

Office of the Clerk/Treasurer

W240N3065 Pewaukee Road
Pewaukee, WI 53072
(262) 691-0770 Fax 691-1798

**COMMON COUNCIL
MEETING NOTICE AND AGENDA**

Monday, August 5, 2024

6:30 PM

Common Council Chambers ~ Pewaukee City Hall
W240 N3065 Pewaukee Road ~ Pewaukee Wisconsin

-
1. Call to Order and Pledge of Allegiance
 2. Public Comment - Please limit your comments to two (2) minutes, if further time for discussion is needed please contact your District Alderperson prior to the meeting.
 3. **PUBLIC HEARING**, Discussion and Possible Action Regarding **Resolution PC24-07-16** and **Ordinance 24-07** Related to a Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee for Uzelac Industries, Inc. for Property Located at the Northwest Corner of Lindsay Road and Wilhar Road from Medium Density Residential (6,500 Sq. Ft. - 1/2 AC. / D.U.) to Manufacturing / Fabrication / Warehousing (PWC 0866-996-002, PWC 0866-996-003) [Fuchs]
 4. Discussion and Possible Action Regarding **Ordinance 24-08** to Rezone Property Located at the Northwest Corner of Lindsay Road and Wilhar Road (PWC 0866-996, PWC 0866-996-002 & PWC 0866-996-003) from Rs-2 Single-Family Residential to M-2 Limited Industrial for the Purpose of Developing an Approximately 39,000 Square Foot Industrial Building as Requested by Uzelac Industries, Inc. [Fuchs]
 5. Discussion and Action Regarding a Certified Survey Map for Uzelac Industries, Inc. for Property Located at the Northwest Corner of Lindsay Road and Wilhar Road for the Purpose of Combining the Three Existing Properties Into a Single Lot (PWC 0866996, PWC 0866996002, PWC 0866996003)
 6. Discussion Regarding **Ordinance 24-09** to Repeal Section 11.01 "Regulation of Businesses Dealing in the Sale and Dispensing of Intoxicating Liquor and / or Fermented Malt Beverages" and Create Alcohol Beverage Licensing and Permitting Standards and Criteria (*First Reading*) [Attorney Riffle]
 7. Discussion and Possible Action Regarding the Accounts Payable Listing Dated August 5, 2024 [Tarczewski]
 8. Public Comment - Please limit your comments to two (2) minutes, if further time for discussion is needed please contact your district Alderperson prior to the meeting.
 9. Closed Session – You are hereby notified that the Common Council and staff of the City of Pewaukee will convene into closed session after all regular scheduled business has been concluded and upon motion duly made and seconded and acted upon by roll-call vote as required under §19.85(1)(a), Stats. The purpose of the closed session is for the following:

- §19.85(1)(g): Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved, specifically related to Waukesha County Case No. 2023CV1675, Richard Carr vs. Rhett Tuff, et al.

You are further notified that at the conclusion of the Closed Session, the Common Council may convene into open session pursuant to 19.85(2), Stats., for possible additional discussion and action concerning any matters discussed in closed session and for adjournment.

10. Adjournment

Kelly Tarczewski
Clerk/Treasurer

August 1, 2024

NOTICE

It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum. At the above stated meeting, no action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the Clerk/Treasurer, Kelly Tarczewski, at (262) 691-0770 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 3.**

DATE: August 5, 2024

DEPARTMENT: Planning

PROVIDED BY: Nick Fuchs

SUBJECT:

PUBLIC HEARING, Discussion and Possible Action Regarding **Resolution PC24-07-16** and **Ordinance 24-07** Related to a Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee for Uzelac Industries, Inc. for Property Located at the Northwest Corner of Lindsay Road and Wilhar Road from Medium Density Residential (6,500 Sq. Ft. - 1/2 AC. / D.U.) to Manufacturing / Fabrication / Warehousing (PWC 0866-996-002, PWC 0866-996-003) [Fuchs]

BACKGROUND:

At their July 18, 2024, meeting, the Plan Commission recommended approval of the Comprehensive Master Plan Amendment, subject to increasing landscaping on Lindsay Road, staff approval of the ingress/egress to the site, keeping existing vegetation and adding additional plantings to it as much as may be possible, and to discuss further with staff the potential of vacating Wilhar Road to make it a driveway for the existing single-family property to the north. The motion passed: 5-aye, 1-nay.

The applicant has provided a revised Landscape Plan for Common Council review, which is attached.

The applicant has indicated that they will work with staff and meet the necessary standards for the access/decel lanes for the access to Lindsay Road.

Following the Plan Commission meeting, Staff also reviewed the possible vacation further and discussed with the applicant. After further review, it is staff's opinion that it is not feasible to vacate Wilhar Road as the road provides necessary public access to the existing single-family home located on the north end of the road. This road provides both, access to this property as well as compliance with the land division requirement of each lot abutting a minimum of 33-feet upon public right-of-way.

FINANCIAL IMPACT:

RECOMMENDED MOTION:

A motion to approve the Comprehensive Master Plan Amendment to change the Year 2050 Land Use/Transportation Plan map land use designation for property located at the northwest corner of Lindsay Road and Wilhar Road from Medium Density Residential (6,500 Sq. Ft. - 1/2 AC. / D.U.) to Manufacturing/Fabrication/Warehousing (PWC 086996002 and PWC 0866996003).

ATTACHMENTS:

Description

Uzelac staff report 7.18.24

Uzelac staff report 6.20.24

Uzelac narrative

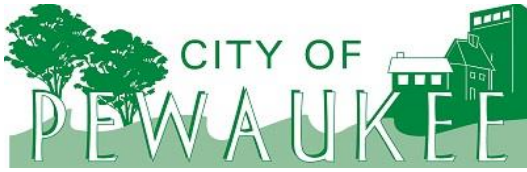
Uzelac Comp Plan exhibit

Uzelac Revised Narrative

Uzelac Revised Landscape Plan

Uzelac Development Plans

Resolution PC 24-07-16



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of July 18, 2024

Date: July 10, 2024

Project Name: Comprehensive Master Plan Amendment, Rezoning, Certified Survey Map, and Site & Building Plan Review

Project Address/Tax Key No.: Not Assigned / PWC 0866996, 0866996002, and 0866996003

Applicant: Briohn Building Corporation

Property Owner: Kuhlman Enterprises, Inc.

Current Zoning: Rs-2-Single Family Residential District

2050 Land Use Map Designation: Manufacturing/Fabrication/Warehousing and Medium Density Residential (6,500 Sq. Ft. – 1/2 Ac. / D.U.)

Use of Surrounding Properties: Single-Family Residential to the north and south, KD Glass to the east, and vacant land to the west.

Background

The subject applications for the construction of a 39,103 square foot industrial building were tabled at the June 20, 2024, Plan Commission meeting. A property owner located to the south indicated several concerns with the project related to truck traffic, the entrance location, lighting, and landscaping. As such, the Plan Commission tabled the matter to allow the applicant time to consider the issues raised by the adjacent property owner.

The June 20th staff report is attached, which provides details regarding the project. Below describes plan changes made following the comments provided at the previous meeting.

Site & Building Plan Review Update

To address the neighbor's concerns regarding the driveway location, the applicant relocated the access drive further east, so it is not across from their driveway. The drive, which is now more centered in the property along Lindsay Road, is across from the rear yards of residential properties located within the Victoria Station subdivision to the south.

This change resulted in 39 parking spaces being proposed as part of the initial phase of development, opposed to 35 parking spaces as shown in the previous plan. Note that the number of future parking spaces is now reduced from 36 parking spaces to 16 parking spaces.

The applicant is also preserving existing trees located in the southwest corner of the property, which were previously shown as being disturbed. This area is shown on Sheet L1.0.

The proposed plan continues to conform to the M-2 District development standards and the City's minimum required greenspace standard of 40%.

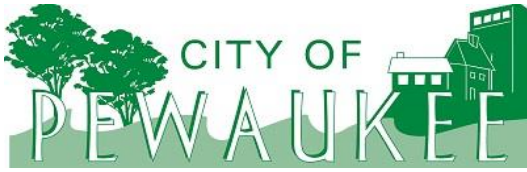
Recommendation

A motion to recommend approval of the Comprehensive Master Plan Amendment to amend the future land use designation for a portion of the properties bearing Tax Key Nos. 0866996002 and 0866996003 from Medium Density Residential to Manufacturing/Fabrication/Warehousing.

A motion to recommend approval of the Rezoning request to change the zoning from Rs-2 Single-Family Residential District to M-2 Limited Industrial District for properties bearing Tax Key Nos. 0866996, 0866996002, and 0866996003.

A motion to recommend approval of the Certified Survey Map to combine the three existing parcels into a single 6.6955-acre lot (Tax Key Nos. 0866996, 0866996002, and 0866996003).

A motion to approve the proposed building and site development plans submitted by Briohn Building Corporation for the property located at approximately W229N4781 Wilhar Road (Tax Key Nos. 0866996, 0866996002, and 0866996003), subject to the conditions within this report.



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Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of June 20, 2024

Date: June 11, 2024

Project Name: Comprehensive Master Plan Amendment, Rezoning, Certified Survey Map, and Site & Building Plan Review

Project Address/Tax Key No.: Not Assigned / PWC 0866996, 0866996002, and 0866996003

Applicant: Briohn Building Corporation

Property Owner: Kuhlman Enterprises, Inc.

Current Zoning: RS2-Single Family Residential

2050 Land Use Map Designation: Manufacturing/Fabrication/Warehousing and Medium Density Residential (6,500 Sq. Ft. – 1/2 Ac. / D.U.)

Use of Surrounding Properties: Single-Family Residential to the north and south, KD Glass to the east, and vacant land to the west.

Project Description/Analysis

Briohn Building, on behalf of Uzelac Industries, LLC, submitted a Comprehensive Master Plan Amendment Application, Rezoning, Certified Survey Map, and a Site & Building Plan Review Application for the development of a 39,103 square foot building located at the northwest corner of Lindsay Road and Wilhar Road.

Comprehensive Master Plan Amendment

The two southernmost properties abutting Lindsay Road are currently designated as both Manufacturing/Fabrication/Warehousing and Medium Density Residential on the City's Year 2050 Land Use/Transportation Plan map. The Medium Density Residential designation covers slightly more than half of the southern portion of these parcels abutting Lindsay Road.

The Comprehensive Master Plan Amendment requests that the Medium Density Residential designation be amended to Manufacturing/Fabrication/Warehousing. This request is consistent with the approval granted to the development to the east, KD Glass.

Note the northernmost parcel, PWC 0866996, is already designated as Manufacturing/Fabrication/Warehousing and is not part of this application.

Rezoning

The subject three properties are all currently zoned Rs-2 Single-Family Residential District. The applicant is requesting to rezone these properties to M-2 Limited Industrial District to accommodate the development. The rezoning is contingent upon and would be consistent with the approval of the Comprehensive Master Amendment Application.

Uzelac Industries, Inc. manufactures commercial dryer systems, which is a permitted use in the M-2 District. If approved, the applicant will be required to submit a Business Plan of Operation Application for staff review and approval.

Certified Survey Map/Land Combination

The Certified Survey Map Application, as required by Section 18.0602, proposes to combine the three existing parcels into a single 6.6955-acre lot. The proposed lot conforms to the minimum lot area and width requirements of the M-2 District.

Site Plan

The applicant is proposing a 39,103 square foot industrial building for a single tenant, Uzelac Industries, Inc. The development will result in approximately 44% greenspace, which complies with the required 40% minimum greenspace standard of the City's Zoning Code. This includes the future building and parking areas as depicted on the site plan.

The site includes access from both Lindsay Road and Wilhar Road. The site and building are designed with the loading area and truck docks along the west side of the building, which consists of two overhead doors and one recessed loading dock. This location, opposed to placing the loading area on the north side of the building, is likely, at least in part, due to the wetland located to the north of the building. Note that wetland may be impacted in the future if Uzelac Industries expands the building footprint.

The M-2 District requires that loading areas be no closer than 100-feet from the right-of-way of a public street. The loading area is about 200-feet north of Lindsay Road, exceeding this standard.

The M-2 District also requires that all parking and loading areas be adequately screened as determined by the Plan Commission. The Landscape Plan includes plantings directly to the south of the loading area and plantings are also located along the west property line to screen the truck dock area.

No outdoor storage or overnight vehicle or trailer parking is proposed.

Related to the site plan, staff recommends:

- Final grading, erosion control and storm water management plans shall be submitted for approval by the Engineering Department prior to any land disturbance.
- Site and Building Plans shall be contingent upon the approval of the proposed comprehensive master plan amendment, rezoning, and Certified Survey Map applications.

Natural Resources

One wetland has been identified on the property. The applicant is not proposing to impact the wetland and is further adhering to the City's required 25-foot setback. The applicant is proposing to grade within the setback area but has agreed to place orange construction fencing around the wetland to ensure it is protected throughout construction.

As previously noted, a future building expansion is shown that would require the wetland to be filled. At that time, WDNR approval will be required for that impact.

This development will also include the removal of existing trees throughout the site.

Landscaping

The applicant is proposing to install sixty-six trees and seventy-six shrubs. The majority of plantings are placed along the perimeter of the site and to the south of the parking lot to screen the parking and loading areas.

Parking

The initial phase of parking to be developed includes thirty-five parking spaces, including two ADA compliant spaces. If needed, the site plan can accommodate an additional thirty-six parking spaces, which is shown on the site plan as future asphalt parking.

The passenger spaces are 9' wide by 20' long (180 square feet), which complies with the City's parking space standards.

The Zoning Code suggests a minimum of one space for each two employees in a 12-hour period. According to the applicant the site will initially have twenty-five full-time employees but may grow in the future. Staff does not object to the quantity of parking provided.

Architecture

The proposed building exterior primarily consists of painted precast concrete wall panels of different colors. The building height varies and ranges from 36.5-feet to a peak parapet height of 39.5-feet. The M-2 District states, "No principal building or parts of a principal building shall exceed 35 feet in height."

Section 17.0901f. also states, "The Height of Commercial, Industrial, and Institutional Buildings may be increased to a maximum of six (6) stories if a fully operational sprinkler system is in place included enclosed stairwells to the roof and the Fire Chief has approved in writing a fire safety plan of the structure and use."

The applicant has discussed the proposed building height with the Fire Chief and there is general agreement upon a fire safety plan to allow for the height increase. *As such, Fire Chief approval of the final fire suppression system and fire safety plan shall be required prior to issuance of a Building Permit.*

Signage

Sign plans have not yet been submitted. A wall sign similar to the sign shown on the renderings is anticipated. Regardless, all signage must comply with standards set forth in Section 17.0700 of the City's Zoning Code and will require separate review and approval by the City Planner as well as a Sign Permit from the Building Services Department, prior to installation.

Utilities

Public sewer and water is available and will serve the subject development.

Lighting

The Lighting Plan consists of ten building lights and one parking lot light. The parking lot light has a peak height of 19-feet and is located on the west side of the Lindsay Road entrance. Two types of building lights will be mounted at a height of 24-feet and the other type is mounted at 10-feet.

Type A, which is located on the south elevation facing Lindsay Road and the adjacent residential development are mounted at 24-feet.

Recommendation

A motion to recommend approval of the Comprehensive Master Plan Amendment to amend the future land use designation for a portion of the properties bearing Tax Key Nos. 0866996002 and 0866996003 from Medium Density Residential to Manufacturing/Fabrication/Warehousing.

A motion to recommend approval of the Rezoning request to change the zoning from Rs-2 Single-Family Residential District to M-2 Limited Industrial District for properties bearing Tax Key Nos. 0866996, 0866996002, and 0866996003.

A motion to recommend approval of the Certified Survey Map to combine the three existing parcels into a single 6.6955-acre lot (Tax Key Nos. 0866996, 0866996002, and 0866996003).

A motion to approve the proposed building and site development plans submitted by Briohn Building Corporation for the property located at approximately W229N4781 Wilhar Road (Tax Key Nos. 0866996, 0866996002, and 0866996003), subject to the conditions within this report.



July 10, 2024

City of Pewaukee
W240N3065 Pewaukee Road
Pewaukee, WI 53072

RE: Resubmittal Project Narrative for Uzelac Industries
PC #1: 6/20/24 – Tabled
PC #2: 7/18/24

VIA EMAIL: fuchs@pewaukee.wi.us

Nick, Staff & Commissioners:

Briohn Building Corporation (“Briohn”) is pleased to present the following proposal (“Development”) to the City of Pewaukee (“City”) on behalf of Uzelac Industries, Inc (“Uzelac”). Uzelac is seeking approval from the City to construct a new facility of approximately 39,084 SF for production and assembly of commercial dryer systems. The proposed Development is located at the northwest intersection of Lindsay Road and Wilhar Road (“Property”).

We appreciate the opportunity to present a revised site plan to the City after the previous Plan Commission meeting on 6/20/24. In addition to the response letter provided to the City on 7/8/24 addressing comments received at that time, please accept the following narrative and voluntarily revised site plan for consideration of Uzelac’s new facility.

Synopsis of Plan Commission Meeting held June 20, 2024

- Report to the Plan Commission dated 6/11/24 thoroughly summarized Staff’s plan review of the (i) comprehensive master plan amendment, (ii) rezoning, (iii) certified survey map, and (iv) site & building plan review
- Staff recommended approval of each item (i-iv) above
- Public comment related to truck volume and access, vegetation and lighting
- Plan Commission complimentary of elevations; urged Briohn to evaluate driveway location and landscaping
- All items tabled until the July 18, 2024 Plan Commission meeting

Entitlements – no change

Uzelac is pursuing a rezone, comprehensive plan amendment, new certified survey map (“CSM”), site plan, and architectural approvals from the City.

DESIGN / BUILD
CONSTRUCTION

ARCHITECTURAL
DESIGN

DEVELOPMENT

PROPERTY
MANAGEMENT

The Property is currently three parcels (TaxKeys PWC 0866996, PWC 0866996002, and PWC 0866996003) for a combined total of 6.69 acres. A new CSM is proposed to combine all three TaxKeys into one lot.

The Development requires an amendment of the current zoning for all three TaxKeys from Rs-2 to M-2, the Limited Industrial District. This is consistent with the adjacent use to the east, separately proposed development to the west, and planned zoning to the north. Uzelac business operations are not detrimental to the immediate surrounding areas by reason on smoke, odor, noise, dust, liquid, flash, traffic, physical appearance, or other similar factors as outlined in the municipal code Section 17.0424.

The Development also requires an amendment to the 2050 Land Use Plan for TaxKeys PWC 0866996002 and PWC 0866996003 from Medium Density Residential to Manufacturing/Fabrication/Warehousing. This is consistent with adjacent uses to the north, east, and west.

The Development will be fully sprinkled, Type 2B construction with a primary occupancy of F-1 (manufacturing) and secondary occupancies of S-1 (storage moderate hazard) and B (business – office). The Development will meet M-2 bulk zoning requirements*.

Code Requirement	M-2 Zoning	Development
Min Lot Area	2 acres	6.69 acres
Building Square Footage	-	39,103 SF
Building Setback – ROW – Lindsay Rd	45'	184.2'
Building Setback – ROW – Wilhar Rd	45'	71.2'
Building Setback – side	25'	184.4'
Building Setback – rear	25'	234.6'
Wetland Setback	25'	30.1'
Max Building Height – principal*	35'	39'6"
Parking		37 standard stalls 2 ADA van stalls

*Due to Uzelac’s manufacturing process, a minimum hook height of 26’ is required, driving the building to 36’-6” for the typical wall panel height. As architectural detail, we will have some wall panels at south and east elevations extend to 39’-6” to serve as screen for office rooftop mechanical units. Briohn met with the City planner and fire chief to discuss entitlements and life/safety as the proposed design exceeds the maximum building height allowable per code in the M2 district. Collectively, Briohn and the City determined the zoning district shall remain M2, as the use and all other bulk site development regulations are met, with an exception to allow the building height up to the heights noted.

Site Plan – changes to the driveway, landscaping & associated lighting and stormwater plans

The Development is situated north of Lindsay Road, west of Wilhar Road and proposed to be approximately 39,103 SF. The Property is sizable enough for a future addition to approximately double the proposed Development; Uzelac is not seeking explicit approval of the expansion at this time, but notably is interested in making a long-term investment within the City.

Access: Originally two main ingress and egress access driveways were proposed – one off Lindsay Road dedicated to all truck traffic and one off Wilhar Road dedicated to all vehicular traffic. Following the

meaningful discussion at Plan Commission, the site plan was voluntarily revised to accommodate the well-being of the surrounding community by condensing access to one driveway off Lindsay Road and relocating the proposed ingress/egress driveway to the east 165 feet. This proposed revision avoids any and all further impact to Wilhar Road which was rated a 2 out of 10 level of service at the time of the public hearing. Additionally, relocating the driveway safely avoids conflict with private drives and the subdivision entrance.

Truck Traffic: The Development is served by (2) at-grade overhead doors and (2) dock overhead doors. This is a considerably low number of overhead doors due to the limited amount of truck traffic required for the successful operation of the business. There will not be constant braking and acceleration noise, nor excessive idling or exhaust associated with daily operations. Typical truck traffic is about 0-3 trucks per day with a maximum of 6 trucks per week. The majority of daily operational deliveries are received via FedEx, UPS, or Supplier passenger vans.

Landscaping: The revised plan clearly identifies an area of approximately 2,386 SF in the southwest corner of the proposed Development which will protect all existing trees, unless dead, per Tree Protection Detail 06 on Sheet L2.0. Additional evergreen screening is shown between the proposed truck loading area and the wet pre-treatment pond. An emphasis was placed on creating an attractive, vegetative buffer from Lindsay Road to ensure the surrounding community is minimally impacted by light pollution.

Lighting: The revised photometric plan, E-1.0, shows proposed levels of lighting at the property line to be 0.0 footcandles, unless at the ingress/access where it does not exceed 0.2fc for pedestrian safety. Additionally, in the southwest corner from the property line to the north, there is approximately 117 feet of area proposed for stormwater treatment and landscaping that will not be lit. This distance increases to approximately 153 feet from Lindsay Road, when including the right-of-way area to the property line.

Environmental: All stormwater mitigation will be retained onsite with a detention pond creating a natural buffer between Lindsay Road and the Development. A wetland delineation confirmed wetlands are on-site and will not be impacted by the proposed Development.

Architecture – no change

The materials are painted precast concrete wall panels along with dark anodized aluminum window framing and tinted low-e glazing. There will be two main gray colors, with the darker color marking the corners and roofline, and the office area. The white color forms the remainder, with light grey accent bands. A green accent paint band sits above the clerestory shop area windows, and above the office entry doors. White aluminum trim will occur as a canopy edge and entry portal over the southeast corner at the office entry. This office corner faces Lindsay and Wilhar Roads, with landscaped stormwater management areas in front of the building. The wall panels extend taller at the office wall to screen the rooftop mechanical units from street view. The dock area faces westward, away from the intersection and from current residential properties. The facility has limited dock usage, having only one recessed dock and two drive-in overhead doors. The products made and assembled within the building will primarily be loaded onto flatbed trailers inside the building which minimizes the number of trucks out on site.

Construction

Construction of the Development will be completed in one phase and is currently anticipated to begin August 2024 (via early start permission) with occupancy April 2025.

Conclusion

Uzelac is seeking City approvals to construct approximately a 39,103 SF facility for production and assembly of commercial dryer systems.

Please do not hesitate to contact me with additional questions. We look forward to collaborating with the City of Pewaukee on this proposed Development.

Thank you,

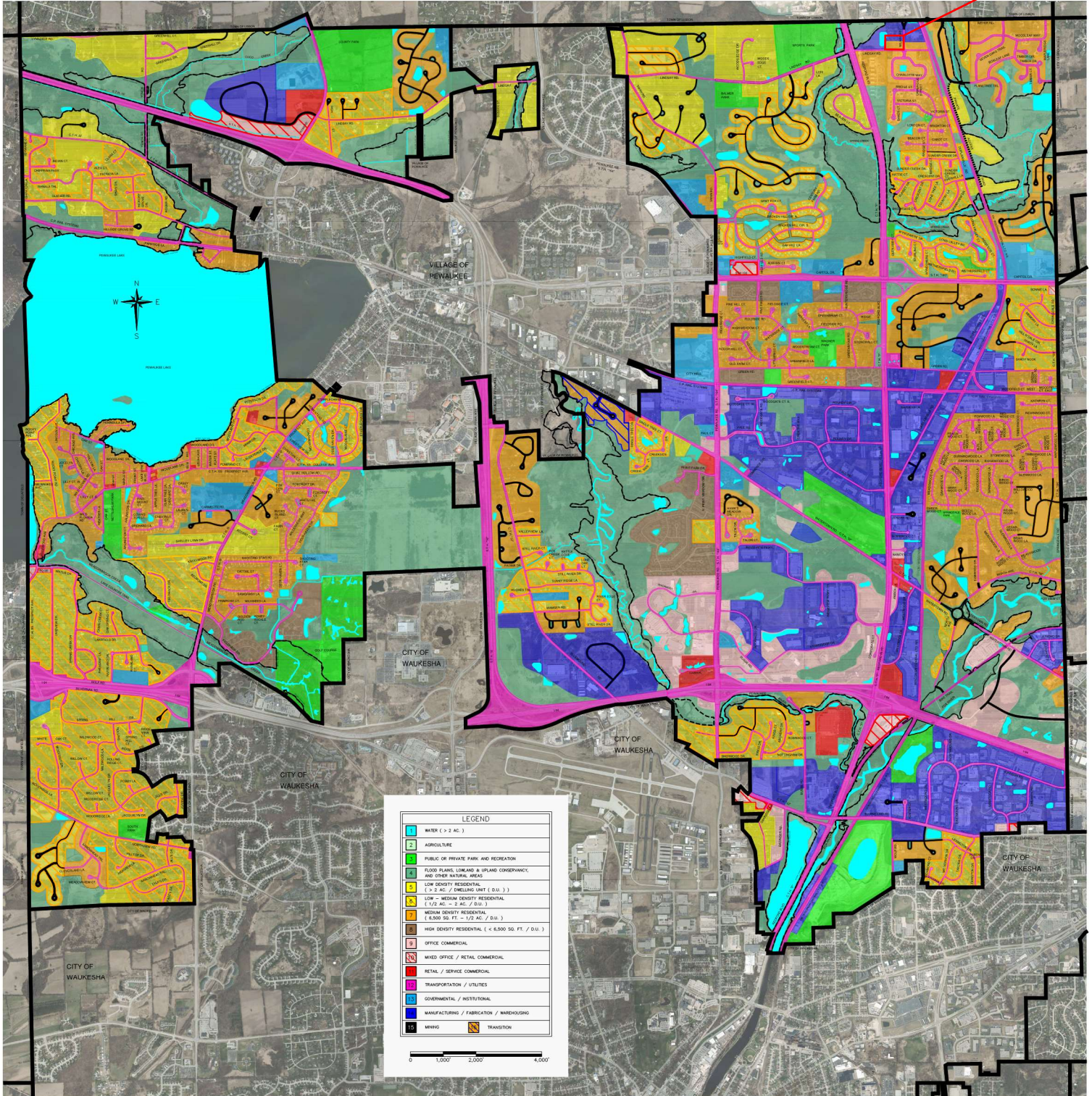
Caitlin LaJoie

Caitlin LaJoie
Director of Land Development
clajoie@briohn.com
262-307-8792

CITY OF PEWAUKEE

YEAR 2050 LAND USE / TRANSPORTATION PLAN

LOCATION OF
PROPOSED
DEVELOPMENT



ADOPTED BY NEIGHBORHOODS 2016-2018 3-23-2018



July 29, 2024

City of Pewaukee
W240N3065 Pewaukee Road
Pewaukee, WI 53072

RE: Resubmittal Project Narrative for Uzelac Industries
PC #1: 6/20/24 – Tabled
PC #2: 7/18/24 – Recommendation for Conditional Approval
CC: 08/05/24

VIA EMAIL: fuchs@pewaukee.wi.us

Nick, Staff & Councilmembers:

Briohn Building Corporation (“Briohn”) is pleased to present the following proposal (“Development”) to the City of Pewaukee (“City”) on behalf of Uzelac Industries, Inc (“Uzelac”). Uzelac is seeking approval from the City to construct a new facility of approximately 39,084 SF for production and assembly of commercial dryer systems. The proposed Development is located at the northwest intersection of Lindsay Road and Wilhar Road (“Property”).

Synopsis of Plan Commission Meeting held June 20, 2024

- Report to the Plan Commission dated 6/11/24 thoroughly summarized Staff’s plan review of the (i) comprehensive master plan amendment, (ii) rezoning, (iii) certified survey map, and (iv) site & building plan review
- Staff recommended approval of each item (i-iv) above
- Public comment related to truck volume and access, vegetation and lighting
- Plan Commission complimentary of elevations; urged Briohn to evaluate driveway location and landscaping
- All items tabled until the July 18, 2024 Plan Commission meeting

Synopsis of Plan Commission Meeting held July 18, 2024

- Discussion by Applicant, neighbors and Plan Commission resulting in conditional approval:
 - o Increase landscaping along Lindsay Road
 - o Discuss ingress and egress with staff
 - o Discuss vacating Wilhar Road with staff
 - o Preserve vegetation in southwest corner

Entitlements – no change

Uzelac is pursuing a rezone, comprehensive plan amendment, new certified survey map (“CSM”), site plan, and architectural approvals from the City.

DESIGN / BUILD
CONSTRUCTION

ARCHITECTURAL
DESIGN

DEVELOPMENT

PROPERTY
MANAGEMENT

The Property is currently three parcels (TaxKeys PWC 0866996, PWC 0866996002, and PWC 0866996003) for a combined total of 6.69 acres. A new CSM is proposed to combine all three TaxKeys into one lot.

