROBLEM.
5. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.

STONE TRACKING PAD AND TIRE WASHING

(NOT TO SCALE)



NOTES:

1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3\"-5\" (75-125mm) DEEP, DUG ON CONTOUR. RUNOFF MUST BE ALLOWED TO RUN UNDER OR AROUND ROLL.
2. INSTALL 6.5\" WATTLE 2' DIRECTLY BEHIND SIDEWALK.

SPACING DEPENDS ON SOIL TYPE AND SLOPE STEEPNESS

STRAW WATTLE DETAIL

(NOT TO SCALE)

NOTES:

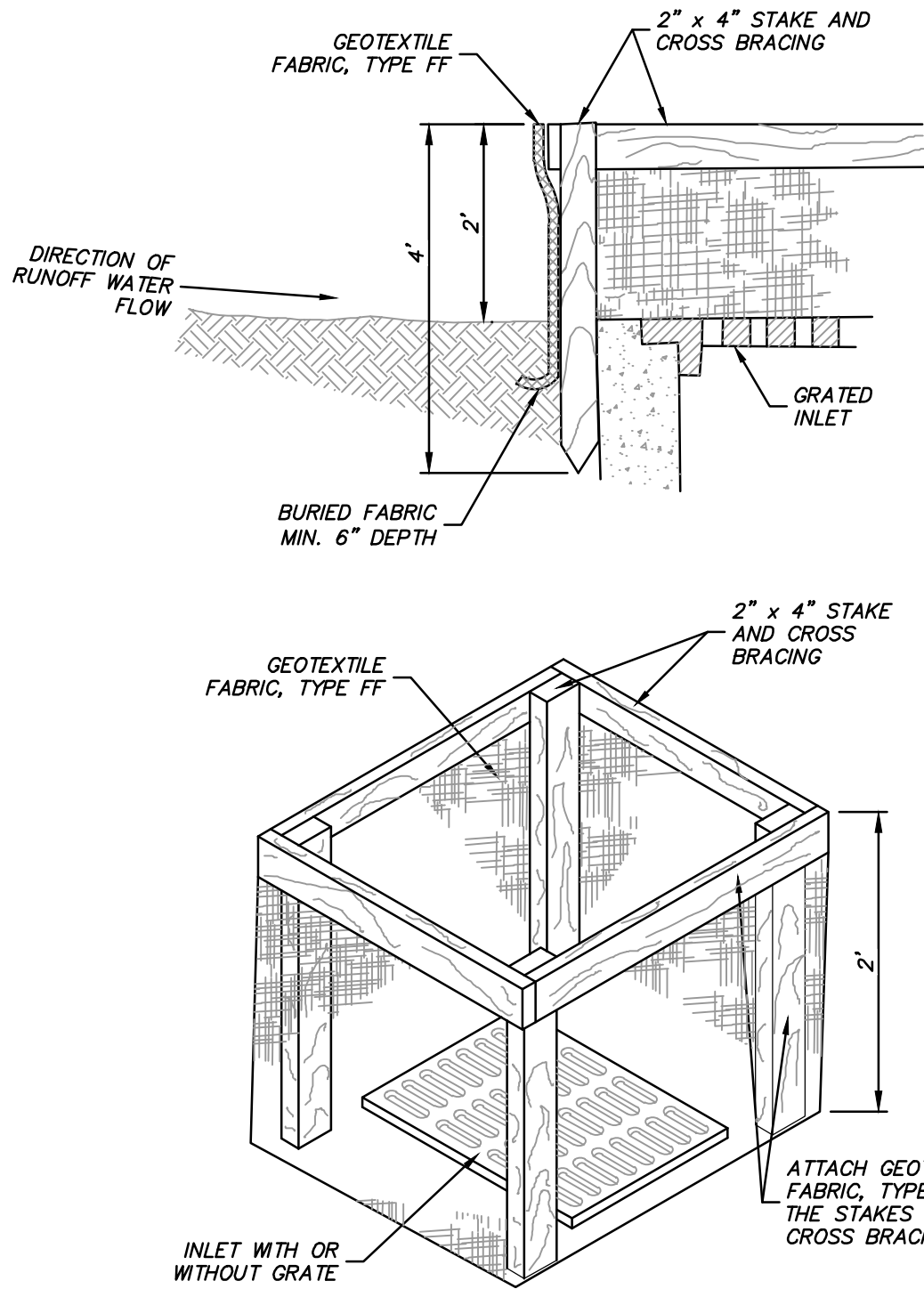
1. SILT FENCE INSTALLATION AND MATERIALS SHALL CONFORM TO WDNR CONSERVATION STANDARD 1056
2. SILT FENCE SHALL BE PLACED ON THE CONTOUR AND NOT PERPENDICULAR TO THE CONTOUR. THE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
3. WHEN SILT FENCE IS INSTALLED ON A SLOPE, THE PARALLEL SPACING SHALL NOT EXCEED THE REQUIREMENTS IN THE TABLE BELOW.

SLOPE	FENCE SPACING
< 2%	100 FEET
2 TO 5%	75 FEET
5 TO 10%	50 FEET
10 TO 33%	25 FEET
> 33%	20 FEET

4. INSTALLED SILT FENCES SHALL BE MINIMUM 14 INCHES HIGH AND A MAXIMUM OF 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.
5. A MINIMUM OF 20 INCHES OF THE POST SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.
6. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4-INCH TRENCH WIDE BY 6-INCH DEEP TRENCH, OR 6-INCH V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED WIDER THAN NECESSARY FOR PROPER INSTALLATION.
7. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
 - A) TWIST METHOD--OVERLAP THE END POSTS AND TWIST, OR ROTATE.
 - B) HOOK METHOD--HOOK THE END OF EACH SILT FENCE LENGTH.
8. SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EACH PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
9. DAMAGED OR DECOMPOSED FENCES, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR CORRECTED.
10. SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE HALF THE HEIGHT OF THE FENCE.
11. SILT FENCES SHALL BE REMOVED ONCE THE DISTURBED AREA IS PERMANENTLY STABILIZED AND IS NO LONGER SUSCEPTIBLE TO EROSION.

EROSION CONTROL MATTING

(NOT TO SCALE)



INLET PROTECTION, TYPE A

- ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10\"
- ② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18\"
- ③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4. THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
- ④ SIDE FLAPS SHALL BE A MAXIMUM OF 2\"

GENERAL NOTES:

INLET PROTECTION DEVICES SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1060 AND BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WISDOT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED IF ALLOWED BY ENGINEER.

TYPE A IS TO BE USED PRIOR TO PAVING AND INSTALLATION OF CURB AND GUTTER, AND TYPES B, C, AND D ARE TO BE USED AFTER PAVING IS PLACED.

TYPE A SHALL BE USED BEFORE INLETS AND UNPAVED AREAS UNTIL PERMANENT STABILIZATION METHODS HAVE BEEN ESTABLISHED.

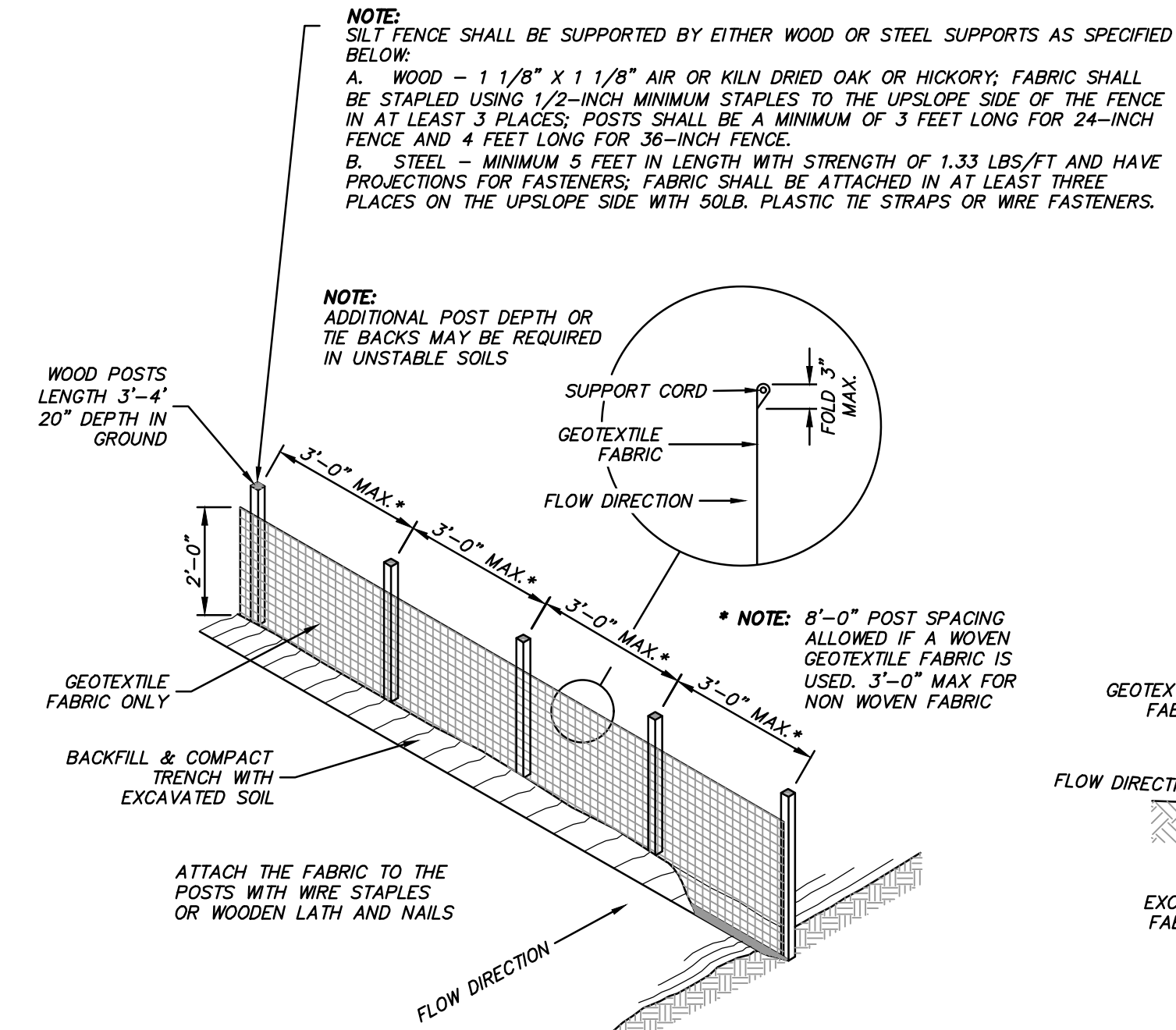
TYPE B SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON INLETS WITHOUT A CURB BOX WHEN TYPE D INLET DEVICES CANNOT BE USED.

TYPE C SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON STREET INLETS WITH CURB HEADS.

TYPE D SHALL BE USED IN AREAS WHERE OTHER TYPES OF INLET PROTECTION ARE INCOMPATIBLE WITH ROADWAY AND TRAFFIC CONDITIONS (I.E. POSSIBLE SAFETY HAZARD IF PONDING OCCURS), OR WHERE MORE EFFECTIVE INLET FILTERING IS NEEDED.

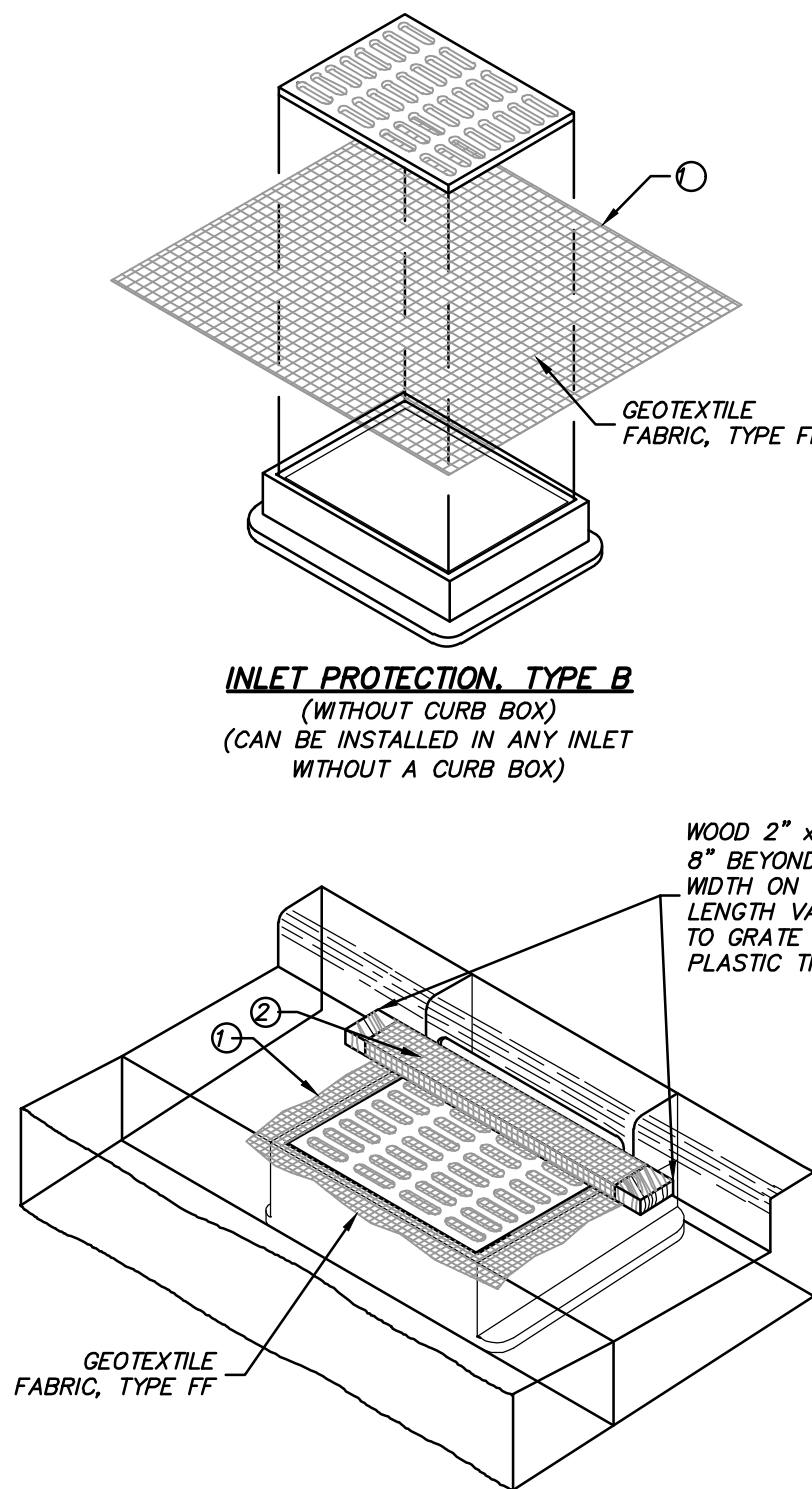
TAPER BOTTOM OF BAG TO MAINTAIN 3\"

GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG, FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.



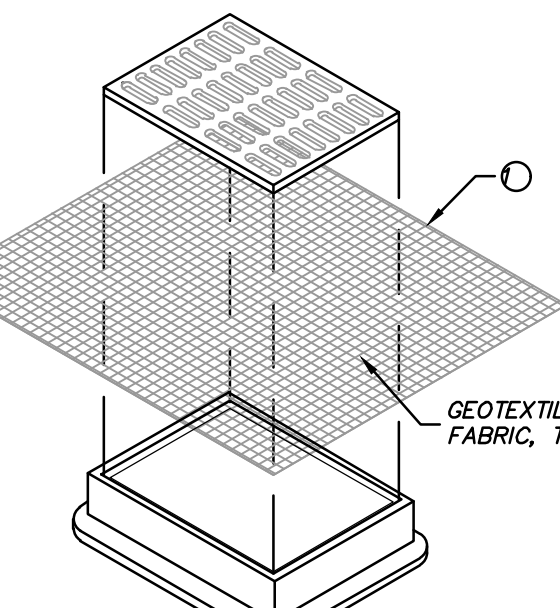
SILT FENCE

(NOT TO SCALE)



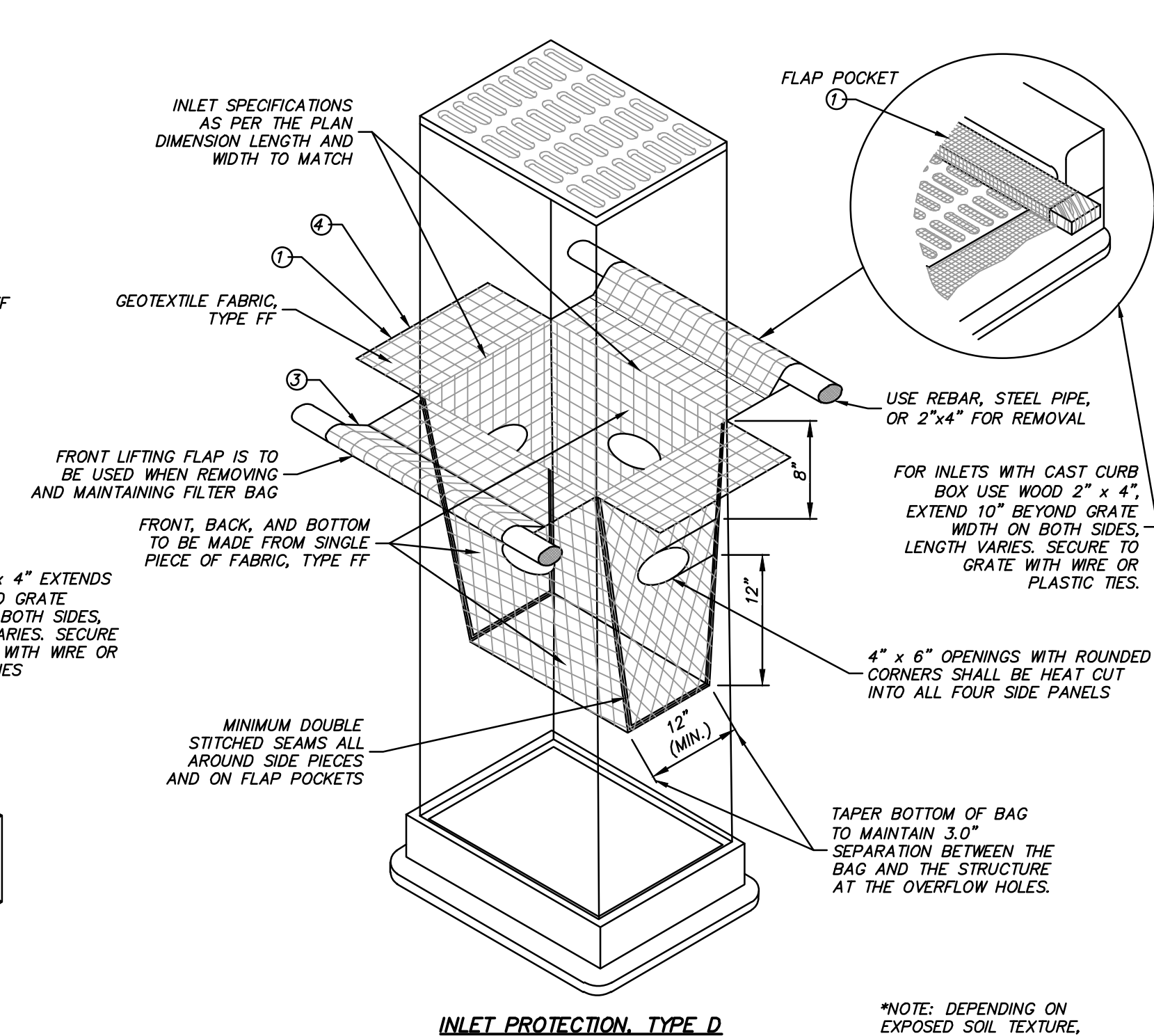
INLET PROTECTION, TYPE C

(WITH CURB BOX)



INLET PROTECTION, TYPE D

(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE ②))



INLET PROTECTION, TYPE D

(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE ②))

INLET PROTECTION, TYPE C

(WITH CURB BOX)

INSTALLATION NOTES:

TYPE B & C:
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3\"

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

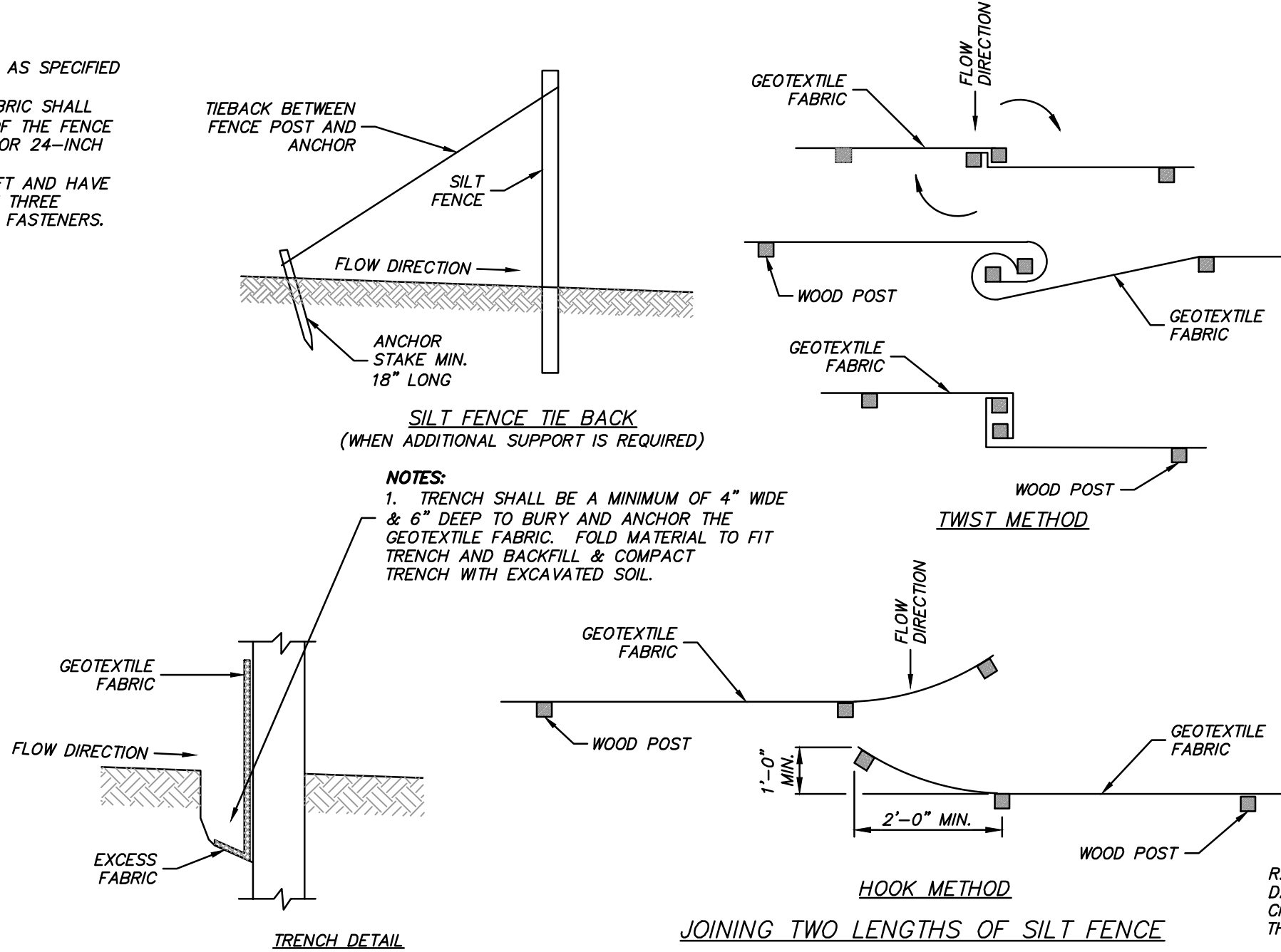
TYPE D:
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30\", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3\"

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3\"

STORM DRAIN INLET PROTECTION

(NOT TO SCALE)



MAINTENANCE:

REMOVE INLET PROTECTION DEVICES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED WITH APPROPRIATE VEGETATION OR IMPERVIOUS SURFACE.

INLET PROTECTION SHALL BE, AT A MINIMUM, INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.

FOR TYPE A, B OR C INLET PROTECTION, SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO 1/2 THE DESIGN DEPTH OF THE DEVICE, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING AS DESIGNED.

FOR TYPE D INLET PROTECTION (INCLUDING D-M AND D-HR), REMOVE SEDIMENT WHEN SEDIMENT ACCUMULATES TO WITHIN 6\"

REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLET AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.