The Development requires an amendment of the current zoning for all three TaxKeys from Rs-2 to M-2, the Limited Industrial District. This is consistent with the adjacent use to the east, separately proposed development to the west, and planned zoning to the north. Uzelac business operations are not detrimental to the immediate surrounding areas by reason on smoke, odor, noise, dust, liquid, flash, traffic, physical appearance, or other similar factors as outlined in the municipal code Section 17.0424.

The Development also requires an amendment to the 2050 Land Use Plan for TaxKeys PWC 0866996002 and PWC 0866996003 from Medium Density Residential to Manufacturing/Fabrication/Warehousing. This is consistent with adjacent uses to the north, east, and west.

The Development will be fully sprinkled, Type 2B construction with a primary occupancy of F-1 (manufacturing) and secondary occupancies of S-1 (storage moderate hazard) and B (business – office). The Development will meet M-2 bulk zoning requirements*.

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Building Setback – ROW – Wilhar Rd	45'	71.2'
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Building Setback – rear	25'	234.6'
Wetland Setback	25'	30.1'
Max Building Height – principal*	35'	39'6"
Parking		37 standard stalls 2 ADA van stalls

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Site Plan – changes to the landscaping

The Development is situated north of Lindsay Road, west of Wilhar Road and proposed to be approximately 39,103 SF. The Property is sizable enough for a future addition to approximately double the proposed Development; Uzelac is not seeking explicit approval of the expansion at this time, but notably is interested in making a long-term investment within the City.

Access: The site plan was voluntarily revised to accommodate the well-being of the surrounding community by condensing access to one driveway off Lindsay Road and relocating the proposed ingress/egress driveway to the east 165 feet. This proposed revision avoids any and all further impact to Wilhar Road which was rated a 2 out of 10 level of service at the time of the public hearing. Additionally, relocating the driveway safely avoids conflict with private drives and the subdivision entrance.

Truck Traffic: The Development is served by (2) at-grade overhead doors and (2) dock overhead doors. This is a considerably low number of overhead doors due to the limited amount of truck traffic required for the successful operation of the business. There will not be constant braking and acceleration noise, nor excessive idling or exhaust associated with daily operations. Typical truck traffic is about 0-3 trucks per day with a maximum of 6 trucks per week and one shipment per month. The majority of daily operational deliveries are received via FedEx, UPS, or Supplier passenger vans.

Landscaping: The revised plan clearly identifies an area of approximately 2,386 SF in the southwest corner of the proposed Development which will protect all existing trees, unless dead, per Tree Protection Detail 06 on Sheet L2.0. Proposed plantings along Linday Road are primarily evergreen-type in lieu of hardwood trees and shrubs. An emphasis was placed on creating an attractive, vegetative buffer from Lindsay Road to ensure the surrounding community is minimally impacted by light pollution.

Meeting Date	Plan Commission 6/20/24	Plan Commission 7/18/24	City Council 8/5/24
TREES			
Burk Red Cedar (Jun Bur)	-	3	17
Canaerti Juniper (Jun Can)	-	3	8
Shadblow Serviceberry (Ame Can)	-	3	3
Big Blue Swiss Stone Pine (Pin Bib)	-	3	11
Red Oak (Que Rub)	4	4	-
Ed Gartner Freeman Maple (Ace Feg)	5	4	-
SHRUBS			
Bottlebrush Buckeye (Aes Par)	11	11	-

Lighting: The revised photometric plan, E-1.0, shows proposed levels of lighting at the property line to be 0.0 footcandles, unless at the ingress/access where it does not exceed 0.2fc for pedestrian safety. Additionally, in the southwest corner from the property line to the north, there is approximately 117 feet of area proposed for stormwater treatment and landscaping that will not be lit. This distance increases to approximately 153 feet from Lindsay Road, when including the right-of-way area to the property line.

Environmental: All stormwater mitigation will be retained onsite with a detention pond creating a natural buffer between Lindsay Road and the Development. A wetland delineation confirmed wetlands are on-site and will not be impacted by the proposed Development.

Architecture – no change

The materials are painted precast concrete wall panels along with dark anodized aluminum window framing and tinted low-e glazing. There will be two main gray colors, with the darker color marking the corners and roofline, and the office area. The white color forms the remainder, with light grey accent bands. A green accent paint band sits above the clerestory shop area windows, and above the office entry doors. White aluminum trim will occur as a canopy edge and entry portal over the southeast corner at the office entry. This office corner faces Lindsay and Wilhar Roads, with landscaped stormwater management areas in front of the building. The wall panels extend taller at the office wall to screen the rooftop mechanical units from street view. The dock area faces westward, away from the intersection and from current residential properties. The facility has limited dock usage, having only one recessed dock and two drive-in overhead doors. The products made and assembled within the building will primarily be loaded onto flatbed trailers inside the building which minimizes the number of trucks out on site.

Construction

Construction of the Development will be completed in one phase and is currently anticipated to begin August 2024 (via early start permission) with occupancy April 2025.

Conclusion

Uzelac is seeking City approvals to construct approximately a 39,103 SF facility for production and assembly of commercial dryer systems.

Please do not hesitate to contact me with additional questions. We look forward to collaborating with the City of Pewaukee on this proposed Development.

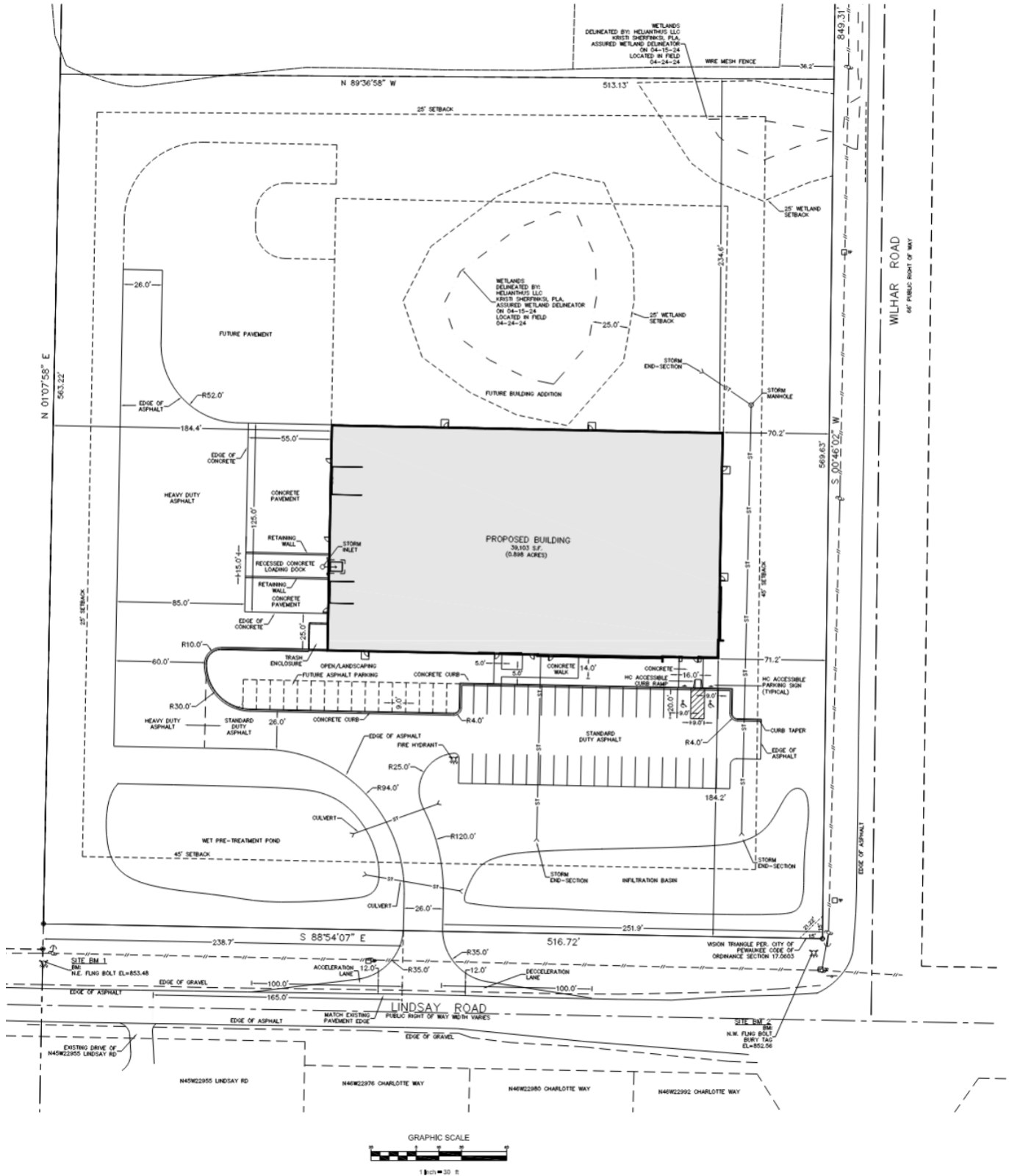
Thank you,

Caitlin LaJoie

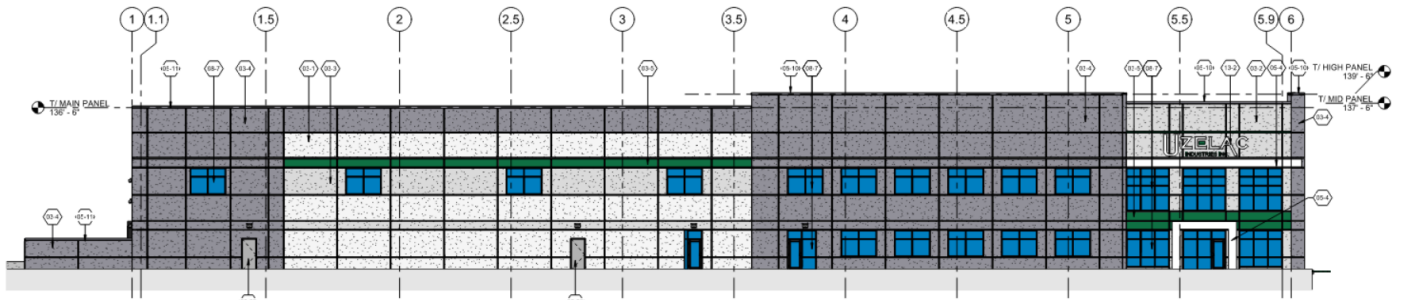
Caitlin LaJoie
Director of Land Development
clajoie@briohn.com
262-307-8792

EXHIBIT A
SITE PLAN AND ELEVATIONS

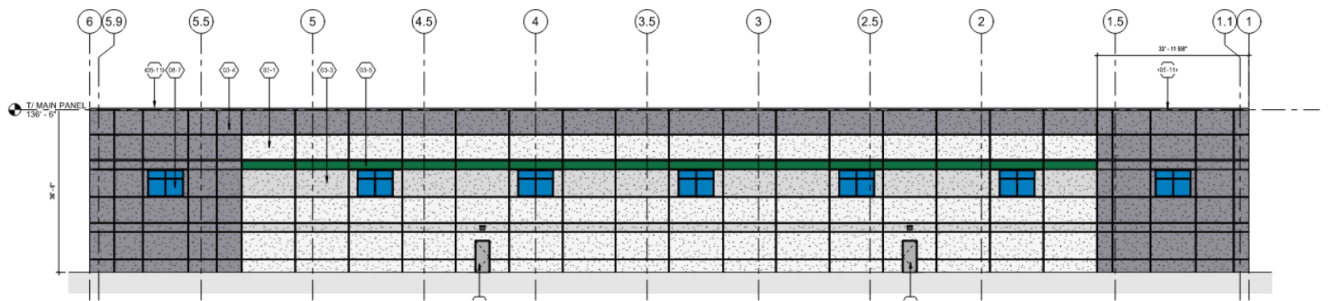
PROPOSED SITE PLAN



PROPOSED ELEVATIONS



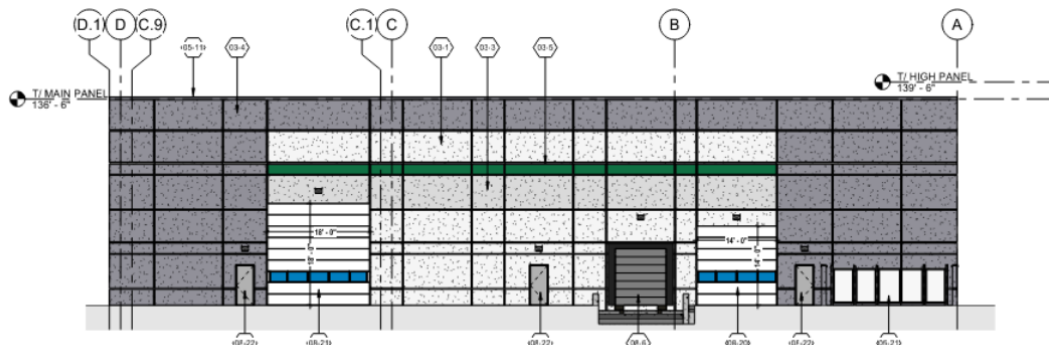
2 SOUTH ELEVATION
3/32" = 1'-0"



4 NORTH ELEVATION
3/32" = 1'-0"



1 EAST ELEVATION
3/32" = 1'-0"



3 WEST ELEVATION
3/32" = 1'-0"

EXHIBIT B
REZONE

Legal description Lot 1

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST 1/4, THENCE S 01°07'58" W ALONG THE WEST LINE OF SAID 1/4 SECTION 279.70 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE S 89°36'58" E 513.13 FEET TO A POINT ON THE WEST LINE OF WILHAR ROAD; THENCE S 00°46'02" W ALONG SAID WEST LINE 849.31 FEET TO A POINT ON THE NORTH LINE OF LINDSAY ROAD; THENCE S 88°54'07" E ALONG SAID NORTH LINE 516.72 FEET TO A POINT ON THE WEST LINE OF SAID 1/4 SECTION, THENCE N 012°07'58" E ALONG SAID WEST LINE 563.22 FEET TO THE POINT OF BEGINNING.

CONTAINING: 291,658 SQUARE FEET OR 6.6955 ACRES.

EXHIBIT C
COMPREHENSIVE PLAN AMENDMENT DEPICTION

CITY OF PEWAUKEE

YEAR 2050 LAND USE / TRANSPORTATION PLAN

LOCATION OF
PROPOSED
DEVELOPMENT

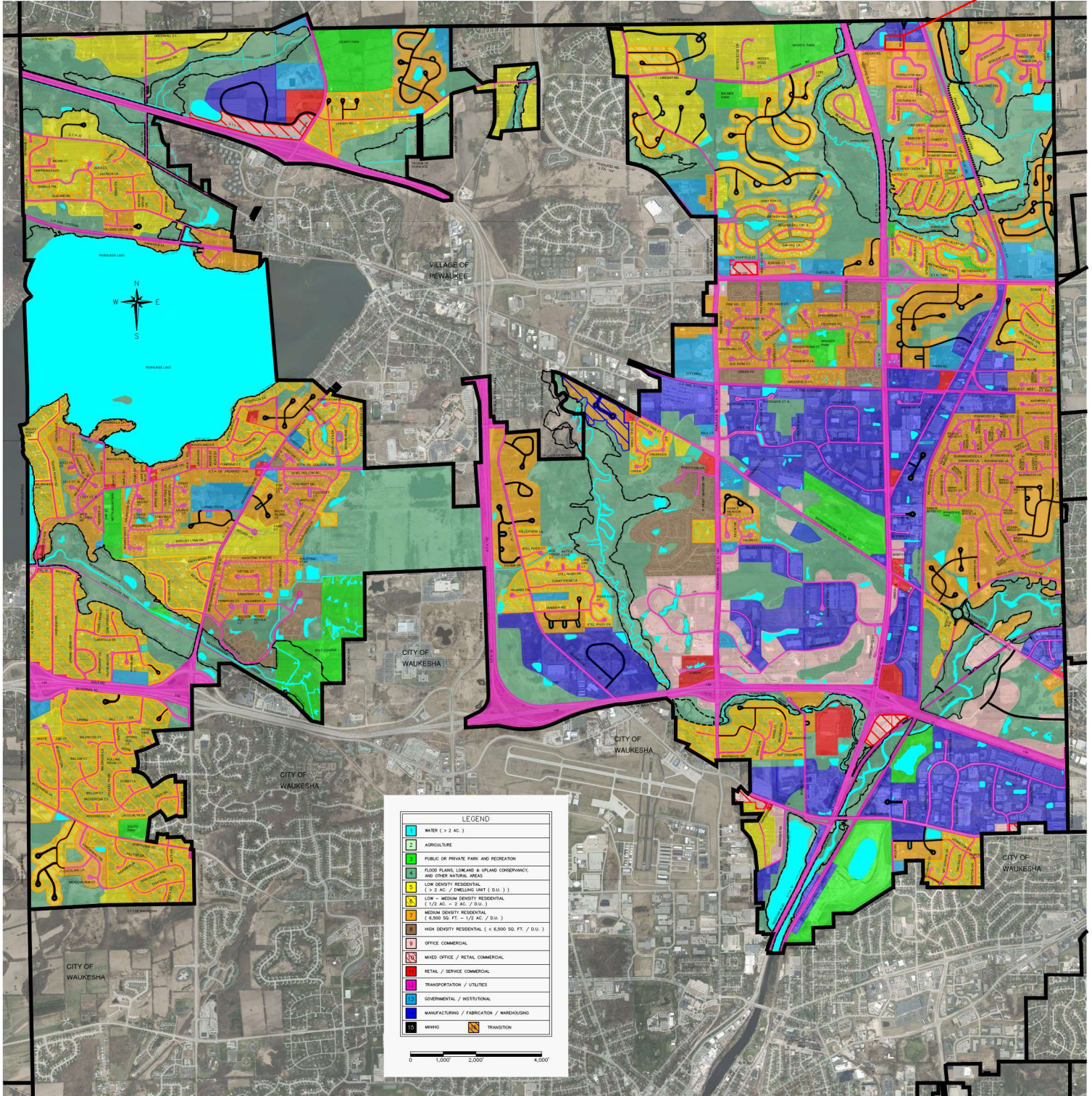


EXHIBIT D
CSM DRAFT

PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.



CAPITOL SURVEY ENTERPRISES
 2015 LA CHANDELLE CT.
 BROOKFIELD, WI 53045
 PH: (262) 786-6600
 FAX: (262) 786-6608
 WWW.CAPITOLSURVEY.COM

PREPARED FOR:
BRIOHN LAND DEVELOPMENT, LLC.
 3885 N. BROOKFIELD RD. STE. 200
 BROOKFIELD, WI 53045



1 INCH = 120 FT.



VILLAGE OF LISBON

SOUTHEAST CORNER
 SOUTHWEST 1/4
 36-8-19
 CONCRETE MONUMENT
 WITH BRASS CAP

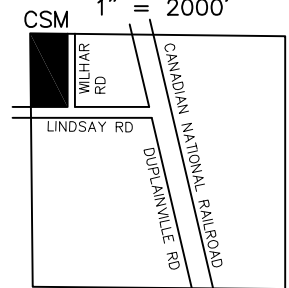
LOT 1
 C.S.M. 10428
 (N 89°09'46" E 2454.28)
 S 89°36'45" E 2454.28'
 1.5" I.R.F. NORTH LINE NORTHEAST 1/4 OF SECTION 1
 1.5" I.P.F. 0.58' W.

NORTHWEST CORNER
 NORTHWEST 1/4
 1-7-19
 CONCRETE MONUMENT
 WITH BRASS CAP
 N. 195,098.73
 E. 690,422.39

CITY OF
 PEWAUKEE

C.S.M. 1383

VICINITY MAP
 1" = 2000'



NW 1/4 1-7-19

TAX KEY NO's:
 PWC 0866996
 PWC 0866996002
 PWC 0866996003

ZONED M-2, LIMITED
 INDUSTRIAL DISTRICT

UNPLATTED LANDS
 (N 00°05'18" W 2618.38')
 N 01°07'58" E 2618.28'
 WEST LINE NORTHWEST 1/4 SECTION 1
 S 01°07'58" W 279.70'

UNPLATTED LANDS
 (N 00°05'17" W)
 N 01°07'58" E
 563.22'

(N 89°09'35" E 513.15')
S 89°36'58" E 513.13'

FLAGGED
 WETLANDS
 SEE SHEET 3

LOT 1

291,658 SQ. FT.
 6.6955 ACRES

ALL DISTANCES SHOWN ARE MEASURED TO THE
 NEAREST HUNDRETH OF A FOOT.

ALL ANGULAR MEASUREMENTS WERE MADE TO THE
 NEAREST ONE SECOND

ALL BEARINGS REFER TO WEST LINE OF THE
 NORTHWEST 1/4 OF SECTION 1, WHICH HAS A
 WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA
 COUNTY, BEARING OF N 01°07'58" E.

SEE SHEET 2 FOR CONTOURS, SETBACKS, UTILITIES

SEE SHEET 3 FOR FOR WETLANDS

LOT 1 SERVED BY CITY SEWER & WATER

(S 00°27'27" E 570.00')
 S 00°46'02" W

66' PUBLIC RIGHT OF WAY
WILHAR ROAD

- INDICATES FOUND 1" IRON PIPE UNLESS OTHERWISE NOTED.
- INDICATES 1 INCH DIA. IRON PIPE, 18 INCHES IN LENGTH, WEIGHING 1.68 LBS PER LINEAL FOOT, SET.



APRIL 25, 2024

S 88°54'07" E 516.72'
 (S 89°52'38" W 516.78')

PUBLIC RIGHT OF WAY WIDTH VARIES
LINDSAY ROAD

UNPLATTED LANDS LOT 131 LOT 132 LOT 133

SOUTHWEST CORNER
 NORTHWEST 1/4
 1-7-19
 CONCRETE MONUMENT
 WITH BRASS CAP
 N. 192,480.96
 E. 690,370.63

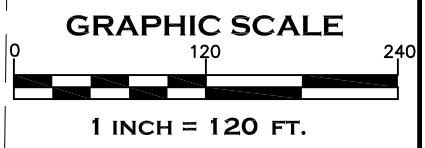
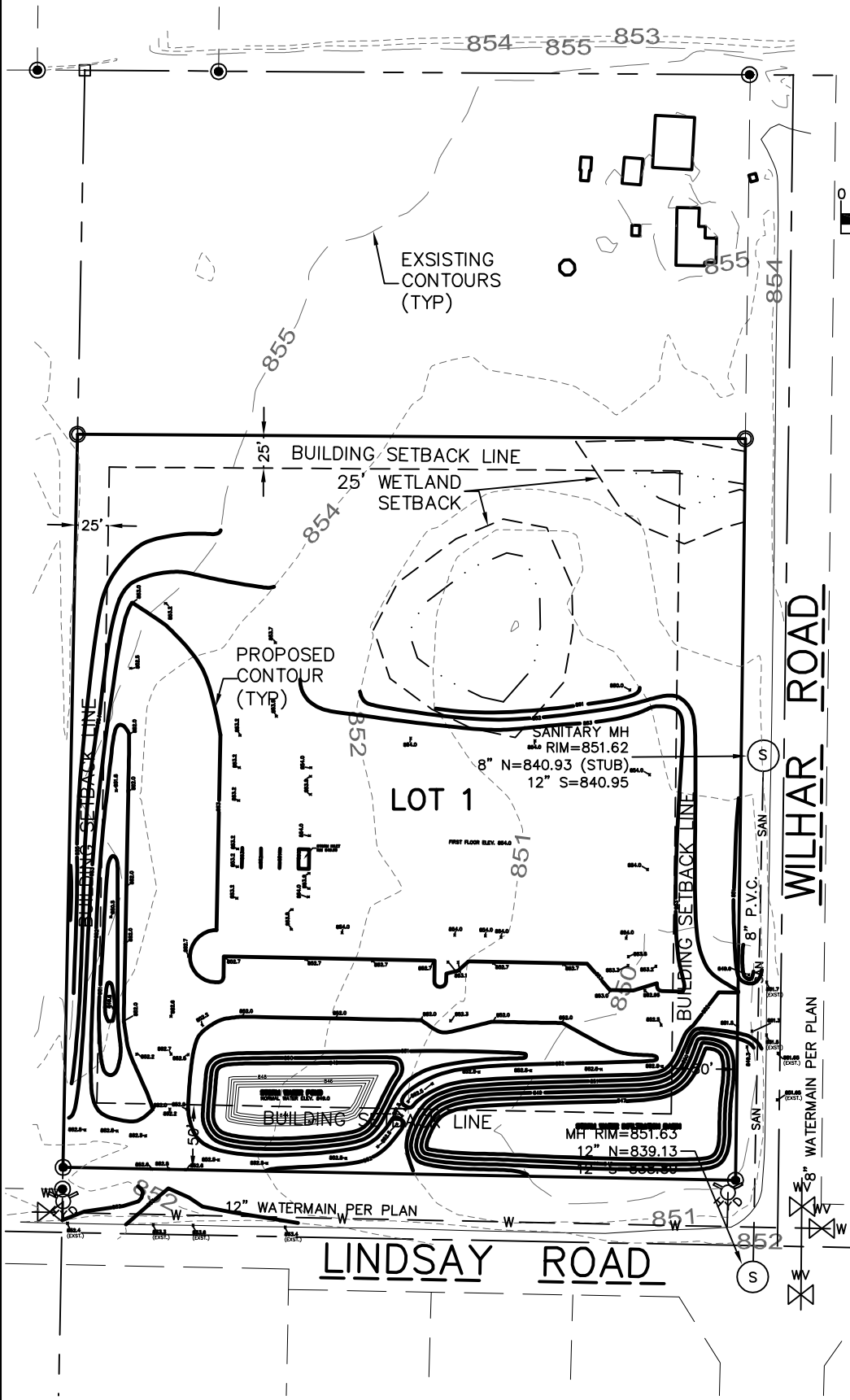
80'
WILHAR ROAD

PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

CONTOUR MAP, SETBACKS AND UTILITIES



ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

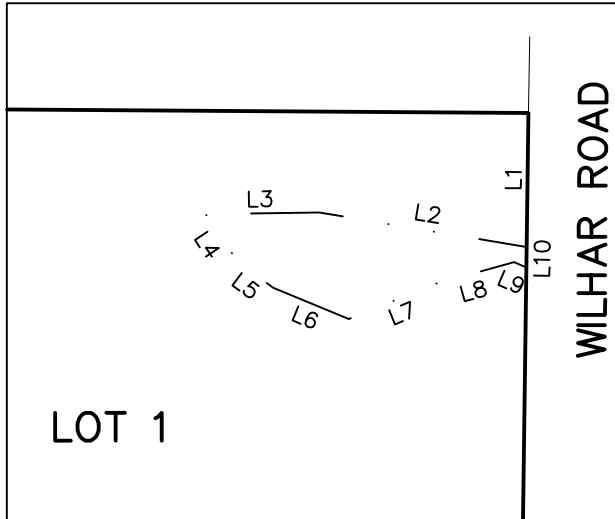
APRIL 25, 2024

PRELIMINARY

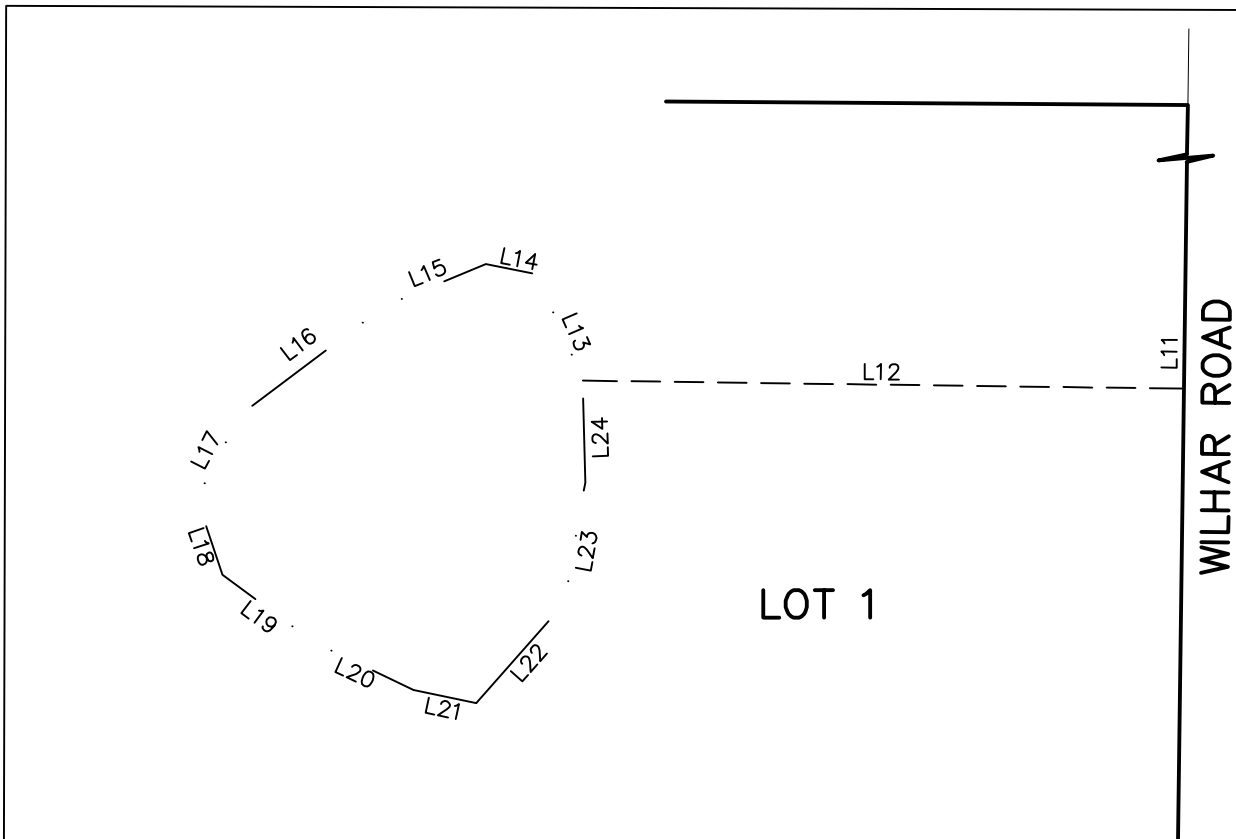
CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

WETLANDS



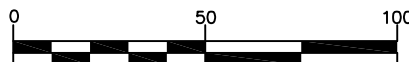
WETLAND TABLE		
LINE	LENGTH	BEARING
L1	34.93	S00°46'02" W
L2	54.81	N80°31'46" W
L3	29.54	S89°03'16" W
L4	14.00	S33°44'44" E
L5	12.28	S52°41'09" E
L6	21.35	S67°29'39" E
L7	23.92	N67°48'48" E
L8	21.70	N74°30'39" E
L9	3.50	S66°39'43" E
L10	5.28	N00°46'02" E
L11	120.18	S00°46'02" W
L12	156.57	N89°13'58" W
L13	30.21	N23°26'37" W
L14	13.47	N78°48'42" W
L15	28.63	S67°27'02" W
L16	47.29	S52°58'24" W
L17	24.24	S27°05'42" W
L18	20.89	S18°35'38" E
L19	14.94	S53°30'06" E
L20	28.80	S64°27'21" E
L21	16.74	S78°04'22" E
L22	34.64	N41°19'24" E
L23	31.91	N09°54'23" E
L24	26.52	N01°24'17" W



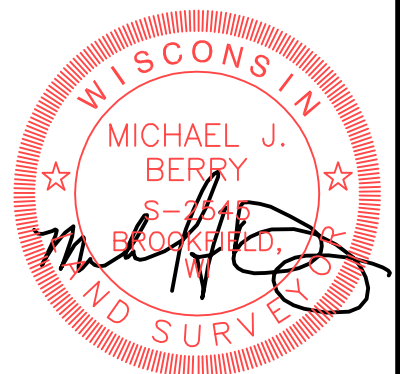
WETLANDS FIELD LOCATED BY CSE.
AS FLAGGED BY HELIANTHUS ON
APRIL 15, 2024



GRAPHIC SCALE



1 INCH = 50 FT.



APRIL 25, 2024

PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, MICHAEL J BERRY, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST 1/4, THENCE S 01°07'58" W ALONG THE WEST LINE OF SAID 1/4 SECTION 279.70 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE S 89°36'58" E 513.13 FEET TO A POINT ON THE WEST LINE OF WILHAR ROAD; THENCE S 00°46'02" W ALONG SAID WEST LINE 849.31 FEET TO A POINT ON THE NORTH LINE OF LINDSAY ROAD; THENCE S 88°54'07" E ALONG SAID NORTH LINE 516.72 FEET TO A POINT ON THE WEST LINE OF SAID 1/4 SECTION, THENCE N 012°07'58" E ALONG SAID WEST LINE 563.22 FEET TO THE POINT OF BEGINNING.


CONTAINING: 291,658 SQUARE FEET OR 6.6955 ACRES.

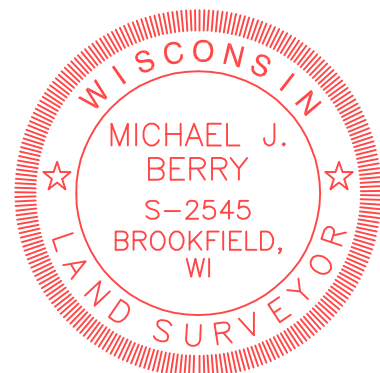
THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF BRIOHN LAND DEVELOPMENT, LLC, INC, OWNER OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE STATUTES OF THE STATE OF WISCONSIN, CHAPTER 18 OF THE CITY OF PEWAUKEE MUNICIPAL CODE, AND THE ORDINANCES OF WAUKESHA COUNTY IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 25TH DAY OF APRIL, 2024.


PROFESSIONAL LAND SURVEYOR,
S-2545
STATE OF WISCONSIN



PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

CORPORATE OWNER'S CERTIFICATE

BRIOHN LAND DEVELOPMENT, LLC, A WISCONSIN LIMITED LIABILITY COMPANY EXISTING UNDER THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, CERTIFY THAT THEY HAVE CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED, AND MAPPED, AS REPRESENTED ON THIS MAP IN ACCORDANCE WITH THE ORDINANCES OF THE CITY OF PEWAUKEE.

IN WITNESS WHEREOF, BRIOHN LAND DEVELOPMENT, LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY NELSON E. WILLIAMS, ITS MANAGER AT _____, WISCONSIN, THIS ____ DAY OF _____, 2024.

NELSON E. WILLIAMS
MANAGER

STATE OF WISCONSIN)
COUNTY) SS

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 2024 NELSON E. WILLIAMS, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC
STATE OF WISCONSIN
MY COMMISSION EXPIRES: _____

CITY OF PEWAUKEE PLAN COMMISSION APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE CITY OF PEWAUKEE ON THIS DAY ____ OF _____, 2024.

STEVE BIERCE, MAYOR

DATE

KELLY TARCZEWSKI, CITY CLERK

DATE

CITY OF PEWAUKEE COMMON COUNCIL APPROVAL

THIS CERTIFIED SURVEY MAP, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, HAVING BEEN APPROVED BY THE CITY OF PEWAUKEE PLANNING COMMISSION, IS HEREBY APPROVED AND ACCEPTED BY THE CITY OF PEWAUKEE COMMON COUNCIL ON THIS DAY ____ OF _____, 2024.

STEVE BIERCE, MAYOR

DATE

KELLY TARCZEWSKI, CITY CLERK

DATE



APRIL 25, 2024

RENDERING

SHEET TITLE



NEW BUILDING FOR:
UZELAC INDUSTRIES, INC.
 LINDSAY RD. AT WILHAR RD.
 CITY OF PEWAUKEE, WI

PROGRESS SET
 NOT FOR CONSTRUCTION

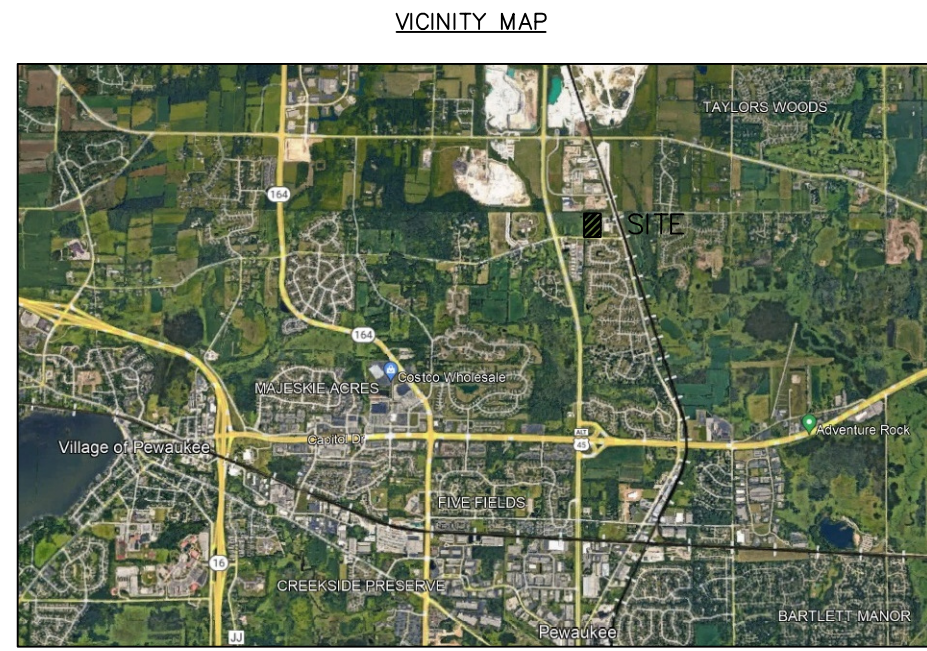
Revision

Date

JOB: 230116
 DRAWN: NS/CC
 CHECKED: PG/KJ
 DATE: 2024-07-18
 SHEET:

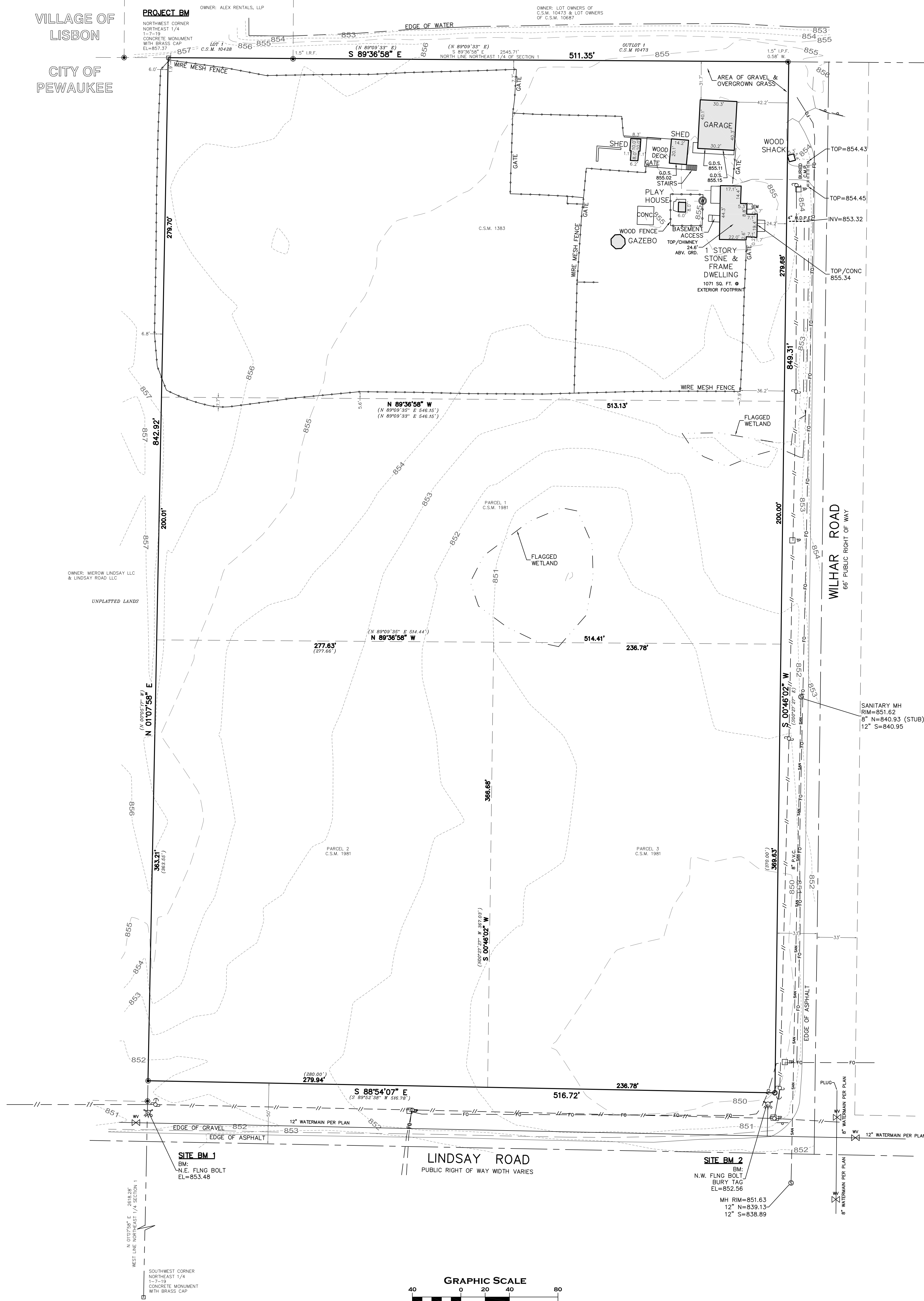
T1.1

VILLAGE OF LISBON
 CITY OF PEWAUKEE



LEGEND

— SAN —	SANITARY SEWER	⊠	ELECTRIC TRANSFORMER	⊠	HYDRANT
— ST —	STORM SEWER	⊠	ELECTRIC METER	⊠	WATER VALVE
— W —	WATER MAIN	⊠	ELECTRIC PEDESTAL	⊠	GAS VALVE
— G —	BURIED GAS LINE	⊠	ELECTRIC BOX AT GRADE	⊠	MANHOLE
— TEL —	BURIED TELEPHONE LINE	⊠	TELEPHONE BOX AT GRADE	⊠	STORM MANHOLE
— E —	BURIED ELECTRIC LINE	⊠	TELEPHONE PEDESTAL	⊠	CATCH BASIN
— FO —	BURIED FIBER OPTIC LINE	⊠	TV PEDESTAL	⊠	AIR CONDITIONER
— U —	OVERHEAD UTILITY LINES	⊠	GAS METER	⊠	UTILITY POLE
— CATV —	BURIED CABLE TELEVISION LINES	⊠	WOOD SIGN	⊠	METAL LIGHT POLE
— COMB —	COMBINATION SEWER	⊠	METAL SIGN	⊠	CONCRETE LIGHT POLE
— WOOD —	WOOD FENCE	⊠	FLAG POLE	⊠	WOOD LIGHT POLE
— T —	EDGE OF TREES AND BRUSH	⊠	BOLLARD	⊠	MAL SIGN
— 994.32 ± —	DOOR SILL ELEVATION	⊠	FIBER OPTIC MARKER	⊠	CONCRETE MARKER
— eq —	FIRE DEPARTMENT CONNECTION	⊠	UTILITY WIRE	⊠	UTILITY WIRE



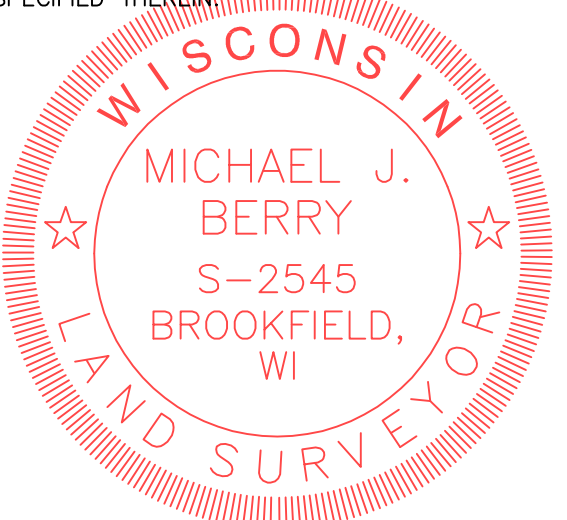
LEGAL DESCRIPTION
 FILE NO.: NCS-1127103-MKE
 CERTIFIED SURVEY MAP NO. 1383 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR WAUKESHA COUNTY, WISCONSIN ON JUNE 11, 1971, IN VOLUME 9 OF CERTIFIED SURVEY MAPS, PAGE 173 AS DOCUMENT NO. 787850, BEING PART OF NORTHWEST SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE TOWN OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.
 COMMITMENT NO. NCS-1212704-MKE
 PARCELS 1, 2 AND 3 OF CERTIFIED SURVEY MAP NO. 1981 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR WAUKESHA COUNTY, WISCONSIN ON NOVEMBER 20, 1973, IN VOLUME 13 OF CERTIFIED SURVEY MAPS, PAGES 346-348 AS DOCUMENT NO. 866201, SAID CERTIFIED SURVEY MAP BEING PART OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

- MISCELLANEOUS NOTES**
1. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF WISCONSIN.
 2. THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-1127103-MKE & NCS-1212704-MKE, WITH COMMITMENT DATES OF: MAY 03, 2022 & MARCH 11, 2024 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
 3. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS NOTIFIED AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 4. A ZONING REPORT WAS NOT PROVIDED TO THE SURVEYOR FOR THIS SURVEY.
 5. THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON CONTAINS: 434,919 SQUARE FEET OR 9.9844 ACRES.
 6. THE ADDRESS OF THE ABOVE DESCRIBED C.S.M. 1383, W229N4781 WILHAR RD., AS SHOWN, WAS OBSERVED IN THE FIELD AT THE TIME OF THE SURVEY.
 7. THERE ARE NO MARKED PARKING SPACES ON THIS SITE.
 8. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55133C0200R, WITH A DATE OF IDENTIFICATION OF OCTOBER 19, 2023, IN COMMUNITY NO. 550192, THE CITY OF PEWAUKEE, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
 9. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE PROPERTY AT TIME OF SURVEY.
 10. ACCORDING TO MICHAELIS GABBEY, ENGINEERING DEPT. CITY OF PEWAUKEE, THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES ADJOINING THE PROPERTY AT THE TIME OF SURVEY.
 11. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OCCURRING ON OR ADJOINING THE PROPERTY AT TIME OF SURVEY.
 12. THERE WAS OBSERVED EVIDENCE OF DELINEATED WETLANDS EXISTING ON SUBJECT PROPERTY AT TIME OF SURVEY, FLAGS AS SET BY HELIANTHUS ON APRIL 15, 2024.
 13. THERE ARE NO PLOTTABLE OFFSITE EASEMENTS DISCLOSED TO THE SURVEYOR.
 14. ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE SHOWN.
 15. ALL BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA COUNTY.
 16. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
 17. PROJECT BENCHMARK: CONCRETE MONUMENT WITH BRASS CAP AT THE NORTHWEST PROPERTY CORNER AS PLOTTED HEREON.
 18. SITE BENCHMARKS: ALONG THE SOUTH PROPERTY LINE AS PLOTTED HEREON.

SCHEDULE BII EXCEPTIONS
 FILE NO.: NCS-1127103-MKE
 10 UTILITY EASEMENT TO THE MILWAUKEE ELECTRIC RAILWAY AND LIGHT COMPANY, DATED NOVEMBER 02, 1926, RECORDED/FILED DECEMBER 14, 1926 AS DOCUMENT NO. 147562.
 DOES NOT AFFECT PARCEL.
 12 UTILITY EASEMENT TO THE MILWAUKEE ELECTRIC RAILWAY AND LIGHT COMPANY, ITS SUCCESSORS AND ASSIGNS, DATED NOVEMBER 02, 1926, RECORDED/FILED DECEMBER 14, 1926 AS DOCUMENT NO. 147562.
 DOES NOT AFFECT PARCEL-POLES WITHIN RIGHT OF WAY OF LINDSAY ROAD

TO: BROHN LAND DEVELOPMENT LLC, FIRST AMERICAN TITLE INSURANCE COMPANY, WILLIAM AND KATY L. COLEMAN, AS JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP, KUHLMAN ENTERPRISES, INC., A WISCONSIN CORPORATION.
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2016, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 7a, 7b, 7c, 8, 9, 11, 13, 16, 17, 18 AND 19 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF WISCONSIN, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

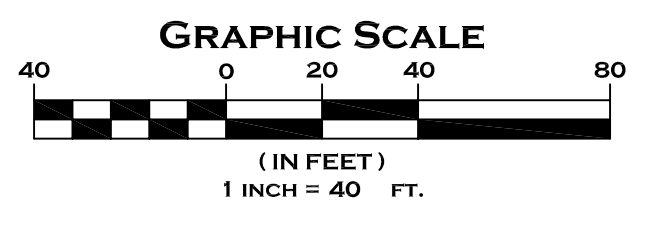
APRIL 24, 2024
 DATE
 MICHAEL J. BERRY, P.L.S.
 REGISTERED LAND SURVEYOR S-2545

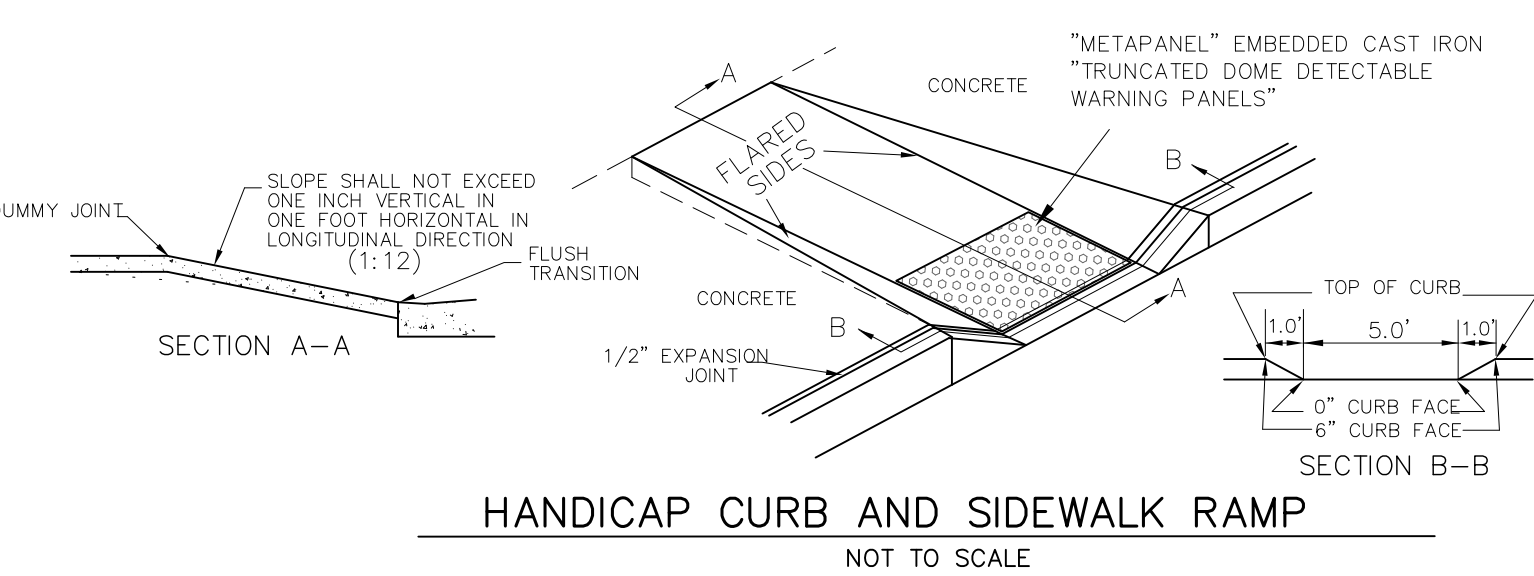
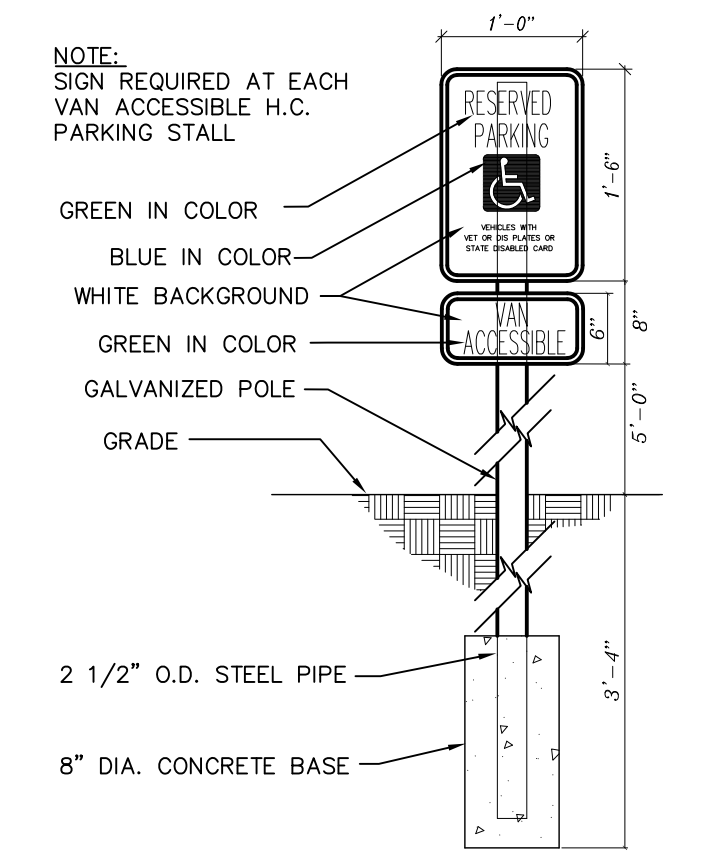
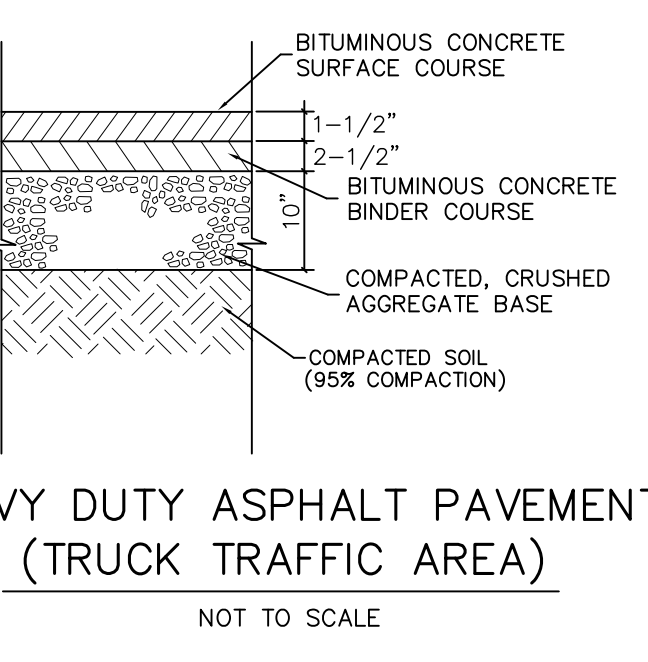
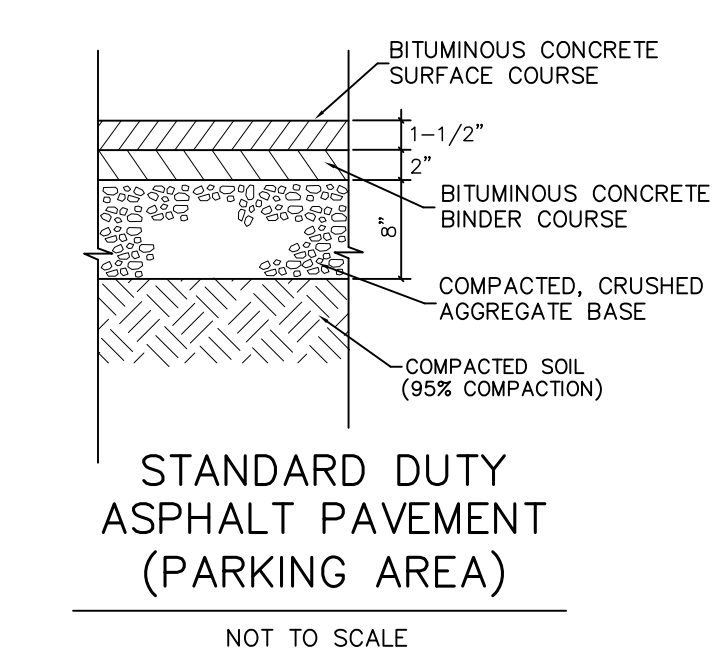
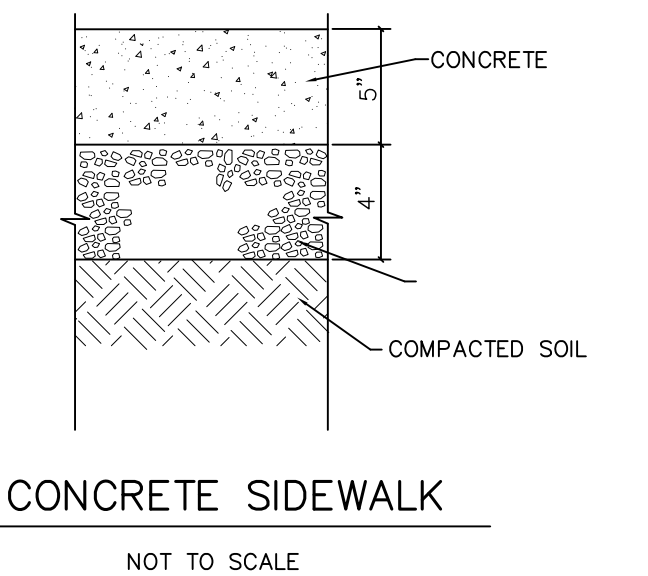
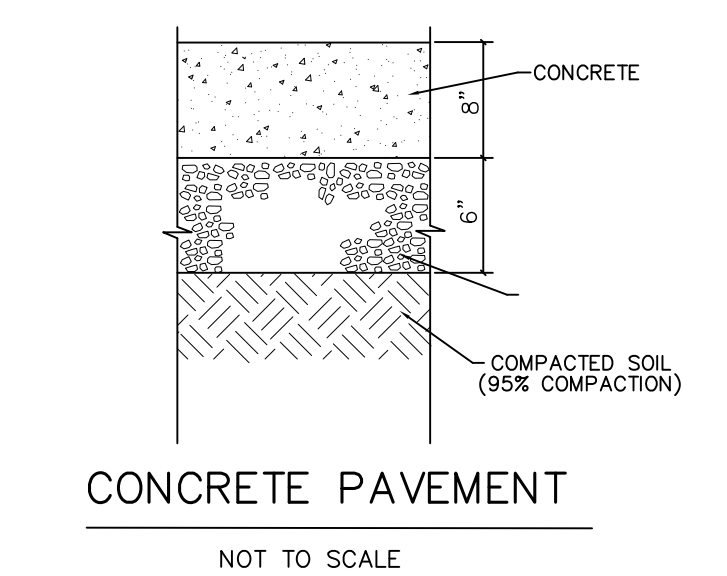
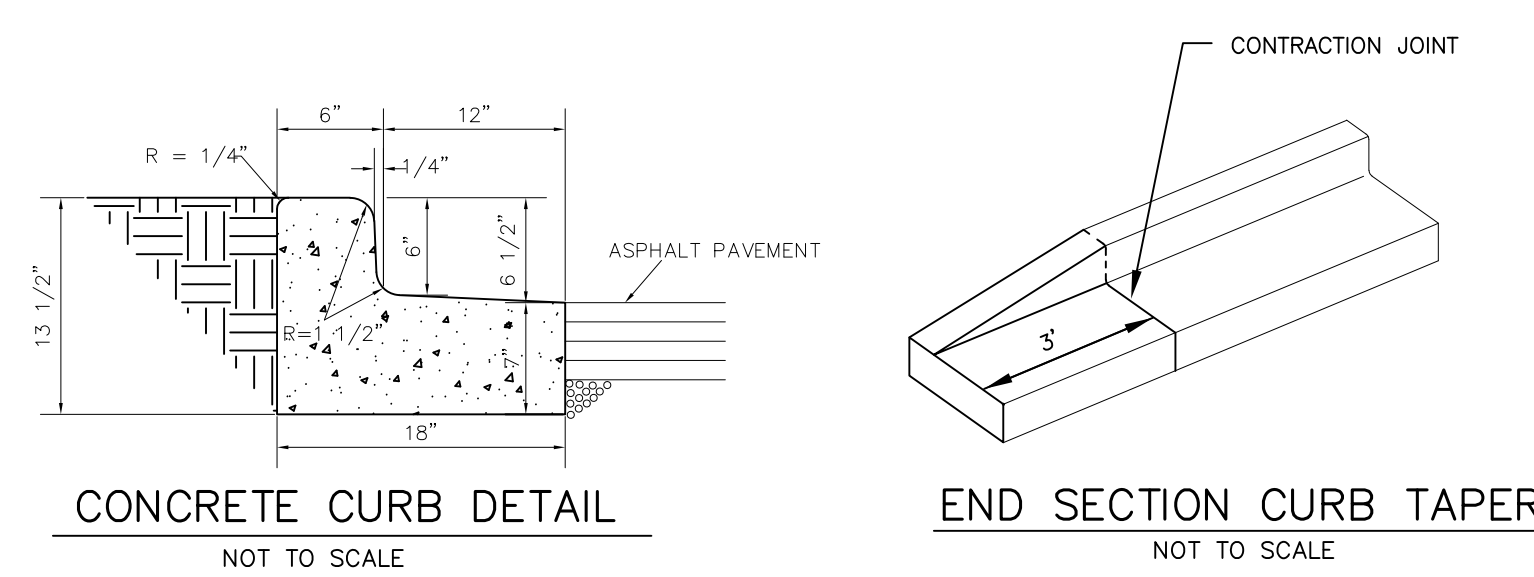
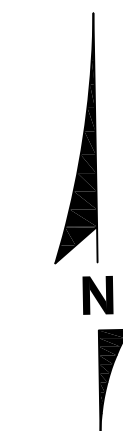