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DESCRIPTION

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(262) 781-1000
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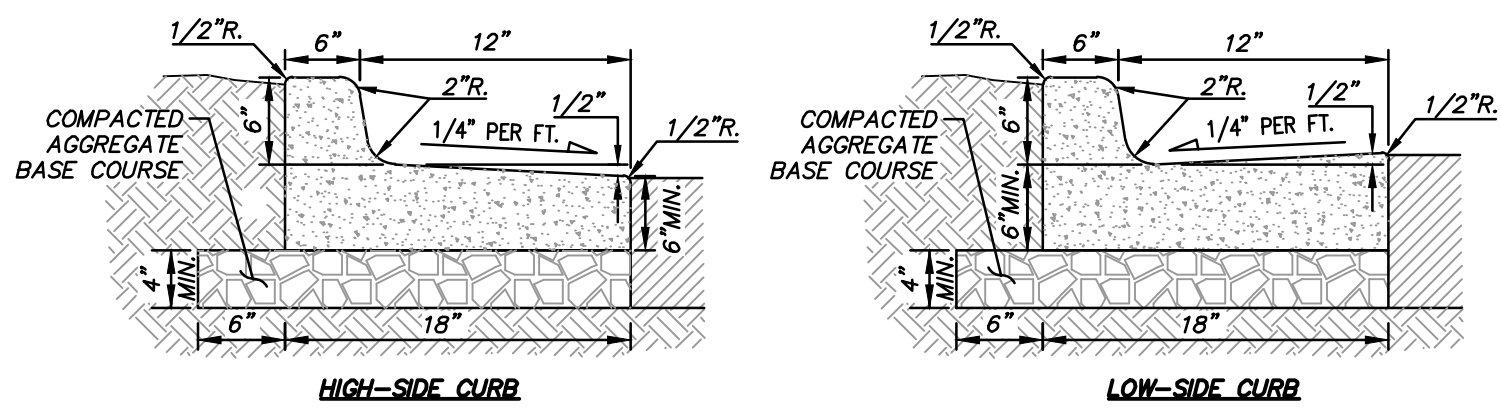
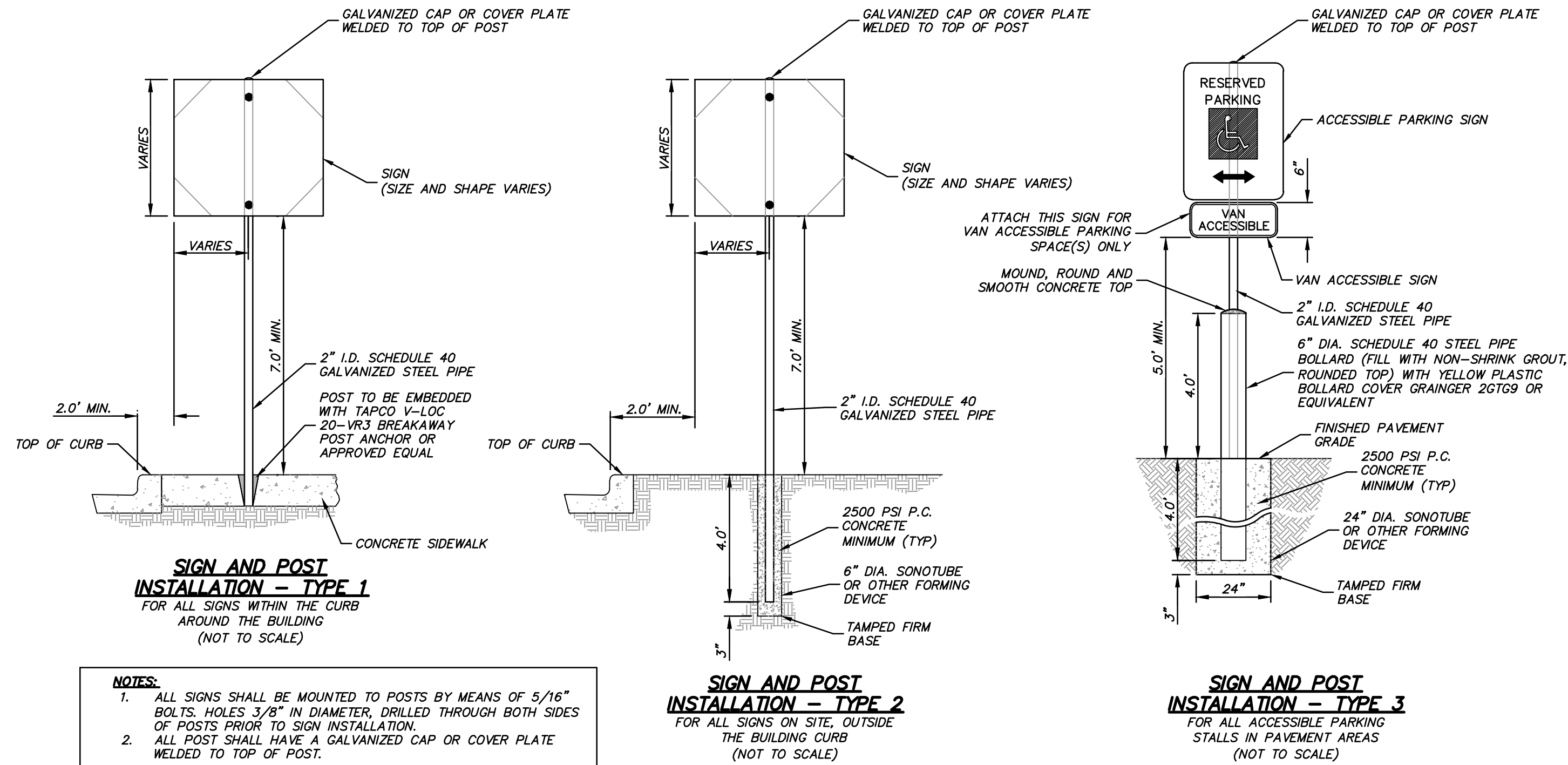
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CREATIVITY BEYOND ENGINEERING

RADIANT PLASTIC SURGERY
CITY OF PEWAUKEE, WISCONSIN

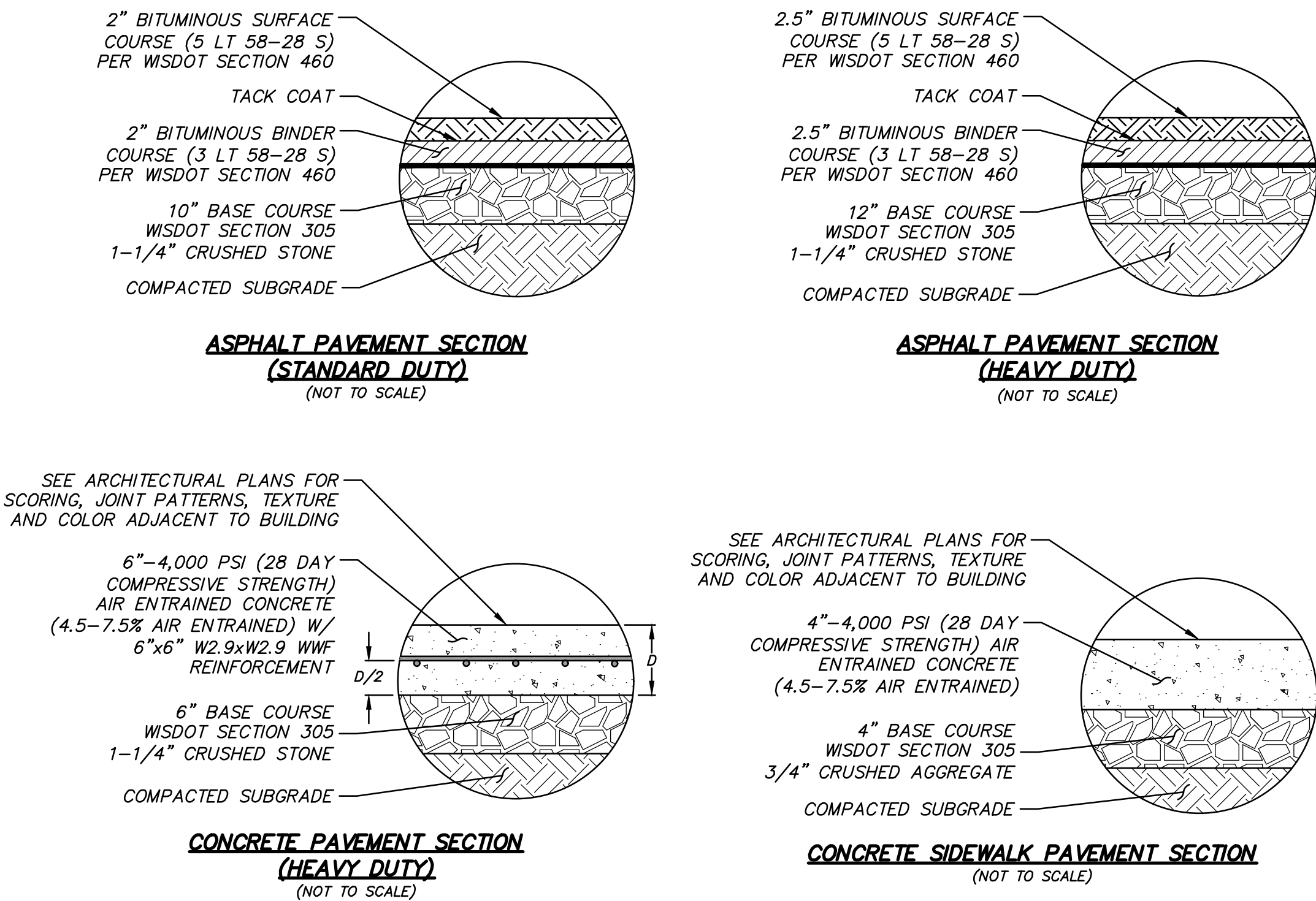
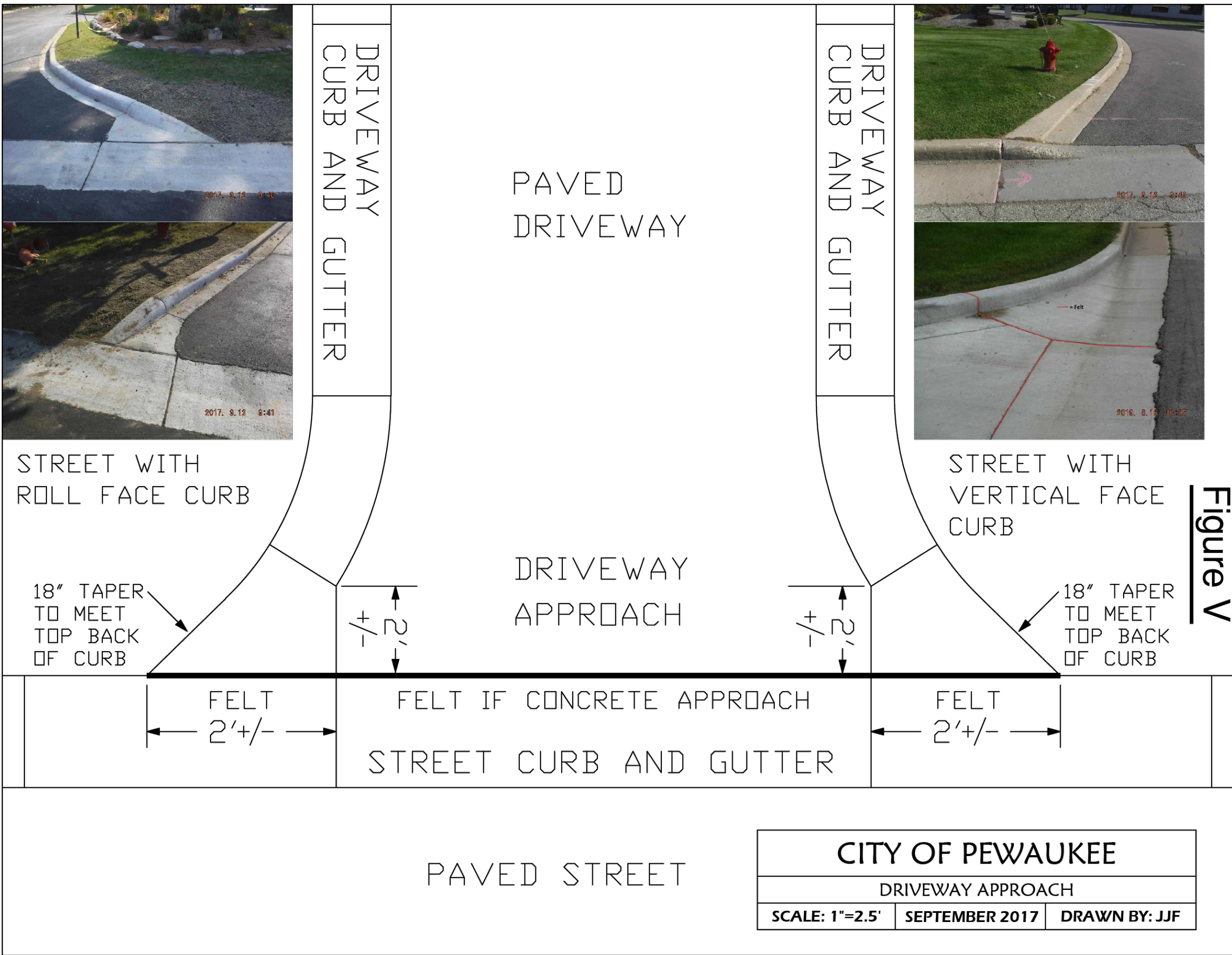
EROSION CONTROL DETAILS

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R.A. Smith, Inc.
DATE: 01/11/2024
SCALE: NTS
JOB NO. 3230082
PROJECT MANAGER:
RYAN J. LANCOUR, P.E.
DESIGNED BY: CRR
CHECKED BY: RJL
SHEET NUMBER
C500



18" CONCRETE CURB & GUTTER DETAIL
(NOT TO SCALE)

NOTES:
4,000 PSI CONCRETE SHALL BE USED IN CONSTRUCTION OF ALL CURB & GUTTER DETAILS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE SLOPE OF THE GUTTER PAN. 1/2" PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED TRANSVERSELY IN THE CURB AS FOLLOWS:
1) AT EACH JUNCTION OF RADIUS RETURN CURB AND THE CURB WHICH IS PARALLEL TO THE PROJECT CENTER LINE.
2) AT EACH JUNCTION WITH EXISTING CONCRETE CURB OR CONCRETE CURB & GUTTER.
3) AT EACH JUNCTION WITH EXISTING CONCRETE SIDEWALK, TO THE DEPTH OF THE SIDEWALK.



NOTE: ALL PAVEMENT SECTIONS ARE FOR REPRESENTATIVE PURPOSES ONLY. REFER TO GEOTECHNICAL REPORT AND GEOTECHNICAL ENGINEER FOR PAVEMENT SECTIONS TO BE CONSTRUCTED.

DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
raSmith CREATIVITY BEYOND ENGINEERING	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA	
RADIANT PLASTIC SURGERY CITY OF PEWAUKEE, WISCONSIN	SITE DETAILS
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SHEET NUMBER C501	

DIVISION 1 – GENERAL REQUIREMENTS

01 41 00 – REGULATORY REQUIREMENTS

1. THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
- a. WISCONSIN NATURAL RESOURCES (NWR) STORM WATER TECHNICAL STANDARDS
 - b. WISCONSIN EROSION CONTROL PRODUCT ACCEPTABILITY LIST
 - c. STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (SSSWCW)
 - d. WISCONSIN ADMINISTRATIVE CODE, SECTIONS SPS 382-387
 - e. WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION
 - f. FEDERAL HIGHWAY ADMINISTRATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
 - g. WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (WMUTCD)
 - h. UNITED STATES DEPARTMENT OF JUSTICE ADA STANDARDS
 - i. UNITED STATES DEPARTMENT OF TRANSPORTATION ADA STANDARDS FOR TRANSPORTATION FACILITIES
 - j. MUNICIPALITY DEVELOPMENT STANDARDS
2. THE OWNER, ENGINEER AND MUNICIPALITY SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS AND FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
5. SHOP DRAWINGS AND/OR MANUFACTURER'S PRODUCT DATA SUBMITTALS ARE REQUIRED ONLY IF THE PRODUCT OR METHOD OF CONSTRUCTION IS DIFFERENT FROM THAT SPECIFIED OR IF REQUIRED BY THE MUNICIPAL ENGINEER.
- a. ALL DOCUMENTS SUBMITTED FOR REVIEW SHALL HAVE THE SPECIFIC MATERIAL, PART, SIZE, ETC. HIGHLIGHTED IN SOME FASHION. EXAMPLE: A FITTING CUT SHEET HAS MULTIPLE PRESSURE RATING FOR DIFFERENT SIZES. HIGHLIGHT THE SPECIFIC SIZE TO BE USED ON PROJECT. ALL SUBMITTALS NOT PROPERLY IDENTIFYING THE SPECIFIC MATERIAL BEING USED WILL BE REJECTED.
 - b. CONTRACTOR SHALL SUBMIT A PDF COPY AND AN EXPLANATION AS TO HOW THE SUBSTITUTION MEETS THE PROPOSED DRAWING (PRODUCT SPECIFICATION SHEETS WITHOUT EXPLANATION WILL NOT BE ACCEPTED) TO THE OWNER'S REPRESENTATIVE OR ENGINEER FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL NOT PROCEED UNTIL THE OWNER'S APPROVAL IS GIVEN. IN PROJECT SCHEDULING CONTRACTOR SHALL ACCOUNT FOR 5 WORKING DAYS FOR SUBMITTAL REVIEW. IN THE EVENT SUCH SUBSTITUTION IS APPROVED, THE OWNER WILL REQUIRE FROM THE CONTRACTOR A CREDITED DEDUCTION FROM THE CONTRACT AMOUNT EQUAL TO ANY SAVINGS IN MATERIAL COST RESULTING FROM THE PROPOSED SUBSTITUTION.
6. THE CONTRACTOR SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR THE QUALITY OF WORK. IF CHANGES OR ADJUSTMENTS ARE RECOMMENDED BY THE CONTRACTOR, THEY MAY BE MADE ONLY UPON WRITTEN APPROVAL OF THE OWNER OR HIS REPRESENTATIVE.
- a. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE **OWNER OR HIS REPRESENTATIVE** SHALL DECIDE ALL QUESTIONS WHICH SHALL ARISE AS TO THE QUALITY AND DIMENSIONS OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTERPRETATION OF THE PLANS AND SPECIFICATIONS HE SHALL DETERMINE THE AMOUNT OF WORK PERFORMED AND MATERIALS FURNISHED.
 - b. FAILURE OR NEGLIGENCE ON THE PART OF THE **OWNER OR HIS REPRESENTATIVE** TO CONDEMN OR REJECT SUBSTANDARD OR OTHERWISE CONSTRUCTED WORK OR NOT TO ACCEPT ANY ACCEPTABLE WORK OR MATERIALS, IF IT BECOMES EVIDENT AT ANY TIME PRIOR TO THE FINAL ACCEPTANCE OF THE WORK BY THE OWNER, NEITHER SHALL IT BE CONSTRUED AS BARRING THE OWNER, AT ANY SUBSEQUENT TIME OR WORK, FROM THE RIGHT OF INSPECTION, AND ANY MATERIAL FURNISHED UNDER THESE SPECIFICATIONS IS SUBJECT TO SUCH INSPECTION. THE OWNER OR HIS REPRESENTATIVES SHALL BE ALLOWED ACCESS TO ALL PART OF THE WORK, AND SHALL BE FURNISHED WITH SUCH INFORMATION AND ASSISTANCE BY THE CONTRACTOR AS IS DETERMINED BY THE OWNER OR HIS REPRESENTATIVE, TO MAKE A COMPLETE AND DETAILED INSPECTION.
 - c. ALL WORKMANSHIP SHALL CONFORM TO THE BEST STANDARD PRACTICE, UNLESS OTHERWISE SPECIFIED, THE SPECIFICATIONS OR RECOGNIZED ASSOCIATION OF MANUFACTURERS AND CONTRACTORS OR INDUSTRIAL MANUFACTURERS SHALL BE USED AS GUIDES FOR WORKMANSHIP.
 - d. ALL EXPOSED ITEMS OF WORK SHALL PRESENT A NEAT WORKMANLIKE APPEARANCE AND SHALL BE AS TRUE TO SHAPE AND ALIGNMENT AS POSSIBLE TO OBTAIN WITH MEASURING OR LEVELING INSTRUMENTS. GENERALLY USED IN THE RESPECTIVE TYPES OF WORK SHALL BE SOLID AND FULLY PROTECTED AGAINST DAMAGE AND PREMATURE DETEIORATION. IT IS SPECIFICALLY UNDERSTOOD THAT IN ALL QUESTIONS OF QUALITY AND ACCEPTABILITY OF WORKMANSHIP, THE CONTRACTOR AGREES TO ABIDE BY THE DECISION OF THE **OWNER OR HIS REPRESENTATIVE**.
 - e. ALL MATERIALS AND WORKMANSHIP NOT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE CONSIDERED AS DEFECTIVE, AND ALL SUCH MATERIALS, WHETHER IN-PLACE OR NOT, SHALL BE REJECTED AND SHALL BE REMOVED FROM THE WORK BY THE CONTRACTOR AT HIS EXPENSE. UPON FAILURE ON THE PART OF THE CONTRACTOR TO COMPLY WITH ANY ORDER OF THE OWNER RELATIVE TO THE PROVISIONS OF THIS ARTICLE, THE OWNER SHALL HAVE THE AUTHORITY TO REMOVE AND REPLACE SUCH DEFECTIVE MATERIAL AND TO DEDUCT THE COST OF REMOVAL AND REPLACEMENT FROM ANY MONIES DUE OR WHEN DUE TO THE CONTRACTOR.
 - f. THE CONTRACTOR SHALL KEEP A LEGIBLE COPY OF THE PLANS, SPECIFICATIONS, AND ALL PERMITS AT THE SITE OF THE WORK AT ALL TIMES.
 - g.
 - i. AT THE COMPLETION OF THE WORK AND PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL PROVIDE THE **OWNER OR HIS REPRESENTATIVE** WITH A MARKED-UP SET OF DRAWINGS SHOWING CHANGES OR VARIATIONS FROM THE ORIGINAL DRAWINGS. THESE CHANGES SHALL BE MADE ON A SET OF FIELD DRAWINGS AS THE WORK TAKES PLACE, AND NOT FROM MEMORY WHEN THE WORK IS DONE. THIS SET OF DRAWINGS SHOULD BE KEPT IN A LOCATION AT THE SITE WHERE THE **OWNER OR HIS REPRESENTATIVE** MAY EXAMINE THEM.
 - ii. THE MARKED-UP DRAWINGS SHALL BE ACCURATE. ARBITRARY MARKINGS ARE OF NO VALUE. CAREFUL MEASUREMENTS SHALL BE MADE TO LOCATE UNDERGROUND EXTERIOR AND UNDERGROUND INTERIOR SEWERS, GAS LINES, WATER LINES, ELECTRICAL CONDUIT AND MISCELLANEOUS PIPING.
7. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRAFFIC CONTROL PLANS AND PERMITTING FOR ALL WORK TO BE COMPLETED ONSITE OR IN THE PUBLIC RIGHT-OF-WAY.

01 70 00 – EXECUTION & CLOSEOUT REQUIREMENTS

1. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPLY WITH THIS PLAN.
2. EXISTING UTILITY INFORMATION IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, BASED ON BEST AVAILABLE PUBLIC RECORDS, AS-BUILT DRAWINGS, AND FIELD OBSERVATIONS. NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR ACCURACY OR COMPLETENESS. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND NATURE OF EXISTING UTILITIES, AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.
3. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL PROPOSED UTILITY CONNECTIONS AND CROSSINGS PRIOR TO PROCEEDING WITH ANY WORK. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF THE BENCHMARKS AND HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES, AND SHALL NOTIFY THE ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH ANY WORK.
6. SURVEY BENCHMARKS AND CONTROL POINTS SHALL BE MAINTAINED AND PROTECTED FROM DISTURBANCE. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED AT ALL TIMES. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
7. ANY ADJACENT PROPERTIES' ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR. THE COST OF RESTORATION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED.
8. PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SITE SHALL BE LIMITED TO THE CONSTRUCTION ENTRANCE.
9. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES, SHALL BID ON THEIR OWN ESTIMATE OF THE WORK REQUIRED, AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
10. REQUESTS FOR CLARIFICATION WILL BE INTERPRETED BY THE OWNER/ENGINEER PRIOR TO AWARD OF CONTRACT, AND WHEN NECESSARY, OFFICIAL WRITTEN RESPONSES SHALL BE ISSUED. WRITTEN RESPONSES SHALL BE BINDING TO THE WORK. IN NO WAY SHALL VERBAL DIALOGUE CONSTITUTE OFFICIAL RESPONSE.
11. SHOULD ANY DISCREPANCIES BE DISCOVERED BY THE CONTRACTOR AFTER AWARD OF CONTRACT, NOTIFY OWNER/ENGINEER IN WRITING IMMEDIATELY. CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES SHALL NOT COMMENCE OR CONTINUE UNTIL AN OFFICIAL WRITTEN RESPONSE IS RECEIVED.
12. ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE. THIS GUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP.
13. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE MUNICIPALITY, AND THE MUNICIPALITY'S INSURANCE, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

DIVISION 31 – EARTHWORK

31 10 00 – SITE CLEARING & DEMOLITION

1. WORK SHALL CONSIST OF DEMOLITION, ABANDONMENT, AND REMOVAL OF EXISTING FOUNDATIONS, WALLS, SLABS, FENCES, PIPING, PAVEMENTS, AND OTHER MANMADE ITEMS INTERFERING WITH NEW CONSTRUCTION. WORK SHALL ALSO INCLUDE EXISTING CURBING, SIDEWALKS, PATIOS, STUMPS, STUMPS, RUBBISH, AND OTHER PERISHABLE MATERIAL INTERFERING WITH NEW CONSTRUCTION.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. ALL 811 OR NOTIFIED FIELD LOCATION OF EXISTING UTILITIES WITHIN PROJECT LIMITS PRIOR TO ANY CONSTRUCTION RELATED ACTIVITIES.
4. INSTALL PERIMETER FENCING AS INDICATED PRIOR TO COMMENCING ANY CONSTRUCTION RELATED ACTIVITY.
5. CLEARLY IDENTIFY ALL VEGETATION TO BE PRESERVED AND/OR RELOCATED PRIOR TO CLEARING AND GRUBBING.
6. PROTECT EXISTING IMPROVEMENTS TO REMAIN DURING CONSTRUCTION. ANY DAMAGED IMPROVEMENTS SHALL BE RESTORED TO ORIGINAL CONDITION, OR AS OTHERWISE ACCEPTABLE TO THE OWNER.
7. REMOVE EXISTING ABOVE-GRADE AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
8. SAWCUT ALL PAVEMENT TO BE REMOVED IN STRAIGHT LINES TO FULL DEPTH.
9. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. BREAK UP CONCRETE SLABS THAT ARE 2 FEET OR MORE BELOW PROPOSED SUBGRADE TO PERMIT DRAINAGE.
10. DISCONNECT AND SEAL/CAP EXISTING UTILITIES TO BE REMOVED, RELOCATED, OR ABANDONED IN ACCORDANCE WITH REQUIREMENTS OF UTILITY PROVIDERS.
11. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING NECESSARY REMOVAL AND/OR RELOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS.
12. DISCONNECT AND SEAL/CAP EXISTING UTILITIES TO BE REMOVED, RELOCATED, OR ABANDONED BY THE OWNER.
13. VOIDS LEFT BY REMOVALS SHALL BE LEVELED TO PREVENT PONDING OF WATER.
14. REMOVE AND LEGALLY DISPOSE OF DEMOLISHED MATERIALS, TRASH, AND DEBRIS FROM THE PROJECT SITE. RUBBISH, TRASH, GARBAGE, AND LITTER SHALL BE PLACED IN SEALED CONTAINERS THROUGHOUT CONSTRUCTION.