ALTA/NSPS LAND TITLE SURVEY
 FOR
LINDSAY ROAD
 LINDSAY RD. & WILHAR RD.
 PEWAUKEE, WI

DRAWN BY:	DHS	DATE:	APRIL 24, 2024
CHECKED BY:	MJB	DRAWING NO.:	AL-0
CSE JOB NO.:	AL-0-24-039	SHEET	1 OF 1

No.	DESCRIPTION	REVISION DATE	INITIALS





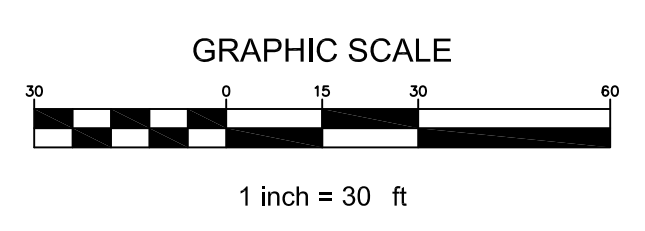
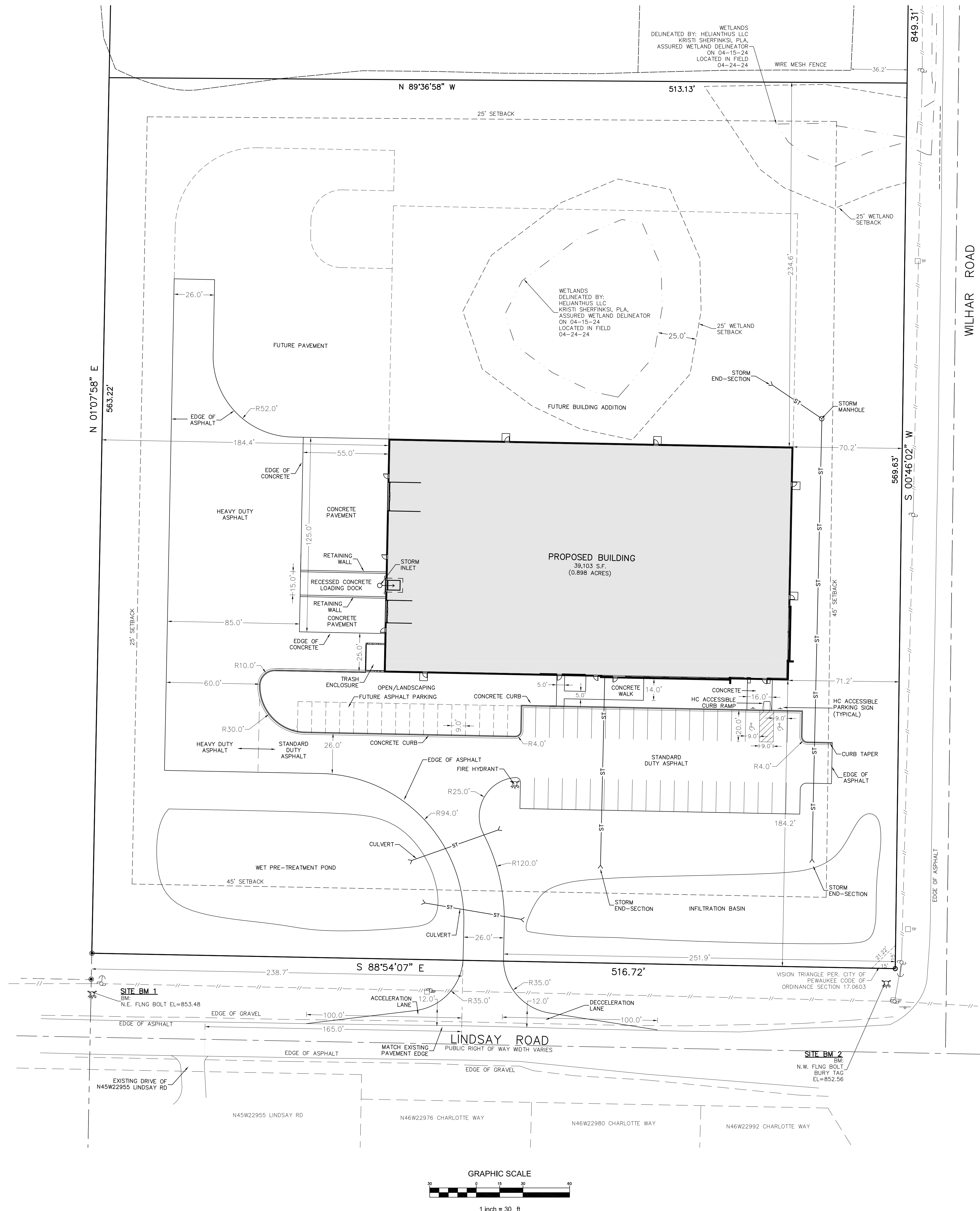
NOTES:
 1. DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF ASPHALT

SITE AREAS
 PROPOSED BUILDING FOOTPRINT = 39,103 S.F. (0.898 ACRES)
 PROPOSED PAVEMENT = 50,190 S.F. (1.152 ACRES)
 ULTIMATE BUILDING FOOTPRINT = 78,103 S.F. (1.793 ACRES)
 ULTIMATE PAVEMENT = 84,905 S.F. (1.950 ACRES)

PROPOSED IMPERVIOUS AREA = 89,293 S.F. (2.050 ACRES) [31% OF THE SITE]
 PROPOSED OPEN SPACE = 202,365 S.F. (4.646 ACRES) [69% OF THE SITE]
 ULTIMATE IMPERVIOUS AREA = 163,058 S.F. (3.743 ACRES) [56% OF THE SITE]
 ULTIMATE OPEN SPACE = 128,600 S.F. (2.952 ACRES) [44% OF THE SITE]

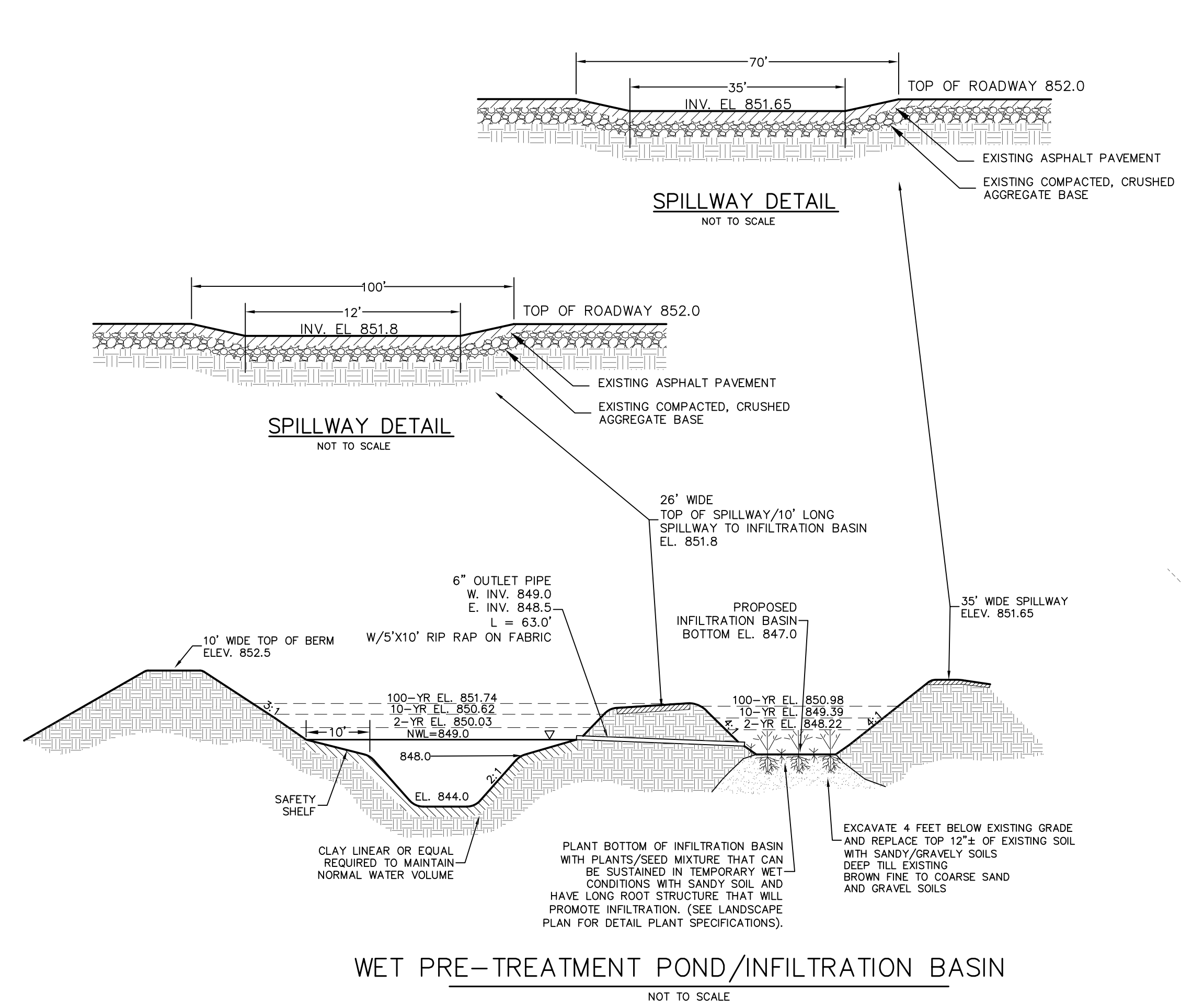
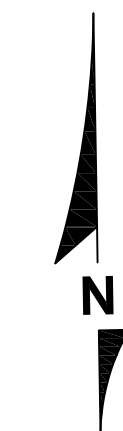
TOTAL SITE AREA = 291,658 S.F. (6.696 ACRES)
 DISTURBED AREA = 209,225 S.F. (4.803 ACRES)

PROPOSED SURFACE PARKING
 37 REGULAR CUSTOMER SPACES
 2 HANDICAPPED SPACES (ADA COMPLIANT VAN ACCESSIBLE SPACES)
 39 TOTAL SPACES



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SITE PLAN C1.0

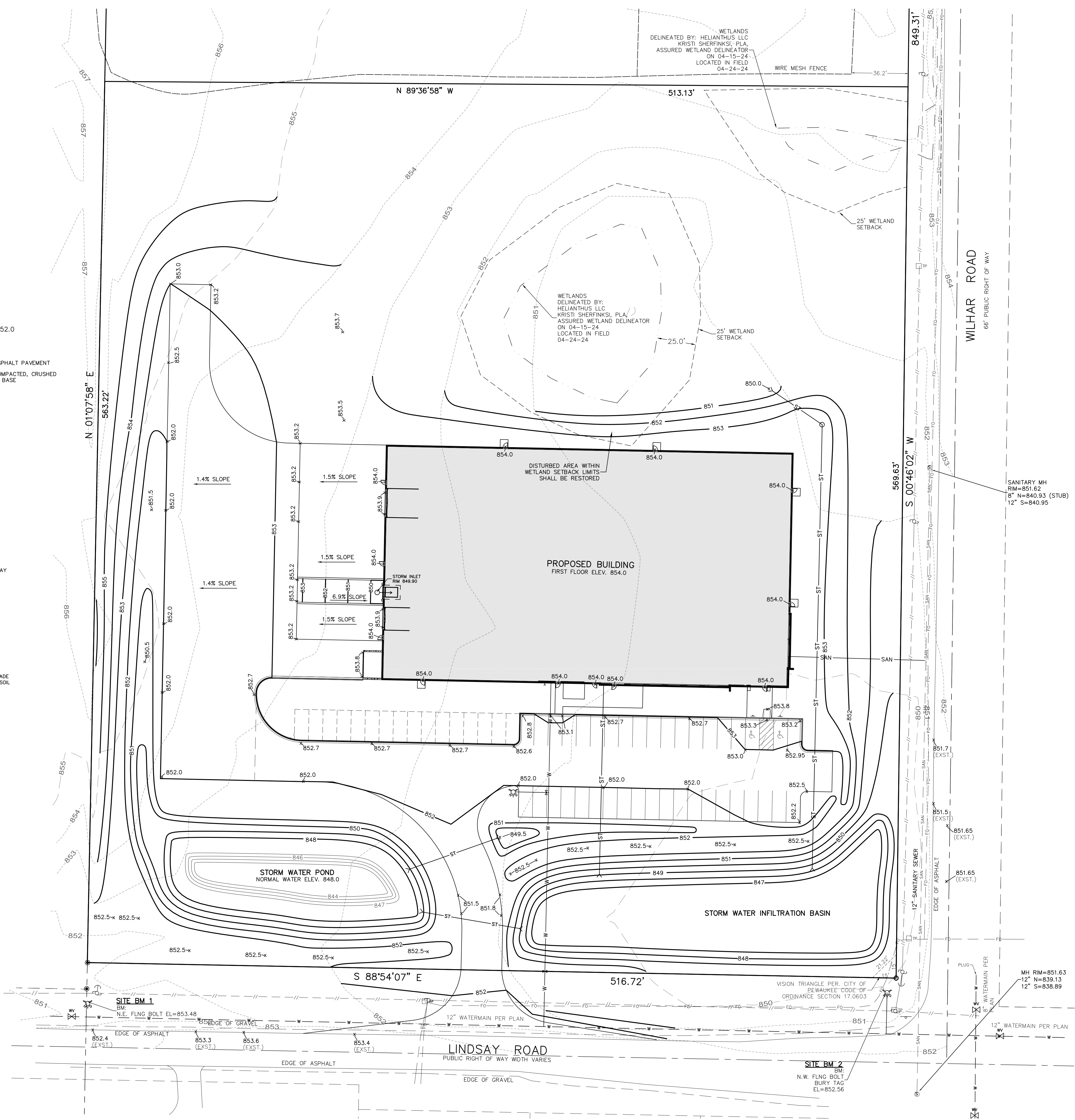
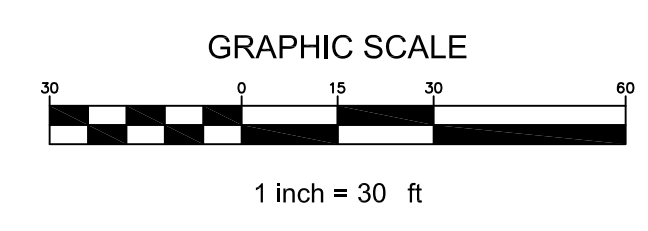


- NOTES:**
1. EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISES.
 2. DISTURBED AREA = 4.80 ACRES
 3. THE DEVELOPMENT WILL RESULT IN AN INCREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 2.05 ACRES.
 4. STORM WATER MANAGEMENT MEETING ALL THE REQUIREMENTS OF THE CITY AND NR 151 WILL BE PROVIDED BY A PROPOSED STORM WATER WET PRE-TREATMENT BASIN AND INFILTRATION BASIN LOCATED ON THE SOUTH SIDE OF THE SITE.
 5. THE CONTRACTOR IS RESPONSIBLE FOR ANY CITY AND/OR STATE PERMITS FOR ALL WORK IN THE PUBLIC RIGHT OF WAY.
 6. ALL CONSTRUCTION MATERIALS TO BE STORED ON-SITE.
 7. ALL PROPOSED SPOT GRADES ALONG THE CURB ARE AT THE FLANGE LINE. ALL PROPOSED SPOT GRADES ALONG THE FACE OF A RAISED WALK ARE AT THE BOTTOM OF WALK (ASPH.) UNLESS OTHERWISE NOTED.

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 DIAL 811 OR (800) 242-8511

LEGEND

--- 190 ---	EXISTING CONTOUR
--- 190 ---	PROPOSED CONTOUR
x-189.5	PROPOSED GRADE
--- ST ---	EXISTING STORM SEWER
--- ST ---	PROPOSED STORM SEWER
--- SAN ---	EXISTING SANITARY SEWER
--- SAN ---	PROPOSED SANITARY SEWER
--- W ---	EXISTING WATER MAIN
--- W ---	PROPOSED WATER MAIN
--- G ---	BURIED GAS MAIN
--- E ---	OVER HEAD WIRE
--- E ---	BURIED ELECTRIC



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CJE242IR2
 MAY 06, 2024
 REV.:05/24/2024
 REV.:07/18/2024

SITE GRADING PLAN C2.0

CONSTRUCTION SCHEDULE

- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- INSTALL CONSTRUCTION EXIT.
- INSTALL SILT FENCE AND CONSTRUCTION FENCE.
- STRIP AND STOCK PILE TOP SOIL SURROUNDING TOP SOIL STOCK PILE WITH SILT FENCE AND TEMP. STABILIZER. LOCATION OF STOCK PILE TO BE DETERMINED BY CONTRACTOR.
- INSTALL SEDIMENT BASIN (FUTURE WET PRE-TREATMENT POND) AND DIVERSION SWALE/BERM. A. THE AREA OF THE WET PRE-TREATMENT BASIN WILL BE USED AS A SEDIMENTATION BASIN DURING CONSTRUCTION. DO NOT INSTALL PERMANENT OUTLET PIPE AT THIS STAGE. B. ROUGH GRADE BASIN AND INSTALL BASIN, TEMPORARY OUTLET PIPE AND RIP RAP SEDIMENT TRAP.
- ROUGH GRADE SITE.
- UTILIZE CONSTRUCTION BAG AS NECESSARY DURING EXCAVATION FOR BUILDING CONSTRUCTION. DIRECT RUNOFF FROM BAG TO TEMPORARY STORM WATER FACILITIES.
- INSTALL PROPOSED UTILITIES.
- INSTALL OUTLET PROTECTION.
- INSTALL BASE COURSE OF PAVEMENT.
- INSTALL INFILTRATION BASIN. INSTALL PLANTINGS PER LANDSCAPE PLAN. PROVIDE FINAL STABILIZATION OF BASIN SIDE SLOPES THAT INCLUDE SEEDING AND MATTING.
- FINAL GRADE WET PRE-TREATMENT POND AND INSTALL PERMANENT OUTLET PIPE (SEE C2.0 FOR FINAL GRADE ELEVATION).
- FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MAT ALL DISTURBED AREAS.
- ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL. NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
- AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.

TEMPORARY STABILIZATION METHODS

TEMPORARY SEEDING:
DURING GROWING SEASON (MAY 2 - OCTOBER 31) TEMPORARY SEEDING (COVER CROP) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE CONSTRUCTION.

Species	Lbs/Acre	Percent Purity
Oats	131	98
Cereal Rye	131*	97
Winter Wheat	131*	95
Annual Ryegrass	80*	97

LAND APPLICATION OF ADDITIVES:
DURING NONGROWING SEASON (NOVEMBER 1 - MAY 1) CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION. STABILIZER TO BE POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) - SEE WDNR TECHNICAL STANDARD 1050.

STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.

WINTER CONDITIONS

DURING WINTER CONSTRUCTION (NOVEMBER 1 TO MAY 1), CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER, POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) ON ALL DISTURBED AREAS THAT ARE NOT TO BE DISTURBED BEYOND 7 DAYS. CONTRACTOR TO INSTALL PAM PER WDNR TECHNICAL STANDARD 1050 AND THE MANUFACTURERS SPECIFICATIONS.

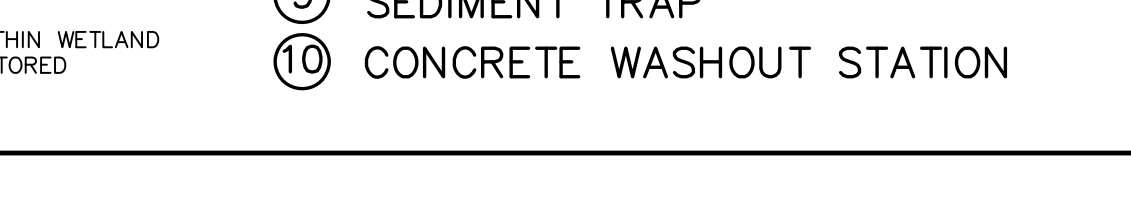
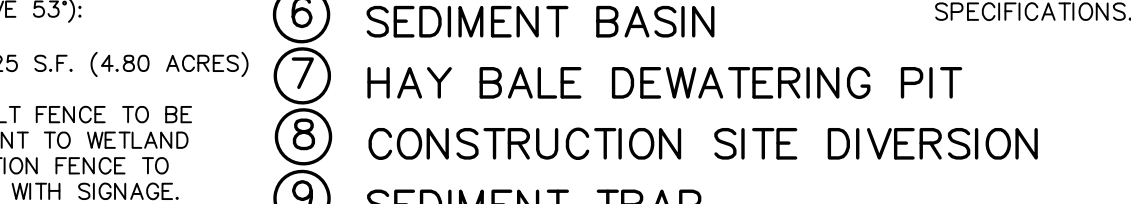
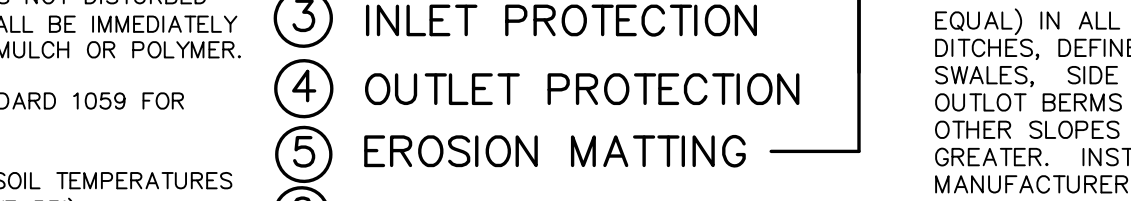
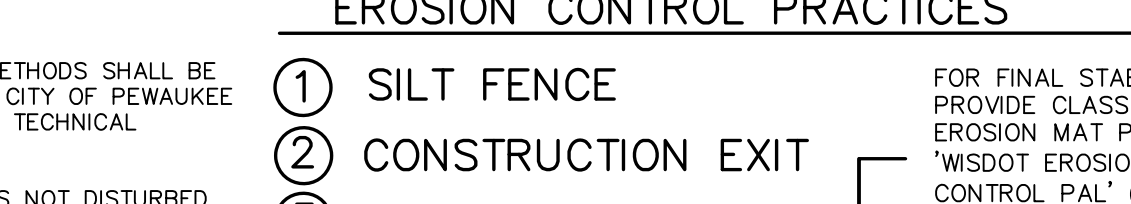
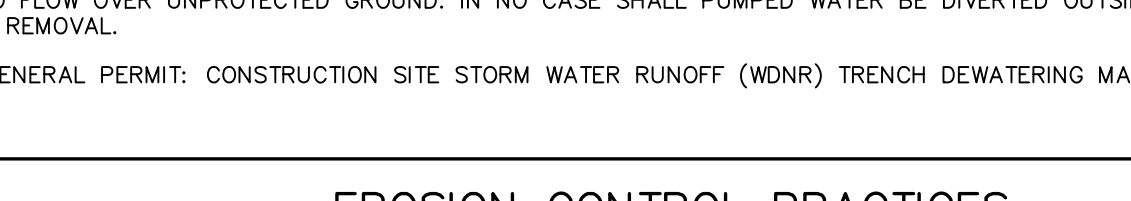
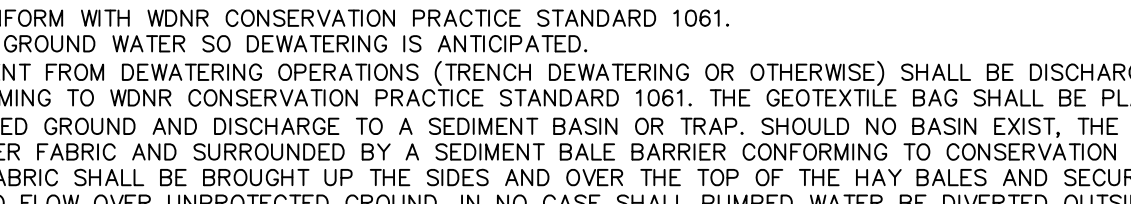
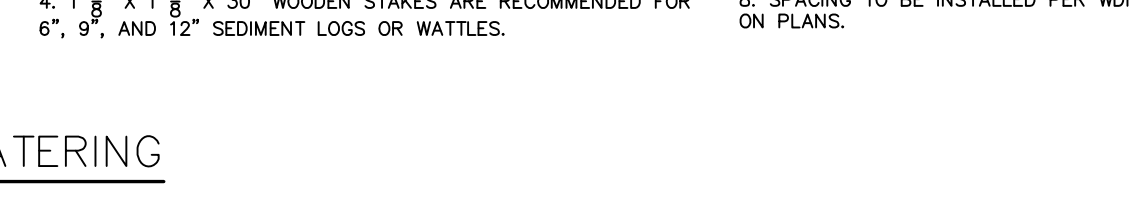
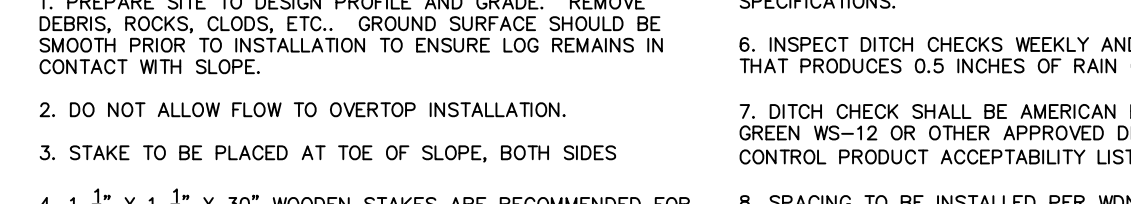
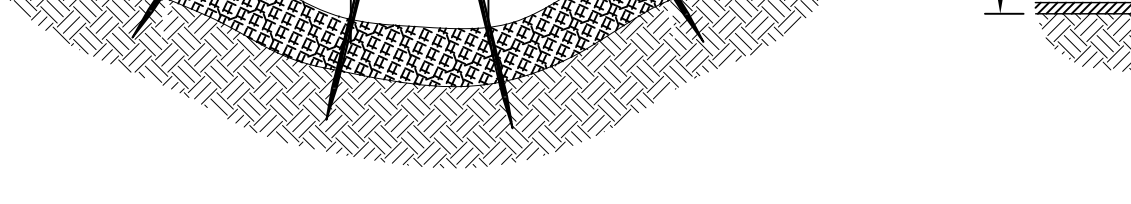
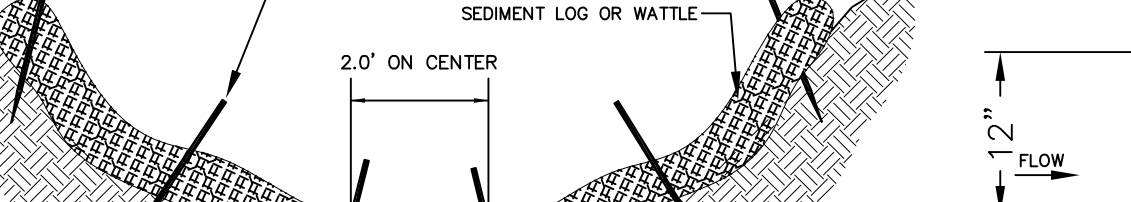
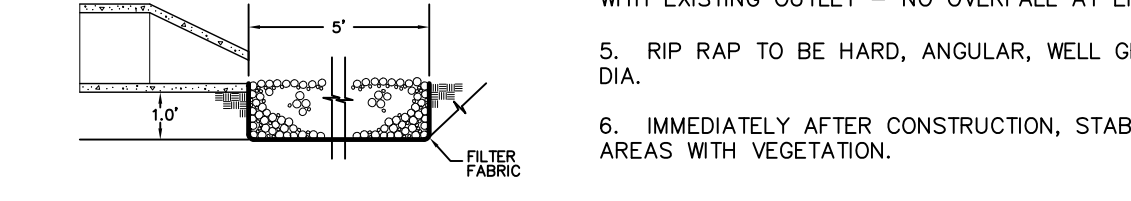
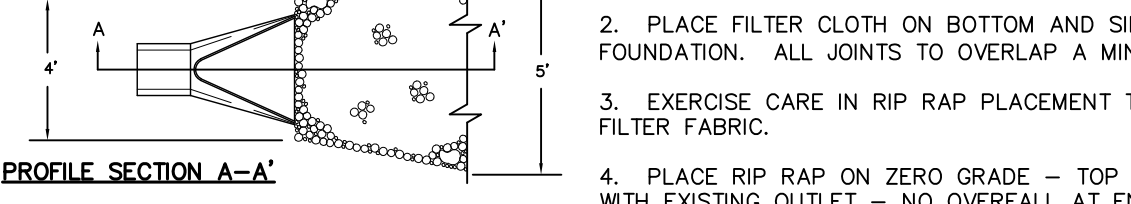
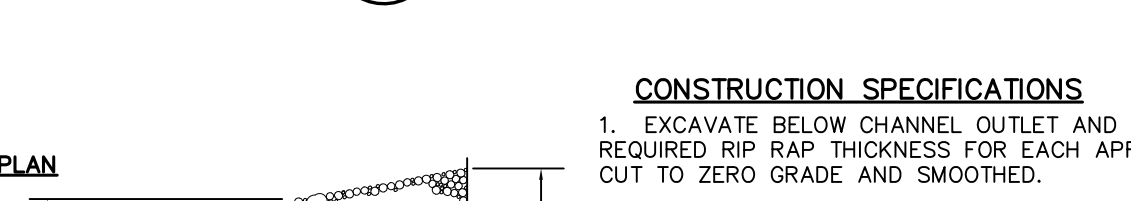
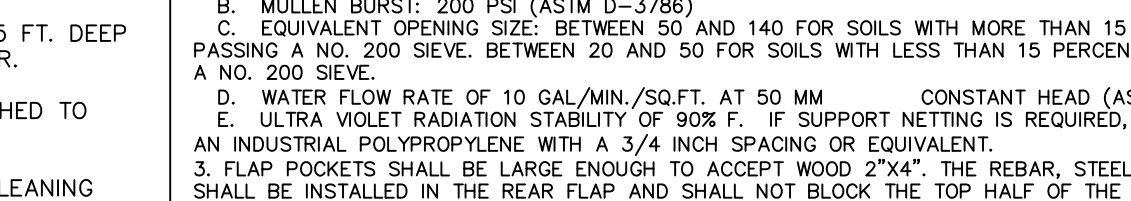
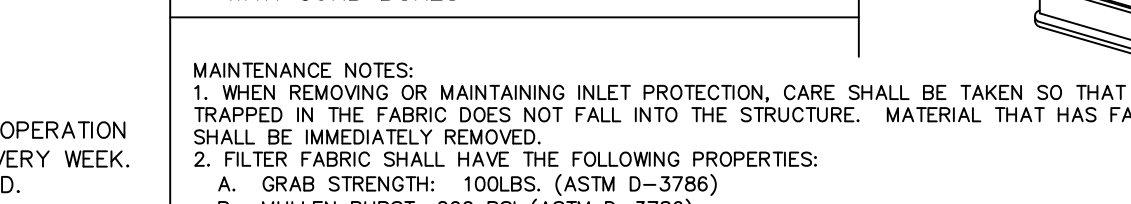
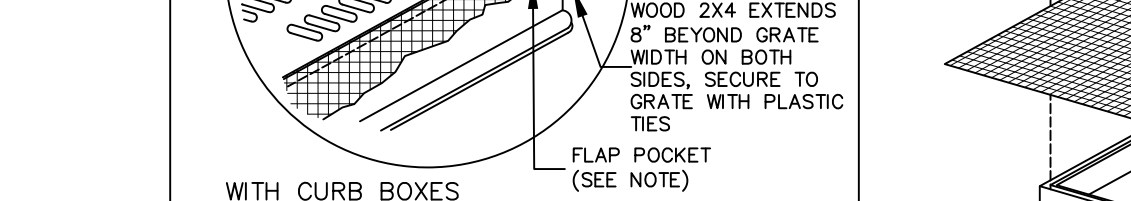
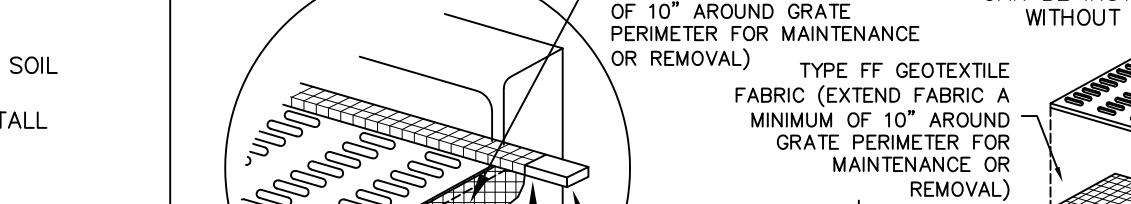
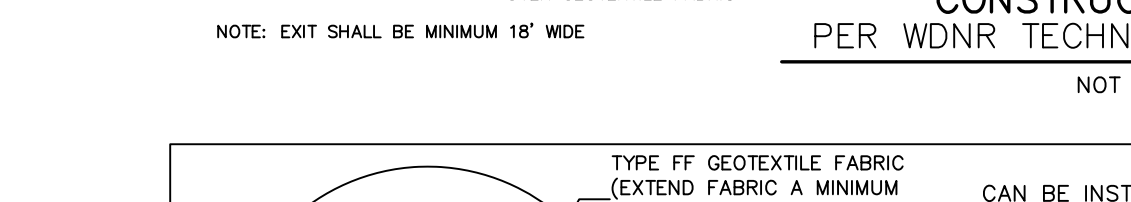
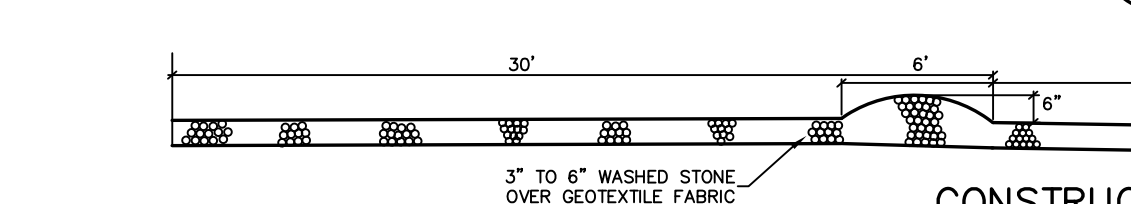
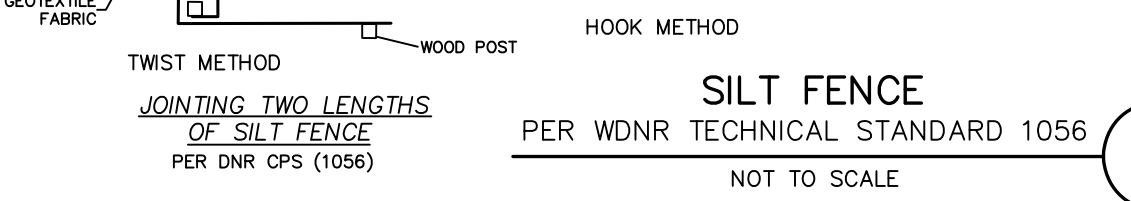
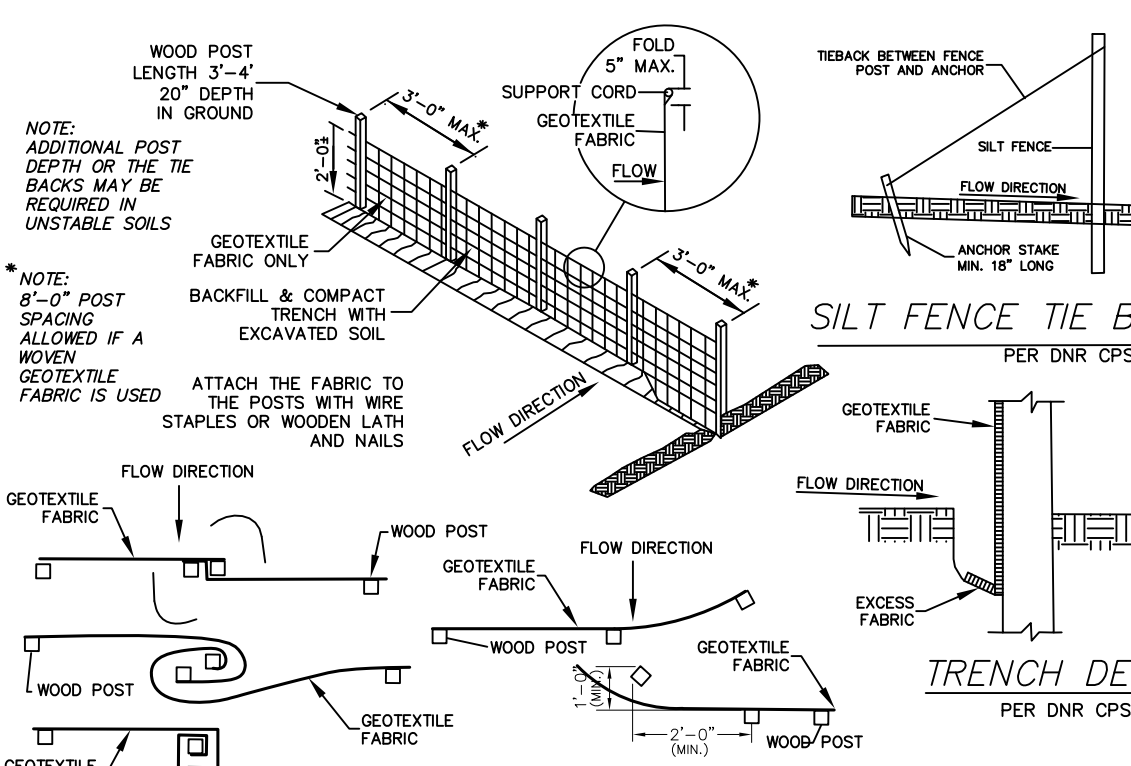
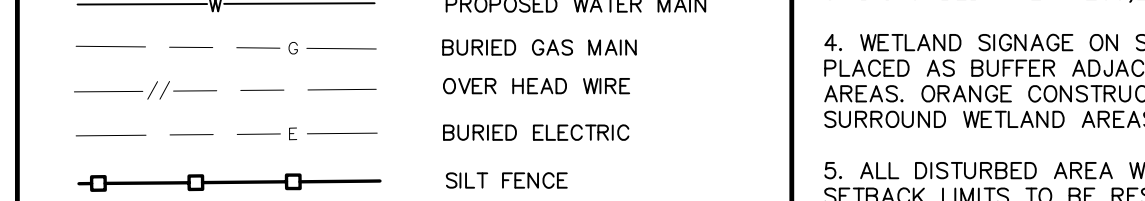
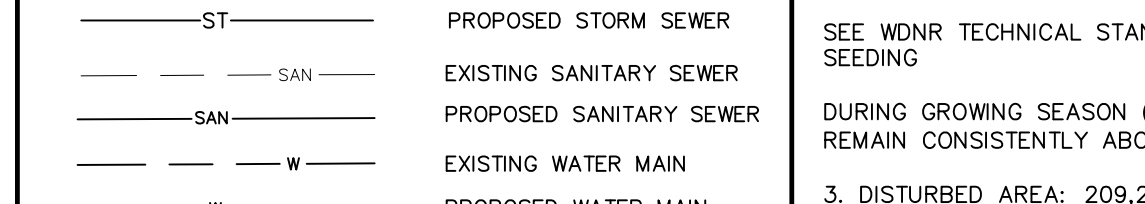
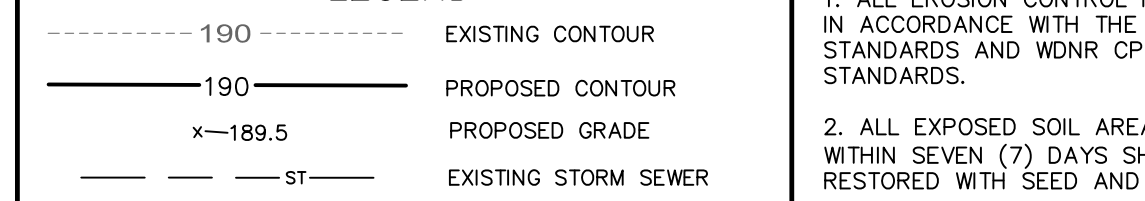
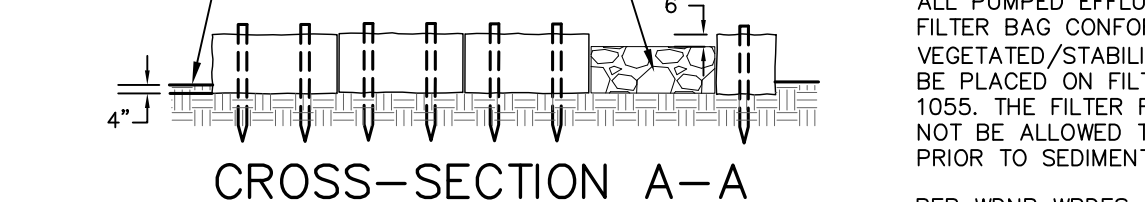
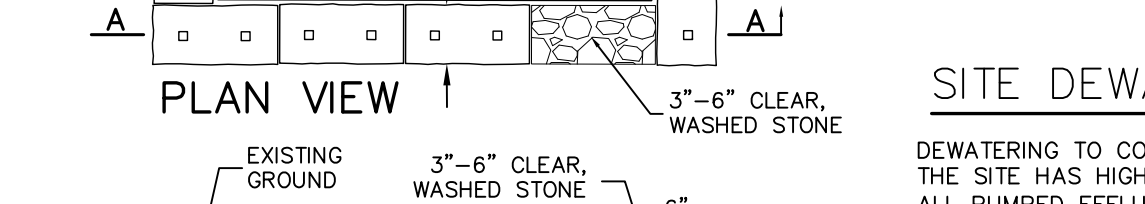
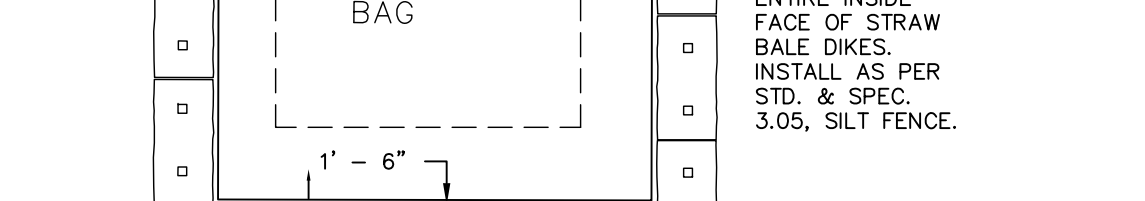
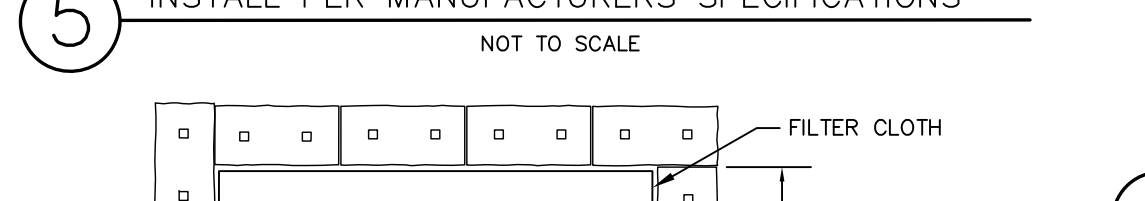
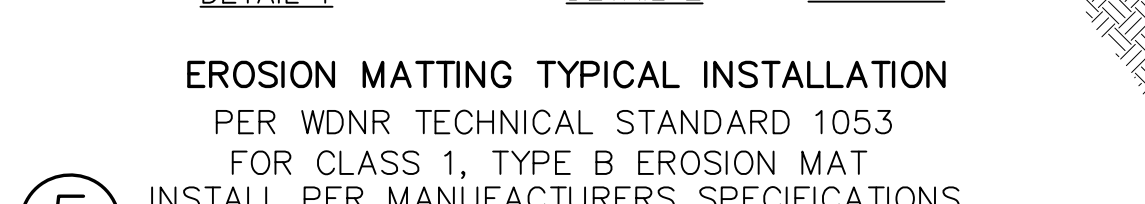
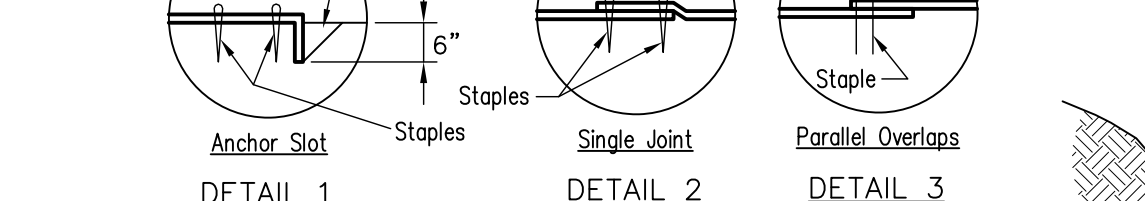
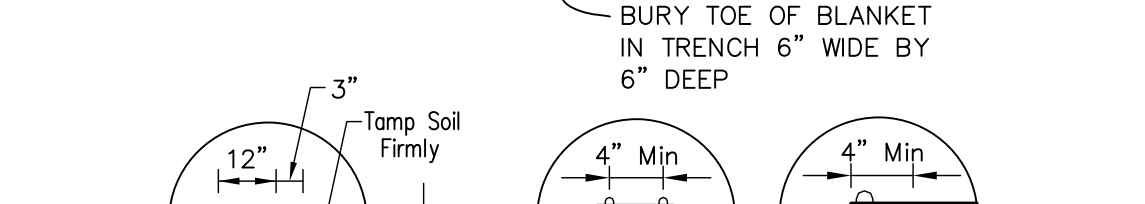
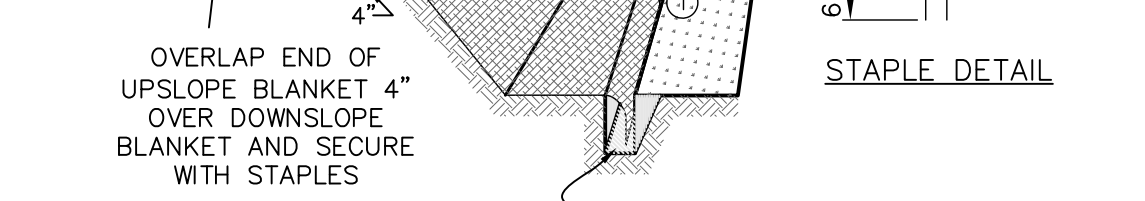
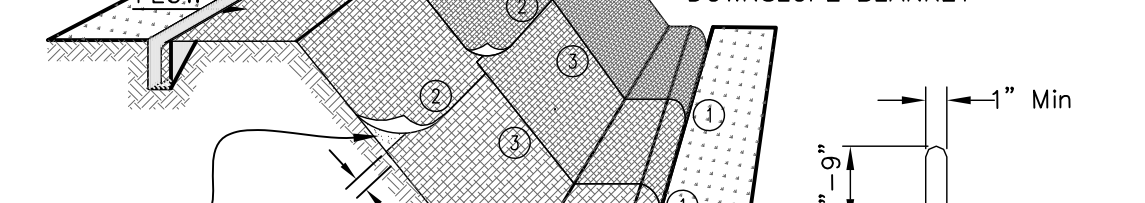
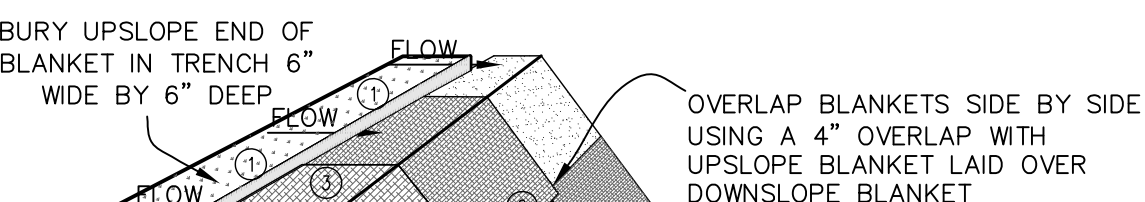
PRESCRIPTIVE COMPLIANCE AREAS

PER WDNR NR15111 WS ADM CODE
MAXIMUM PERIOD OF BARE SOIL EXPOSURE FOR SLOPES EXCEEDING 20%:

SLOPE AREA DRAINS TO SEDIMENT BASIN OR SEDIMENT TRAP	MAXIMUM PERIOD OF BARE SOIL EXPOSURE (CALENDAR DAYS)	LAND DISTURBANCE BETWEEN SEPT. 16TH AND MAY 15TH	LAND DISTURBANCE BETWEEN MAY 2ND AND SEPT. 15TH