31 20 00 – EARTH MOVING

1. WORK SHALL CONSIST OF STRIPPING AND STORAGE OF TOPSOIL, EXCAVATION, EMBANKMENT, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE LAND BALANCE, COMPACTION, FINISH GRADING, SUBGRADE PREPARATION, AND REPLACEMENT OF TOPSOIL.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. ALL EARTHMOVING SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION BASED ON FIELD CONDITIONS, AND THESE REQUIREMENTS, THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.
4. EXCAVATE TO SUBGRADE REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS. UNENCOUNTERED, EXCAVATED MATERIAL MAY INCLUDE ROCK AND UNCLASSIFIED OBSTRUCTIONS, WHICH IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE WORK.
5. EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND MINIMUM OF 10 FEET BEYOND BUILDING PAD AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL.
6. EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE REMOVED TO A MINIMUM OF 2 FEET BELOW PROPOSED SUBGRADE AND PAVEMENT AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL.
7. AREAS SHALL BE GRADED TO WITHIN 1 INCH, MORE OR LESS, OF PROPOSED SUBGRADE. DEVIATIONS SHALL NOT BE CONSIDERED.
8. PLOTTING, HARROWING, AND GRADING TECHNIQUES SHALL BE USED TO DRY SUBGRADE PRIOR TO PROOF ROLLING.
9. IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER, PROOF ROLL SUBGRADE BELOW BUILDING PAD AND PAVEMENT AREAS DURING DRY WEATHER WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK WHERE COHESIVE SOILS ARE PREDOMINANT. HEAVY ROLLER OR SOILS ARE PREDOMINANT. SUBGRADE WHICH IS OBSERVED TO RUT OR DEFLECT EXCESSIVELY SHALL BE UNDERCUT IN CONFORMANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. DO NOT PROOF ROLL WET OR SATURATED SUBGRADE.
10. TOPSOIL REPLACEMENT DEPTH SHALL BE TO SUBGRADE. THIS SHALL INCLUDE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVATE WATER PONDING, SURFACE WATER AND GROUNDWATER SHALL BE PREVENTED FROM ENTERING EXCAVATIONS, PONDING ON PREPARED SUBGRADES, AND FLOODING PROJECT SITE AND/OR SURROUNDING AREAS.
11. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL EARTHWORK COMPUTATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SHOULDER. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
12. TOPSOIL REPLACEMENT DEPTH SHALL BE AS CALLED OUT ON THE CIVIL OR LANDSCAPE PLANS, OR A MINIMUM OF FOUR INCHES IF NOT CALLED OUT ON LANDSCAPE PLAN.

31 25 00 – EROSION & SEDIMENTATION CONTROLS

1. WORK SHALL CONSIST OF INSTALLATION OF TEMPORARY AND PERMANENT PRACTICES FOR SEDIMENTATION CONTROL, EROSION CONTROL, SLOPE PROTECTION, AND REMOVAL OF PRACTICES UPON FINAL SITE STABILIZATION.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. INSTALLATION AND MAINTENANCE OF PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WQMR TECHNICAL STANDARD, OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE.
4. ALL PRACTICES SHALL BE INSTALLED PRIOR TO COMMENCING ANY LAND DISTURBING CONSTRUCTION RELATED ACTIVITY. EARTHWORK ASSOCIATED WITH INSTALLATION OF PRACTICES MAY OCCUR CONCURRENTLY.
5. ALL PRACTICES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH PERMIT REQUIREMENTS.
6. ALL PRACTICES SHALL BE ROUTINELY INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. THE CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND CONDUCT REPAIRS AS NEEDED.
7. ALL DISTURBED AREAS SHALL DRAIN TO A CONTROL PRACTICE AT ALL TIMES DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED, DEPENDING UPON HOW THE CONTRACTOR GRADES THE SITE. IT MAY BE NECESSARY TO INSTALL ADDITIONAL CONTROL PRACTICES IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT SITE. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL CONTROL PRACTICES NECESSARY TO PREVENT EROSION AND SEDIMENTATION.
8. ALL DISTURBED GROUND LEFT INACTIVE FOR 7 DAYS SHALL BE STABILIZED WITH A TEMPORARY SEED MIXTURE AND MULCH. THE TEMPORARY SEED MIXTURE SHALL BE IN ACCORDANCE WITH SECTION 630 OF WISDOT STANDARD SPECIFICATIONS. SEED SHALL BE USED FOR TEMPORARY SEED AFTER SEPTEMBER.
9. DISTURBED AREAS THAT CAN NOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM).
10. ALL ACTIVITIES ON THE PROJECT SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME.
11. DUST GENERATED BY CONSTRUCTION RELATED ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING, OR OTHER APPROPRIATE MEASURES.
12. THE CONTRACTOR SHALL MAINTAIN SAFE OPERATING CONDITIONS BY HAVING APPROPRIATE PUMPS AND FILTER BAGS ONSITE. WATER FROM CONSTRUCTION DETERIORING SHALL BE TREATED PRIOR TO DISCHARGE FROM THE PROJECT SITE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT SITE AND PUBLIC ROADS DURING CONSTRUCTION. PUBLIC ROADS SHALL BE KEPT FREE OF SEDIMENT TRACKED FROM AREAS UNDER CONSTRUCTION BY DAILY SWEEPING OR OTHER APPROPRIATE MEASURES.
14. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
15. ALL SEEDING AREAS SHALL BE RESEED AS NECESSARY. RESEEDING SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN TO MAINTAIN A DENSE PERENNIAL VEGETATIVE COVER.

DIVISION 32 – EXTERIOR IMPROVEMENTS

32 12 00 – ASPHALT PAVING

1. WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF HOT-MIX ASPHALT, PAVEMENT MARKING, SIGNAGE, AND CLEANUP.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.
4. ASPHALTIC MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 455 OF WISDOT STANDARD SPECIFICATIONS.
5. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 460 OF WISDOT STANDARD SPECIFICATIONS.
6. DO NOT CONDUCT ASPHALT PAVING IF ANY OF THE FOLLOWING CONDITIONS EXIST: CRUSHED STONE BASE IS WET OR EXCESSIVELY DAMP; TEMPERATURE IS BELOW 50 DEGREES FAHRENHEIT AT TIME OF BINDER COURSE INSTALLATION; TEMPERATURE HAS BEEN BELOW 35 DEGREES FAHRENHEIT WITHIN 12 HOURS PRIOR TO TACK COAT APPLICATION; TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AT TIME OF SURFACE COURSE INSTALLATION. COMPACT ASPHALT IN ACCORDANCE WITH SECTION 450 OF WISDOT STANDARD SPECIFICATIONS. COMPACT ASPHALT TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/4-INCH FOR BINDER COURSE, AND WITHIN PLUS 1/4-INCH FOR SURFACE COURSE (NO MINUS).
8. APPLY TACK COAT BETWEEN ASPHALT COURSES AT A MINIMUM RATE OF 0.25 GAL/SY.
9. NO TRAFFIC SHALL BE ALLOWED ON ASPHALT AFTER FINAL ROLLING UNTIL IT HAS COOLED AND HARDENED.
10. FINAL ASPHALT SURFACE SHALL BE WITHIN A 1 1/8-INCH TOLERANCE AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED LONGITUDINALLY OR TRANSVERSELY. REMOVE AND REPLACE ALL RAISED AND DEPRESSED AREAS EXCEEDING TOLERANCE.
11. SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS AT ADA PARKING STALLS AND ADJACENT UNLOADING AREAS IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
12. A SLOPE NO GREATER THAN 3% ALONG THE LENGTH OF THE ACCESSIBLE ROUTE IS REQUIRED. A SLOPE NO GREATER THAN 2% ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

32 13 00 – CONCRETE PAVING

1. WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF CONCRETE, AND CLEANUP.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.
4. CONCRETE SHALL BE GRADE A AIR-ENTRAINED IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
5. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS.
6. WATER SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C94 / C94M.
7. AIR-ENTRAINING SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C660.
8. LIQUID CURING COMPOUND SHALL BE IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS AND AASHTO M 148.
9. CURBING SHALL BE IN ACCORDANCE WITH SECTION 601 OF WISDOT STANDARD SPECIFICATIONS.
10. SIDEWALKS AND PATIOS SHALL BE IN ACCORDANCE WITH SECTION 601 OF WISDOT STANDARD SPECIFICATIONS.
11. CONCRETE FORMS SHALL REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE INSTALLATION AND SHALL BE CLEANED AFTER EACH USE. CONCRETE FORMS SHALL BE COATED WITH RELEASE AGENT TO ALLOW SEPARATION WITHOUT DAMAGE TO CONCRETE.
12. CONSTRUCTION AND CONNECTION JOINTS SHALL BE IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS. JOINT PATTERN SHALL FOLLOW ARCHITECTURAL PLANS IF AVAILABLE.
13. ISOLATION JOINTS SHALL CONSIST OF PREFORMED JOINT FILLER STRIPS ABUTTING CURBING, INLETS, CATCH BASINS, MANHOLES, STRUCTURES, AND OTHER FIXED OBJECTS.

DIVISION 32 – EXTERIOR IMPROVEMENTS

14. EDGES OF CONCRETE PAVEMENT, CURBING, SIDEWALK, PATIOS, AND JOINTS SHALL BE TOOLED IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING AFTER APPLYING SURFACE FINISHES AND ELIMINATE TOOL MARKS ON SURFACES.
15. FINISH, CURE, AND PROTECT CURBING IN ACCORDANCE WITH SECTION 601 OF WISDOT STANDARD SPECIFICATIONS.
16. FINISH (LIGHT BROOM), CURE, AND PROTECT SIDEWALK AND PATIOS IN ACCORDANCE WITH SECTION 602 OF WISDOT STANDARD SPECIFICATIONS.
17. FINISH (ARTIFICIAL TURF DRAG), CURE, AND PROTECT VEHICULAR PAVEMENT AND PADS IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS.
18. MAINTAIN CONCRETE FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PRIOR TO SUBSTANTIAL COMPLETION INSPECTION.
19. MAXIMUM DIFFERENCE BETWEEN CONCRETE SIDEWALKS AND ADJACENT PAVEMENT SURFACES SHALL NOT EXCEED 1/4-INCH VERTICAL.
20. A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS AT ADA PARKING STALLS AND ADJACENT UNLOADING AREAS IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
21. A SLOPE NO GREATER THAN 3% ALONG THE LENGTH OF THE ACCESSIBLE ROUTE IS REQUIRED. A SLOPE NO GREATER THAN 2% ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
22. ALL HANDICAP ACCESSIBLE DOORWAYS REQUIRE AN EXTERIOR LANDING THAT IS A MINIMUM OF 5 FEET BY 5 FEET WITH A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
23. REMOVE AND REPLACE CONCRETE THAT IS BROKEN, DAMAGED, DEFECTIVE, OR DOES NOT COMPLY WITH THE REQUIREMENTS LISTED ABOVE.

32 17 00 – PAVEMENT MARKING & SIGNAGE

1. WORK SHALL CONSIST OF INSTALLATION OF PARKING LOT STRIPING, DIRECTION ARROWS, HANDICAP ACCESSIBLE SYMBOLS, AND SITE SIGNAGE.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. PAVEMENT MARKING PAINT SHALL BE IN ACCORDANCE WITH SECTION 646 OF WISDOT STANDARD SPECIFICATIONS AND WISDOT APPROVED PRODUCTS LIST. COLOR SHALL BE WHITE UNLESS NOTED OTHERWISE ON THIS PLAN. MARKINGS SEPARATING OPPOSING TRAFFIC SHALL BE YELLOW.
4. ALL PARKING LOT STRIPING SHALL BE 4-INCH WIDTH UNLESS NOTED OTHERWISE ON THIS PLAN.
5. PREPARE WORK AREA DURING INSTALLATION AND UNTIL PAVEMENT MARKING PAINT IS DRIED. PROTECT ADJACENT AREAS FROM RECEIVING PAINT.
6. APPLY PAINT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS TO PRODUCE MARKINGS AS INDICATED WITH UNIFORM, STRAIGHT EDGES. TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS.
7. APPLY PAINT TO CLEAN AND DRY SURFACE. FREE FROM FROST TO ENSURE PROPER BONDING.
8. NOTIFY OWNER OF ANY UNSOUND CONDITIONS PRIOR TO COMMENCING WORK. APPLYING PAVEMENT MARKING PAINT CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.

32 32 00 – RETAINING WALLS

1. WORK SHALL CONSIST OF FURNISHING DETAILED DESIGN, MATERIALS, LABOR, EQUIPMENT, SUPERVISION, AND DIRECTION TO CONSTRUCT RETAINING WALL SYSTEMS IN REASONABLY CLOSE CONFORMITY TO THE LINES, GRADES, AND DIMENSIONS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL SHOW THE GENERAL LOCATION AND MATERIAL REFERENCE ONLY.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. THE CONTRACTOR SHALL PROVIDE ALL CALCULATIONS AND DRAWINGS, PREPARED AND SEALED BY A PROFESSIONAL ENGINEER EXPERIENCED WITH RETAINING WALL DESIGN AND LICENSED IN THE STATE IN WHICH THE RETAINING WALLS ARE TO BE CONSTRUCTED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL SURROUNDING STRUCTURES AND UTILITIES ARE PROTECTED FROM THE EFFECTS OF EXCAVATION AND PROVIDING ANY NECESSARY EXCAVATION SUPPORT. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT CONSTRUCTION ADJACENT TO THE RETAINING WALLS DOES NOT DISTURB OR PLACE TEMPORARY LOADS ON THE RETAINING WALLS THAT EXCEED DESIGN LOADS.

DIVISION 33 – UTILITIES

33 10 00 – WATER DISTRIBUTION

1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE WATER DISTRIBUTION SYSTEM AND ALL APPURTENANCES.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. ALL PUBLIC WATER DISTRIBUTION WORK SHALL BE IN ACCORDANCE WITH SSSWCW AND MUNICIPALITY DEVELOPMENT STANDARDS.
4. ALL PRIVATE WATER DISTRIBUTION WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND MUNICIPALITY DEVELOPMENT STANDARDS.
5. POLYVINYL CHLORIDE (PVC) PIPE SHALL BE SDR 18, CLASS 150 CONFORMING TO AWWA C900 WITH INTEGRAL ELASTOMERIC BELL AND SPOUT JOINTS IN ACCORDANCE WITH SECTION 8.2.0.0 OF SSSWCW.
6. DUCTILE IRON PIPE SHALL BE SDR 18, CLASS 150 CONFORMING TO AWWA C151 WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTION 8.1.8.0 OF SSSWCW.
7. POLYETHYLENE TUBING SHALL BE SDR 9 IN ACCORDANCE WITH SECTION 8.2.4.0 OF SSSWCW AND CONFORM TO AWWA C901.
8. COPPER TUBING SHALL BE TYPE "K" IN ACCORDANCE WITH SECTION 8.2.4.0 OF SSSWCW AND CONFORM TO ASTM B88.
9. BALL VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.3.0.0 OF SSSWCW AND CONFORM TO AWWA C800 AND ASTM B662.
10. ALL VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.2.7.0 OF SSSWCW AND CONFORM TO AWWA C500.
11. BUTTERFLY VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.2.8.0 OF SSSWCW AND CONFORM TO AWWA C504.
12. VALVE BOXES SHALL BE IN ACCORDANCE WITH SECTION 8.2.9.0 OF SSSWCW AND CONFORM TO ASTM A48. VALVE BOXES SHALL BE SIZE DD, SCREW TYPE, 3 PIECE ASSEMBLY, WITH COVERS MARKED "WATER". ALL VALVE BOXES SHALL BE SET TO PROPOSED GRADE.
13. HYDRANTS SHALL BE IN ACCORDANCE WITH SECTION 8.2.6.0 OF SSSWCW AND CONFORM TO AWWA C502. PUMPER NOZZLE SHALL BE PERPENDICULAR TO AND ORIENTED TOWARDS THE PAVEMENT. HYDRANTS SHALL BE ATTACHED BY MEANS OF A 1 1/2" DIA. 10' LONG HYDRANT.
14. FITTINGS SHALL BE CLASS 150 IN ACCORDANCE WITH SECTION 8.2.2.0 OF SSSWCW, CONFORMING TO AWWA C110, AND PROVIDED WITH MECHANICAL JOINTS.
15. MECHANICAL JOINTS SHALL BE MADE WITH "COR TEN" NUTS AND BOLTS, OR CORROSION-RESISTANT EQUIVALENTS CONFORMING TO AWWA C111.
16. POLYETHYLENE WRAP SHALL BE IN ACCORDANCE WITH SECTION 8.2.1.0 OF SSSWCW AND PROVIDED FOR ALL METAL PIPES AND FITTINGS.
17. TURST RESTRAINT SHALL BE IN ACCORDANCE WITH SECTION 4.3.1.3 OF SSSWCW AND PROVIDED FOR ALL BENDS, CAPS, PLUGS, AND TEES.
18. TRENCH SECTION SHALL BE IN ACCORDANCE WITH FILE NO. 36 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE 36 INCHES.
19. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.4.3.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.
20. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.4 OF SSSWCW. AREA OF PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.5 OF SSSWCW BENEATH GREENSPACE AREAS, UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
21. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
22. TRACER WIRE SHALL BE BLUE AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC SANITARY SEWER PIPE, PRIVATE SANITARY INTERCEPTOR PIPE, AND BUILDING SANITARY SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 300 FEET.
23. PROPOSED WATER SERVICES SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL.
24. THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF BENDS REQUIRED TO COMPLETE CONSTRUCTION, WHICH SHALL BE INCIDENTAL AND INCLUDED IN THE COST OF WORK.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESSURE TESTING AND SAFE WATER SAMPLING. HYDROSTATIC TESTING SHALL BE IN ACCORDANCE WITH SECTION 4.1.5.0 OF SSSWCW. DISINFECTION SHALL BE IN ACCORDANCE WITH SECTION 4.1.6.0 OF SSSWCW AND CONFORM TO AWWA C651. WATER MAINS SHALL BE FLUSHED AND TESTED IN THE PRESENCE OF THE WATER UTILITY OPERATOR.

33 30 00 – SANITARY SEWERAGE

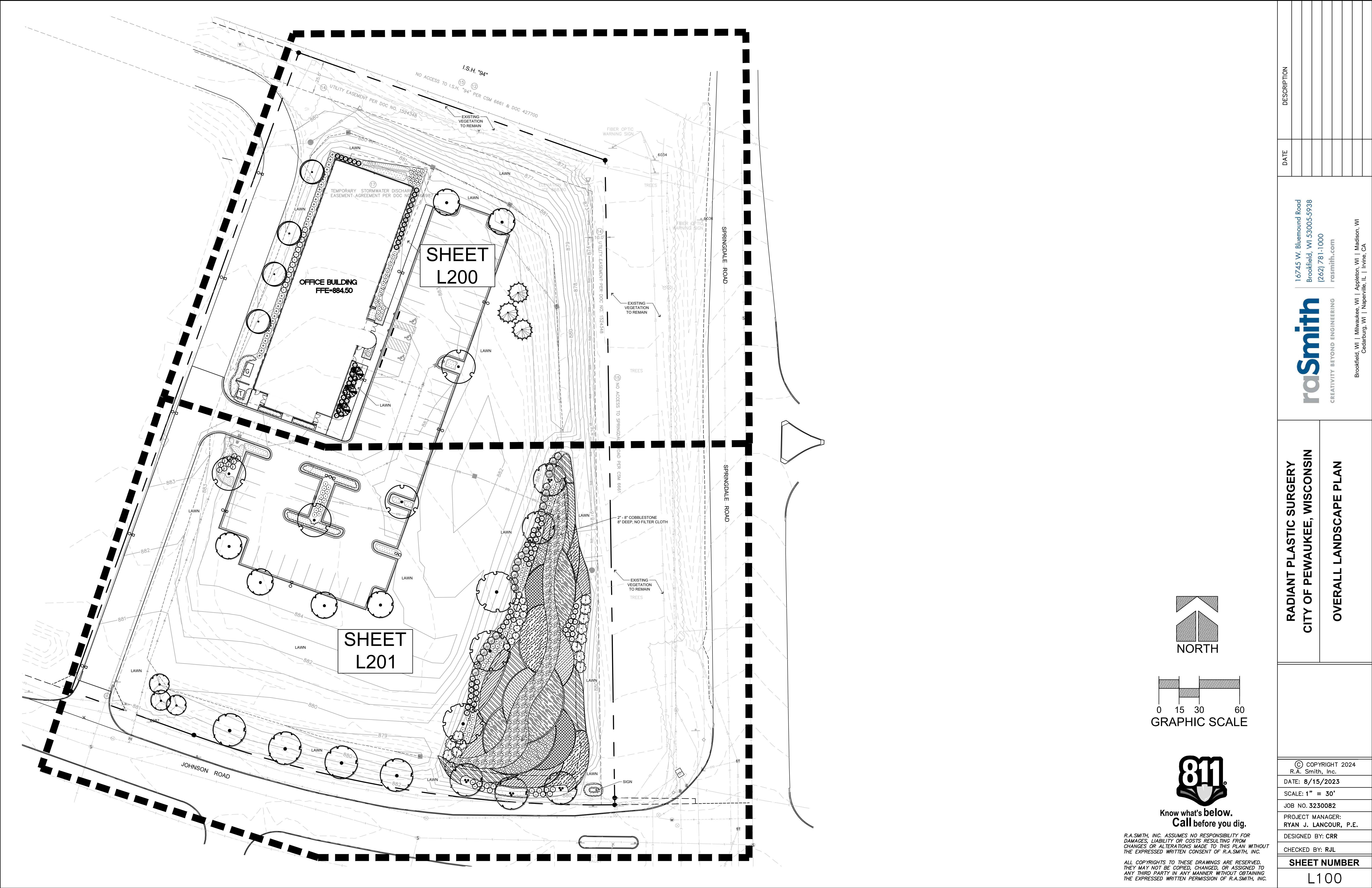
1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE SANITARY SEWERAGE SYSTEM AND ALL APPURTENANCES.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. ALL PUBLIC SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH SSSWCW AND MUNICIPALITY DEVELOPMENT STANDARDS.
4. ALL PRIVATE SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND MUNICIPALITY DEVELOPMENT STANDARDS.
5. POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS SHALL BE SDR 35 CONFORMING TO ASTM D3034 FOR DEPTHS LESS THAN 18 FEET, AND SHALL BE SDR 18 CONFORMING TO AWWA C900 FOR DEPTHS GREATER THAN 18 FEET, BOTH WITH PUSH-ON RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTIONS 8.1.8.0 AND 8.4.1.4 OF SSSWCW.
6. MANHOLES SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 8.3.6.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
7. TRENCH SECTION SHALL BE CLASS B IN ACCORDANCE WITH SECTION 3.2.6 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.
8. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.4.3.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.
9. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.4 OF SSSWCW. AREA OF PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.5 OF SSSWCW BENEATH GREENSPACE AREAS, UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
10. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
11. ALL CONNECTIONS TO EXISTING SANITARY SEWER PIPES AND STRUCTURES SHALL BE CORED CONNECTIONS, UNLESS NOTED OTHERWISE.
12. CLEANOUTS AND RISER EXTENSIONS SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.35 FROM SEWER PIPES TO GROUND SURFACE. LIGHT DUTY LOADING CLASSIFICATION SHALL BE USED IN UNPAVED AREAS. MEDIUM DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED FOOT TRAFFIC AREAS. HEAVY DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED VEHICULAR TRAFFIC AREAS. FRAMES AND COVERS SHALL BE SET FLUSH WITH SURFACE.
13. TRACER WIRE SHALL BE GREEN AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC SANITARY SEWER PIPE, PRIVATE SANITARY INTERCEPTOR PIPE, AND BUILDING SANITARY SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 300 FEET.

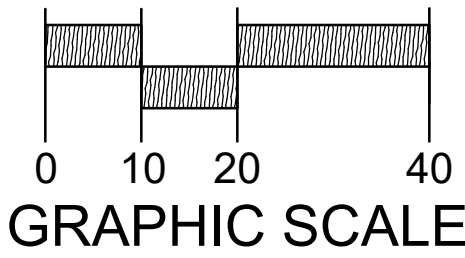
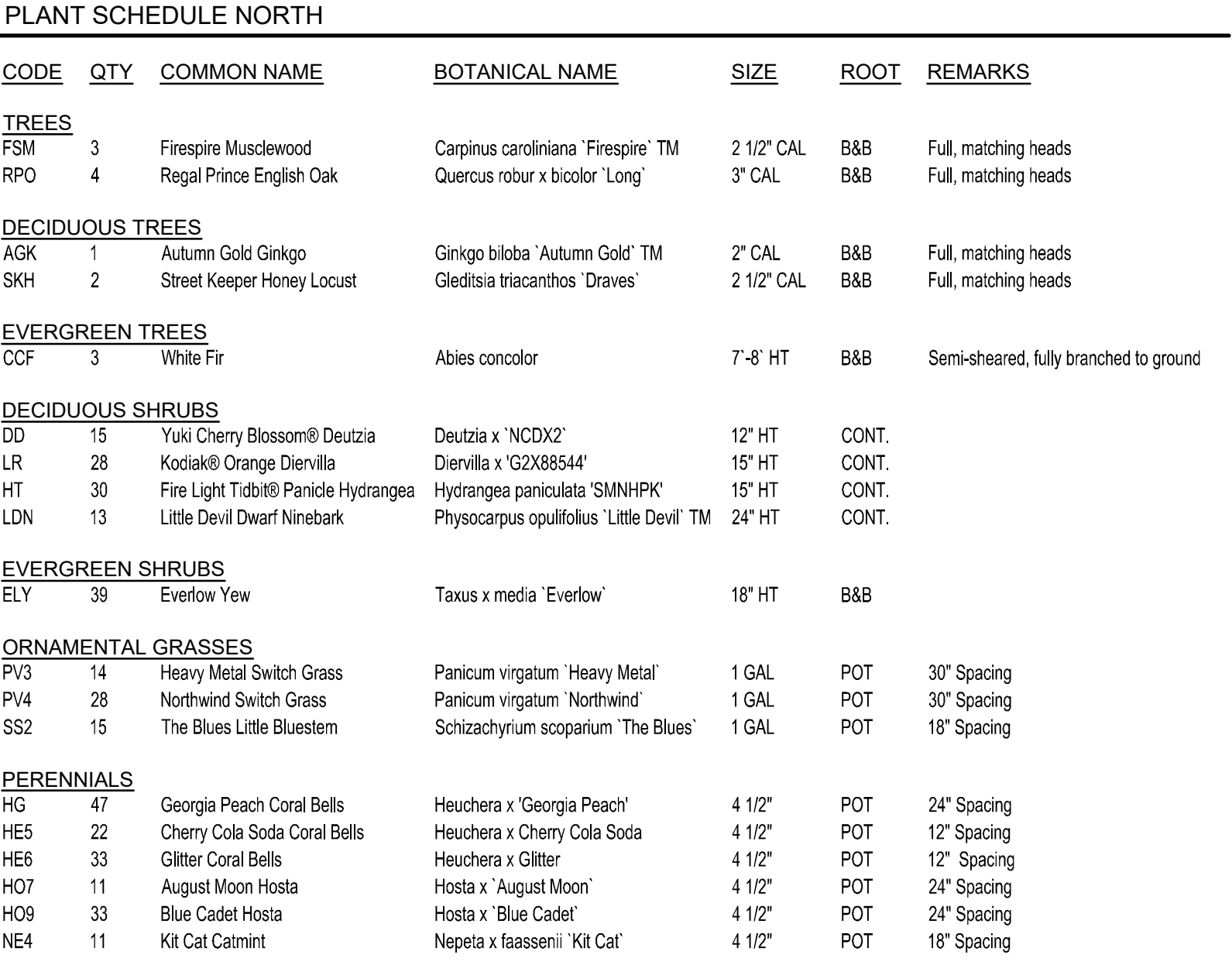
DIVISION 33 – UTILITIES

13. TRACER WIRE SHALL BE GREEN AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC SANITARY SEWER PIPE, PRIVATE SANITARY INTERCEPTOR PIPE, AND BUILDING SANITARY SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 300 FEET.
14. PROPOSED SANITARY SERVICES SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL.
15. THE CONTRACTOR SHALL ADJUST ALL MANHOLE RIMS TO FINISHED SURFACE UPON COMPLETION OF PAVING OPERATIONS.
16. AFTER INSTALLATION OF SANITARY SEWERAGE SYSTEM, CLEAN ALL DEBRIS FROM SYSTEM AND INSPECT FOR DAMAGE. CONDUCT TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SSSWCW. REPAIR ANY DAMAGE AND REPLACE ANY PIPE NOT PASSING TESTING.