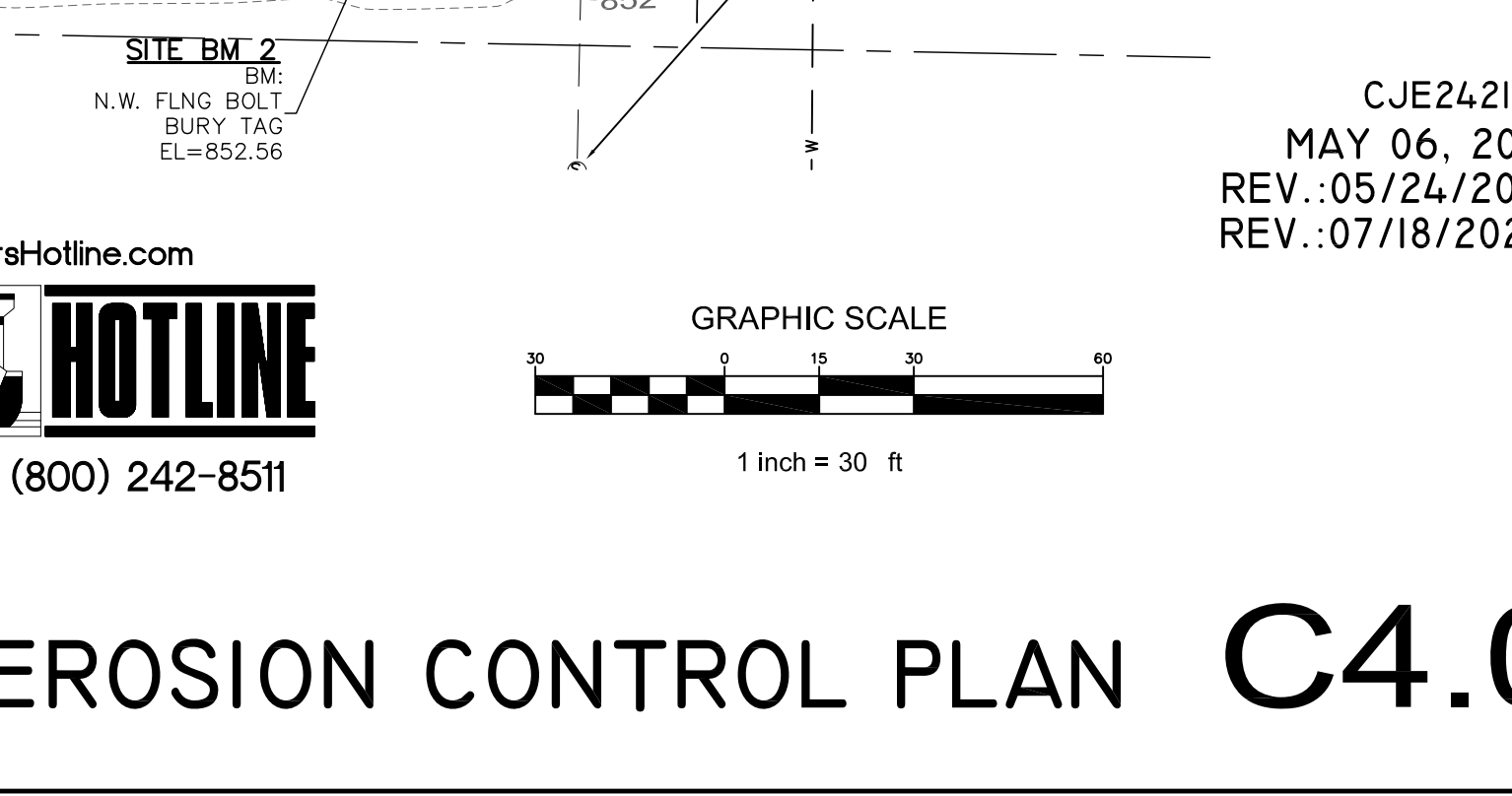
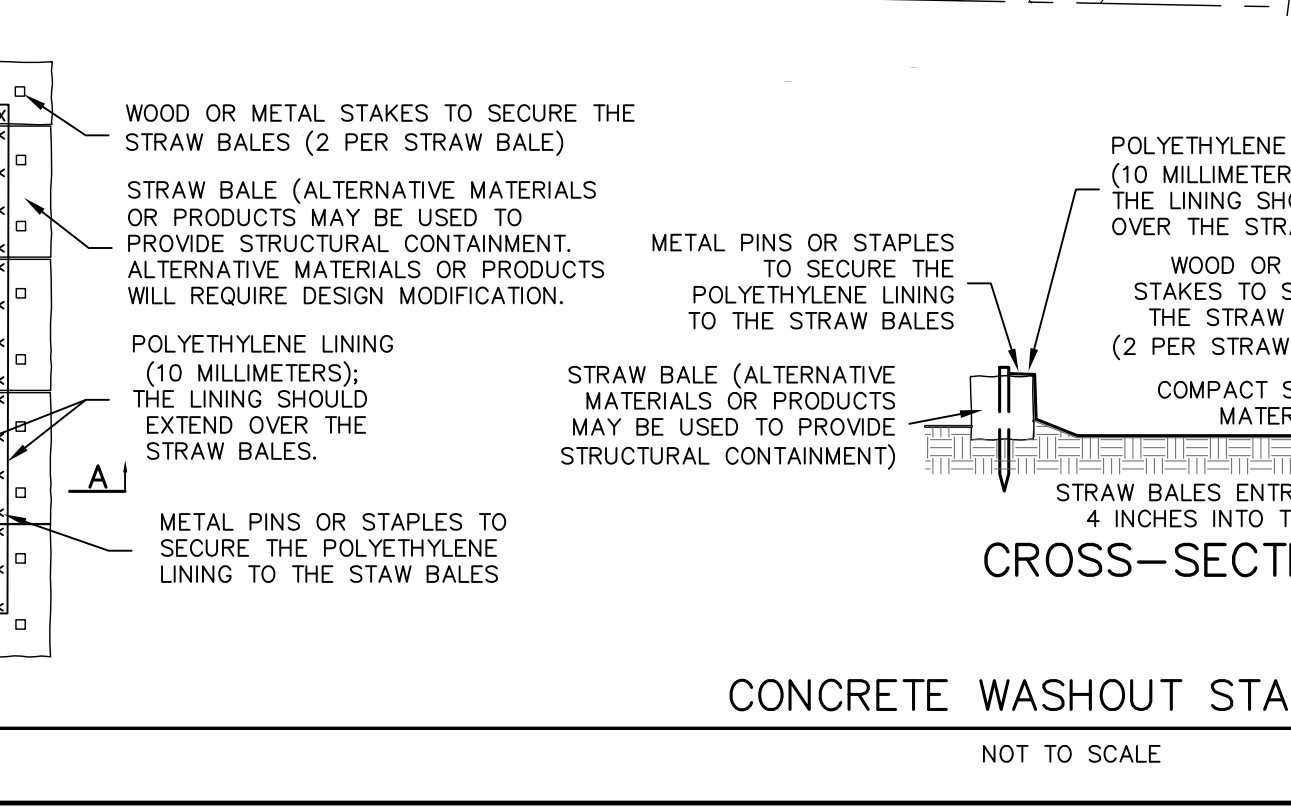
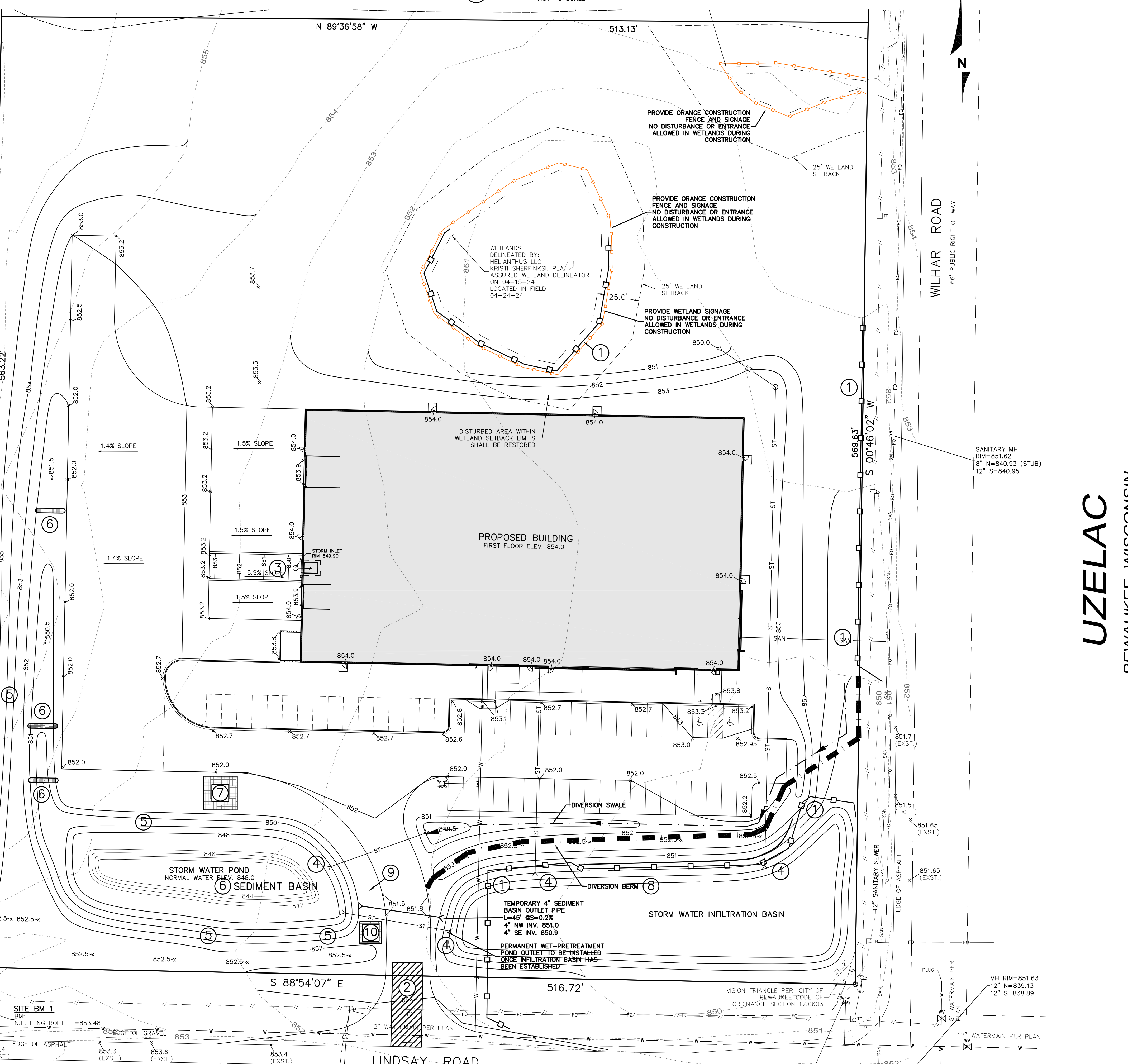
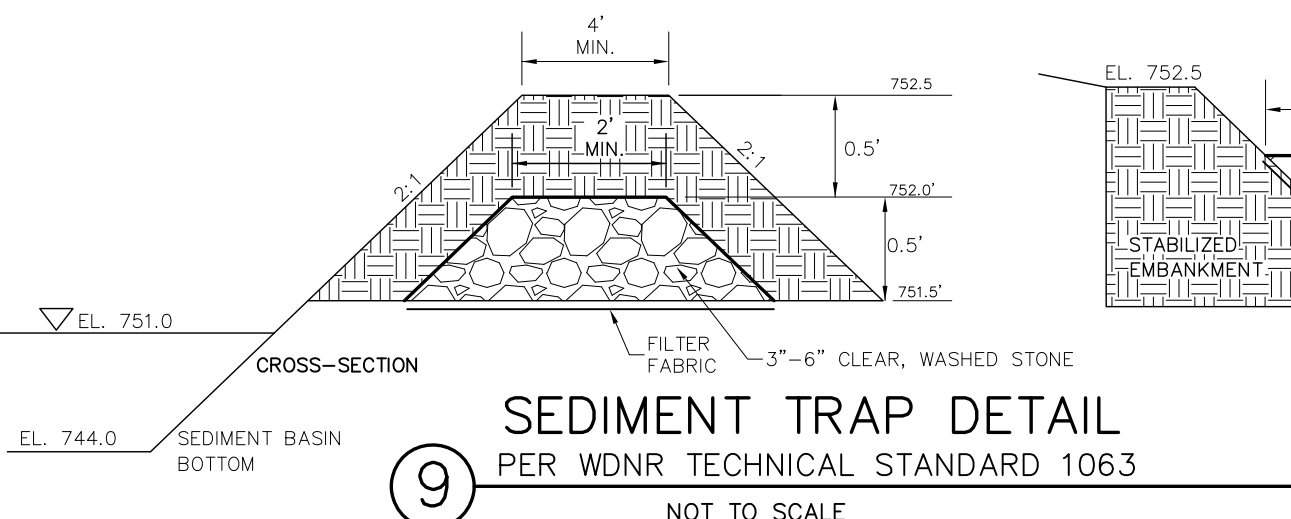
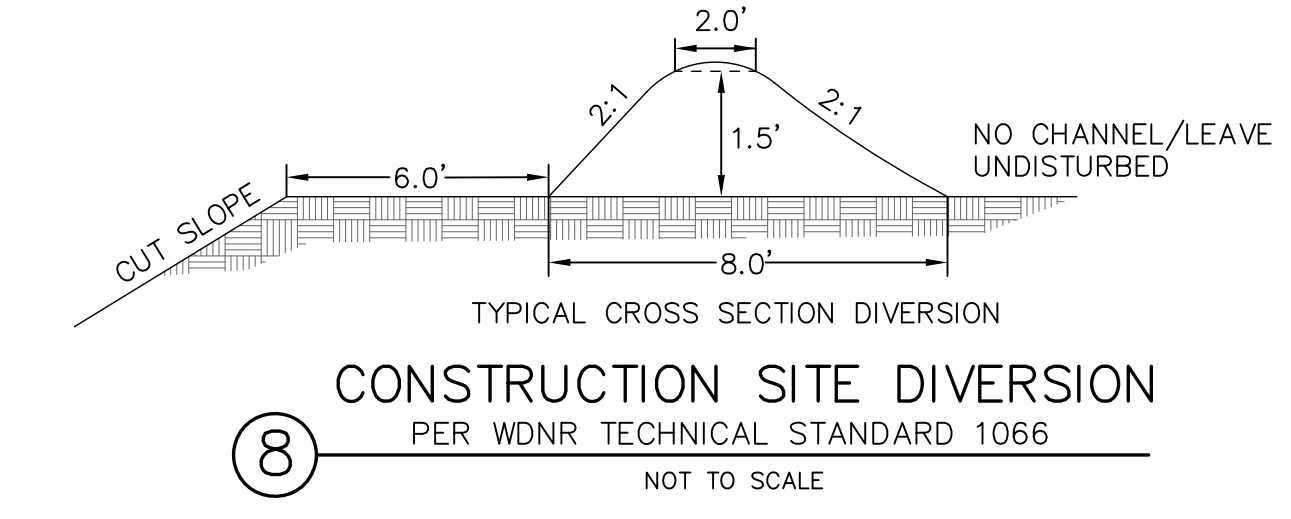
MAINTENANCE PLAN

- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BANK.
- ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.



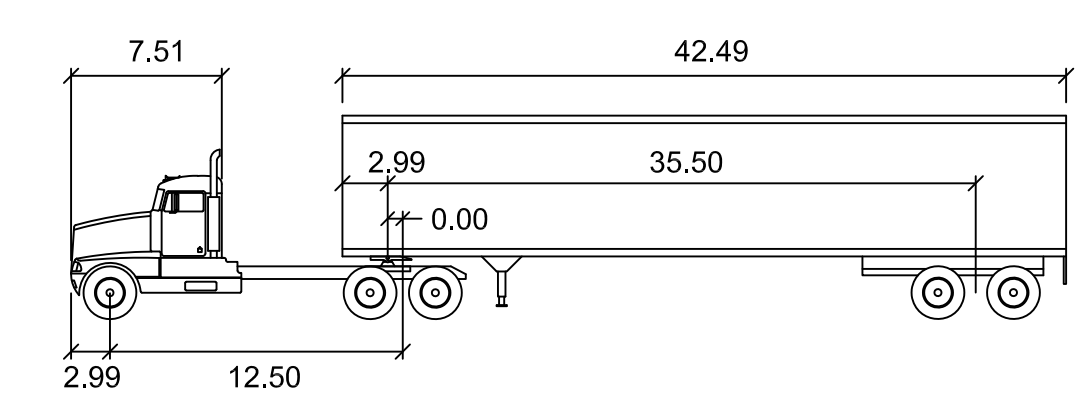
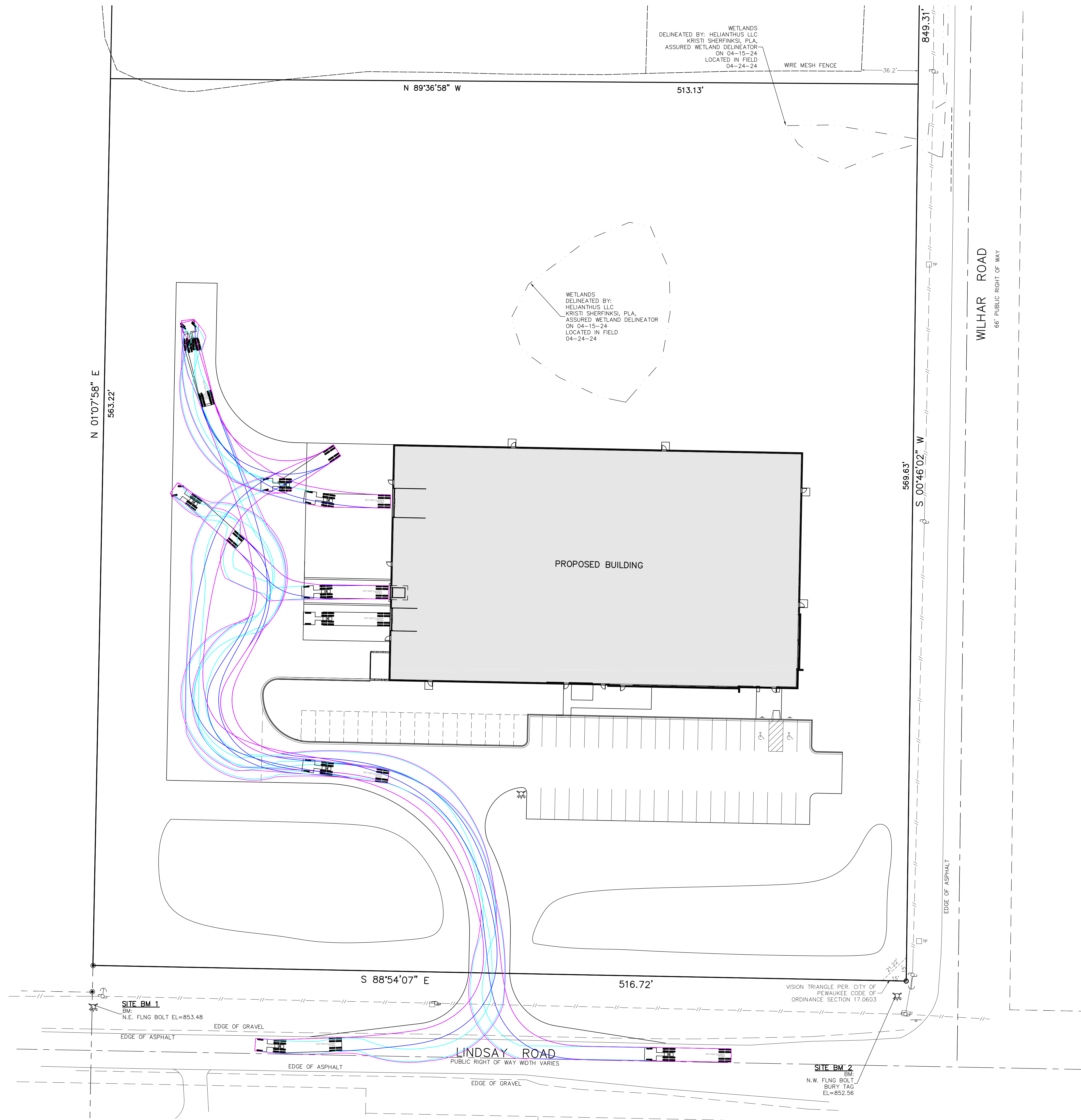
CONSTRUCTION SPECIFICATIONS

- CONSTRUCTION SILT FENCE AROUND THE DISTURBED AREAS AS SHOWN ON EROSION CONTROL PLAN, TO PREVENT SEDIMENT FROM BEING WASHED INTO THE DRAINAGE SYSTEM.
- LOCATE POSTS PER DNR CPS (1056)
- WHEN JOINTS ARE NECESSARY REFER TO DNR CPS (1056)
- FILTER FABRIC TO BE OF NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH - 50 LB./LIN. IN. (MIN.) - AND WITH A FLOW RATE OF AT LEAST 0.3 GAL./SQ. FT./MIN. FILTER SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS.
- THE FILTER FABRIC SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF FABRIC IN A 4' X 6' TRENCH
- THE FILTER FABRIC SHALL BE STAPLED AND/OR NAILED TO THE UPSLOPE SIDE OF THE POSTS.
- POST TO BE 1 1/8" X 1 1/8" HICKORY OR OAK, 3 FEET LONG, SPACED A MAXIMUM OF 3 FEET APART
- USE WIRE REINFORCEMENT IN UNSTABILIZED MINOR SWALES, DITCHES AND DIVERSIONS.
- USE WSDOT APPROVED SILT FENCE





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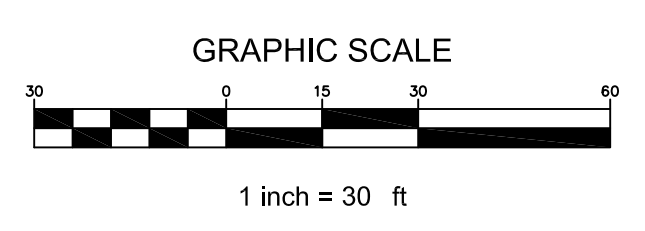


WB-50
 NOT TO SCALE

Feet			
Tractor Width	: 8.01	Lock to Lock Time	: 6.0 s
Trailer Width	: 8.50	Steering Angle	: 17.7 deg
Tractor Track	: 8.01	Articulating Angle	: 70.0 deg
Trailer Track	: 8.50		

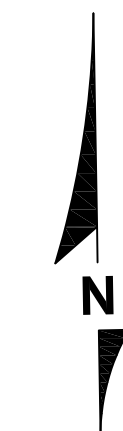
LEGEND

	FRONT WHEEL PATH
	REAR WHEEL PATH
	VEHICLE ENVELOPE

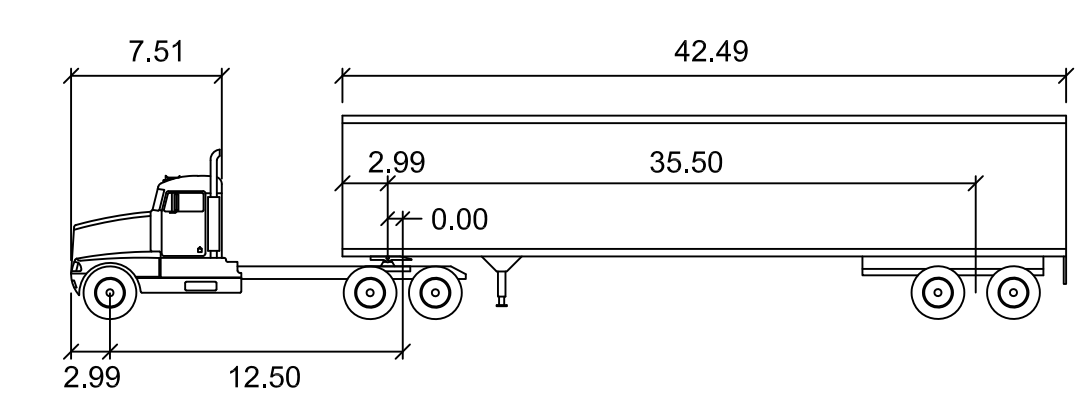
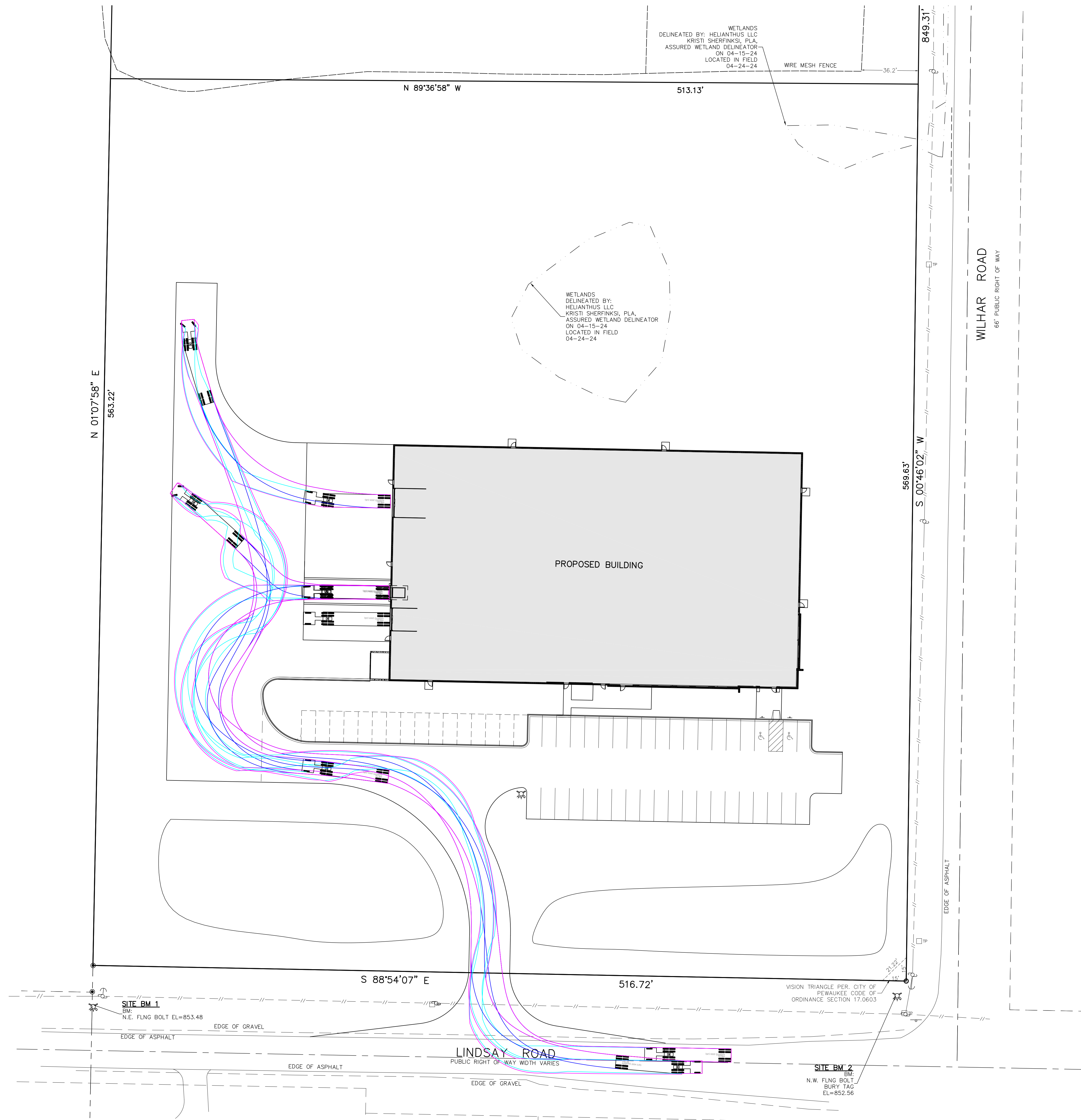


CJE242IR2
 MAY 06, 2024
 REV.:05/24/2024
 REV.:07/18/2024

FIRE ACCESS PLAN C5.0



UZELAC
 PEWAUKEE, WISCONSIN

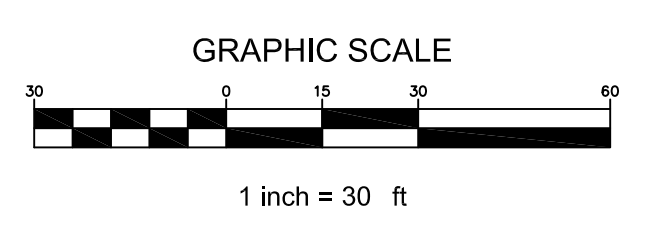


WB-50
 NOT TO SCALE

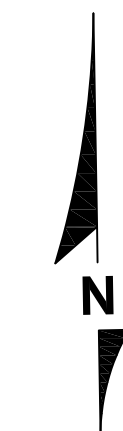
Feet			
Tractor Width	: 8.01	Lock to Lock Time	: 6.0 s
Trailer Width	: 8.50	Steering Angle	: 17.7 deg
Tractor Track	: 8.01	Articulating Angle	: 70.0 deg
Trailer Track	: 8.50		

LEGEND

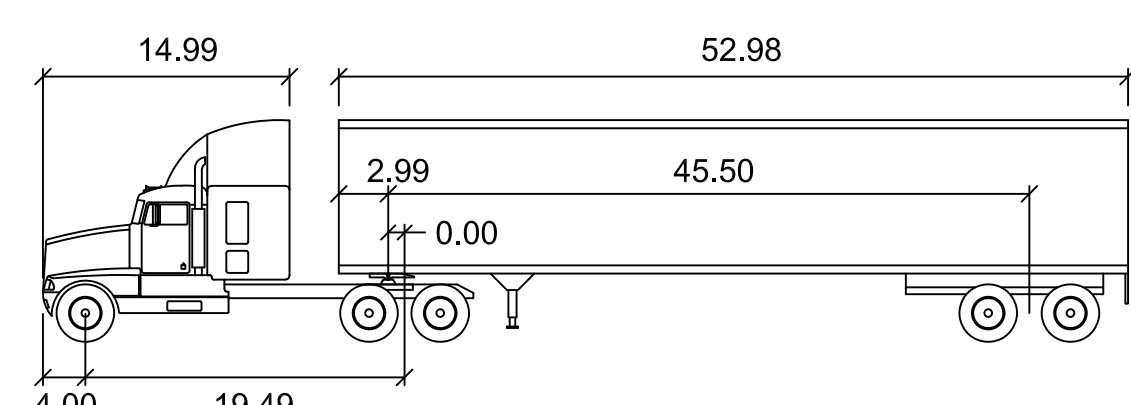
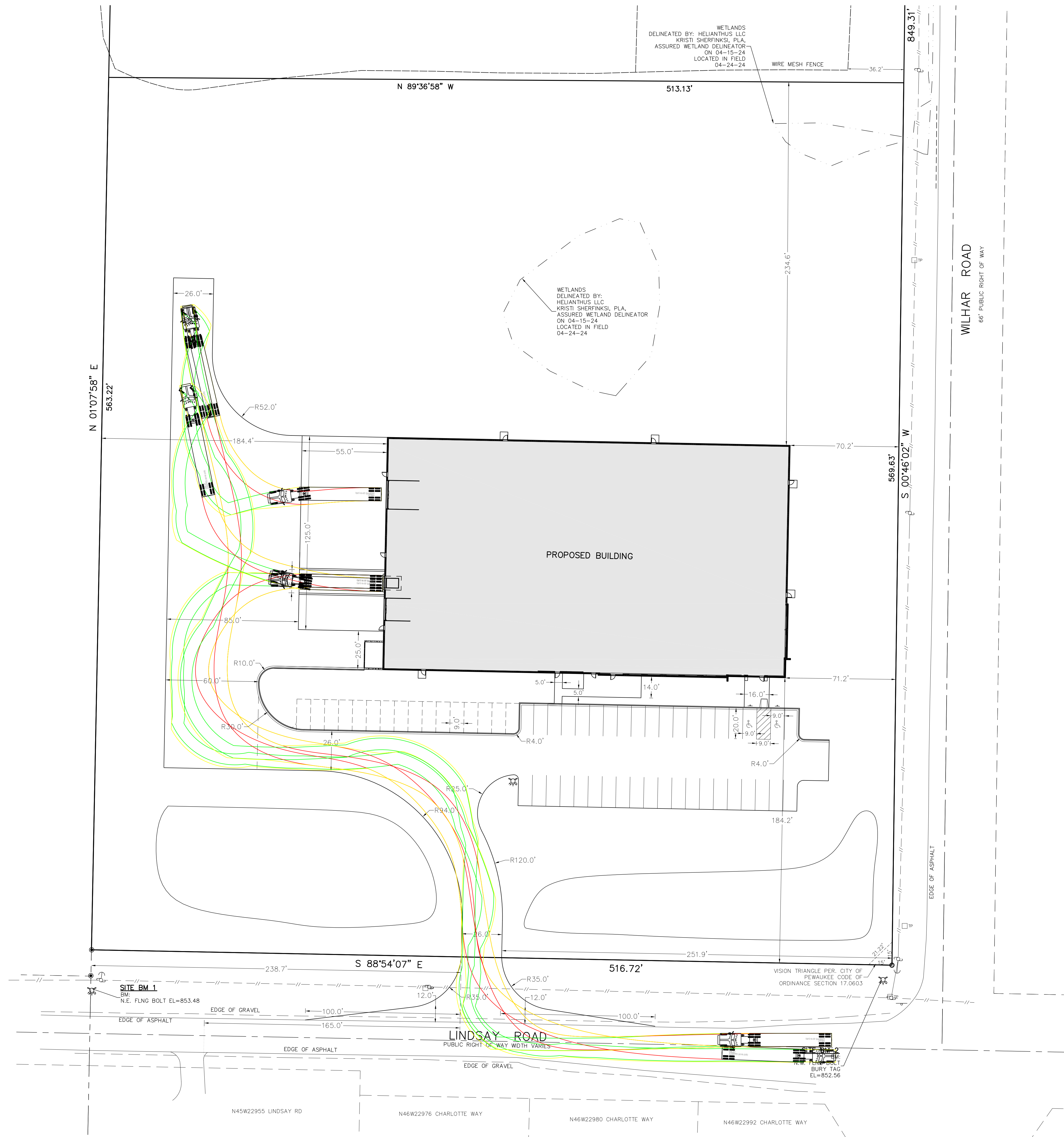
	FRONT WHEEL PATH
	REAR WHEEL PATH
	VEHICLE ENVELOPE



CJE242IR2
 MAY 06, 2024
 REV.:05/24/2024
 REV.:07/18/2024

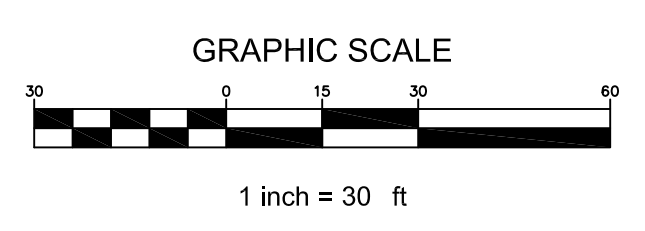
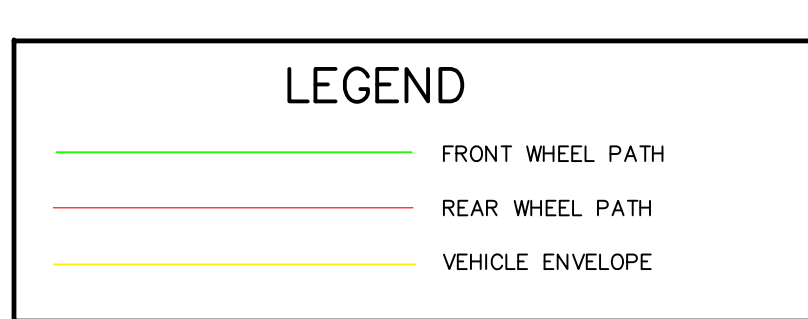