33 40 00 – STORMWATER DRAINAGE

1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE STORMWATER DRAINAGE SYSTEM AND ALL APPURTENANCES.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. ALL PUBLIC STORMWATER DRAINAGE WORK SHALL BE IN ACCORDANCE WITH SSSWCW AND MUNICIPALITY DEVELOPMENT STANDARDS.
4. ALL PRIVATE STORMWATER DRAINAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND MUNICIPALITY DEVELOPMENT STANDARDS.
5. REINFORCED CONCRETE PIPE (RCP) AND END SECTIONS SHALL BE IN ACCORDANCE WITH SECTION 8.6.0 OF SSSWCW AND CONFORM TO ASTM C76 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM C443. UNLESS NOTED OTHERWISE, 12-INCH DIAMETER PIPE SHALL BE CLASS V, 15-INCH DIAMETER PIPE SHALL BE CLASS IV, AND 18-INCH DIAMETER PIPE SHALL BE CLASS III.
6. CORRUGATED METAL PIPE (CMP) AND END SECTIONS SHALL BE 16 GAUGE CONFORMING TO ASTM A760.
7. HIGH-DENSITY POLYETHYLENE (HDPE) PIPE AND FITTINGS SHALL BE ADS N12 AS APPROVED BY THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCTS REGISTER.
8. POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS SHALL BE SDR 35 CONFORMING TO ASTM D3034 WITH PUSH-ON RUBBER GASKETED JOINTS CONFORMING TO ASTM D3212.
9. MANHOLES SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 8.3.9.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
10. CATCH BASINS SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 3.6.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
11. INLETS SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 3.6.0 OF SSSWCW AND CONFORM TO ASTM C913. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
12. AREA DRAINS SHALL BE ADS NYLOPLAST AS APPROVED BY THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCTS REGISTER.
13. FRAMES AND GRATES SHALL BE AS INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FRAMES AND GRATES ARE CORRECTLY INSTALLED WITH PRECAST STRIPS PRIOR TO ORDERING.
14. TRENCH SECTION SHALL BE CLASS B IN ACCORDANCE WITH SECTION 3.2.6 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.
15. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.4.3.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.
16. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.4 OF SSSWCW BENEATH GREENSPACE AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.5 OF SSSWCW BENEATH GREENSPACE AREAS, UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
17. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
18. ALL CONNECTIONS TO EXISTING STORM SEWER PIPES AND STRUCTURES SHALL BE CORED CONNECTIONS, UNLESS NOTED OTHERWISE.
19. FLEXIBLE COMPRESSION



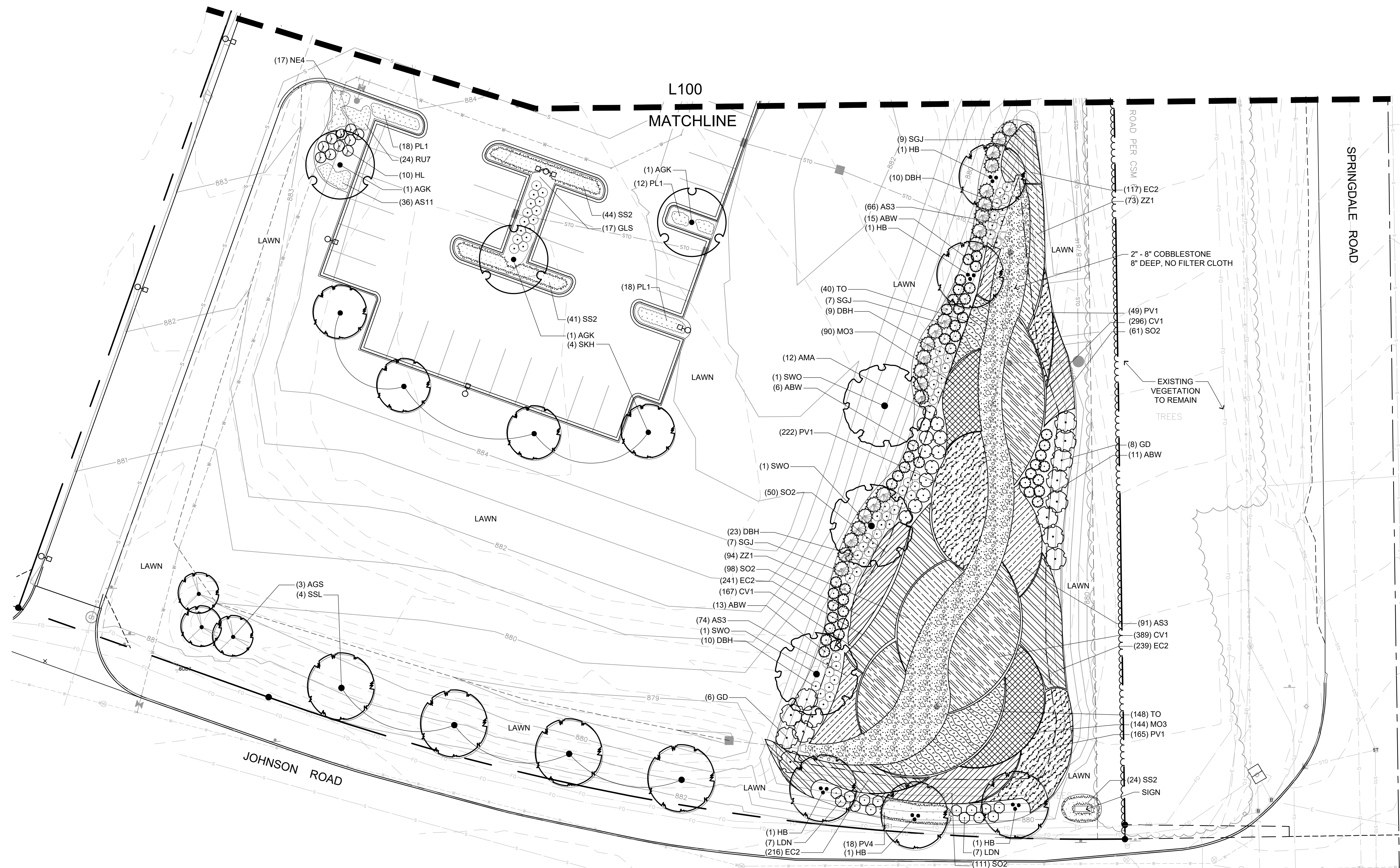


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- ALL DETAILS AND SPECIFICATIONS TO BE DETERMINED ON FINAL LANDSCAPE PLANS.
- ALL PLANTINGS SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - ANSI Z60.1 (LATEST VERSION)
- MULCH: ALL PLANTING BEDS TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH.
- TURF SEED: DURABLE, PREMIUM COMMERCIAL BLEND.

[illegible]



PLANT SCHEDULE SOUTH

CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
DECIDUOUS TREES						
AGS	3	Allegheny Serviceberry	Amelanchier laevis	2" CAL	B&B	Full, matching heads
HB	5	Heritage River Birch	Betula nigra 'Heritage'	8'-10' HT	B&B	Clump, min. 3 stems
AGK	3	Autumn Gold Ginkgo	Ginkgo biloba 'Autumn Gold' TM	2" CAL	B&B	Full, matching heads
SKH	4	Street Keeper Honey Locust	Gleditsia triacanthos 'Draves'	2 1/2" CAL	B&B	Full, matching heads
SWO	3	Swamp White Oak	Quercus bicolor	2 1/2" CAL	B&B	Full, matching heads
SSL	4	Sweet Street Linden	Tilia americana 'Kromm'	3" CAL	B&B	Full, matching heads
DECIDUOUS SHRUBS						
AMA	12	Autumn Magic Black Chokeberry	Aronia melanocarpa 'Autumn Magic'	24" HT	CONT.	
GD	14	Gray Dogwood	Cornus racemosa	3" HT	CONT.	
DBH	52	Dwarf Bush Honeysuckle	Dienella ionocera	15" HT	CONT.	
HL	10	Little Quick Fire Hydrangea	Hydrangea paniculata 'Little Quick Fire'	18" HT	CONT.	
LDN	14	Little Devil Dwarf Ninebark	Physocarpus opulifolius 'Little Devil' TM	24" HT	CONT.	
GLS	15	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	15" HT	CONT.	
ABW	45	Dwarf Blue Arctic Willow	Salix purpurea 'Nana'	24" HT	CONT.	
EVERGREEN SHRUBS						
SGJ	23	Sea Green Juniper	Juniperus chinensis 'Sea Green'	18"SPD	CONT.	
ORNAMENTAL GRASSES						
PV4	18	Northwind Switch Grass	Panicum virgatum 'Northwind'	1 GAL	POT	30" Spacing
SS2	109	The Blues Little Bluestem	Schizachyrium scoparium 'The Blues'	1 GAL	POT	18" Spacing

PERENNIALS

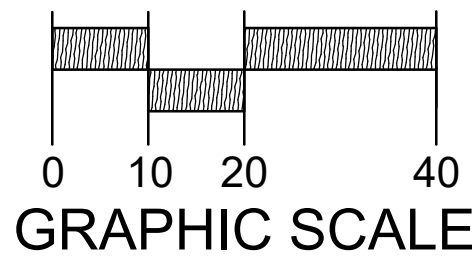
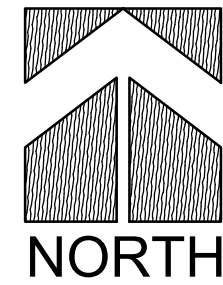
AS11	36	Summer Beauty Ornamental Onion	Allium x 'Summer Beauty'	4 1/2"	POT	15" Spacing
NE4	17	Kit Cat Catmint	Nepeta x faassenii 'Kit Cat'	4 1/2"	POT	18" Spacing
PL1	48	Little Spire Russian Sage	Perovskia x 'Little Spire'	4 1/2"	POT	18" Spacing
RU7	24	Little Goldstar Black-eyed Susan	Rutbeckia fulgida var. sullivantii 'Little Goldstar'	4 1/2"	POT	18" Spacing

SYMBOL

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	SPACING	SPACING
INFILTRATION BASIN								
	AS3	190	Swamp Milkweed	Asclepias incarnata	4 1/2"	POT	24" Spacing	24" o.c.
	CV1	852	Brown Fox Sedge	Carex vulpinoidea	4 1/2"	POT	18" Spacing	18" o.c.
	EC2	803	Pale Purple Coneflower	Echinacea pallida	4 1/2"	POT	18" Spacing	18" o.c.
	MO3	234	Wild Bergamot	Monarda fistulosa	4 1/2"	POT	24" Spacing	24" o.c.
	PV1	415	Switch Grass	Panicum virgatum	4 1/2"	POT	24" Spacing	24" o.c.
	SO2	270	Stiff Goldenrod	Solidago rigida	4 1/2"	POT	24" Spacing	24" o.c.
	TO	188	Ohio Spikenard	Tradescantia chiensis	4 1/2"	POT	24" Spacing	24" o.c.
	ZZ1	167	Golden Alexander	Zizia aurea	4 1/2"	POT	24" Spacing	24" o.c.

GENERAL LANDSCAPE NOTES

- ALL DETAILS AND SPECIFICATIONS TO BE DETERMINED ON FINAL LANDSCAPE PLANS.
- ALL PLANTINGS SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - ANSI Z60.1 (LATEST VERSION)
- MULCH: ALL PLANTING BEDS TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH.
- TURF SEED: DURABLE, PREMIUM COMMERCIAL BLEND.



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DESCRIPTION

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CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

RADIANT PLASTIC SURGERY
CITY OF PEWAUKEE, WISCONSIN

LANDSCAPE PLAN - SOUTH

© COPYRIGHT 2024
R.A. Smith, Inc.

DATE: 8/15/2023

SCALE: 1" = 20'

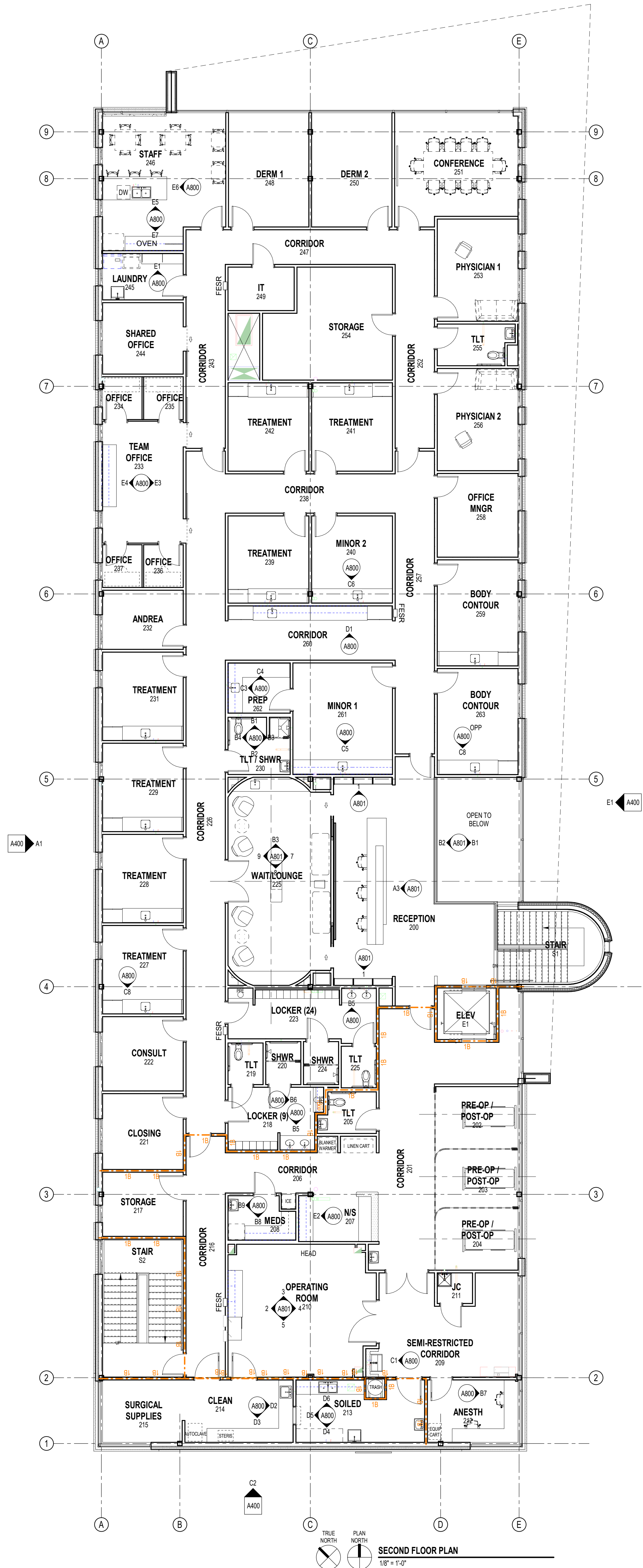
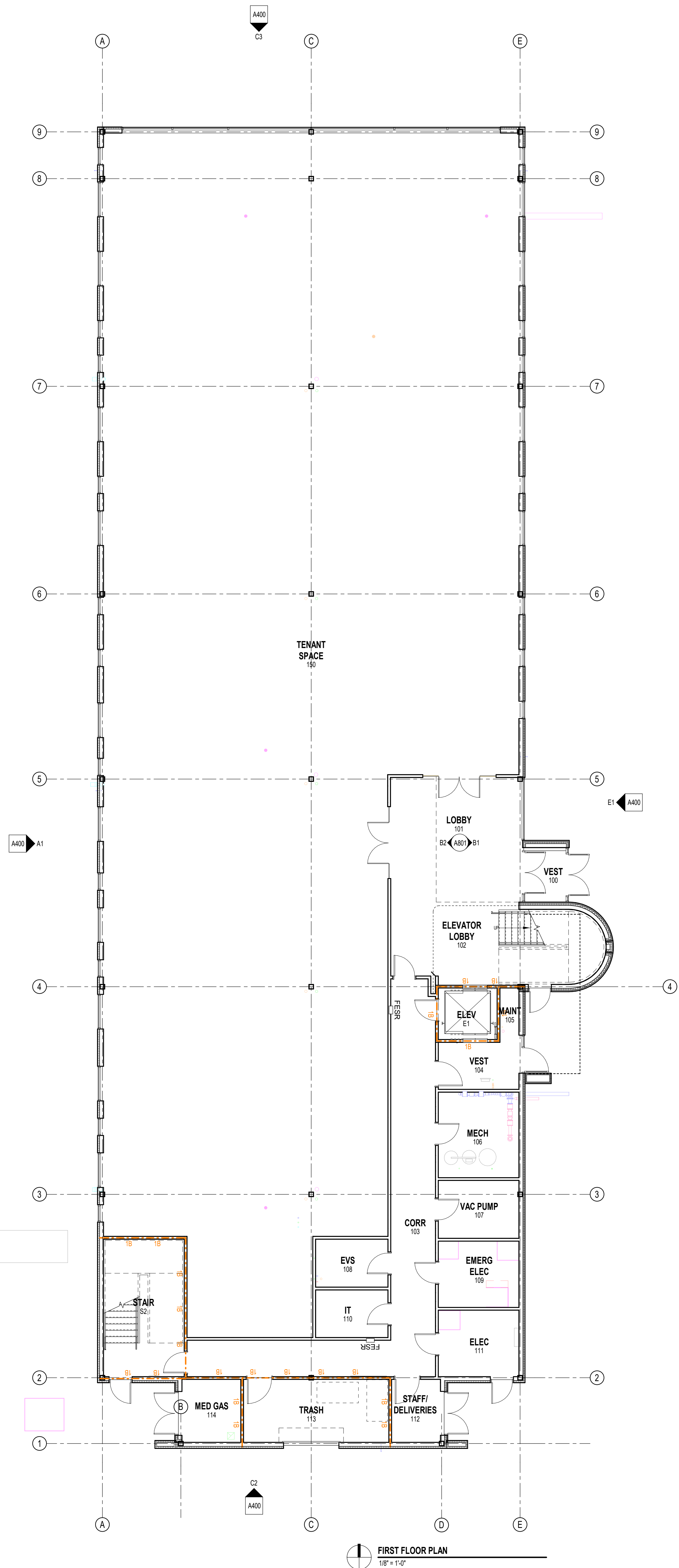
JOB NO. 3230082

PROJECT MANAGER:
RYAN J. LANCOUR, P.E.

DESIGNED BY: NJW/REW

CHECKED BY: REW

SHEET NUMBER
L201



FLOOR PLAN SYMBOLS LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING DOOR TO REMAIN
	SECTION REFERENCE
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	FLOOR PLAN NOTE
	CONSTRUCTION LIMITS
	ONE-HOUR RATED FIRE BARRIER
	NEW WALL/PARTITION
	NEW DOOR
	DETAIL REFERENCE
	EQUIPMENT
	WINDOW TYPE
	WALL/PARTITION TYPE
	FLOOR DRAIN - PITCH FLOOR TO DRAIN
	SEMI-RECESSED FIRE EXTINGUISHER

FLOOR PLAN GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

B. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. PORTIONS OF EXISTING CONSTRUCTION MAY HAVE BEEN REMOVED BY OWNER.

C. MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. COORDINATE WITH OWNER ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING PIPING, DUCTWORK OR ANY ASSOCIATED EQUIPMENT.

D. CONTRACTOR TO VERIFY FLOOR TO FLOOR HEIGHTS.

GYPSUM BOARD PARTITIONS GENERAL NOTES

A. ALL GYPSUM BOARD PARTITIONS SHALL BE (1/2") UNLESS OTHERWISE NOTED ON FLOOR PLAN.

B. GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

C. REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

D. PROVIDE FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

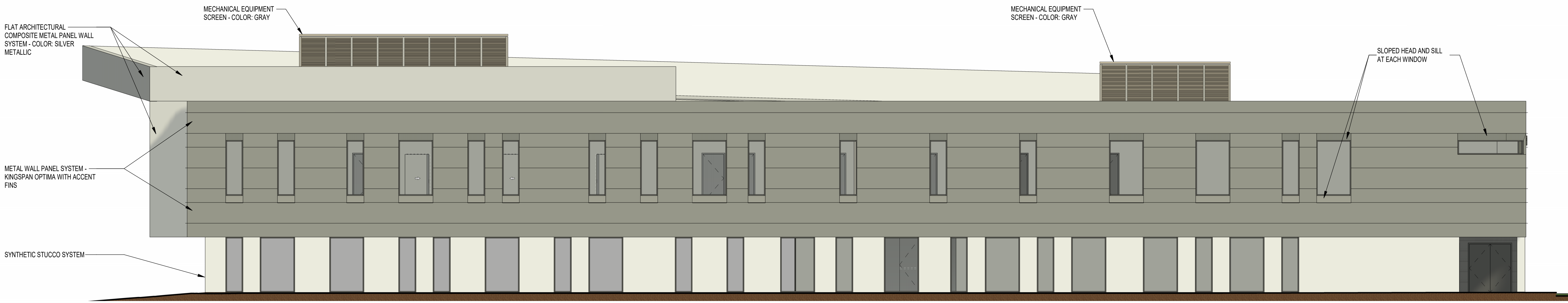
E. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

F. EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF STEEL DECK ABOVE. AT METAL DECK CONSTRUCTION ABOVE PROVIDE SLIP JOINT BETWEEN TOP OF PARTITION AND UNDERSIDE OF METAL DECK / STRUCTURAL STEEL MEMBER ABOVE. REFER TO DETAIL.

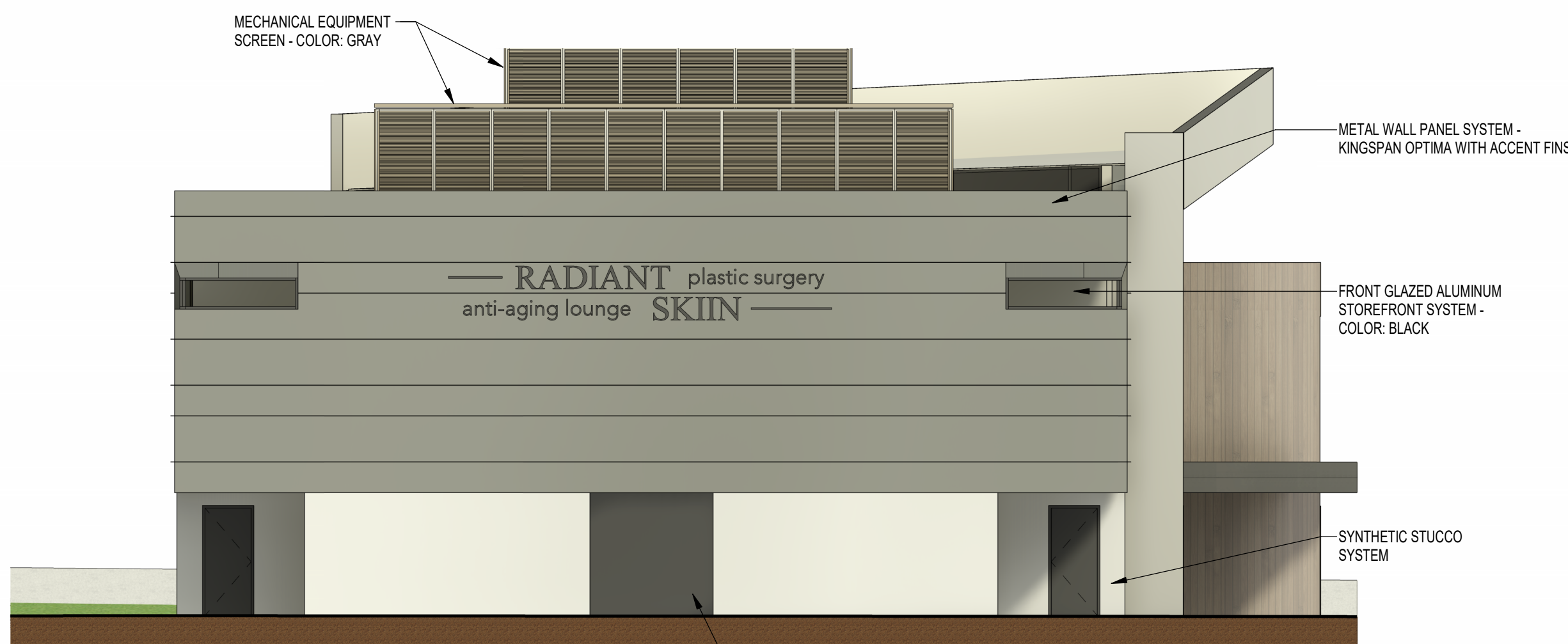
G. EXTEND GYPSUM BOARD PARTITIONS 1" ABOVE FINISH CEILING. REFER TO REFLECTED CEILING PLAN FOR PARTITIONS THAT EXTEND TO UNDERSIDE OF DECK ABOVE INDICATED WITH SHADED WALLS. AT METAL DECK CONSTRUCTION ABOVE PROVIDE SLIP JOINT BETWEEN TOP OF WALL AND UNDERSIDE OF METAL DECK / STRUCTURAL STEEL MEMBER ABOVE. REFER TO DETAIL.

EXTERIOR WALL TYPES	
MARK	ASSEMBLY DESCRIPTION
10.1	EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) STUD WALL CONSISTING OF XX" INSULATION, EIFS MANUFACTURER'S RECOMMENDED AIR/VAPOR BARRIER SYSTEM ON 5/8" EXTERIOR GYPSUM SHEATHING (EDIT FOR CONCRETE BOARD), 6" GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD @ INTERIOR FACE.
11.1	PANEL WALL SYSTEM CONSISTING OF XX" METAL PANEL, XX" HAT CHANNEL (EDIT FOR X" FIBERGLASS GRT), 3" RIGID INSULATION, SPRAY APPLIED AIR/VAPOR BARRIER SYSTEM ON 5/8" EXTERIOR GYPSUM SHEATHING, 6" GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD @ INTERIOR FACE.

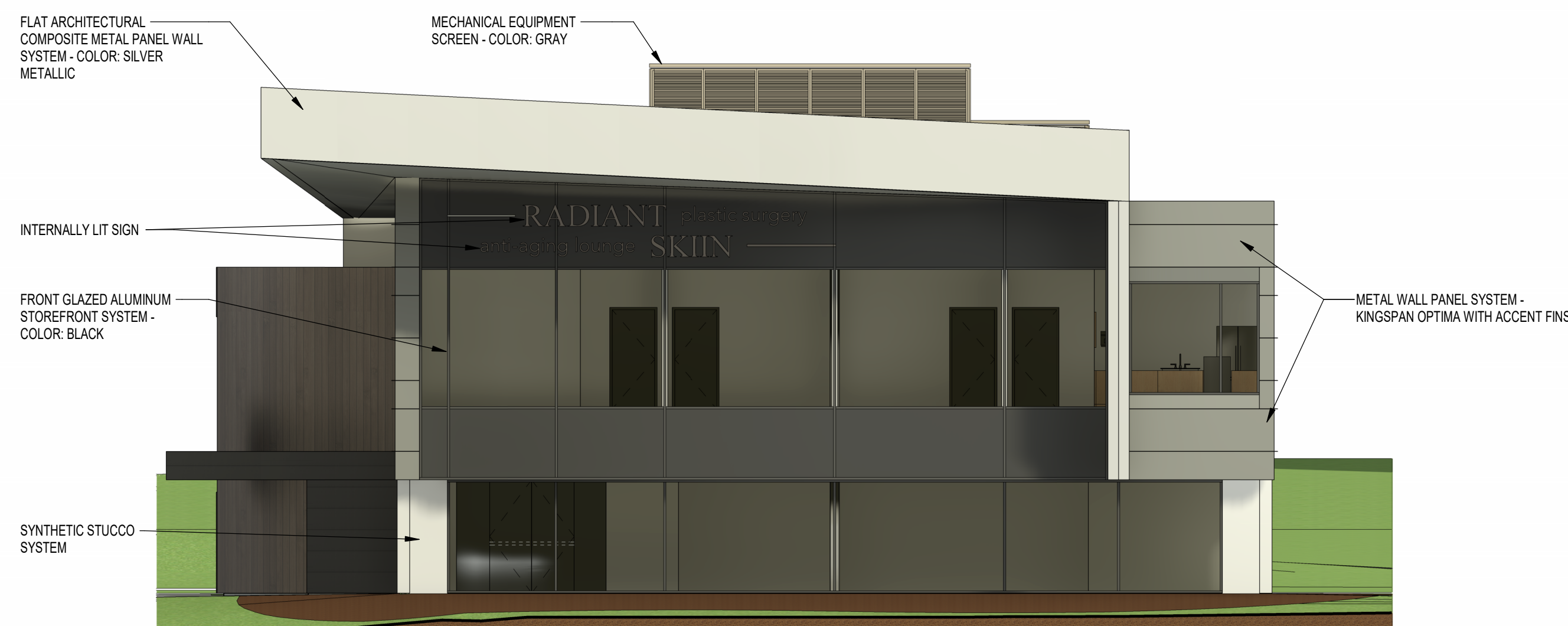
INTERIOR PARTITION TYPES				
MARK	ASSEMBLY DESCRIPTION	FIRE RATING	UL	INSULATION
B00	1-5/8" STEEL STUDS @ 16" OC 4 LAYERS 1/2" GYPSUM BOARD @ EACH FACE.	--	--	FULL WIDTH SOUND
B02	2-1/2" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	--	--	FULL WIDTH SOUND
B03	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	--	--	3-1/2" SOUND
B04	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	--	--	3-1/2" SOUND
B05	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	1 HR	U419	3" MINERAL WOOL BATT
B06	6" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	--	--	FULL WIDTH SOUND
B07	6" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	--	--	FULL WIDTH SOUND
B08	6" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	1 HR	--	FULL WIDTH SOUND
B09	2-1/2" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD.	--	--	--
B10	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD.	--	--	--
B11	1-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD.	--	--	FULL WIDTH SOUND
B12	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD.	--	--	3-1/2" THERMAL
B13	2-1/2" STEEL STUDS @ 24" OC 1-LAYER 1" GYPSUM BOARD, INNER PANEL @ INTERIOR FACE 1-LAYER 5/8" GYPSUM BOARD @ EXTERIOR FACE.	1 HR	U415(A)	--



A1 WEST ELEVATION
1/8" = 1'-0"



C2 SOUTH ELEVATION
1/8" = 1'-0"



C3 NORTH ELEVATION
1/8" = 1'-0"



E1 EAST ELEVATION
1/8" = 1'-0"



ORDINANCE 24-06

**TO AMEND THE ZONING MAP OF
THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN**

The Common Council of the City of Pewaukee, Waukesha County, Wisconsin do ordain that the Zoning Map of the City of Pewaukee, Wisconsin is hereby amended to change the zoning classification of the property described below as follows:

FROM: **M-1 General Wholesale Business**

TO: **B-4 Office**

SECTION 1 - DESCRIPTION**Common Description:**

LOT 7 BLK 1 CERT SURV 6661 VOL 55/255 3.743 AC PT NE1/4 SEC 25 T7N R19E DOC# 3464986

Tax Key Number: PWC 0961-996-006

Property Address: Vacant land on the northwest corner of Johnson Drive and Springdale Road

This Amendment to the Zoning Map (Change in zoning) is being proposed for the purpose of: Constructing a two-story office building with provisions for an additional office building in the future.

SECTION 2 –SEVERABILITY

The several sections of this Ordinance are declared to be severable. If any section shall be declared by a decision of a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other provisions of the Ordinance.

SECTION 3 – ACTION

This Ordinance shall take effect upon passage and posting.

Dated this 4th day of March, 2024

COMMON COUNCIL OF THE CITY OF PEWAUKEE

WAUKESHA COUNTY, WISCONSIN

Attest:

Steve Bierce, Mayor

Kelly Tarczewski, Clerk/Treasurer

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 7.**

DATE: March 4, 2024

DEPARTMENT: PW - Engineering

PROVIDED BY: Magdelene Wagner

SUBJECT:

Discussion and Possible Action Regarding an Easement Agreement for Cardinal Meadow Mailbox Location [Wagner].

BACKGROUND:

The Pewaukee Post Office is now requiring new developments to install a bank of mailboxes for all homes rather than individual mailboxes or clusters of individual mailboxes. The City became aware of this issue after the subdivisions have been platted and in review of the plat, there is not a location on private property that these mailboxes can be placed. Staff is objecting to locating these large bank of boxes just off the back of curb like a traditional mailbox for the following reasons:

1. This location is in direct conflict with plowing operations and if they are hit during these operations are expensive to repair, not readily available, and can damage our equipment.
2. Concerns with the number of cars stopping at this location to obtain their mail which creates an obstruction in the traffic flow. The City streets are not designed for parking so any parking on the street obstructs the lane of traffic.
3. Possible vision obstruction due to the size of the boxes.

Staff discussed these issues with the Developer and together we determined the best solution would be build a pad area for a pull off and move the box to near the property line in the right of way. The easement agreement outlines who is responsible for the maintenance of this pull off area located in the right of way.

Staff recommends approval of the easement agreement. City Attorney has reviewed and approved the agreement.

FINANCIAL IMPACT:

RECOMMENDED MOTION:

Council approve the easement agreement.

ATTACHMENTS:

Description

Easement Agreement

	REVOCABLE AGREEMENT AUTHORIZING OCCUPANCY OF RIGHT-OF-WAY	
--	---	--

THIS AGREEMENT is made as of the ____ day of _____, 2024 by and between BIELINSKI HOMES, INC. (“Owner”) and the City of Pewaukee (“City”).

WHEREAS, Owner holds title to a parcel of real estate located in the City of Pewaukee and described as that part of the Southwest One-quarter (1/4) and Southeast One-quarter (1/4) of the Southeast One-quarter (1/4) of Section Sixteen (16), Township Seven (7) North, Range Nineteen (19) East and designated as Tax Key PWC 0928980 (the “Property”); and

WHEREAS, there exists a right of way in favor of the City, known as Valleyview Circle; and

WHEREAS, it is the desire of the Owner to construct a cluster mailbox and concrete parking pad within the right of way as depicted on the attached Exhibit A, attached hereto and incorporated herein (“Mailbox Pad”);

NOW, THEREFORE, at the request of the Owner, and in consideration of City permitting the Mailbox Pad placed within the right of way to be constructed and maintained within the right of way, the parties agree:

- (1) Owner acknowledges that the existence of said Mailbox Pad placed within the right of way does not constitute a claim of adverse possession against the right of way of the City.
- (2) Owner acknowledges that City owns the subject right-of-way, reserves all rights under law related to the right-of-way, may, in its sole discretion, improve said right of way and in so doing, revoke Owner’s permissive use of the right-of-way at any time with at least ninety (90) days prior written notice.

Owner agrees that they will not be compensated for destruction or removal of Owner’s Mailbox Pad placed within the right of way due to a roadway extension nor object to a future extension of the roadway within the right of way at any time.

- (3) Owner agrees that in the event the City damages or destroys Owner’s Mailbox Pad placed within the right of way or any part thereof in connection with the construction, maintenance, or operation of public right of way or drainage located within the right of way, Owner agrees that the City will not be responsible for the cost of repairs to, maintenance of, or replacement of the Mailbox Pad or other features placed within the right of way area.
- (4) Owner agrees the location of the Mailbox Pad has been approved, in writing, by the City Engineer. Owner acknowledges that City plowing operations may occur along or

Name and Return Address
Antonopoulos Legal Group LLC Attn: Dino Antonopoulos 740 Pilgrim Parkway, Suite 206 Elm Grove, WI 53122
Parcel Identification Number (PIN)
PWC 0928980

CITY

_____, Mayor

Attest: _____
_____,

STATE OF WISCONSIN)
) ss.
COUNTY OF WAUKESHA)

Personally came before me this _____ day of _____, 2024, the above named
_____ known to be the persons who executed the foregoing instrument and
acknowledged the same.

NOTARY PUBLIC,
Waukesha County
State of Wisconsin
Commission expires _____

This instrument drafted by
Alexandra N. Don, Attorney at Antonopoulos Legal Group LLC

Please return document to: Antonopoulos Legal Group LLC
740 Pilgrim Parkway, Suite 206
Elm Grove, WI 53122

EXHIBIT A

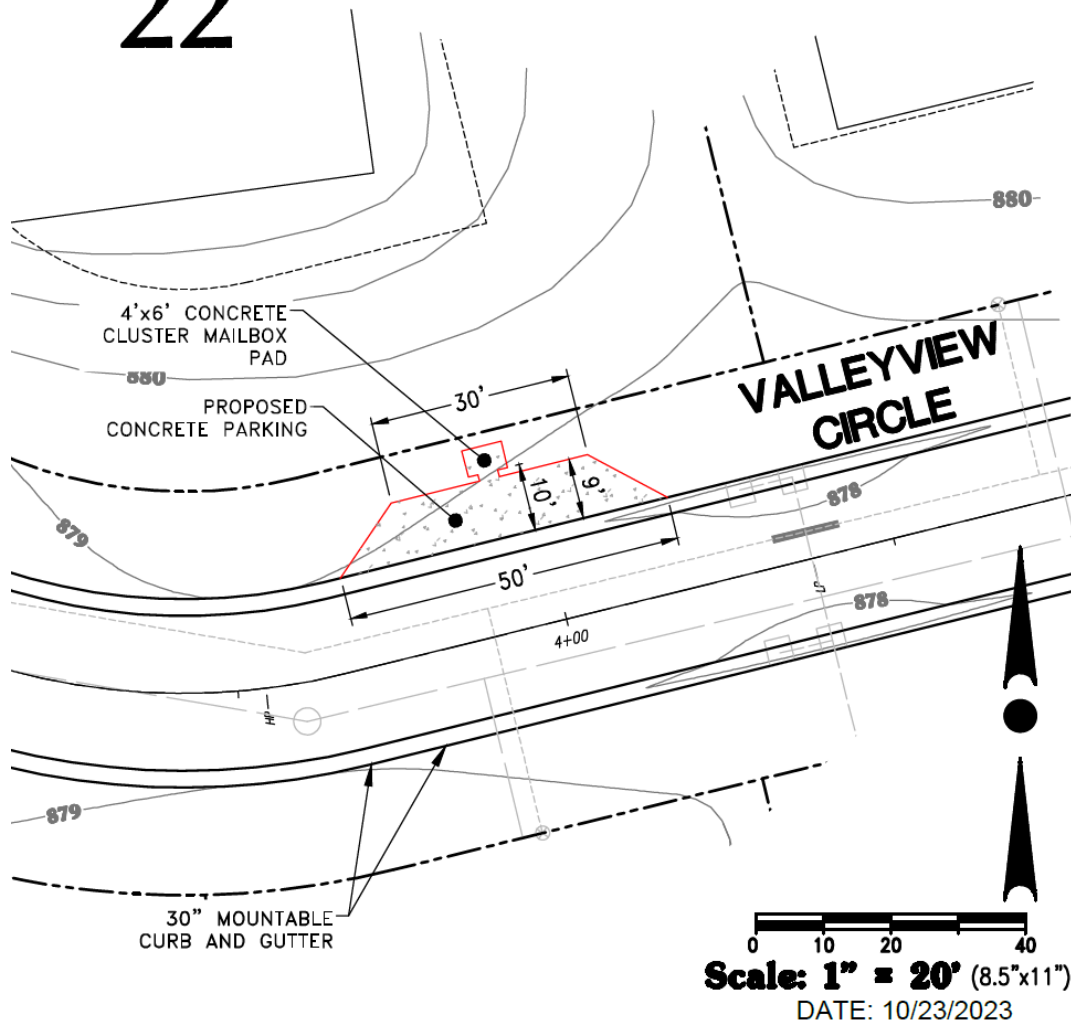
MAILBOX PAD

**CLUSTER MAILBOX PAD AND
PARKING EXHIBIT**

CARDINAL MEADOWS
City of Pewaukee, WI

23

22



**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 8.**

DATE: March 4, 2024

DEPARTMENT: PW - Engineering

PROVIDED BY: Magdelene Wagner

SUBJECT:

Discussion and Possible Action Regarding Swan View Farms [Wagner]

BACKGROUND:

Swan View Farms Phases 1 and 2 have completed all requirements within the Developer's Agreement and the 1 year warranty has expired. Per the agreement, the financial guarantee may be released.

FINANCIAL IMPACT:

RECOMMENDED MOTION:

Council approve the cash deposit release for Swan View Farms Phases 1 and 2.

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 9.**

DATE: March 4, 2024

DEPARTMENT: PW - Water/Sewer

PROVIDED BY: Magdelene Wagner

SUBJECT:

Discussion and Possible Action Regarding an Easement Agreement to Allow Landscaping within an Existing Sanitary Sewer Easement for W239 N1690 Busse Road (PWC 0954-998-002) [Wagner]

BACKGROUND:

The property at W239N1690 Busse RD is being re-developed as a dental office. As part of the plan commission and Council approval, they submitted a landscaping plan which includes a substantial amount of landscaping located within an existing utility easement for the City of Pewaukee sanitary sewer dedicated in CSM 3855. (This section of sewer was recently relined due to a large crack along the top of pipe found during our routine cleaning and televising). Staff objected to the landscaping within the easement due to concerns with the operation, maintenance, and future replacement of this sewer line. We also have concerns with heavy construction equipment over this fairly shallow sanitary sewer line.

The development is required to landscape around their building per Plan Commission and Council approval. Our easement is 35 feet wide into the property from the right of way line. Immediately at our easement line the pavement for the development begins so they are not able to shift the landscaping to be outside of the easement limits.

Staff's strong preference is to not allow any landscaping within the easement limits. We understand the Plan Commission requires landscaping for building development. To support this requirement, we discussed an easement agreement which outlines that the Utility/City will not be responsible for any maintenance of the landscaping and if we need to remove it for any reason, we will not be responsible for its replacement.

FINANCIAL IMPACT:

RECOMMENDED MOTION:

If Council chooses, approve the easement agreement contingent on review and approval from the City Attorney and City Engineer.

ATTACHMENTS:

Description
Easement Agreement
Landscaping Plan

EASEMENT AGREEMENT

Document Number

Document Title

THIS EASEMENT AGREEMENT (this “**Agreement**”) is made this ____ day of February, 2024 (the “**Effective Date**”) by and between **LKI PROPERTIES, LLC**, a Wisconsin limited liability company (“**Grantee**”), and the **CITY OF PEWAUKEE**, a Wisconsin municipal corporation (“**Grantor**” or “**City**”) (Grantor and Grantee are individually a “**Party**,” and collectively the “**Parties**”).

RECITALS

WHEREAS, Grantor acknowledges that a certain Utility Easement described in Exhibit A hereto (the “**Utility Easement**”);

WHEREAS, Grantee has installed improvements including landscaping within the Utility Easement, (the “**Improvements**”); and

WHEREAS, Grantor desires to grant Grantee a perpetual, non-exclusive easement over and within the **Utility Easement** so that the Improvements can remain in the **Utility Easement**, and be maintained, in accordance with the terms of this Agreement.

Recording Area

Name and Return Address

LKI Properties, LLC
W285N3168 Lakeside Road
Pewaukee, WI 53072

PWC 0954998002

Parcel Identification Number (PIN)

AGREEMENT

NOW, THEREFORE, in consideration of the sum of One Dollar (\$1.00), and other good and valuable consideration the receipt of which is hereby acknowledged, the parties agree as follows:

1. **Incorporation of Recitals.** The information and definitions contained within the Recitals are incorporated into this Agreement as if fully set forth herein.

2. **Grant of Easement.** Grantor hereby grants to Grantee a perpetual, non-exclusive easement (the “**Easement**”) for the purpose of allowing the Improvements to remain in and upon the **Utility Easement**, and to allow Grantee to maintain the Improvements as permitted herein.

3. **Maintenance and Repair.** Grantee shall maintain the Improvements, including the landscaping, in a neat and orderly manner, such that the Improvements do not interfere with the use of the Utility Easement. Grantee shall perform all maintenance on the landscaping at no cost to the Grantor. If maintenance or corrective action is required to address a safety issue, and Grantor does not complete the work within five (5) days written notice, the City may complete the work and all costs associated with the work will be billed to Grantee as a special charge, which, if not timely paid, will be placed upon Grantee’s end of year tax bill. To the extent permitted by

applicable law, Grantee waives the right to appeal the assessment of such a special charge under Wis. Stat. Section 66.0703(12), but otherwise retains all rights at law and in equity to dispute such assessment. Grantee shall obtain all necessary permits from the City prior to replacement of any landscaping. Any damage to the City's infrastructure including curb, roads, storm sewer, landscaping, etc. due to work on the private infrastructure shall be repaired as directed by the City at Grantee's expense.

4. **Contacts.** Grantee shall provide Grantor with an emergency contact that shall be kept current. If contacts are not provided or kept current and work is required immediately, the City will proceed with the work and will charge them without further notice.

5. **Removal.** If the usual and customary maintenance of the **Utility Easement** requires removal of any of the Improvements, as determined in Grantor's reasonable discretion, Grantor may temporarily remove the Improvements, to the extent reasonably necessary to complete such maintenance, at Grantee's sole cost and expense. When such maintenance work is completed, Grantee may, but is not obligated to, reinstall the removed items in a manner that is consistent with the original plan, at Grantee's sole cost and expense.

6. **Damage.** Grantor shall not be responsible for any costs arising from the damage, destruction, or removal of the landscaping related to City work (construction, maintenance, or operations) within the **Utility Easement**, except for any such costs that arise from the negligent acts or omissions of Grantor.

7. **Enjoyment.** Grantee shall not use, or allow the use of, the Easement in any manner which would unreasonably interfere with, or unreasonably interrupt the use and enjoyment of the **Utility Easement** by Grantor. No other use of the **Utility Easement** shall be made by Grantee.

8. **No claim for Adverse Possession.** The Grantee acknowledges and agrees that its use of the easement is solely as granted herein and does not confer any ownership or possessory rights beyond those explicitly defined. The Grantor retains full legal ownership and control of the easement area at all times. Grantee shall not, at any time, claim or attempt to acquire title or rights by adverse possession with regard to the easement area.

9. **Locating Underground Infrastructure.** Whenever construction work is performed upon or around the Improvements that requires any type of excavation (including any construction work performed by the City), Grantee shall have the sole responsibility to cause Digger's Hotline to locate and mark the Improvements which are located underground, including taking such measures as are reasonable, usual and customary to assure that all contractors who are hired by Grantee will perform excavation activities in accordance with applicable law. Further, Grantee shall maintain a subscription with Digger's Hotline. In no event shall the City be required to locate and mark any private underground utilities that are part of the Improvements.

10. **Indemnity.** Grantee shall keep the **Utility Easement** free and clear of all mechanics' liens, lis pendens and other liens. Grantee shall indemnify, defend, and hold Grantor harmless for, from, and against any and all actual or alleged claims, demands, suits, liabilities, and costs and expenses (including, but not limited to, reasonable attorneys' fees) relating to or arising out of accidents, injuries, liens, loss, or damage of or to any person or property arising from Grantee or any of Grantee's permittees use of the Easement, except to the extent arising from the

willful misconduct of Grantor or its contractors, employees, agents, invitees, licensees, and designees. The foregoing obligations under this paragraph shall survive any termination of this Agreement.

11. **Attorneys' Fees.** In the event of any litigation or arbitration arising out of or related to this Agreement, the prevailing party shall be entitled to recover from the other party its costs and expenses, including, without limitation, reasonable attorneys' fees incurred in connection with such action, to be determined by the court and not a jury in any such litigation or the arbitrator.

12. **Amendment; Successors and Assigns.** This Agreement may be amended only by written instrument executed by Grantor and Grantee. This Agreement shall run with the land and shall be binding on and shall inure to the benefit of the parties hereto, their heirs, successors, or assigns.

13. **Governing Law.** This Agreement shall be governed by, and construed in accordance with, the laws of the State of Wisconsin without regard to its conflict of laws rules.

[Signature on Following Page]

IN WITNESS THEREOF, the said Grantor has hereunto set its hand and seal this ____ day
of _____, 2024.

GRANTOR:

CITY OF PEWAUKEE, a Wisconsin
municipal corporation

By: _____
Name: _____
Title: _____

By: _____
Name: Kelly Tarczewski
Title: City Clerk

STATE OF WISCONSIN)
) SS
_____ COUNTY)

Personally, came before me this ____ day of _____, 2023, the above-named
_____ and Kelly Tarczewski, being the _____ and the City
Clerk of the City of Pewaukee respectively, to me known to be such officers and acknowledged
that they executed the foregoing instrument in such capacity on behalf of the City of Pewaukee.

(NOTARY SEAL)

Print Name: _____
Notary Public, State of Wisconsin
My Commission expires: _____

IN WITNESS THEREOF, the said Grantee has hereunto set its hand and seal this ____ day of _____, 2024.

GRANTEE:

LKI PROPERTIES, LLC, a Wisconsin limited liability company

By: LKI Properties, LLC, a Wisconsin limited liability company, its Managing Member

By: _____

Name: _____

Title: _____

STATE OF _____)
) SS
_____ COUNTY)

Personally came before me this ____ day of _____, 2024, the above named _____ as _____ of LKI Properties LLC, a Wisconsin limited liability company, the managing member of LKI Properties LLC, a Wisconsin limited liability company, to me known to be the person who executed the foregoing instrument and acknowledged the same on behalf of said limited liability company.

Print Name: _____

Notary Public, State of _____

My Commission expires: _____

(NOTARY SEAL)

Drafted by:
Kevin J. Parish
Parish Survey & Engineering, LLC
122 Wisconsin Street
West Bend, WI 53095

EXHIBIT A

UTILITY EASEMENT LEGAL DESCRIPTION

That certain utility easement which lies along the north right-of-way line of Busse Road, a distance 35 feet parallel to said right-of-way recorded as Document #1466861 and included on Certified Survey Map No. 3855 recorded on June 26, 1980 with the office of the Waukesha County Register of Deeds, the first page of such CSM being attached hereto.

1129744

See amount to declaration of same. Ridge, Collection (Government is 8/29/91, 2-9/16)

CERTIFIED SURVEY MAP NO. 3855

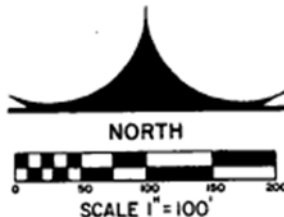
BEING A PART OF THE
NW 1/4 & SW 1/4, SEC. 23, T. 7 N., R. 19 E.
TOWN OF PEWAUKEE
WAUKESHA COUNTY, WISCONSIN.

WC0006238

O-DENOTES 1" x 24" IRON PIPE WEIGH-
ING 113 LBS PER LINEAL FOOT WITH A
YELLOW PLASTIC PLUG STAMPED S-1065

REFERENTIAL MERIDIAN: ALL BEARINGS
ARE REFERENCED TO THE WEST LINE
OF THE NORTHWEST 1/4 OF SECTION 23
TOWN 7 NORTH, RANGE 19 EAST WHICH
IS ASSUMED TO BEAR N 00°03'37"E.

--- DENOTES PRIVATE UTILITY
EASEMENT.