UZELAC
 PEWAUKEE, WISCONSIN



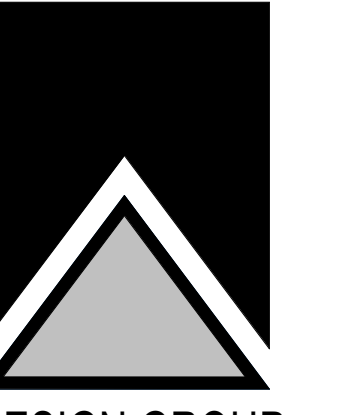
WB-67
 NOT TO SCALE

Feet			
Tractor Width	: 8.01	Lock to Lock Time	: 6.0 s
Trailer Width	: 8.50	Steering Angle	: 28.4 deg
Tractor Track	: 8.01	Articulating Angle	: 75.0 deg
Trailer Track	: 8.50		



CJE242R2
 MAY 06, 2024
 REV.:05/24/2024
 REV.:07/18/2024

WB-67 TRUCK TURNING EXHIBIT C5.2



OVERALL FLOOR PLAN

NEW BUILDING FOR:
UZELAC INDUSTRIES, INC.
LINDSAY RD. AT WILHAR RD.
CITY OF PEWAUKEE, WI

PROGRESS SET
NOT FOR CONSTRUCTION

Revision
Date
JOB: 230116
DRAWN: NS/CC/SH
CHECKED: PG/KJ
DATE: 2024-07-18
SHEET:

A1.0
APPLICABLE TO ALL PLAN VIEWS

RATED PARTITION LEGEND

	1 HOUR RATED FIRE BARRIER WALL
	2 HOUR RATED FIRE BARRIER WALL
	3 HOUR RATED FIRE BARRIER WALL

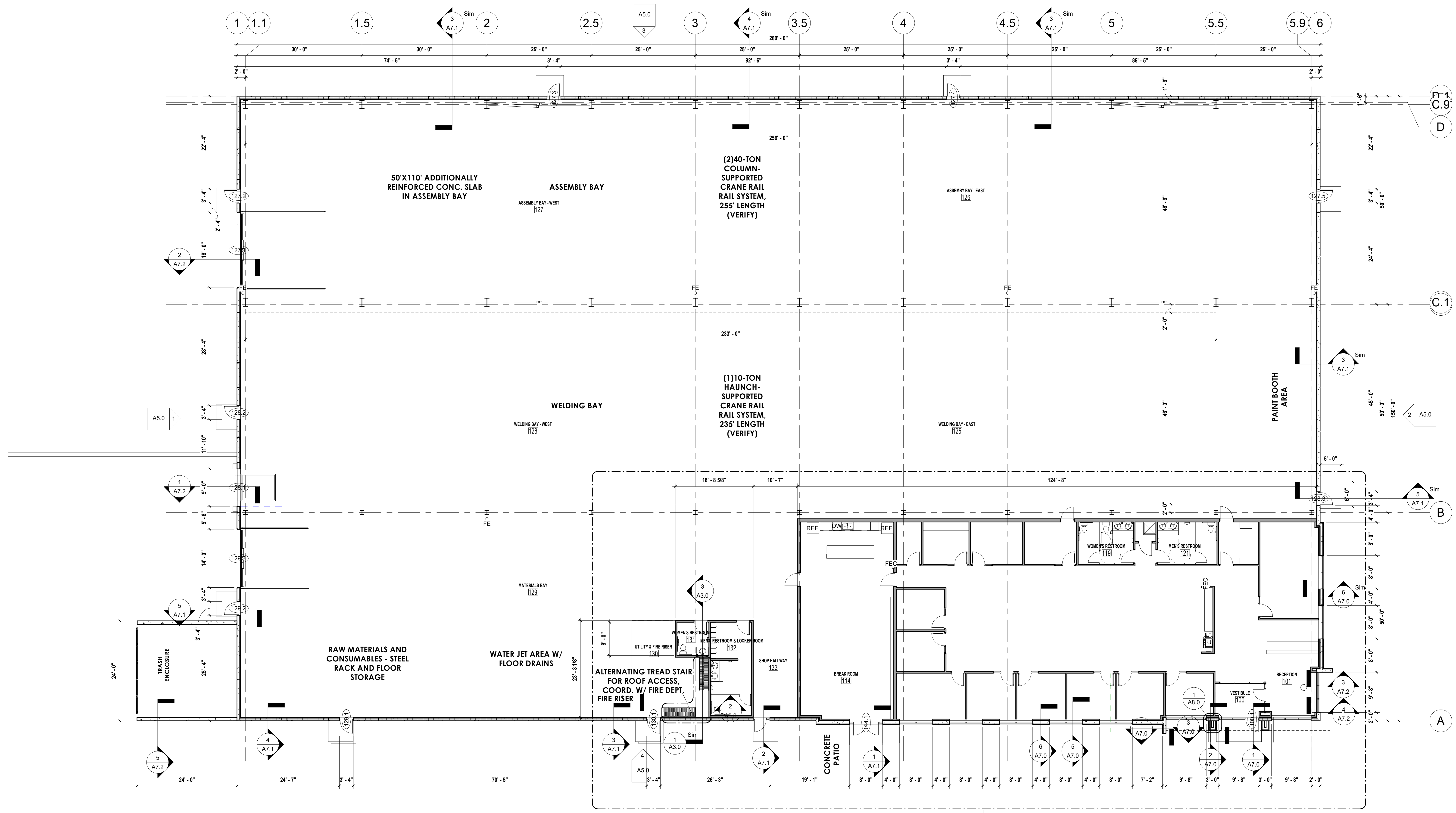
FLOOR PLAN LEGEND

	ROOM	ROOM NAME		PARTITION TO BE DEMOLISHED
	DOOR NUMBER			DOOR AND FRAME TO BE REMOVED
	PARTITION TYPE			EXISTING PARTITION TO REMAIN
	KEYNOTES			EXISTING DOOR TO REMAIN
	SURFACE MOUNTED FIRE EXTINGUISHER			NEW DOOR & FRAME
	RECESSED EXTINGUISHER CABINET & FIRE EXTINGUISHER			
	EXIT LIGHT			
	EXIT LIGHT (DIRECTIONAL)			
	BORROWED LIGHT TAG			
	TOILET ACCESSORY TAG			

KEYNOTE LEGEND

GENERAL NOTES - NEW FLOOR PLAN

- VERIFY ALL CONDITIONS, DIMENSIONS AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO BRIOHN'S ATTENTION PRIOR TO FABRICATION/CONSTRUCTION BEGINS.
- VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
- AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS DURING CONSTRUCTION.
- SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES.
- SEE SHEET A0.1 FOR ADA REQUIREMENTS AND MOUNTING HEIGHTS.
- SEE SHEET A1.2 FOR PARTITION TYPE.
- EXTERIOR WALLS IN OFFICE AREA TO BE FURRED OUT WITH STUD HELD 1" OFF FACE OF EXTERIOR WALL. CAVITY FILLED WITH BATT INSULATION. SEE FLOOR PLAN FOR PARTITION TYPE.
- FURNITURE AND APPLIANCES PROVIDED BY OWNER AND ARE SHOWN FOR REFERENCE ONLY.
- ALL WALLS TO BE PAINTED PROVIDING FRP WAHNSCOT WHERE CALLED FOR.
- ALL FLOORS THROUGH OUT ARE TO BE SEALED CONCRETE WITH CAULKED CONTROL JOINTS.
- EXPOSED STEEL DECK, JOISTS, GIRDERS AND COLUMNS ARE TO BE PRIME GREY.
- LOCKERS AND BENCHES IN LOCKER ROOMS ARE PROVIDED BY OWNER AND ARE SHOWN FOR REFERENCE ONLY.



1 OVERALL FIRST FLOOR PLAN
3/32" = 1'-0"

EXTERIOR BLDG SYSTEMS

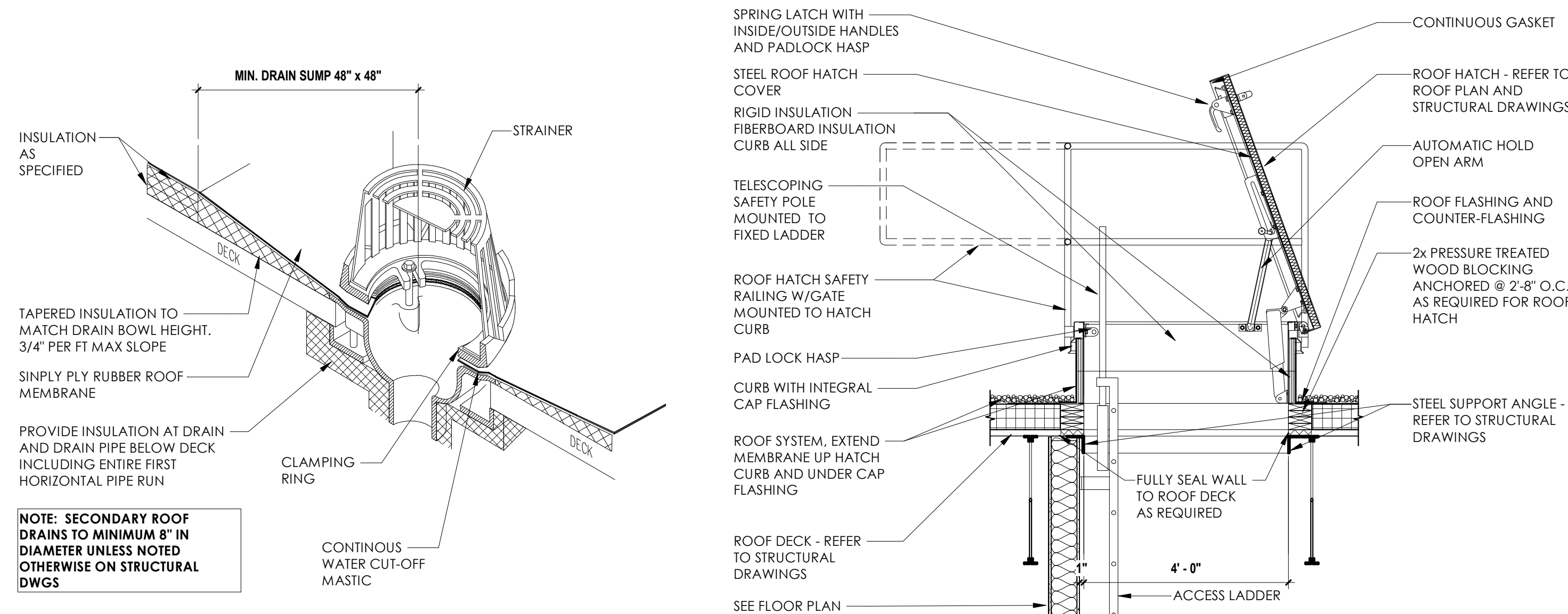
BALLASTED ROOF ASSEMBLY: BALLASTED 45 MIL. ROOF MEMBRANE ON 5.75" DIRECT TO DECK APPROVED EPS INSULATION (TWO LAYERS, STAGGERED) ON METAL DECK. (SEE STRUCTURAL DRAWINGS). PROVIDE TAPERED INSULATION WHERE REQUIRED FOR DRAINAGE TO ROOF DRAINS.
FULLY ADHERED ROOF ASSEMBLY: FULLY ADHERED 45 MIL. ROOF MEMBRANE ON MIN. 1" TAPERED DIRECT TO DECK APPROVED EPS INSULATION ON METAL DECK (SEE STRUCTURAL DRAWINGS).
INSULATED PRECAST WALL PANEL SYSTEM: 10" INSULATED PRECAST CONCRETE WALL PANEL. (R-14)
UNINSULATED PRECAST WALL PANEL SYSTEM: 10" SOLID, UNINSULATED WALL PANEL (DUMPMSTER ENCLOSURE WALLS).
EXTERIOR METAL PANEL WALL SYSTEM (NON-INSULATED): EXTERIOR 8" WIDE FLUSH METAL WALL PANEL (COLOR UNA-CLAD - BONE WHITE) LAID HORIZONTALLY ON FURRING, WEATHER BARRIER, 3/4" FIRE TREATED WOOD SHEATHING ON 6" COLD FORMED FRAMING.
EXTERIOR METAL PANEL SOFFIT SYSTEM (NON-INSULATED): EXTERIOR 8" VENTED WIDE FLUSH METAL SOFFIT PANEL (COLOR UNA-CLAD - BONE WHITE) ON FURRING, WEATHER BARRIER, 3/4" FIRE TREATED WOOD SHEATHING ON COLD FORMED FRAMING.

KEYNOTE LEGEND

05-13	ROOF HATCH SAFETY RAILING SYSTEM (OSHA COMPLIANT)
07-10	BALLASTED ROOF ASSEMBLY: BALLASTED EPDM ROOF MEMBRANE ON EPS DIRECT TO DECK ROOF INSULATION ON METAL DECK & SLOPED STRUCTURAL FRAMING (SEE STRUCTURAL DRAWINGS AND EXTERIOR BLDG SYSTEMS LEGEND FOR FURTHER INFORMATION)
08-3	SHIP STAIR ACCESS ROOF HATCH. PROVIDE CODE-COMPLIANT HATCH SIZE. FOR USE WITH OSHA-APPROVED STEEL LADDER ACCESS FROM FLOOR BELOW. PROVIDE FRAMING, CURB, FLASHING, AND TAPERED INSULATION FOR DRAINAGE AROUND HATCH AS REQUIRED. SEE DETAIL 2/A4.0.
22-1	8" DIAMETER PRIMARY ROOF DRAIN (SEE STRUCTURAL) AT EACH GRID ON EAST AND WEST SIDE
22-2	OVERFLOW SECONDARY ROOF DRAIN (SEE STRUCTURAL). MINIMUM 6" DIAMETER OVERFLOW SCUPPER (SEE STRUCTURAL DWGS). SCUPPERS TO BE CENTERED IN PANEL WHERE POSSIBLE AND SHOULD AT NO TIME BE PLACED ABOVE OPENINGS, DOOR OR WINDOW.
22-4	

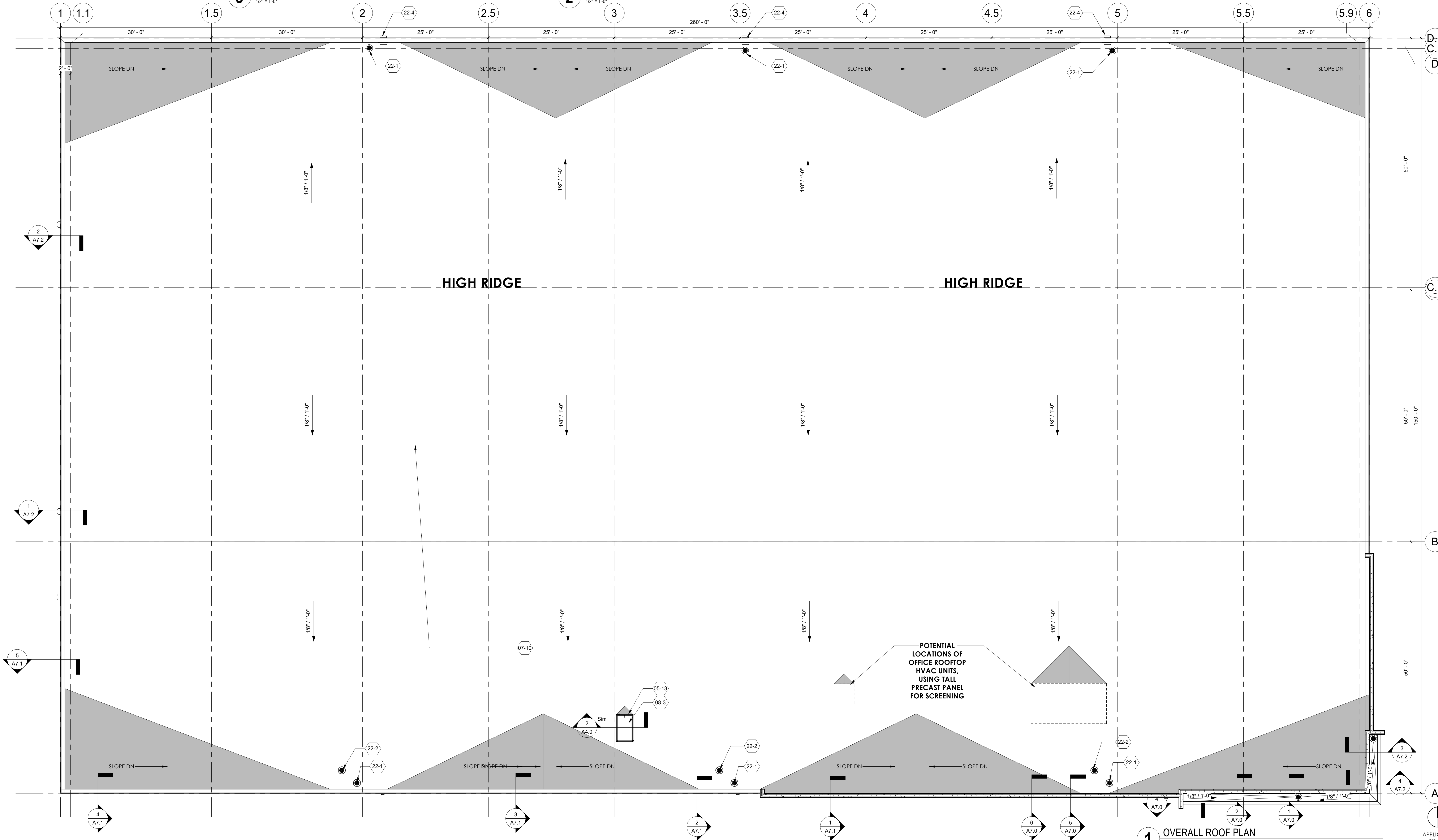
GENERAL NOTES - ROOF PLAN

- SEE STRUCTURAL DWGS FOR FURTHER STRUCTURAL INFORMATION.
- COORDINATE ROOF SCREEN SIZE WHERE CALLED FOR WITH MECHANICAL UNITS. SEE STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.
- SEE SHEET A4.2 FOR OTHER CANOPY AND TUBE SUN SHADES PLANS.
- PROVIDE ROOF PAVERS AT ROOF HATCH AND AT ALL ROOF TOP UNITS. REFER TO HVAC PLAN BY OTHERS FOR LOCATIONS.
- PROVIDE ROOF HATCH NOT LESS THAN 16 S.F. IN AREA AND HAVING A MINIMUM DIMENSION OF 24".
- PROVIDE ALL REQUIRED FLASHING FOR HVAC ROOF TOP EQUIPMENT, INCLUDING ROOF TOP UNITS AND EXHAUST FANS.
- PROVIDE AND INSTALL ALL REQUIRED FLASHING AND BOOTS FOR ROOF TOP AND PARAPET WALL ELECTRICAL PENETRATIONS AND HVAC EQUIPMENT.
- PROVIDE FLASHING FOR PLUMBING VENTS.
- PROVIDE 20 YEAR MANUFACTURERS LABOR AND MATERIAL WARRANTY.



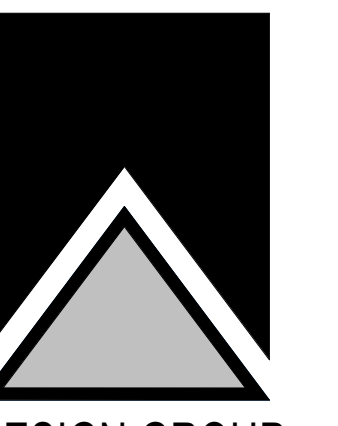
3 ROOF DRAIN DETAIL
 1/2" = 1'-0"

2 ROOF HATCH W/SAFETY RAIL
 1/2" = 1'-0"



1 OVERALL ROOF PLAN
 1/8" = 1'-0"

APPLICABLE TO ALL PLAN VIEWS



THE PROPOSED COMMERCIAL NON-RESIDENTIAL BUILDING FOR BUILDINGS LOCATED IN CLIMATE ZONE 4(A) - PER IECC 2015 WITH AMENDMENTS FOR PRESCRIPTIVE OPTION - OPAQUE ELEMENT MAXIMUM U-FACTORS: SUBSTITUTE 2009 IECC TABLE 502.1.2 FOR 2015 IECC TABLE C402.1.4

ROOFS - PROPOSED ROOF INSULATION ENTIRELY ABOVE DECK R-20ci REQUIRED AND R-20ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

WALLS ABOVE GRADE PROPOSED EXTERIOR WALL - MASS (PRECAST INSULATED CONCRETE) R-13.3ci REQUIRED AND R-16ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM; METAL FRAMED R-13 + R-7.5ci REQUIRED AND R-22 + R-10 PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

SLAB-ON-GRADE FLOORS - PROPOSED UNHEATED SLABS R-10 FOR 24 INCHES BELOW REQUIRED AND R-10 FOR 24 INCHES OR MORE PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

PER TABLE 502.3 BUILDING ENVELOPE REQUIREMENTS: FENESTRATION VERTICAL FENESTRATION (40% MAXIMUM ALLOWED ABOVE GRADE) 5% ACTUAL PROVIDE REQUIRED U - FACTOR .40 ACTUAL PROVIDED .29 AND SHGC .41

PER 2015 IECC:

C402.5 AIR LEAKAGE THERMAL ENVELOPE, PROPOSED BUILDING COMPLIES.

C402.5.1 AIR BARRIER PER C402.5.1.2.1 MATERIALS SEE EXCEPTION 13 CAST-IN-PLACE AND PRECAST CONCRETE. PROPOSED BUILDING COMPLIES.

C402.5.2 AIR LEAKAGE FENESTRATION SEE EXCEPTION 1. FIELD FABRICATED FENESTRATION ASSEMBLIES THAT ARE SEALED IN ACCORDANCE WITH SECTION C402.5.1. PROPOSED BUILDING COMPLIES.

C402.5.3 ROOMS CONTAINING FUEL - BURNING APPLIANCES EXCEPTION 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO OUTSIDE. PROPOSED BUILDING COMPLIES.

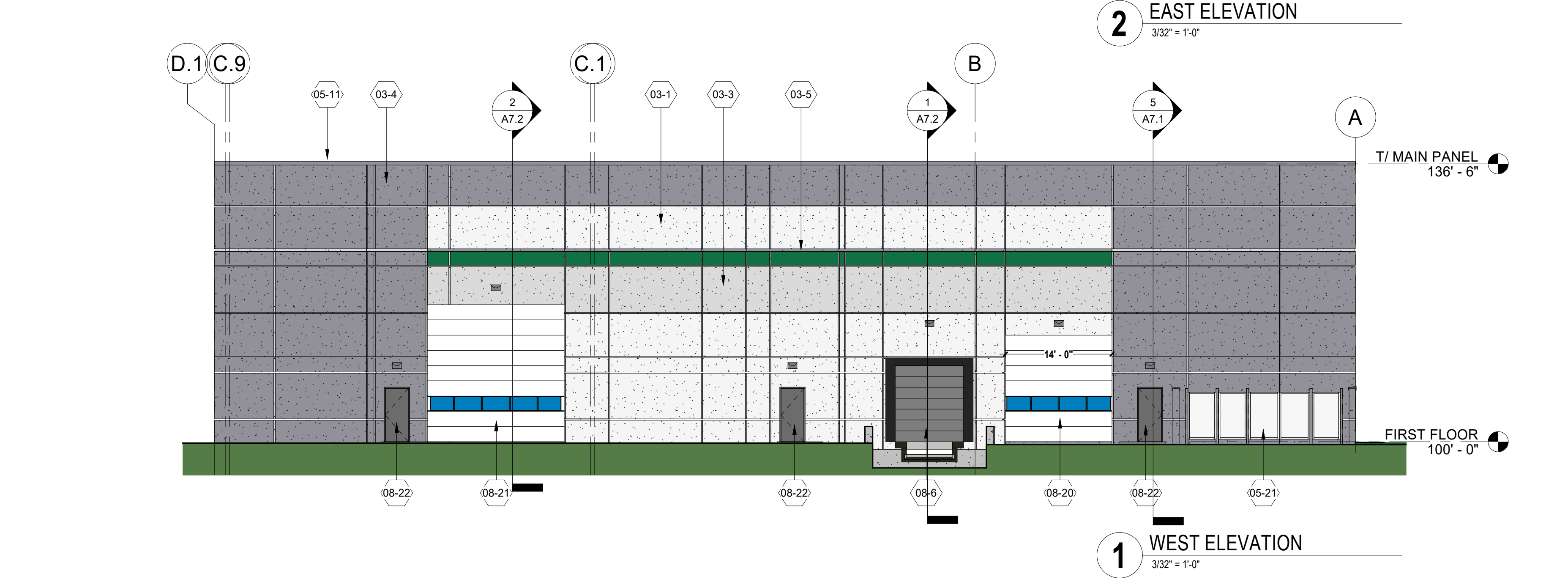
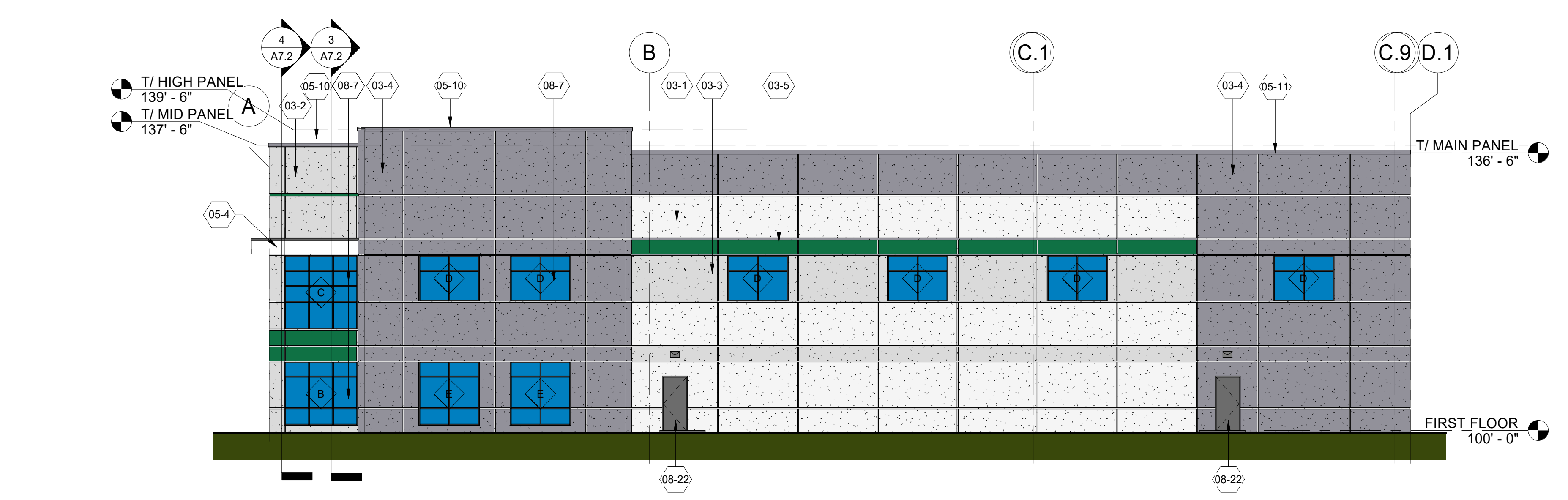
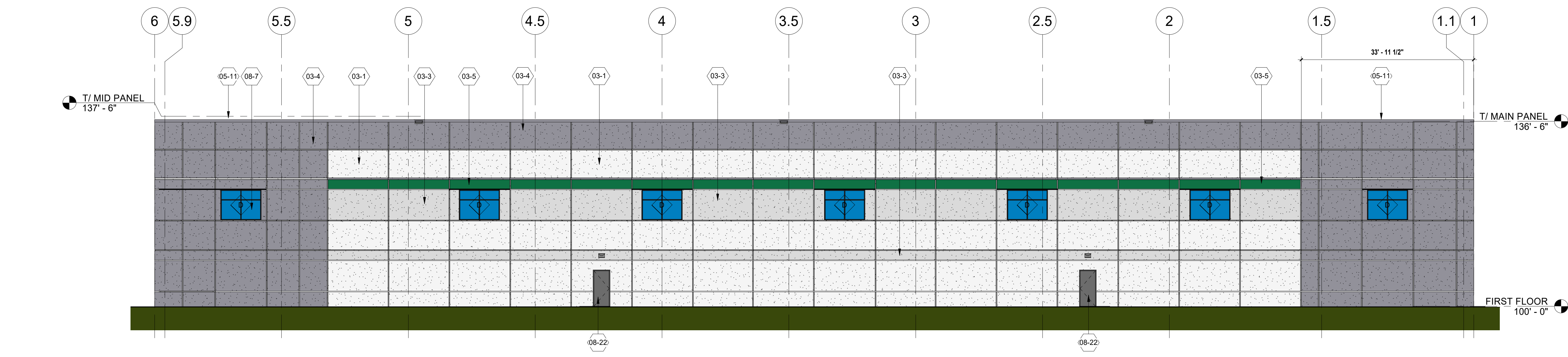
C402.5.4 DOORS AND ACCESS OPENINGS TO SHAFTS, CHUTES, STAIRWAYS AND ELEVATOR LOBBIES. NOT APPLICABLE TO PROPOSED BUILDING.

C402.5.5 AIR INTAKES, EXHAUST OPENINGS, STAIRWAYS AND SHAFTS, IF REQUIRED TO BE DAMPERED. PROPOSED BUILDING COMPLIES.

C402.5.6 LOADING DOCK WEATHER SEALS TO BE PROVIDED FOR LOADING DOCK DOORS. PROPOSED BUILDING COMPLIES.

C402.5.7 VESTIBULES EXCEPTION 2. DOORS NOT INTENDED TO BE USED BY THE PUBLIC, SUCH AS DOORS TO MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS, ON INTENDED SOLELY FOR EMPLOYEE USE. EXCEPTION 4 DOORS THAT OPEN DIRECTLY FROM A SPACE LESS THAN 3,000 SQUARE FEET IN AREA. EXCEPTION 6 DOORS USED PRIMARILY TO FACILITATE VEHICULAR MOVEMENT OR MATERIAL HAND LINE AND ADJACENT PERSONAL DOORS. PROPOSED BUILDING COMPLIES.

C402.5.8 RECESSED LIGHTING. NOT APPLICABLE TO PROPOSED BUILDING.



KEYNOTE LEGEND

03-1	EXTERIOR INSULATED PRECAST CONCRETE WALL PANEL WITH PAINTED FINISH COLOR 1 - WHITE (SW7005 - PURE WHITE)
03-2	EXTERIOR INSULATED PRECAST CONCRETE WALL PANEL WITH PAINTED FINISH COLOR 2 - MEDIUM GREY (SW 7669 - SUMMIT GRAY)
03-3	EXTERIOR INSULATED PRECAST CONCRETE WALL PANEL WITH PAINTED FINISH COLOR 3 - LIGHT GREY (SW 7668 - MARCH WIND)
03-4	EXTERIOR INSULATED PRECAST CONCRETE WALL PANEL WITH PAINTED FINISH COLOR 4 - DARK GREY (SW 9154 - PERLE NOIR)
03-5	EXTERIOR INSULATED PRECAST CONCRETE WALL PANEL WITH PAINTED FINISH COLOR 5 - ACCENT GREEN (SW XXXX - TBD)
03-6	1/2" DEEP REVEAL PAINTED LIGHT GREY (SW XXXX)
05-4	PRE-FINISHED WHITE METAL PANEL FINISHED AT OVERHANG/CANOPY FASCIA, AND AT FRONT OFFICE ENTRY PORTAL, ON STEEL STUD FRAMING.
05-10	PRE-FINISHED METAL CAP/COPING COLOR TO BE 'DARK BRONZE ANODIZED' TO MATCH WINDOW SYSTEM
05-11	PRE-FINISHED METAL 24 GA. GRAVEL STOP COLOR TO BE 'DARK BRONZE ANODIZED' TO MATCH WINDOW SYSTEM.
05-21	DARK BRONZE OF SIMILAR PRE-FINISHED METAL PANEL CLAD SWING GATES WITH PAINTED STEEL POST GATE SUPPORTS.
06-6	INSULATED OVERHEAD DOOR FACTORY FINISHED, DOCK SEALS, DOCK LEVELERS, AND BUMBERS WITH VERTICAL LIFT TYPE TRACKS. PRE-FINISHED WHITE SIMILAR TO MAIN BUILDING COLOR.
06-7	ALUMINUM STOREFRONT SYSTEM
06-20	14'-0" X 14'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME WITH VISION WINDOWS (ONE PANEL) WITH WEATHER SEAL AND OPERER. PRE-FINISHED WHITE SIMILAR TO MAIN BUILDING COLOR.
06-21	18'-0" X 18'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME WITH WEATHER SEAL AND VISION WINDOWS (ONE PANEL). PRE-FINISHED WHITE SIMILAR TO MAIN BUILDING COLOR.
06-22	3'-0" X 7'-0" INSULATED AND PAINTED GALVANIZED HOLLOW METAL DOOR AND FRAME WITH ADA HARDWARE AND EMERGENCY EGRESS CODE REQUIRED LIGHTING - PAINTED TO MATCH ADJACENT WALL COLOR.
13-2	BUILDING SIGNAGE BY OWNER WITH REQUIRED SEPARATE MUNICIPAL APPROVALS.
22-3	OVERFLOW FLUSH SPOUT WITH HINGED COVER. SEE ROOF PLAN FOR ADDITIONAL NOTES. COORDINATE WALL PENETRATION WITH PRECAST SUPPLIER. DO NOT PLACE OVER ANY OPENING, DOOR OR WINDOW. ALWAYS CENTER IN PANEL.
26-1	EXTERIOR LIGHT FIXTURE - CUT-OFF LED WALLPACK - SEE LIGHTING PLAN FOR FIXTURE TYPE AND MOUNTING HEIGHT

EXTERIOR BLDG SYSTEMS

BALLASTED ROOF ASSEMBLY: BALLASTED 45 MIL. ROOF MEMBRANE ON 5.75" DIRECT TO DECK APPROVED EPS INSULATION (R20 - TWO LAYERS, STAGGERED) ON METAL DECK (SEE STRUCTURAL DRAWINGS). PROVIDE TAPERED INSULATION WHERE REQUIRED FOR DRAINAGE TO ROOF DRAINS

FULLY ADHERED ROOF ASSEMBLY: FULLY ADHERED 45 MIL. ROOF MEMBRANE ON MIN. 1" TAPERED DIRECT TO DECK APPROVED EPS INSULATION ON METAL DECK (SEE STRUCTURAL DRAWINGS)

INSULATED PRECAST WALL PANEL SYSTEM: 10" INSULATED PRECAST CONCRETE WALL PANEL (R-14)

UNINSULATED PRECAST WALL PANEL SYSTEM: 10" SOLID, UNINSULATED WALL PANEL (QUIMPSTER ENCLOSURE WALLS)

EXTERIOR METAL PANEL WALL SYSTEM (NON-INSULATED): EXTERIOR 8" WIDE FLUSH METAL WALL PANEL (COLOR UNA-CLAD - BONE WHITE) LAID HORIZONTALLY ON FURRING, WEATHER BARRIER, 3/4" FIRE TREATED WOOD SHEATHING ON 6" COLD FORMED FRAMING.

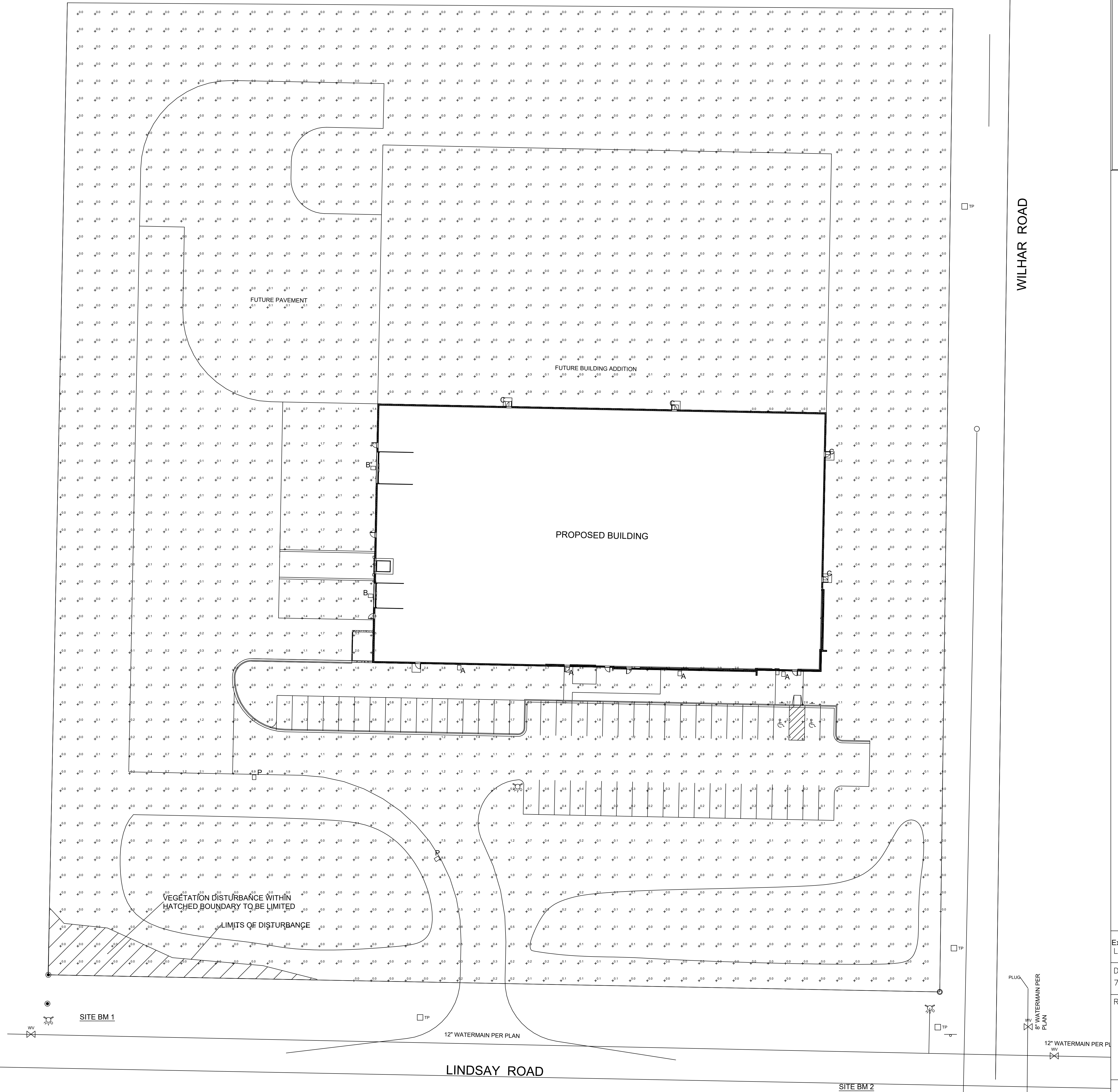
EXTERIOR METAL PANEL SOFFIT SYSTEM (NON-INSULATED): EXTERIOR 6" VENTED WIDE FLUSH METAL SOFFIT PANEL (COLOR UNA-CLAD - BONE WHITE) ON FURRING, WEATHER BARRIER, 3/4" FIRE TREATED WOOD SHEATHING ON COLD FORMED FRAMING.

PRECAST FINISH COLOR KEY:

[Color swatch]	FINISH COLOR 1: SHERWIN WILLIAMS - SW7005 - PURE WHITE
[Color swatch]	FINISH COLOR 2: SHERWIN WILLIAMS - SW7669 - SUMMIT GRAY (MEDIUM GREY)
[Color swatch]	FINISH COLOR 3: SHERWIN WILLIAMS - SW7668 - MARCH WIND (LIGHT GREY)
[Color swatch]	FINISH COLOR 4: SHERWIN WILLIAMS - SW 9154 PERLE NOIR (DARK GREY)
[Color swatch]	FINISH COLOR 5: "GREEN" AS SHOWN - TBD FINAL PRODUCT, COORD. W/ OWNER

Schedule						
Symbol	Label	QTY	Manufacturer	Catalog Number	Lumens per Lamp	Wattage
□	A	4	RAB Lighting Inc.	A17-4T100N Wall mounted at 24' 4000K color temperature	13928	97.56
□	B	2	RAB Lighting Inc.	A17-4T150N Wall mounted at 24' 4000K color temperature	21204	149.17
□	C	4	RAB Lighting Inc.	WPLED10N Wall mounted at 10' 4000K color temperature	1297	12.1
□	P	2	RAB Lighting Inc.	A17-4T100N 17' Pole on a 2' base 4000K color temperature With back light shield	13928	97.56

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.4 fc	8.9 fc	0.0 fc	N/A	N/A



Uzelac Industries
Pewaukee, WI

Exterior Photometric Lighting Plan
DATE: 7-18-2024
REVISIONS:

E-1.0

RESOLUTION NO. PC 24-07-16

A RESOLUTION RECOMMENDING THE ADOPTION OF AN ORDINANCE TO AMEND THE CITY OF PEWAUKEE 2035 COMPREHENSIVE MASTER PLAN AND NEIGHBORHOOD PLANS 2015-2050 TO CHANGE THE YEAR 2050 LAND USE/TRANSPORTATION PLAN FOR PROPERTIES LOCATED AT THE NORTHWEST CORNER OF LINDSAY ROAD AND WILHAR ROAD (TAX KEY NUMBERS PWC 0866-996-002 AND PWC 0866-996-003) FROM MEDIUM DENSITY RESIDENTIAL (6,500 SQUARE FEET – 1/2 ACRE/DWELLING UNIT) USE TO MANUFACTURING/FABRICATION/WAREHOUSING USE, PURSUANT TO WIS. STAT. § 66.1001(4)(b)

WHEREAS, pursuant to Wis. Stat. §§ 62.23(2) and (3) and 66.1001(4), the City of Pewaukee is authorized to prepare and adopt and to amend a comprehensive plan as defined in Wis. Stat. §§ 66.1001(1)(a) and 66.1001(2); and

WHEREAS, pursuant to Wis. Stat. § 66.1001(4)(b), the Plan Commission may recommend the amendment of the Comprehensive Master Plan to the Common Council by adopting a resolution by a majority vote of the entire Commission, which vote shall be recorded in the official minutes of the Plan Commission; and

WHEREAS, Uzelac Industries, Inc. has applied for an amendment to the Comprehensive Master Plan to change the Year 2050 Land Use/Transportation Plan for properties located at the northwest corner of Lindsay Road and Wilhar Road from Medium Density Residential to Manufacturing/Fabrication/Warehousing, such property bearing Tax Key Numbers PWC 0866-996-002 and PWC 0866-996-003, more particularly described as follows:

PWC 0866-996-002: Parcel 2 CERT SURV 1981 VOL 13/346 PT NW1/4 SEC 1 T7N R19E R206/445

PWC 0866-996-003: Parcel 3 CERT SURV 1981 VOL 13/346 PT NW1/4 SEC 1 T7N R19E R206/445

WHEREAS, the Plan Commission having determined that the proposed amendment in form and content as presented to the Commission on July 18, 2024, is consistent with the Comprehensive Master Plan’s goals, objectives and policies and in proper form and content for adoption by the Common Council as an amendment to the Comprehensive Master Plan, subject to such modifications the Common Council may consider reasonable and necessary, following public hearing, in order to protect and promote the health, safety and welfare of the City of Pewaukee.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Pewaukee, Wisconsin, that the application for and the proposed ordinance to amend the City

of Pewaukee Comprehensive Master Plan to change the Year 2050 Land Use/Transportation Plan for properties located at the northwest corner of Lindsay Road and Wilhar Road from Medium Density Residential to Manufacturing/Fabrication/Warehousing, such property bearing Tax Key Numbers PWC 0866-996-002 and PWC 0866-996-003, be and the same is hereby recommended for adoption and incorporation into the Comprehensive Master Plan by the Common Council.

Passed and adopted this 18th day of July, 2024.

FOR THE PLAN COMMISSION OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

ATTEST:

Steve Bierce, Mayor

Colleen Brown, Plan Commission Secretary

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 4.**

DATE: August 5, 2024

DEPARTMENT: Planning

PROVIDED BY: Nick Fuchs

SUBJECT:

Discussion and Possible Action Regarding **Ordinance 24-08** to Rezone Property Located at the Northwest Corner of Lindsay Road and Wilhar Road (PWC 0866-996, PWC 0866-996-002 & PWC 0866-996-003) from Rs-2 Single-Family Residential to M-2 Limited Industrial for the Purpose of Developing an Approximately 39,000 Square Foot Industrial Building as Requested by Uzelac Industries, Inc. [Fuchs]

BACKGROUND:

At their July 18, 2024, meeting, the Plan Commission recommended approval of the Rezoning request for Uzelac Industries, subject to increasing landscaping on Lindsay Road, staff approval of the ingress/egress to the site, keeping existing vegetation and adding additional plantings to it as much as may be possible, and to discuss further with staff the potential of vacating Wilhar Road to make it a driveway for the existing single-family property to the north. The motion passed: 5-aye, 1-nay.

FINANCIAL IMPACT:

RECOMMENDED MOTION:

Motion to approve the rezoning request Properties located at the northwest corner of Lindsay Road and Wilhar Road from Rs-2 Single-Family Residential District to M-2 Limited Industrial District (PWC 0866996, PWC 0866996002, and PWC 0866996003).

ATTACHMENTS:

Description

Uzelac rezoning exhibit

Ordinance 24-07

Legal description Lot 1

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST 1/4, THENCE S 01°07'58" W ALONG THE WEST LINE OF SAID 1/4 SECTION 279.70 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE S 89°36'58" E 513.13 FEET TO A POINT ON THE WEST LINE OF WILHAR ROAD; THENCE S 00°46'02" W ALONG SAID WEST LINE 849.31 FEET TO A POINT ON THE NORTH LINE OF LINDSAY ROAD; THENCE S 88°54'07" E ALONG SAID NORTH LINE 516.72 FEET TO A POINT ON THE WEST LINE OF SAID 1/4 SECTION, THENCE N 012°07'58" E ALONG SAID WEST LINE 563.22 FEET TO THE POINT OF BEGINNING.

CONTAINING: 291,658 SQUARE FEET OR 6.6955 ACRES.

ORDINANCE 24-08

**TO AMEND THE ZONING MAP OF
THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN**

The Common Council of the City of Pewaukee, Waukesha County, Wisconsin do ordain that the Zoning Map of the City of Pewaukee, Wisconsin is hereby amended to change the zoning classification of the property described below as follows:

FROM: RS-1 Single Family Residential

TO: M-2 Limited Industrial

SECTION 1 - DESCRIPTION

Common Description:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST ¼, THENCE S 01°07'58" W ALONG THE WEST LINE OF SAID ¼ SECTION 279.70 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE S 89°36'58" E 513.13 FEET TO A POINT ON THE WEST LINE OF WILHAR ROAD; THENCE S 00°46'02" W ALONG SAID WEST LINE 849.31 FEET TO A POINT ON THE NORTH LINE OF LINDSAY ROAD; THENCE S 88°54'07" E ALONG SAID NORTH LINE 516.72 FEET TO A POINT ON THE WEST LINE OF SAID ¼ SECTION, THENCE N 012°07'58" E ALONG SAID WEST LINE 563.22 FEET TO THE POINT OF BEGINNING. CONTAINING 291,658 SQUARE FEET OR 6.6955 ACRES.

Tax Key Number: PWC 0866-996, PWC 0866-996-002 and PWC 0866-996-003

Property Address: Vacant land at the northwest intersection of Lindsay Road and Wilhar Road

This Amendment to the Zoning Map (Change in zoning) is being proposed for the purpose of: Constructing a production and assembly facility approximately 39,000 square feet

SECTION 2 –SEVERABILITY

The several sections of this Ordinance are declared to be severable. If any section shall be declared by a decision of a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other provisions of the Ordinance.

SECTION 3 - ACTION

This Ordinance shall take effect upon passage and posting.

Dated this 5th day of August, 2024.

COMMON COUNCIL OF THE CITY OF PEWAUKEE

WAUKESHA COUNTY, WISCONSIN

Attest:

Steve Bierce, Mayor

Kelly Tarczewski, Clerk/Treasurer

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 5.**

DATE: August 5, 2024

DEPARTMENT: Planning

PROVIDED BY: Nick Fuchs

SUBJECT:

Discussion and Action Regarding a Certified Survey Map for Uzelac Industries, Inc. for Property Located at the Northwest Corner of Lindsay Road and Wilhar Road for the Purpose of Combining the Three Existing Properties Into a Single Lot (PWC 0866996, PWC 0866996002, PWC 0866996003)

BACKGROUND:

At their July 18, 2024, meeting, the Plan Commission recommended approval of the Certified Survey Map for Uzelac Industries, subject to increasing landscaping on Lindsay Road, staff approval of the ingress/egress to the site, keeping existing vegetation and adding additional plantings to it as much as may be possible, and to discuss further with staff the potential of vacating Wilhar Road to make it a driveway for the existing single-family property to the north. The motion passed: 5-aye, 1-nay.

FINANCIAL IMPACT:

RECOMMENDED MOTION:

Motion to approve the Certified Survey Map for Uzelac Industries, Inc. for properties located at the northwest corner of Lindsay Road and Wilhar Road (PWC 0866996, PWC 0866996002, PWC 0866996003).

ATTACHMENTS:

Description

Uzelac revised CSM

PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.



CAPITOL SURVEY ENTERPRISES
 2015 LA CHANDELLE CT.
 BROOKFIELD, WI 53045
 PH: (262) 786-6600
 FAX: (262) 786-6608
 WWW.CAPITOLSURVEY.COM

PREPARED FOR:
BRIOHN LAND DEVELOPMENT, LLC.
 3885 N. BROOKFIELD RD. STE. 200
 BROOKFIELD, WI 53045



1 INCH = 120 FT.



VILLAGE OF LISBON

SOUTHEAST CORNER
 SOUTHWEST 1/4
 36-8-19
 CONCRETE MONUMENT
 WITH BRASS CAP

LOT 1
 C.S.M. 10428

(N 89°09'46" E 2454.28)
 S 89°36'45" E 2454.28'

OUTLOT 1
 C.S.M. 10473

1.5" I.R.F. NORTH LINE NORTHEAST 1/4 OF SECTION 1

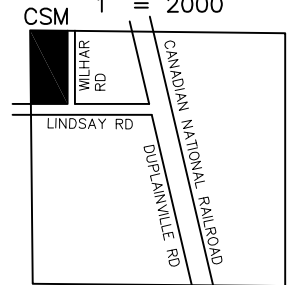
1.5" I.P.F. 0.58' W.

NORTHWEST CORNER
 NORTHWEST 1/4
 1-7-19
 CONCRETE MONUMENT
 WITH BRASS CAP
 N. 195,098.73
 E. 690,422.39

CITY OF
 PEWAUKEE

C.S.M. 1383

VICINITY MAP
 1" = 2000'



NW 1/4 1-7-19

TAX KEY NO's:
 PWC 0866996
 PWC 0866996002
 PWC 0866996003

ZONED M-2, LIMITED
 INDUSTRIAL DISTRICT

UNPLATTED LANDS

563.22'

(N 00°05'17" W)
 N 01°07'58" E

WEST LINE NORTHWEST 1/4 SECTION 1

S 01°07'58" W 279.70'

P.O.B.

(N 00°05'18" W 2618.38')
 N 01°07'58" E 2618.28'

S 89°09'35" E 513.15'

513.13'

33' 33'

(N 89°09'35" E 513.15')
 S 89°36'58" E

513.13'

FLAGGED
 WETLANDS
 SEE SHEET 3

LOT 1

291,658 SQ. FT.
 6.6955 ACRES

ALL DISTANCES SHOWN ARE MEASURED TO THE
 NEAREST HUNDRETH OF A FOOT.

ALL ANGULAR MEASUREMENTS WERE MADE TO THE
 NEAREST ONE SECOND

ALL BEARINGS REFER TO WEST LINE OF THE
 NORTHWEST 1/4 OF SECTION 1, WHICH HAS A
 WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA
 COUNTY, BEARING OF N 01°07'58" E.

SEE SHEET 2 FOR CONTOURS, SETBACKS, UTILITIES

SEE SHEET 3 FOR FOR WETLANDS

LOT 1 SERVED BY CITY SEWER & WATER

(S 00°27'27" E 570.00')
 S 00°46'02" W

66' PUBLIC RIGHT OF WAY
 WILHAR ROAD

569.63'

80'

WILHAR ROAD

S 88°54'07" E 516.72'

(S 89°52'38" W 516.78')
 PUBLIC RIGHT OF WAY WIDTH VARIES

LINDSAY ROAD

UNPLATTED LANDS

LOT 131

LOT 132

LOT 133

SOUTHWEST CORNER
 NORTHWEST 1/4
 1-7-19
 CONCRETE MONUMENT
 WITH BRASS CAP
 N. 192,480.96
 E. 690,370.63

- INDICATES FOUND 1" IRON PIPE UNLESS OTHERWISE NOTED.
- INDICATES 1 INCH DIA. IRON PIPE, 18 INCHES IN LENGTH, WEIGHING 1.68 LBS PER LINEAL FOOT, SET.



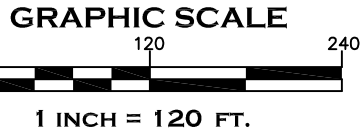
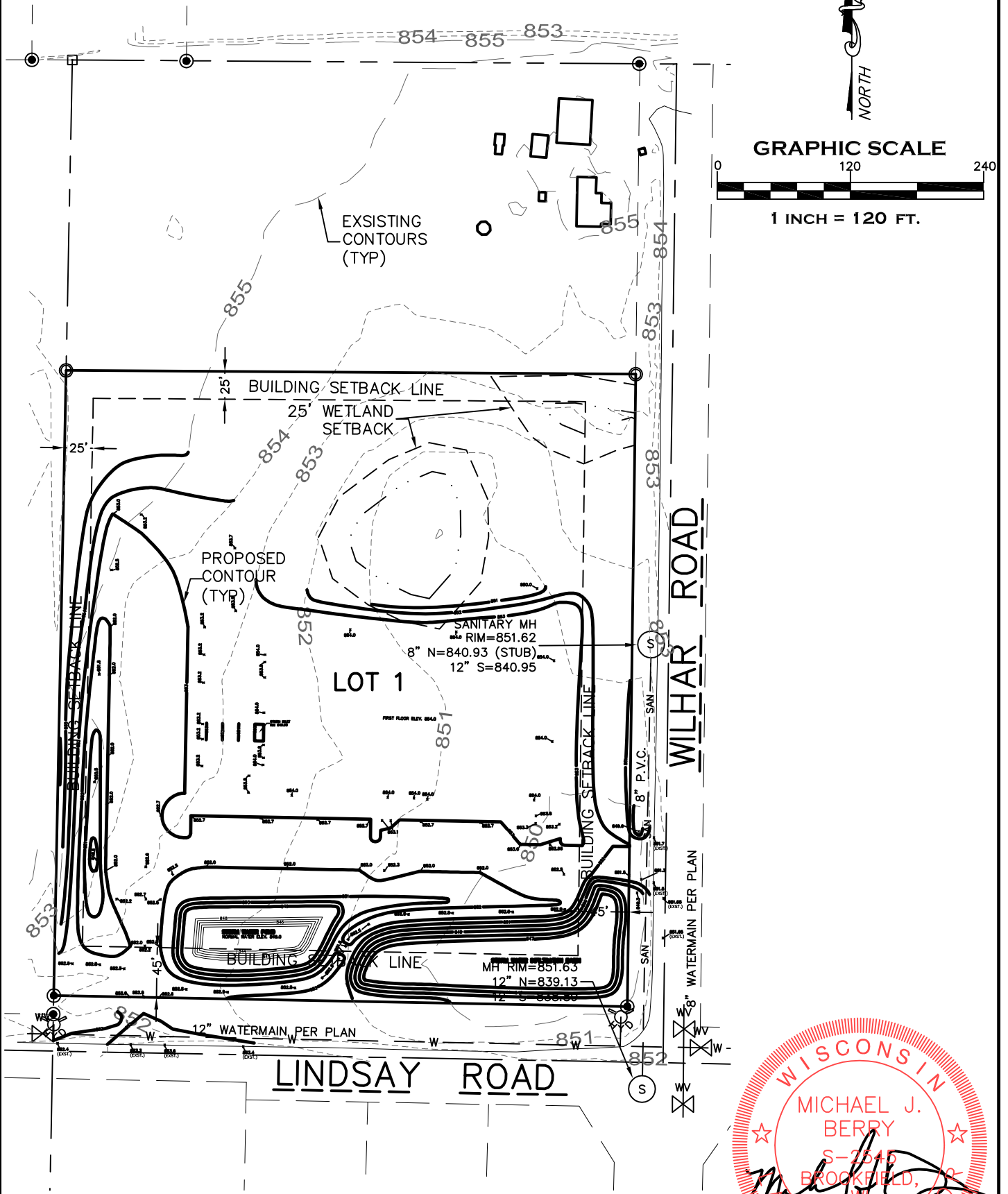
APRIL 25, 2024

PRELIMINARY

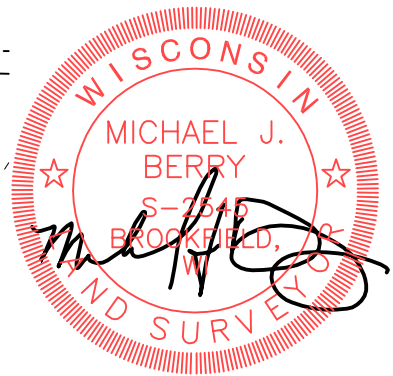
CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

CONTOUR MAP, SETBACKS AND UTILITIES



ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)



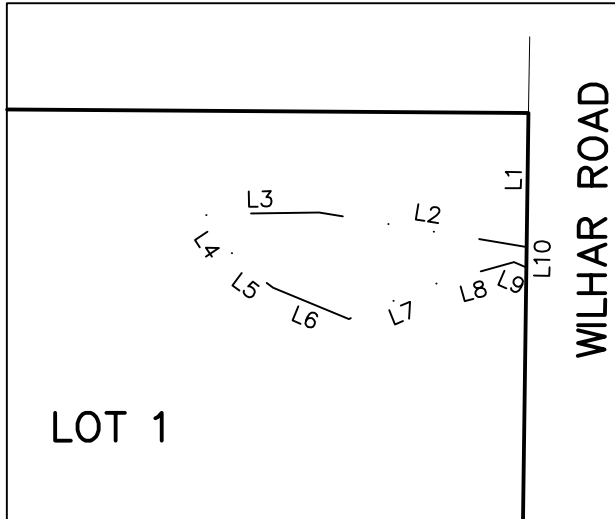
APRIL 25, 2024

PRELIMINARY