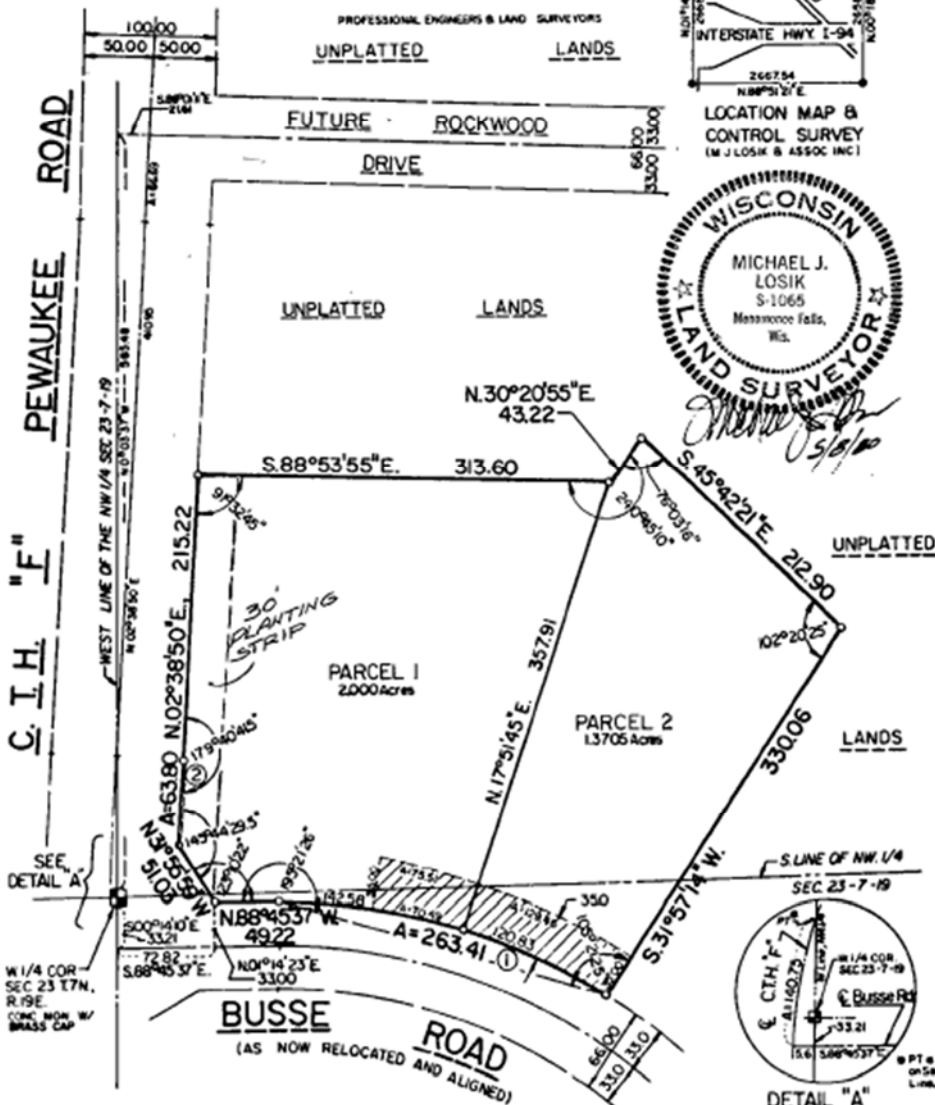
MICHAEL J. LOSIK & ASSOC., INC.
ELM GROVE, WISCONSIN

PROFESSIONAL ENGINEERS & LAND SURVEYORS

UNPLATTED LANDS



LOCATION MAP &
CONTROL SURVEY
(M J LOSIK & ASSOC INC)



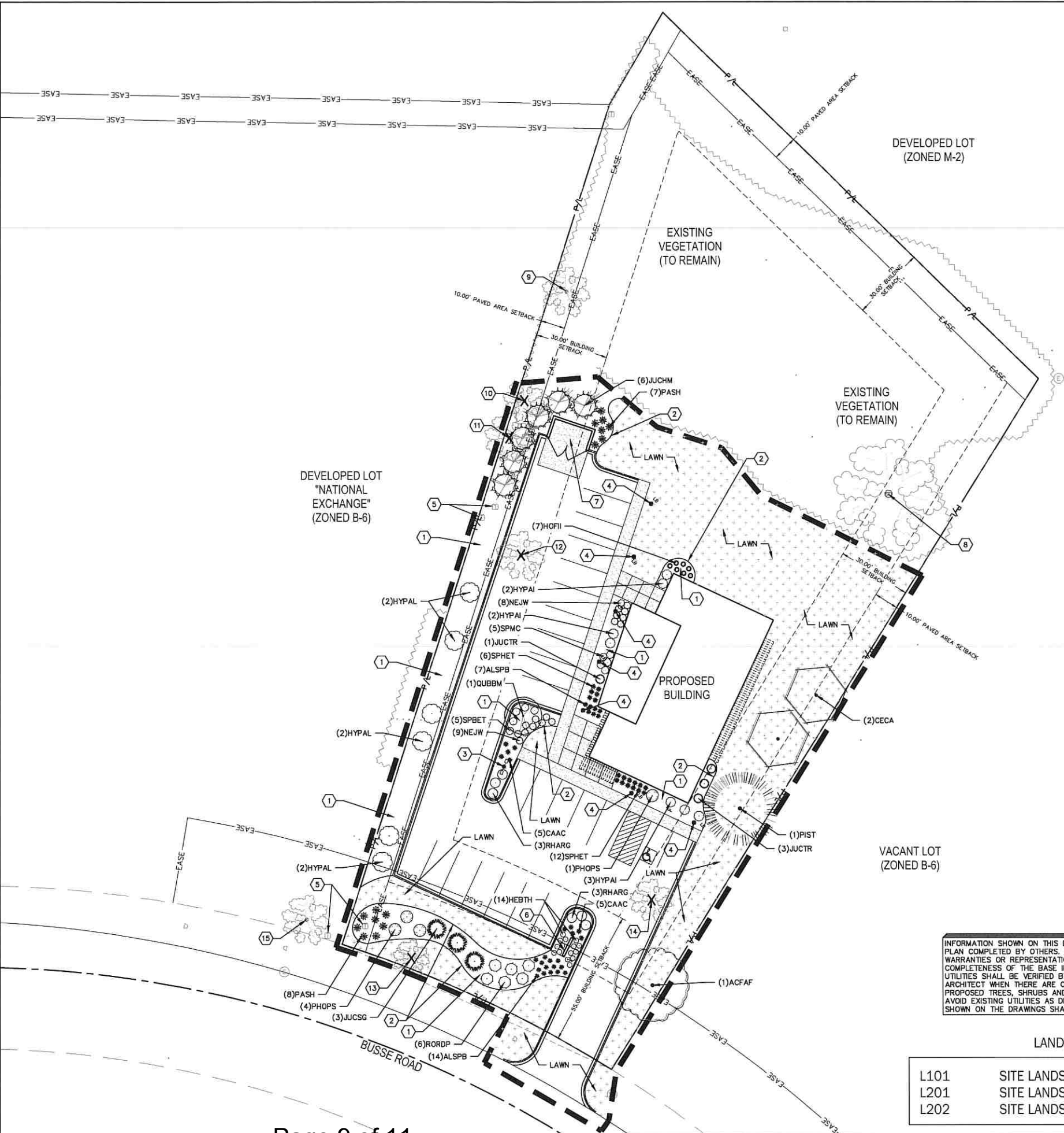
THIS INSTRUMENT WAS DRAFTED BY MICHAEL J. LOSIK, S-1065

JOB NO. 78-40(3)

SHEET 1 OF 3

Exhibit A-2

QB\84378431.9



ABBREVIATIONS	
ABBREVIATION	FULL WORDS
B&B	Balled and burlapped
CAL	Caliper
DBH	Diameter at breast height (Tree trunk diameter measured 4' above finish grade)
DIA.	Diameter
EX.	Existing
HTT	Height to tip
O.C.	On center
SQ. FT. -or- SF	Square feet
TR	Tree
VF	Verify in the field

DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

HATCH LEGEND

PROJECT LIMITS
PROPERTY LINE
EASEMENT LINE

AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, LAWN GRASS SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.

PLANT "CODE" REFERENCES TO THE PLANT SCHEDULE
QUANTITY OF PLANTS IN THE PLANT GROUPING
LEADER LINE
PLANT SYMBOL (SYMBOL VARIES)

KEY INDEX

1	SHREDDED HARDWOOD MULCH	3	L201
2	ALUMINUM EDGING AT PLANTING BED	4	L201
3	LIGHT POLE (SEE SITE LIGHTING PLAN FOR OFFICIAL LOCATIONS)		
4	LIGHT BOLLARD (SEE SITE LIGHTING PLAN FOR OFFICIAL LOCATIONS)		
5	EXISTING UTILITY PEDESTAL--TO REMAIN (PROTECT FROM DAMAGE DURING CONSTRUCTION)		
6	MONUMENT SIGN (SEE ARCHITECTURAL DRAWINGS)		
7	DUMPSTER ENCLOSURE (SEE ARCHITECTURAL DRAWINGS)		
8	EXISTING 30" DBH COTTONWOOD--TO REMAIN (PROTECT FROM DAMAGE DURING CONSTRUCTION)		
9	EXISTING 16" DBH CLUMP BOXELDER--TO REMAIN (PROTECT FROM DAMAGE DURING CONSTRUCTION)		
10	REMOVE EXISTING 6", 6", 7", 7", 8", 10" DBH CLUMP BOXELDER		
11	REMOVE EXISTING 20" DBH BOXELDER		
12	REMOVE EXISTING 16" DBH HONEYLOCUST		
13	REMOVE EXISTING 11" DBH CRABAPPLE		
14	REMOVE EXISTING 14" DBH HONEYLOCUST		
15	EXISTING 14" DBH DECIDUOUS TREE--TO REMAIN (PROTECT FROM DAMAGE DURING CONSTRUCTION)		

INFORMATION SHOWN ON THIS DRAWING IS BASED ON AN ARCHITECTURAL SITE PLAN COMPLETED BY OTHERS. THE LANDSCAPE ARCHITECT MAKES NO WARRANTIES OR REPRESENTATIONS AS TO THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION. THE LOCATION OF EXISTING SITE UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. NOTIFY THE ARCHITECT WHEN THERE ARE CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED TREES, SHRUBS AND PERENNIALS. ADJUST PLANT LOCATIONS TO AVOID EXISTING UTILITIES AS DIRECTED BY THE ARCHITECT. ALL INFORMATION SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR.

LANDSCAPE SHEET INDEX	
L101	SITE LANDSCAPE PLAN
L201	SITE LANDSCAPE DETAILS
L202	SITE LANDSCAPE NOTES

kapur
788 N. Jefferson Street, Ste 900
Milwaukee, Wisconsin 53202
kapurinc.com

PROJECT:
DR. SMITH OFFICE

LOCATION:
W239N1690
BUSSE ROAD
PEWAUKEE, WI
53188

CLIENT:

RELEASE:
PLAN COMMISSION
SUBMITTAL

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 20'

SEAL:

all in

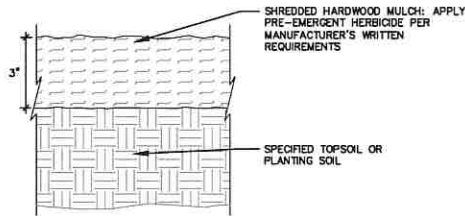
SHEET:
SITE LANDSCAPE
PLAN

PROJECT MANAGER: BB
PROJECT NUMBER: 230736.01
DATE: 9/28/2023

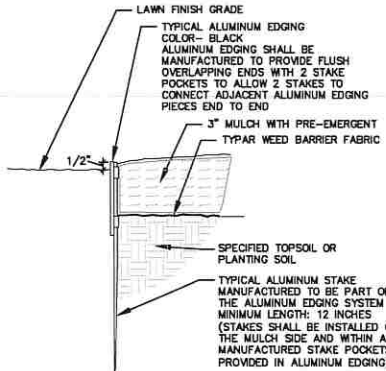
SHEET NUMBER:
L101

Plant Schedule						
Code	Scientific Name	Common Name	Quantity	Spacing	Install Size	Mature Size
(Height/Spread)						
Canopy Trees: (Install in accordance with detail 5/L201)						
ACFAF	Acer x freemanii 'Autumn Fantasy'	Autumn Fantasy Maple	1	Per Plan	2" caliper B&B	50/30'
QUBBM	Quercus bicolor 'Bonnie and Mike'	Beacon Swamp White Oak	1	Per Plan	2" caliper B&B	35/15'
Ornamental Trees: (Install in accordance with detail 5/L201)						
CECA	Cercis canadensis	Eastern Redbud	2	Per Plan	8' multi-stem B&B	20'-30'/25'-35'
Evergreen Trees: (Install in accordance with detail 6/L201)						
PIST	Pinus strobus	Eastern White Pine	1	Per Plan	6" tall B&B	50'-80'/20'-40'
Deciduous Shrubs: (Install in accordance with detail 7/L201)						
HYPAL	Hydrangea paniculata 'LIVOBLO' PP22,782	Bobo Hydrangea	7	Per Plan	18" tall pot	3'/3'-4'
HYPAL	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	6	Per Plan	18" tall pot	6'-8'/6'-8'
PHOPS	Physocarpus opulifolius 'Seward'	Summer Wine Ninebark	5	Per Plan	24" tall pot	5'-6'/4'-5'
RHARG	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	6	Per Plan	18" spread pot	2'-3'/6'-8'
RORDP	Rosa rugosa 'Dwarf Pavement'	Dwarf Pavement Rugosa Rose	6	Per Plan	15" tall pot	2'-3'/5'
SPBET	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	5	Per Plan	18" tall pot	2'-3'/3'
SPMC	Spiraea x japonica 'Magic Carpet'	Magic Carpet Spirea	5	Per Plan	15" tall pot	2'/2'-3'
Evergreen Shrubs: (Install in accordance with detail 7/L201)						
JUCHM	Juniperus chinensis 'Mountbatten'	Mountbatten Chinese Juniper	6	Per Plan	4' tall B&B	15'/6'-8'
JUCSG	Juniperus chinensis 'Sea Green'	Sea Green Juniper	3	Per Plan	18" spread pot	4'-6'/6'-8'
JUCTR	Juniperus chinensis 'Trautman'	Trautman Juniper	4	Per Plan	4' tall B&B	12'/4'
Perennials: (Install in accordance with detail 8/L201)						
ALSPB	Allium x 'Summer Peek-a-Boo'	Summer Peek-a-Boo Globe Lily	21	Per Plan	#1 cont.	8"-12"/18"-24"
CAAC	Calamagrostis x acutiflora Karl Foerster	Karl Foerster Reed Grass	10	Per Plan	#1 cont.	5'-6'/18"-24"
HEBTH	Hemerocallis 'Big Time Happy'	Big Time Happy Daylily	14	Per Plan	#1 cont.	18"-24"/18"-24"
HOFIL	Hosta x 'Fire and Ice'	Fire and Ice Hosta	7	Per Plan	#1 cont.	12"-18"/24"
NEJW	Nepeta x 'Junior Walker'	Junior Walker Catmint	17	Per Plan	#1 cont.	15"-18"/30"-36"
PASH	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	15	Per Plan	#1 cont.	4'-5'/2'-3'
SPHET	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	18	Per Plan	#1 cont.	18"-24"/18"-24"
NOTE: Plant quantities indicated in the plant schedule are for convenience only. Installation contractor is responsible for verifying plant count on the landscape plan. When discrepancies between the plant schedule, labels and the landscape plan occur, the quantity drawn on the landscape plan shall be the official quantity.						

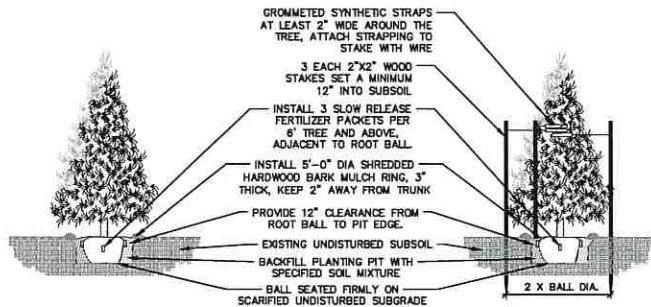
1 PLANT SCHEDULE
L201 REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION



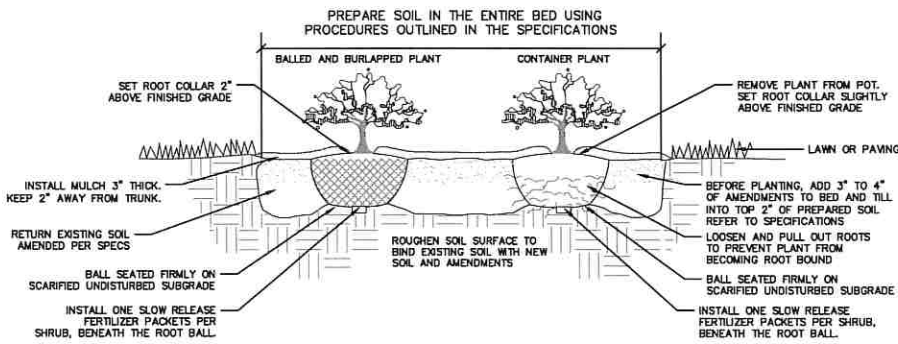
3 SHREDDED HARDWOOD MULCH SECTION
L201 N.T.S.



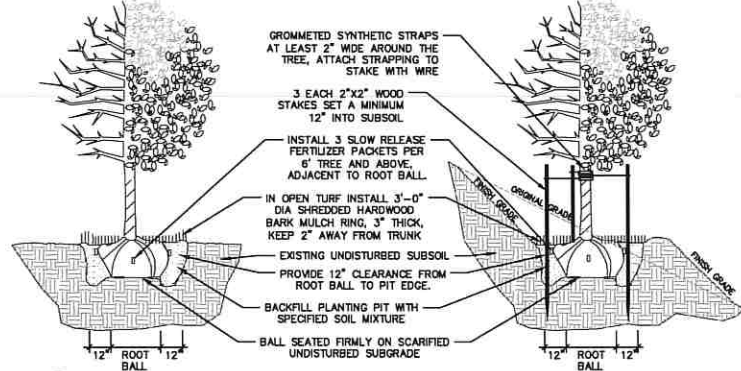
4 ALUMINUM EDGING AT PLANTING BED SECTION
L201 N.T.S.



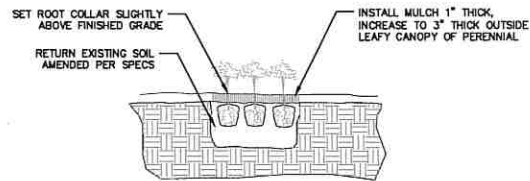
6 EVERGREEN TREE PLANTING & STAKING
L201 N.T.S.



7 DECIDUOUS & EVERGREEN SHRUB PLANTING
L201 N.T.S.



5 DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE
L201 N.T.S.



8 PERENNIAL PLANTING
L201 N.T.S.

LANDSCAPE CALCULATIONS

City of Pewaukee Landscaping Requirements

Site Zoning = B-6 Mixed Use Business District
Total site area = approximately 59,698 square feet
Total greenspace area = approximately 41,289 square feet
Total parking spaces = 24 parking spaces

Landscape requirements

Site Planning and Design Standard No. SD-4(b)

No less than 40 percent of the development site shall be retained in either an undisturbed natural state or in attractive, planned and arranged ground cover and landscape plantings, earthen berms and natural or man-made water impoundments.

Minimum 40% green space required

(41,289 greenspace area) / (59,698 sf site area) = 69.2% Green space provided

17.0210.f(2) Overriding considerations

The landscaping of a site and even the fencing and building structures on the site should be so arranged as to attractively screen from the general view of the traveling public those areas on the site not enclosed within a building which are not inherently attractive, such as auto parking areas, truck and construction equipment parking areas, large paved areas, trash receptacles, building related mechanical equipment, above-ground utility facilities, and raw material storage.

Required

The landscaping of the site is arranged as to attractively screen from the general view of the traveling public those areas on the site not enclosed within a building which are not inherently attractive, such as auto parking areas, trash receptacles, building related mechanical equipment, above-ground utility facilities as required.

Parking Lot Landscape

All parking and loading areas shall be adequately screened as determined by the Plan Commission.

Required

Parking landscape screening provided on all sides of the parking lot as required.

All off-street parking lots which are created or redesigned and rebuilt subsequent to the adoption of this section shall be provided with accessory landscape or decorative fence screening that will block from the view of motorists or pedestrians on adjacent streets of at least the lower one-half of vehicles parked within the off-street parking area.

Required

Provided

Each parking area shall be bounded by a grassed or landscaped greenbelt of at least ten (10) feet in width between the parking area and all property boundaries. The location and elevation of landscape areas, including earthen berms, plant materials, fences and the protection afforded the plantings, including curbing and provision for maintenance, shall be subject to approval by the Plan Commission.

Minimum 10' wide landscaped greenbelt between parking lot and property boundary required.

Minimum 10' wide landscaped greenbelt between parking lot and property boundary provided.

2 LANDSCAPE CALCULATIONS
L201

PROJECT:

DR. SMITH OFFICE

LOCATION:

W239N1690
BUSSE ROAD
PEWAUKEE, WI
53188

CLIENT:

RELEASE:

PLAN COMMISSION
SUBMITTAL

REVISIONS:

#	DATE	DESCRIPTION

SEAL:

all in

SHEET:

SITE LANDSCAPE
DETAILS

PROJECT MANAGER: BB
PROJECT NUMBER: 230738.01
DATE: 9/26/2023

SHEET NUMBER:

L201

GENERAL NOTES:

1. LOCATE ALL PRIVATE AND PUBLIC UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF ANY DIGGING/CLEARING OPERATIONS. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY THE CONTRACTOR AT NO COST TO THE OWNER.
2. DEVIATIONS FROM THESE PLANS SHALL BE NOTED ON THE RECORD DRAWING BY THE CONTRACTOR AND ONLY WITH PRIOR APPROVAL OF THE ARCHITECT, LANDSCAPE ARCHITECT, ENGINEER AND OWNER. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY ARCHITECT, LANDSCAPE ARCHITECT, ENGINEER AND OWNER.
3. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIALS.
4. KEEP DRIVEWAYS, PARKING LOTS AND ENTRANCES SERVING THE PREMISES CLEAR AND AVAILABLE AT ALL TIMES UNLESS AREAS ARE INDICATED FOR STORAGE AND STAGING. DO NOT USE THESE AREAS FOR PARKING OR STORAGE OF MATERIALS. SCHEDULE DELIVERIES TO MINIMIZE SPACE AND TIME REQUIREMENTS FOR STORAGE OF MATERIALS AND EQUIPMENT ON SITE.
5. (IF APPLICABLE) CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO REMAIN AND CLEARLY TAG THEM WITH MARKING TAPE AND 4' TALL ORANGE CONSTRUCTION FENCE TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION. TREE PROTECTION FENCE SHALL BE PLACED A MINIMUM OF 1 FOOT FROM THE TREE TRUNK FOR EACH INCH DIAMETER AT BREAST HEIGHT (DBH) OF THE TREE TO BE PROTECTED.
6. CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING. ALL AREAS AND QUANTITIES OF MATERIALS SHALL BE FIELD VERIFIED WITH SITE CONDITIONS.
7. WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLAN AND/OR CIVIL DRAWINGS, (AND ANY OTHER SITE DRAWING) THE DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECTS/ENGINEERS ATTENTION FOR COORDINATION AND RESOLUTION.
8. THE PLANT SCHEDULE IS ON SHEET L201. PLANT QUANTITIES INDICATED IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. PLANT QUANTITIES SHALL BE VERIFIED BY THE CONTRACTOR. WHEN DISCREPANCIES BETWEEN THE SCHEDULE, LABELS AND THE PLAN OCCUR, THE QUANTITY DRAWN ON THE PLAN SHALL BE THE OFFICIAL QUANTITY.
9. PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
10. REMOVE ALL EXISTING TREES, SHRUBS, PLANTS, SOO, MULCH, WEED BARRIER, DEBRIS, ETC. TO PERMIT THE INSTALLATION OF NEW PLANT MATERIAL UNLESS INDICATED TO REMAIN. REMOVE ALL GRAVEL TO WHATEVER DEPTHS ENCOUNTERED IN AREAS THAT ARE BEING CONVERTED TO LANDSCAPE ISLANDS OR LAWN AREAS. REPLACE GRAVEL WITH TOPSOIL. DO NOT PLANT OR SEED LAWN OVER GRAVEL BASE.
11. EXISTING TOPSOIL SHALL BE STRIPPED AND STOCKPILED TO BE RE-SPREAD BY OTHERS AFTER GRADING WORK IS COMPLETED. PROVIDE ADDITIONAL TOPSOIL IF QUANTITY OR QUALITY OF STRIPPED TOPSOIL IS INSUFFICIENT. TOPSOIL SHALL HAVE A pH RANGE OF 6.0-7.5, BETWEEN 3 AND 8 PERCENT ORGANIC MATERIAL CONTENT WITH A LIBERAL AMOUNT OF HUMUS, FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION, WEED SEEDS, ROOTS AND OTHER EXTRANEIOUS MATERIALS HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SUITABLE FOR THE GROWTH OF GRASS AND PLANTS.
12. ALL LAWN AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS OR TREE PITS ARE TO RECEIVE TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES AND SHALL BE SEEDED WITH SPECIFIED LAWN GRASS OR APPROVED EQUAL. LANDSCAPE CONTRACTOR SHALL INCLUDE COST FOR ADDITIONAL SEED OPERATIONS TO RE-ESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
13. ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN PER THE CIVIL PLANS. NO PONDING STORM WATER IS PERMITTED OUTSIDE OF THE STORM WATER MANAGEMENT AREA(S) (IF APPLICABLE). PONDING AREAS SHALL BE REPAIRED TO BE FREE DRAINING.
14. FINISH GRADES OF LAWN AREAS SHALL BE 1/2 INCH BELOW THE TOP OF ADJACENT PAVEMENTS AND CURBS UNLESS OTHERWISE NOTED ON THE PLANS.
15. PLANTING SOIL FOR PLANTING BEDS TO BE BLENDED CONSISTING OF A RATIO OF 3 PARTS TOPSOIL TO 1 PART COMPOST. TOPSOIL TO HAVE A pH RANGE OF 6.0-7.5, BETWEEN 3 AND 8 PERCENT ORGANIC MATERIAL CONTENT, FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEIOUS MATERIALS HARMFUL TO PLANT GROWTH. COMPOST TO BE WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8, MOISTURE CONTENT OF 5 TO 10 DECISEMENS/M, NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS, FREE OF SUBSTANCES TOXIC TO PLANTINGS AND ORGANIC CONTENT OF BETWEEN 50 TO 60 PERCENT DRY WEIGHT. PLANTING SOIL TO BE INSTALLED 12 INCHES DEEP. TILL PLANTING BEDS TO A MINIMUM DEPTH OF 8 INCHES PRIOR TO PLANTING.
16. TREES, SHRUBS AND PERENNIALS SHALL BE INSTALLED PER THE PLANTING DETAILS AND LANDSCAPE NOTES. SEE PLANTING DETAILS ON SHEET L201 FOR PLANT INSTALLATION REQUIREMENTS
17. ALL AREAS INDICATED AS "SOO" SHALL BE SOODED AS SPECIFIED. ALL AREAS INDICATED AS "LAWN" SHALL BE SEEDED WITH THE SPECIFIED SEED MIX AND COVERED WITH STRAW EROSION MAT OR- SOODED BY THE CONTRACTOR'S OPTION. ALL AREAS DISTURBED DURING CONSTRUCTION INCLUDING TRENCHING DISTURBANCE SHALL BE SOODED OR LAWN SEEDED. SEE CIVIL PLANS FOR APPROXIMATE LIMITS OF GRADING AND TRENCHING WORK.
18. LAWN INSTALLATION- CONTRACTOR SHALL TILL THE TOPSOIL AND REMOVE ALL STONES 1 INCH DIAMETER AND LARGER TO PREPARE THE TOPSOIL FOR SEEDED. APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE STRAW EROSION MAT FOR ALL SEEDED AREAS OR AS SPECIFIED ON THE EROSION CONTROL PLAN AND INSTALL PER MANUFACTURER'S WRITTEN REQUIREMENTS. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF, FREE FROM ANY BARE AREAS IN EXCESS OF 5 INCHES BY 5 INCHES. POORLY SEEDED AREAS SHALL BE RE-SEEDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
19. SOO MATERIALS- CERTIFIED, NUMBER 1 QUALITY/PREMIUM, INCLUDING LIMITATION ON THATCH, WEEDS, DISEASES, NEMATODES, AND INSECTS COMPLYING WITH "SPECIFICATIONS FOR TURFGRASS SOO MATERIALS" IN TPIS "GUIDELINE SPECIFICATIONS TO TURFGRASS SOODING." FURNISH VIALBE SOO OF UNIFORM DENSITY, COLOR, AND TEXTURE, STRONGLY ROOTED, AND CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED. SOO SHALL BE COMPOSED OF GRASS SPECIES AS FOLLOWS, WITH NOT LESS THAN 95% GERMINATION AND NOT LESS THAN 85% PURE SEED, AND NOT MORE THAN 0.5% WEED SEED:
- FULL SUN- KENTUCKY BLUEGRASS (POA PRATENSIS), A MINIMUM OF THREE CULTIVARS
- SUN AND PARTIAL SHADE- PROPORTIONED BY WEIGHT AS FOLLOWS:
- 45-55% KENTUCKY BLUEGRASS CULTIVAR(S) (POA PRATENSIS VARIETY(S))
- 20-30% CREEPING RED FESQUE CULTIVAR(S) (FESTUCA RUBRA VARIETY(S))
- 20-30% PERENNIAL RYEGRASS CULTIVAR(S) (LOLIUM PERENNE VARIETY(S))
- SHADE- PROPORTIONED BY WEIGHT AS FOLLOWS:
- 15-25% SHADE TOLERANT KENTUCKY BLUEGRASS CULTIVAR(S) (POA PRATENSIS VARIETY(S))
- 0-15% SHADE TOLERANT HARD FESQUE CULTIVAR(S) (FESTUCA OVINA VARIETY(S))
- 20-35% SHADE TOLERANT CHEMNOS FESQUE (FESTUCA RUBRA COMUTATA VARIETY(S))
- 25-50% SHADE TOLERANT CREEPING RED FESQUE CULTIVAR(S) (FESTUCA RUBRA VARIETY(S))
- 5-15% SHADE TOLERANT PERENNIAL RYEGRASS CULTIVAR(S) (LOLIUM PERENNE VARIETY(S))
20. SOO INSTALLATION- LAY SOO WITHIN 24 HOURS OF HARVESTING. DO NOT LAY SOO IF DORMANT OR IF GROUND IS FROZEN OR MUDDY. LAY SOO TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOO; DO NOT STRETCH OR OVERLAP. STAGGER SOO STRIPS OR PADS TO OFFSET JOINTS IN ADJACENT COURSES. AVOID DAMAGE TO SUBGRADE OR SOO DURING INSTALLATION. TAMP AND ROLL LIGHTLY TO ENSURE CONTACT WITH TOPSOIL. ELIMINATE AIR POCKETS, AND FORM A SMOOTH SURFACE. WORK SIFTED SOIL INTO MINOR CRACKS BETWEEN PIECES OF SOO. REMOVE EXCESS TO AVOID SMOOTHERING SOO AND ADJACENT GRASS. LAY SOO ACROSS ANGLE OF SLOPES EXCEEDING 1:3. ANCHOR SOO ON SLOPES EXCEEDING 1:6 WITH WOOD PEGS SPACED AS RECOMMENDED BY SOO MANUFACTURER BUT NOT LESS THAN 2 ANCHORS PER SOO STRIP TO PREVENT SLIPPAGE. SATURATE SOO WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. DURING FIRST WEEK AFTER PLANTING, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF 4 INCHES BELOW SOO.
21. SEED AND STRAW EROSION BLANKET THE LANDSCAPE AREA BETWEEN THE PROPERTY LINE AND STREET PAVEMENT EDGE WITHIN THE RIGHT-OF-WAY ADJACENT TO THE PROJECT SITE IF DISTURBED AREA EXTENDS BEYOND THE PROPERTY LINE OR IF THE EXISTING VEGETATION WITHIN THE RIGHT-OF-WAY IS NOT LAWN. SEED SHALL MATCH THE PROPOSED SEED USED ON THE PROJECT SITE IN ORDER TO BLEND THE TWO AREAS SEAMLESSLY TOGETHER. INSTALL IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION OR ACCORDING TO THE LANDSCAPE SPECIFICATIONS IF THERE ARE NO MUNICIPAL REQUIREMENTS.
22. WATER SEEDED AREAS IMMEDIATELY AFTER SEEDED AND STRAW EROSION MAT INSTALLATION COMPLETION. MAINTAIN A 1-INCH PER WEEK NATURAL OR AUGMENTED WATERING REGIME FOR ALL PLANTINGS AND LAWN. OPTIONALLY PROVIDE AUTOMATIC LAWN OR TREE/SHRUB/PERENNIAL WATERING DEVICES DURING INITIAL TREE/SHRUB/PERENNIAL ESTABLISHMENT.
23. THE CONTRACTOR SHALL PROVIDE A 1-YEAR QUARANTY ON THE ENTIRE LANDSCAPE INSTALLATION STARTING FROM THE DATE OF SUBSTANTIAL COMPLETION.
24. LIGHT POLES AND UNDERGROUND UTILITIES INDICATED ON THIS PLAN ARE SHOWN FOR CONVENIENCE ONLY. SEE SITE LIGHTING PLAN FOR OFFICIAL LIGHT POLE LOCATIONS AND SURVEY/CIVIL PLANS FOR OFFICIAL GRADING AND UNDERGROUND UTILITY LOCATIONS. ADJUST TREE LOCATIONS IN THE FIELD AS NECESSARY TO AVOID LIGHT POLES AND UNDERGROUND UTILITIES
25. CONFINE OPERATIONS TO AREAS WITHIN THE PROJECT LIMIT LINE INDICATED. PORTIONS OF THE SITE BEYOND AREAS IN WHICH CONSTRUCTION OPERATIONS ARE INDICATED ARE NOT TO BE DISTURBED.
26. CONTRACTOR SHALL LEAVE THE SITE FREE OF ALL CONSTRUCTION DEBRIS AND WASTE.

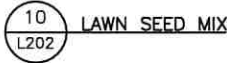
GRASS SEED MIX

GRASS SEED SHALL CONSIST OF THE FOLLOWING VARIETIES (OR APPROVED EQUAL)-

NAME	MIN. % GERM.	MIN. % PURE SEED	MAX. % WEED SEED
20% KENTUCKY BLUEGRASS (SOO QUALITY)	85%	80%	0.50%
10% MERCURY KENTUCKY BLUEGRASS	85%	80%	0.50%
20% KENBLUE KENTUCKY BLUEGRASS	85%	80%	0.50%
25% CREEPING RED FESQUE	85%	85%	0.50%
15% WICKED PERENNIAL RYEGRASS	95%	85%	0.50%
10% FIESTA 4 PERENNIAL RYEGRASS	95%	85%	0.50%

SEEDING RATE SHALL BE 4.5 POUNDS PER 1,000 SQUARE FEET

SEEDS SHALL BE INSTALLED 1/2" TO 3/4" BELOW FINISH GRADE.



LANDSCAPE NOTES:

1. ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 4 OR 5, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES" PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.
2. CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK AND MINERAL/STONE MULCHES, DECORATIVE GRAVELS, MAINTENANCE STRIP STONE, OR OTHER GROUND COVER MATERIALS FOR APPROVAL PRIOR TO INSTALLATION.
3. BARK MULCH TO BE FRESHLY ACQUIRED HARDWOOD SHREDDED BARK MULCH. DOUBLE MILLED, EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
4. LANDSCAPE EDGING TO BE ALUMINUM EDGING. SEE DETAIL 4/L201 FOR ADDITIONAL INFORMATION.
5. ALL PLANTING AREAS TO RECEIVE A 3-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH WITH LANDSCAPE EDGING. LANDSCAPE EDGING TO BE INSTALLED BETWEEN DIFFERENT TYPES OF MULCHES, BETWEEN MULCHES AND TURF, AND/OR WHERE SPECIFICALLY NOTED ON THE PLAN.
6. INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS, BETWEEN NO-MOW SEEDING AND MULCH PLANTING BEDS (IF APPLICABLE) AROUND THE STORM WATER POND (IF APPLICABLE) AND ALONG PAVEMENT WHERE PLANTING AREAS ABUT TO PREVENT HARDWOOD SHREDDED BARK MULCH FROM SPILLING OUT OF PLANTING AREA.
7. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
8. CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "Y" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED.
9. REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
10. REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
11. PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
12. PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
13. PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
14. PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM.
15. WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
16. FOR INDIVIDUAL TREES & SHRUBS PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNHILL SIDE)
17. INSTALL 3" THICK SHREDDED HARDWOOD BARK MULCH RING 3'-0" DIA. FOR DECIDUOUS TREES AND ALL INDIVIDUAL SHRUBS IN LAWN AREAS, 5'-0" DIA. FOR EVERGREEN TREES. KEEP MULCH 2" AWAY FROM TRUNKS.
18. STAKING - ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. DO NOT ATTACH WIRE DIRECTLY TO TREES OR THROUGH HOSES - UTILIZE GROMMETED, SYNTHETIC STRAPS AT LEAST 2" WIDE AROUND THE TREE. ATTACH STRAPPING TO STAKE WITH WIRE. STAKE ONLY WHEN NECESSARY. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHALL BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.

PROJECT:

DR. SMITH OFFICE

LOCATION:

W239N1690
BUSSE ROAD
PEWAUKEE, WI
53188

CLIENT:

RELEASE:

PLAN COMMISSION
SUBMITTAL

REVISIONS:

#	DATE	DESCRIPTION

SEAL:

all in

SHEET:

SITE LANDSCAPE
NOTES

PROJECT MANAGER:

BB

PROJECT NUMBER:

230738.01

DATE:

9/26/2023

SHEET NUMBER:

L202

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 10.**

DATE: March 4, 2024

DEPARTMENT: PW - Water/Sewer

PROVIDED BY: Magdelene Wagner

SUBJECT:

Discussion and Possible Action Regarding Relocation Order **Resolution 24-03-09** for Easements Needed for the Bluemound Water Main Loop [Wagner]

BACKGROUND:

The Bluemound Water Main Loop is a water main extension project which will loop our water main on Busse Road to Foster Court which will allow us to abandon Well 5. Recall Well 5 currently is under a consent order due to high radium levels and is only being used intermittently.

The Council previously approved resolution 22-11-47 for easements, but due to some design constraints (conflicts with Utilities in the County Right of Way and Railroad crossing restrictions), we needed to redesign sections of water main. With the redesign, we needed to change some easement boundaries. This resolution allows us to acquire the land needed for the water main loop project.

FINANCIAL IMPACT:

RECOMMENDED MOTION:

Council adopt the Bluemound Water Main Loop Revised Resolution.

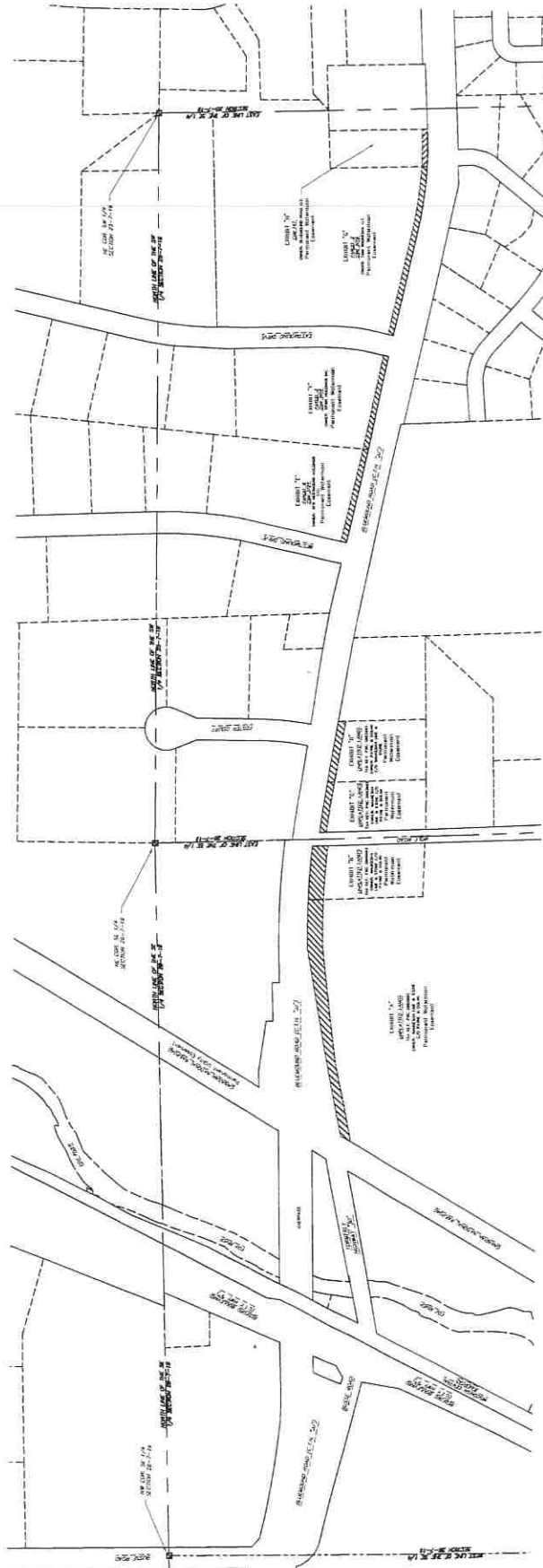
ATTACHMENTS:

Description

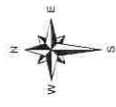
Resolution Attachment

Resolution 24-03-09

SHEET NO. 1 OF 1		26-10144 TALE NO.		DATE: February 20, 2024 SCHEDULED BY:		CITY OF PEWAUKEE WAUKESHA COUNTY, WISCONSIN		Rukert • Mielke Waukesha • Kenosha • Madison Global Water Center • Fox Valley www.ruekertmielke.com		TOWN: RANGE: SECTION:	
1	2	3	4	5	6	7	8	9	10	11	12



	Temporary Construction Elements
	Permanent Waterways Elements



PREPARED FOR:
 The American Petroleum Institute
 1225 K Street, N.W.
 Washington, D.C. 20004
 Phone: 202-542-5733

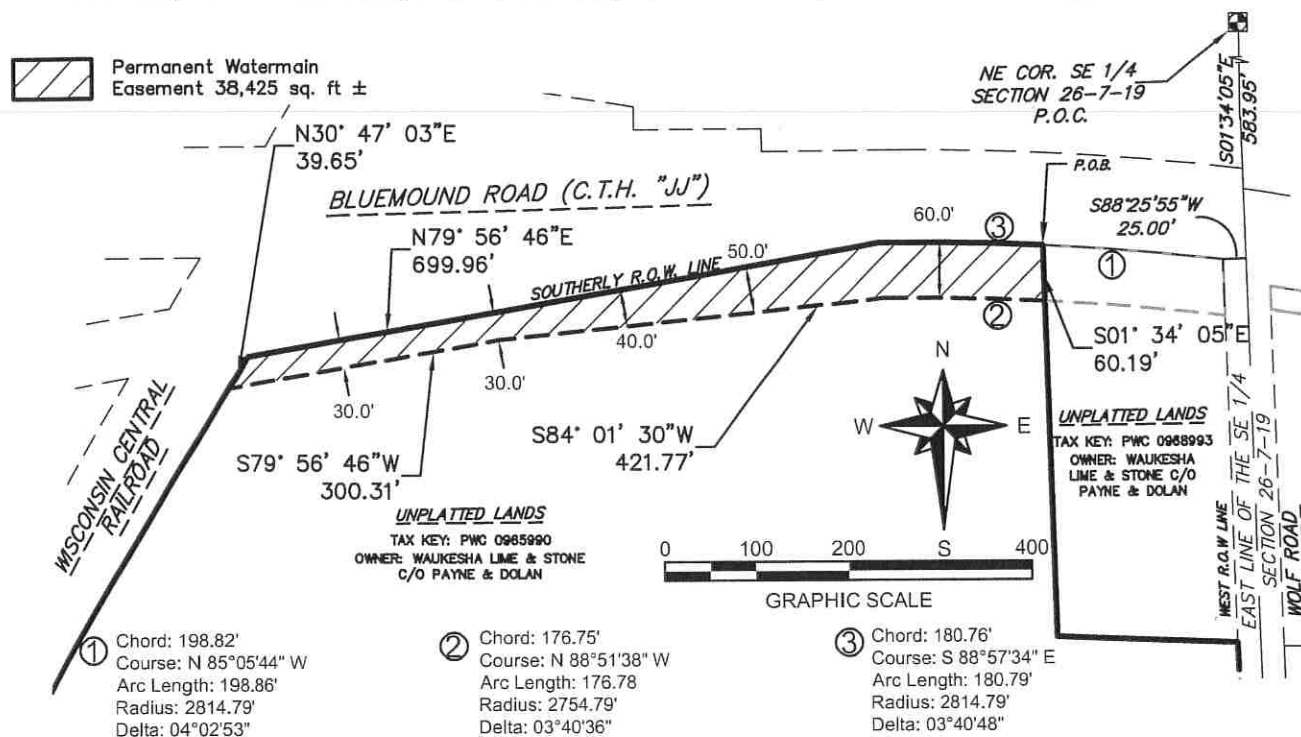
PREPARED BY:
 Robert A. Muller, Inc.
 10000 Wilshire Blvd.
 Suite 1000
 Los Angeles, CA 90024
 Phone: 213-749-1100

PROJECT NAME: TAKE NO RESPONSIBILITY FOR ANY UNDESIRABLE STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, DEPTHS, INCLUDING TANKS, PIPES, CEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY UNDESIRABLE MATERIALS FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

EXHIBIT "A"

PERMANENT VARIABLE WIDTH WATERMAIN EASEMENT

Being part of Unplatted Lands, located in part of the SE 1/4 of Section 26, located in Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin



Being part of Unplatted Lands, located in part of the the SE 1/4 of Section 26, located in Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows:

PERMANENT VARIABLE WIDTH WATERMAIN EASEMENT "A":

Commencing at the Northeast corner of the Southeast 1/4 of said Section 26; thence bearing S01°34'05"E along the East line of said Section 26, a distance of 583.95 feet; thence bearing S88°25'55"W, a distance of 25.00 feet to the Southerly Right-of-Way (ROW) line of Bluemound Road (C.T.H. "JJ"); thence 198.86 feet along the arc of a curve to the south along said ROW line, whose radius is 2814.79 feet, and whose chord bears N85°05'44"W, a distance of 198.82 feet to the Place of Beginning (POB); thence S01°34'05"E, a distance of 60.19 feet; thence 176.78 feet along the arc of a curve to the south, whose radius is 2754.79 feet, and whose chord bears N88°51'38"W, a distance of 176.75 feet; thence S84°01'30"W, a distance of 421.77 feet; thence bearing S79°56'46"W, a distance of 300.31 feet to the Easterly ROW line of Wisconsin Central Railroad; thence N30°47'03"E along said line, a distance of 39.65 feet to the Southerly ROW line of Bluemound Road; thence bearing N79°56'46"E along said line, a distance of 699.96 feet to a point of curvature; thence 180.76 feet along the arc of a curve to the south along said ROW line, whose radius is 2814.79 feet, and whose chord bears S88°57'34"E, a distance of 180.76 feet to the (POB), containing 38,425 square feet more or less of land. Subject to, but not limited to, covenants, restrictions and easements of record.

PROPERTY LINES SHOWN ON THIS EXHIBIT ARE DRAWN FROM DATA DERIVED FROM MAPS AND DOCUMENTS OF PUBLIC RECORD AND/OR OCCUPATION LINES. THIS EXHIBIT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING LINES OF THE PUBLIC LAND SURVEY SYSTEM AND RIGHT-OF-WAY LINES, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE PROPERTY SURVEY AS DEFINED AND PURSUANT TO THE WISCONSIN ADMINISTRATIVE CODE A-E 7.

SHEET 1 OF 1

Ruekert • Mielke
www.ruekertmielke.com

PREPARED FOR:

City of Pewaukee
W240 N3065 Pewaukee Road
Pewaukee, WI 53072

PREPARED BY:

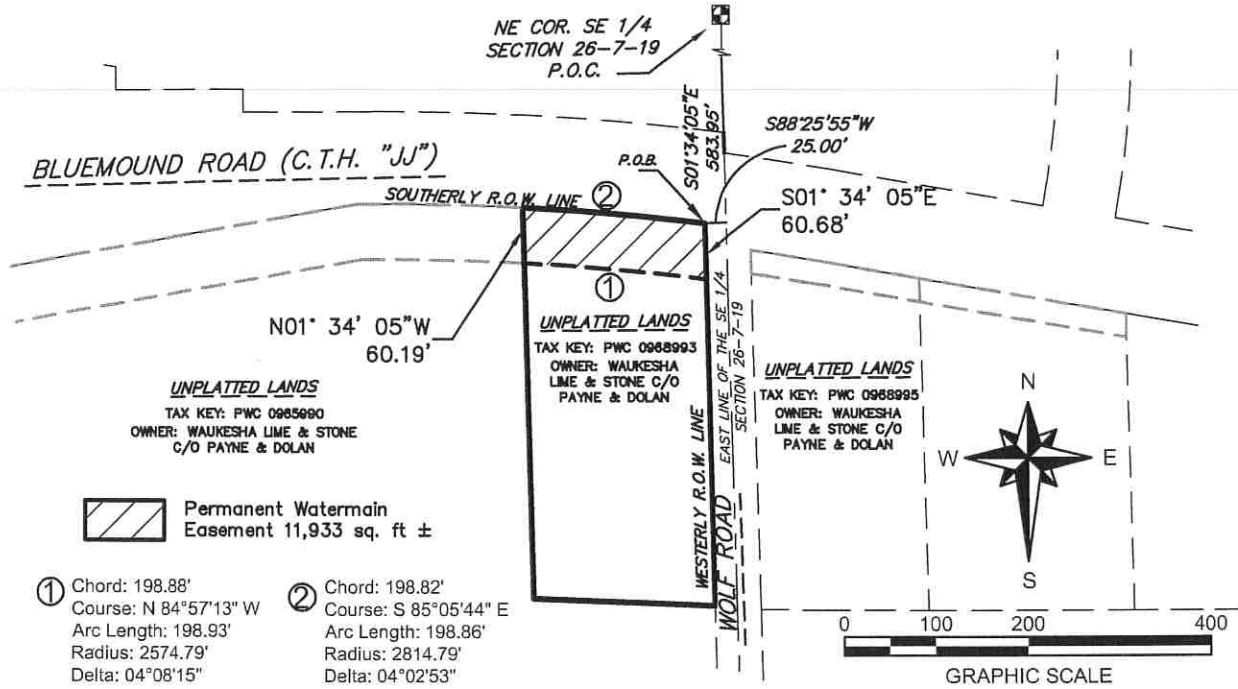
Ruekert & Mielke, Inc.
W233 N2080 Ridgeview Pkwy.
Waukesha, WI 53188

DRAFTED BY PETER MIELKE CHECKED BY JOHN M. SCHULZ

EXHIBIT "B"

PERMANENT 60' WIDE WATERMAIN EASEMENT

Being part of Unplatted Lands, located in part of the SE 1/4 of Section 26, located in Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin



Being part of Unplatted Lands, located in part of the the SE 1/4 of Section 26, located in Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows:

PERMANENT 60' WIDE WATERMAIN EASEMENT "B":

Commencing at the Northeast corner of the Southeast 1/4 of said Section 26; thence bearing S01°34'05"E along the East line of said Section 26, a distance of 583.95 feet; thence bearing S88°25'55"W, a distance of 25.00 feet to the Easterly Right-of-Way (ROW) line of Wolf Road, also being the Point of Beginning (POB); thence bearing S01°34'05"E along said ROW line, a distance of 60.68 feet; thence 198.93 feet along the arc of a curve to the south, whose radius is 2574.79 feet; and whose chord bears N84°57'13"W, a distance of 198.88 feet; thence bearing N01°34'05"W, a distance of 60.19 feet to the Southerly ROW line of Bluemound Road (C.T.H. "JJ"); thence 198.86 feet along the arc of a curve to the south along said ROW line, whose radius is 2814.79 feet, and whose chord bears S85°05'44"E, a distance of 198.82 feet to the POB, containing 11,933 square feet more or less of land. Subject to, but not limited to, covenants, restrictions and easements of record.

PROPERTY LINES SHOWN ON THIS EXHIBIT ARE DRAWN FROM DATA DERIVED FROM MAPS AND DOCUMENTS OF PUBLIC RECORD AND/OR OCCUPATION LINES. THIS EXHIBIT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING LINES OF THE PUBLIC LAND SURVEY SYSTEM AND RIGHT-OF-WAY LINES, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE PROPERTY SURVEY AS DEFINED AND PURSUANT TO THE WISCONSIN ADMINISTRATIVE CODE A-E 7.

SHEET 1 OF 1

 **Ruekert • Mielke**
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PREPARED FOR:

City of Pewaukee
W240 N3065 Pewaukee Road
Pewaukee, WI 53072

PREPARED BY:

Ruekert & Mielke, Inc.
W233 N2080 Ridgeview Pkwy.
Waukesha, WI 53188

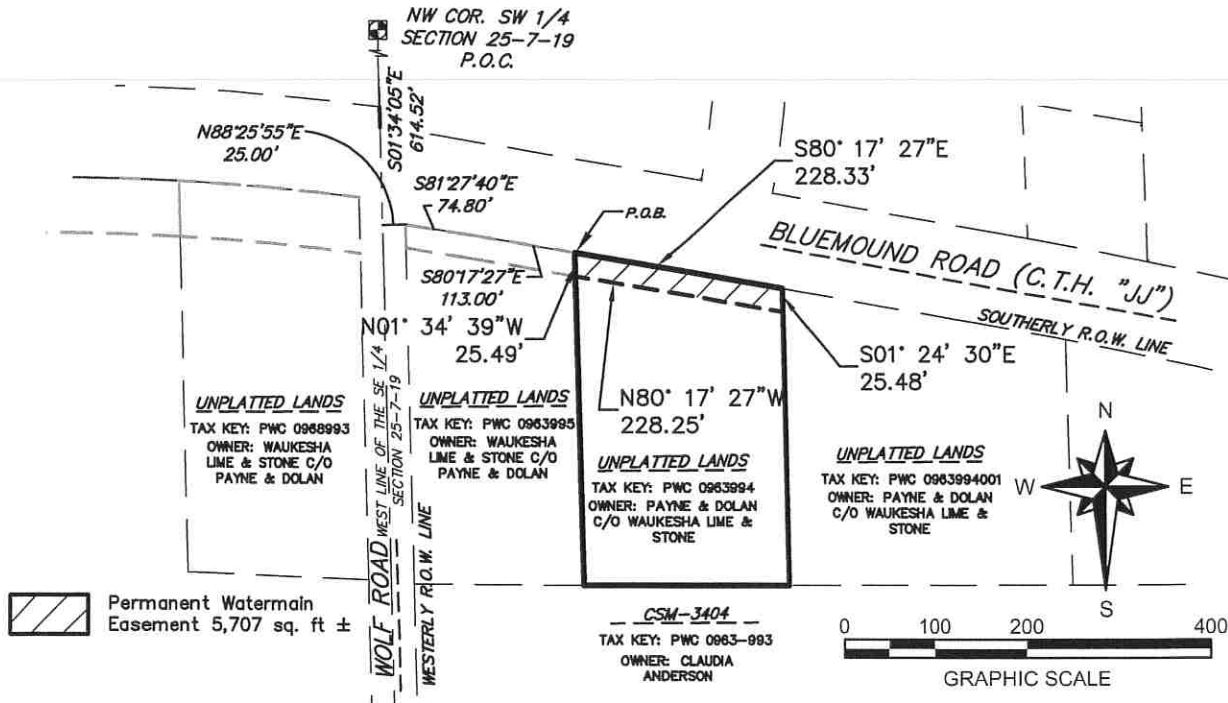
DRAFTED BY PETER MUEHL CHECKED BY JOHN M SCHULZ

Page 5 of 11

EXHIBIT "D"

PERMANENT 25' WIDE WATERMAIN EASEMENT

Being part of Unplatted Lands, located in part of the SW 1/4 of Section 25, located in Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin



Being part of Unplatted Lands, located in part of the the SW 1/4 of Section 25, located in Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows:

PERMANENT 25' WIDE WATERMAIN EASEMENT "D":

Commencing at the Northwest corner of the Southwest 1/4 of said Section 25; thence bearing S01°34'05"E along the West line of said Section 25, a distance of 614.52 feet; thence bearing N88°25'55"E, a distance of 25.00 feet to the Southerly Right-of-Way (ROW) line of Bluemound Road (C.T.H. "JJ"), thence bearing S81°27'40"E along said ROW line, a distance of 74.80 feet; thence bearing S80°17'27"E along said ROW line, a distance of 113.00 feet to the Point of Beginning (POB); thence bearing S80°17'27"E along said ROW line, a distance of 228.33 feet; thence bearing S01°24'30"E, a distance of 25.48 feet; thence bearing N80°17'27"W, a distance of 228.25 feet, thence bearing N01°34'39"W, a distance of 25.49 feet to the POB, containing 5,707 square feet more or less of land. Subject to, but not limited to, covenants, restrictions and easements of record.

PROPERTY LINES SHOWN ON THIS EXHIBIT ARE DRAWN FROM DATA DERIVED FROM MAPS AND DOCUMENTS OF PUBLIC RECORD AND/OR OCCUPATION LINES. THIS EXHIBIT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING LINES OF THE PUBLIC LAND SURVEY SYSTEM AND RIGHT-OF-WAY LINES, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE PROPERTY SURVEY AS DEFINED AND PURSUANT TO THE WISCONSIN ADMINISTRATIVE CODE A-E 7.

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PREPARED FOR:
City of Pewaukee
W240 N3065 Pewaukee Road
Pewaukee, WI 53072

PREPARED BY:
Ruekert & Mielke, Inc.
W233 N2080 Ridgeview Pkwy.
Waukesha, WI 53188

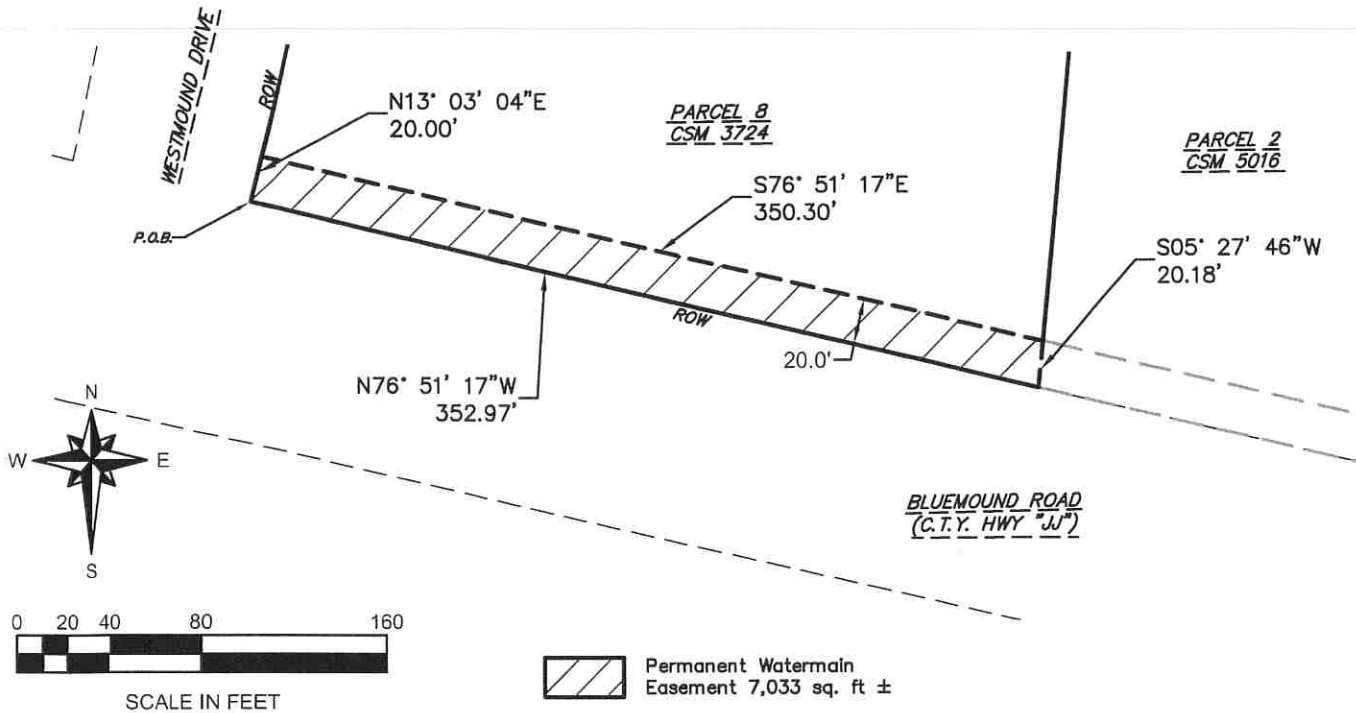
DRAFTED BY PETER MUEHL CHECKED BY JOHN M. SCHULZ

EXHIBIT "E"

SHEET 1 OF 1

PERMANENT WATERMAIN EASEMENT

Being part of Parcel 8 of Certified Survey Map No. 3724, located in the SW 1/4 of Section 25, located in Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin



Being part of Parcel 8 of Certified Survey Map No. 3724, located in part of the SW 1/4 of Section 25, Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows:

PERMANENT WATERMAIN EASEMENT "E":

Beginning at the Southwest corner of Parcel 8 of Certified Survey Map (CSM) No. 3724; thence bearing N13°03'04"E along the Easterly Right-of-Way (ROW) line of Westmound Drive, a distance of 20.00 feet; thence bearing S76°51'17"E, a distance of 350.30 feet to the Easterly line of Parcel 8 of said CSM; thence bearing S05°27'46"W along said line, a distance of 20.18 feet to the Northerly ROW line of Bluemound Road; thence bearing N76°51'17"W along said line, a distance of 352.97 feet to the POB, containing 7,033 square feet more or less of land. Subject to, but not limited to, covenants, restrictions and easements of record.

PROPERTY LINES SHOWN ON THIS EXHIBIT ARE DRAWN FROM DATA DERIVED FROM MAPS AND DOCUMENTS OF PUBLIC RECORD AND/OR OCCUPATION LINES. THIS EXHIBIT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING LINES OF THE PUBLIC LAND SURVEY SYSTEM AND RIGHT-OF-WAY LINES, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE PROPERTY SURVEY AS DEFINED AND PURSUANT TO THE WISCONSIN ADMINISTRATIVE CODE A-E 7.

 **Ruekert & Mielke**
www.ruekertmielke.com

PREPARED FOR:
City of Pewaukee
W240 N3065 Pewaukee Road
Pewaukee, WI 53072

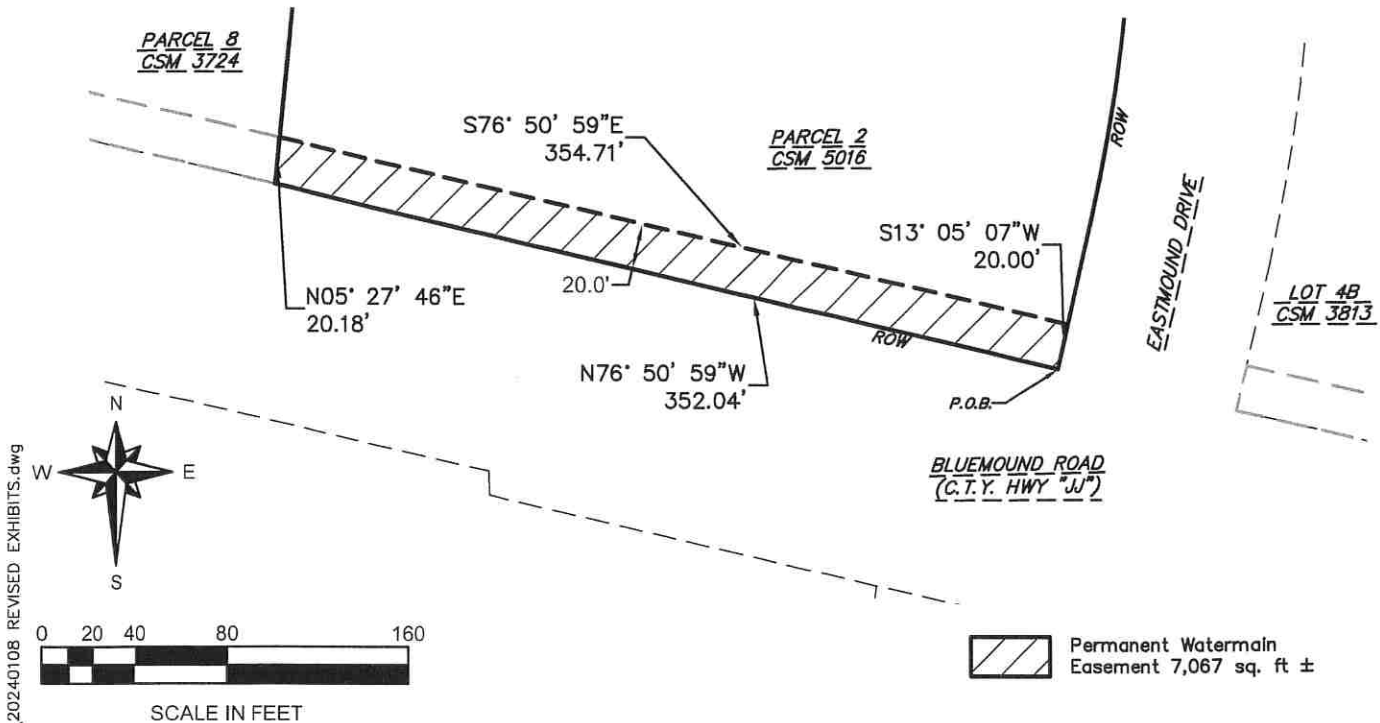
PREPARED BY:
Ruekert & Mielke, Inc.
W233 N2080 Ridgeview Pkwy.
Waukesha, WI 53188

EXHIBIT "F"

SHEET 1 OF 1

PERMANENT WATERMAIN EASEMENT

Being part of Parcel 2 of Certified Survey Map No. 5016, located in the SW 1/4 of Section 25, located in Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin



Being part of Parcel 2 of Certified Survey Map No. 5016, located in part of the SW 1/4 of Section 25, Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows:

PERMANENT WATERMAIN EASEMENT "F":

Beginning at the Southeast corner of Parcel 2 of Certified Survey Map (CSM) No. 5016; thence bearing N76°50'59"W along the Northerly Right-of-Way (ROW) line of Bluemound Road, a distance of 352.04 feet to the Westerly line of said CSM; thence bearing N05°27'46"E, a distance of 20.18 feet; thence bearing S76°50'59"E, a distance of 354.71 feet to the Westerly ROW line of Eastmound Drive; thence bearing S13°05'07"W along said line, a distance of 20.00 feet to the POB, containing 7,067 square feet more or less of land. Subject to, but not limited to, covenants, restrictions and easements of record.

PROPERTY LINES SHOWN ON THIS EXHIBIT ARE DRAWN FROM DATA DERIVED FROM MAPS AND DOCUMENTS OF PUBLIC RECORD AND/OR OCCUPATION LINES. THIS EXHIBIT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING LINES OF THE PUBLIC LAND SURVEY SYSTEM AND RIGHT-OF-WAY LINES, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE PROPERTY SURVEY AS DEFINED AND PURSUANT TO THE WISCONSIN ADMINISTRATIVE CODE A-E 7.

Ruekert • Mielke
www.ruekertmielke.com

PREPARED FOR:

City of Pewaukee
W240 N3065 Pewaukee Road
Pewaukee, WI 53072

PREPARED BY:

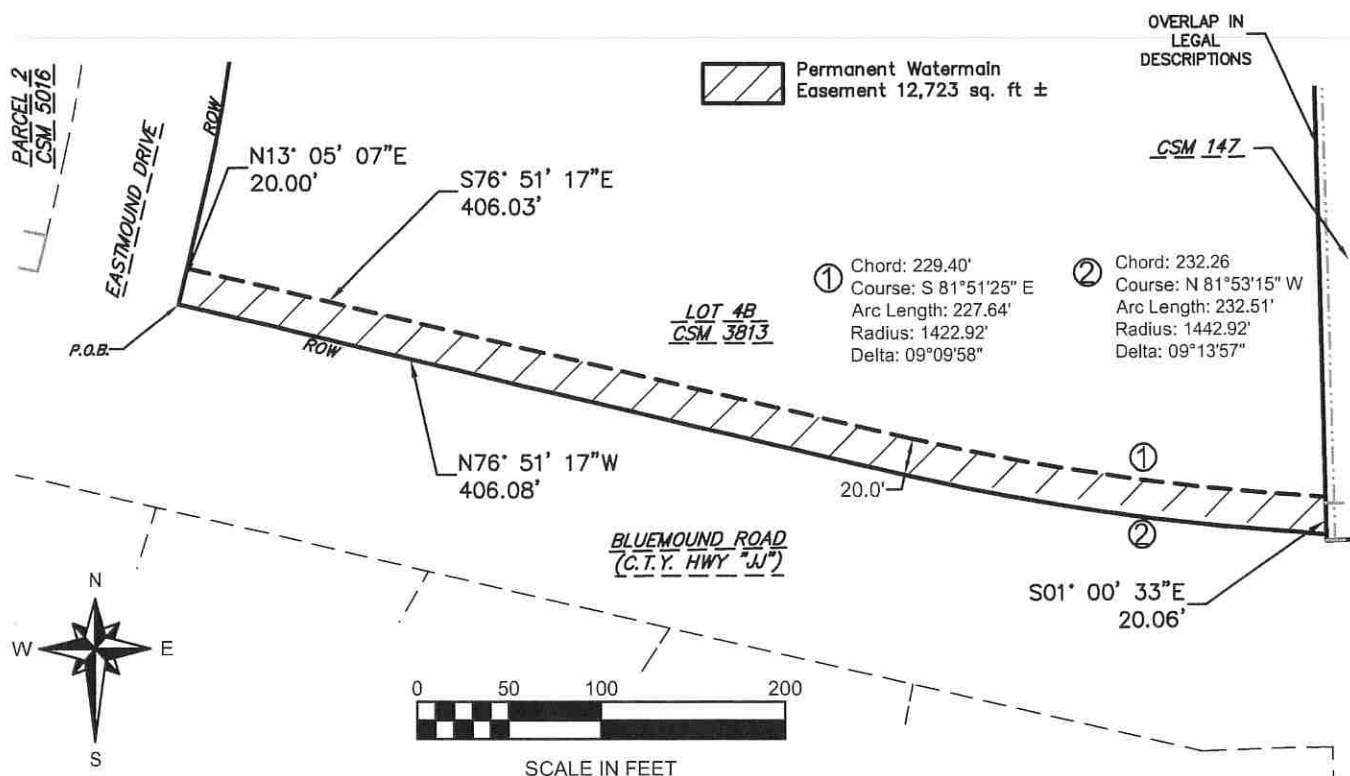
Ruekert & Mielke, Inc.
W233 N2080 Ridgeview Pkwy.
Waukesha, WI 53188

EXHIBIT "G"

SHEET 1 OF 1

PERMANENT WATERMAIN EASEMENT

Being part of Lot 4B of Certified Survey Map No. 3813, located in the SW 1/4 of Section 25, located in Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin



Being part of Lot 4B of Certified Survey Map No. 3813, located in part of the SW 1/4 of Section 25, Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows:

PERMANENT WATERMAIN EASEMENT "G":

Beginning at the Southwest corner of Lot 4B of Certified Survey Map (CSM) No. 3813; thence bearing N13°05'07"E along the Easterly Right-of-Way (ROW) line of Eastmound Road, a distance of 20.00 feet; thence bearing S76°51'17"E, a distance of 406.03 feet to a point of curvature, thence 227.64 feet along the arc of a curve to the left, whose radius is 1422.92 feet, and whose chord bears S81°51'25"E, a distance of 229.40 feet to the Easterly line of said CSM; thence bearing S01°00'33"E, a distance of 20.06 feet to the Northerly ROW line of Bluemound Road, thence 232.51 feet along the arc of a curve to the right, whose radius is 1442.92 feet, and whose chord bears N81°53'15"W, a distance of 232.26 feet to a point of tangency; thence bearing N76°51'17"W, a distance of 406.08 feet to the POB, containing 12,723 square feet more or less of land. Subject to, but not limited to, covenants, restrictions and easements of record.

PROPERTY LINES SHOWN ON THIS EXHIBIT ARE DRAWN FROM DATA DERIVED FROM MAPS AND DOCUMENTS OF PUBLIC RECORD AND/OR OCCUPATION LINES. THIS EXHIBIT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING LINES OF THE PUBLIC LAND SURVEY SYSTEM AND RIGHT-OF-WAY LINES, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE PROPERTY SURVEY AS DEFINED AND PURSUANT TO THE WISCONSIN ADMINISTRATIVE CODE A-E 7.

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PREPARED FOR:

City of Pewaukee
W240 N3065 Pewaukee Road
Pewaukee, WI 53072

PREPARED BY:

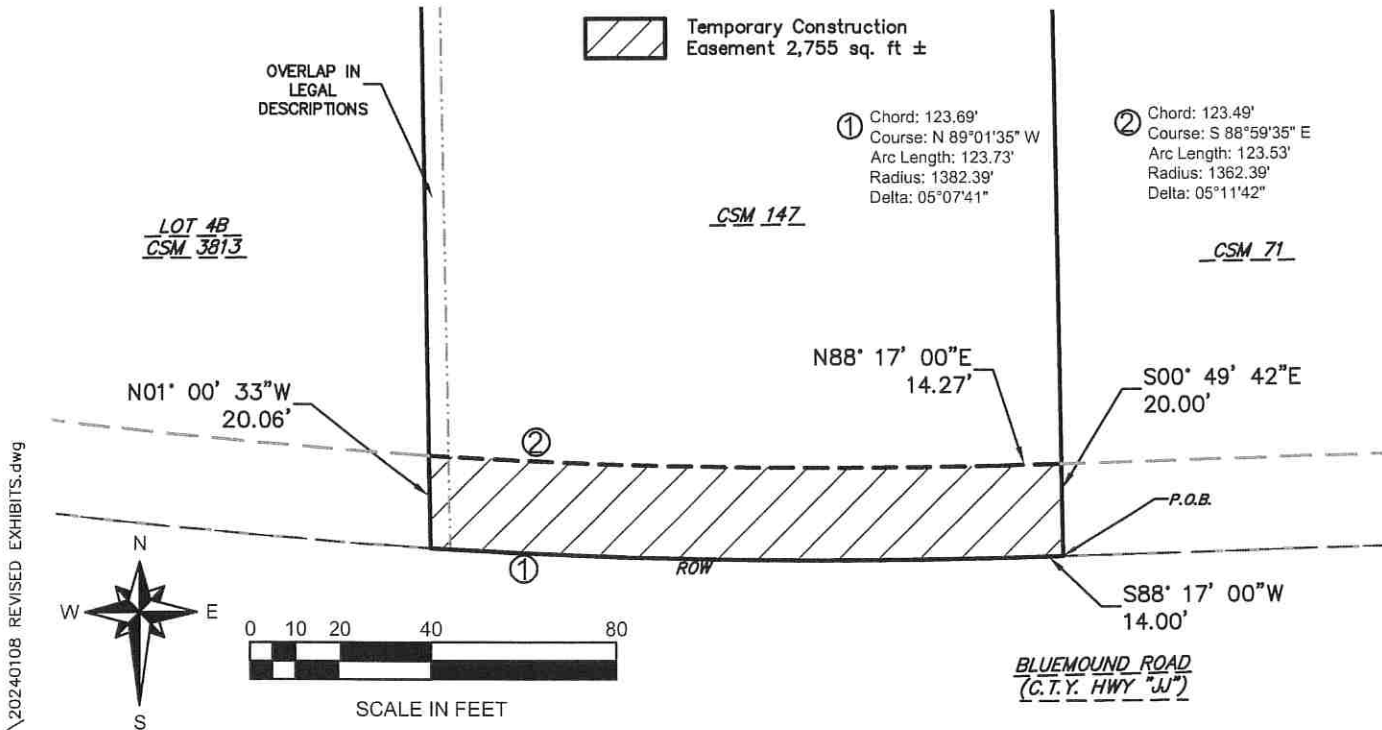
Ruekert & Mielke, Inc.
W233 N2080 Ridgeview Pkwy.
Waukesha, WI 53188

EXHIBIT "H"

SHEET 1 OF 1

TEMPORARY CONSTRUCTION EASEMENT

Being part of Certified Survey Map No. 147, located in the SW 1/4 of Section 25, located in Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin



Being part of Certified Survey Map No. 147, located in part of the SW 1/4 of Section 25, Township 7 North, Range 19 East, City of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows:

TEMPORARY CONSTRUCTION EASEMENT "H":

Beginning at the Southeast corner of Certified Survey Map (CSM) No. 147; thence bearing S88°17'00"W along the Northerly Right-of-Way (ROW) line of Bluemound Road, a distance of 14.00 feet to a point of curvature; thence 123.73 feet along the arc of a curve to the right whose radius is 1382.39 feet, and whose chord bears N89°01'35"W, a distance of 123.69 feet to the Easterly line of Lot 4B of CSM 3813; thence bearing N01°00'33"W along said line a distance of 20.06 feet; thence 123.53 feet along the arc of a curve to the left, whose radius is 1362.39, and whose chord bears S88°59'35"E, a distance of 123.49 feet to a point of tangency; thence bearing N88°17'00"E, a distance of 14.27 feet to the Westerly line of CSM 71; thence bearing S00°49'42"E along said line, a distance of 20.00 feet to the POB, containing 2,755 square feet more or less of land. Subject to, but not limited to, covenants, restrictions and easements of record.

PROPERTY LINES SHOWN ON THIS EXHIBIT ARE DRAWN FROM DATA DERIVED FROM MAPS AND DOCUMENTS OF PUBLIC RECORD AND/OR OCCUPATION LINES. THIS EXHIBIT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING LINES OF THE PUBLIC LAND SURVEY SYSTEM AND RIGHT-OF-WAY LINES, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE PROPERTY SURVEY AS DEFINED AND PURSUANT TO THE WISCONSIN ADMINISTRATIVE CODE A-E 7.

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PREPARED FOR:
City of Pewaukee
W240 N3065 Pewaukee Road
Pewaukee, WI 53072

PREPARED BY:
Ruekert & Mielke, Inc.
W233 N2080 Ridgeview Pkwy.
Waukesha, WI 53188

THIS INSTRUMENT WAS DRAFTED BY JOHN M. SCHULZ, P.L.S. (3/28/23)

**COMMON COUNCIL – CITY OF PEWAUKEE
RESOLUTION #24-03-__**

**RELOCATION ORDER OF THE CITY OF PEWAUKEE
WAUKESHA COUNTY, WISCONSIN
(Bluemound Water Main Loop)**

NOW COMES the City of Pewaukee, Waukesha County, Wisconsin, by its Common Council and for its Relocation Order hereby resolves as follows:

1. That this Resolution is a Relocation Order in accordance with §32.05(1), Wisconsin Statutes, for the purposes of the within described public improvement project and it is also a determination of necessity for that project in accordance with §32.07(2), Wisconsin Statutes. This Relocation supersedes Resolution #22-11-47.
2. That the City of Pewaukee hereby determines that it is a necessary and public purpose to construct public improvements as shown on the maps attached hereto, made a part hereof and marked Exhibit “A-1” through “A-9”.
3. That said public improvements (water main extension) will be built as set forth on the maps which are annexed to this Relocation Order as Exhibits “A-1” through “A-9” and are incorporated herein.
4. That the sites of said public improvements (water main extension) are contained in Exhibits “A-1” and “A-9” which are incorporated herein; that the legal descriptions to said site are attached hereto, made a part hereof and marked Exhibits “A-2” and “A-9”.
5. That the City of Pewaukee will acquire permanent easements or right of way for public improvements (water main extension) as indicated on Exhibits “A-1” through “A-9”.

Passed and approved this 4th day of March 2024.

I hereby certify that on this 4th day of March 2024, the within Relocation Order was adopted by a vote of ____ ayes to ____ nays by the Common Council of the City of Pewaukee, Waukesha County, Wisconsin.

APPROVED: CITY OF PEWAUKEE

Steven Bierce, Mayor

ATTEST:

Kelly Tarczewski, Clerk / Treasurer

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM •**

DATE: March 4, 2024

DEPARTMENT: Clerk/Treasurer

PROVIDED BY:

SUBJECT:

§19.85(1)(e): Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session specifically related to the Joint Library Contract with the Village of Pewaukee.

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION: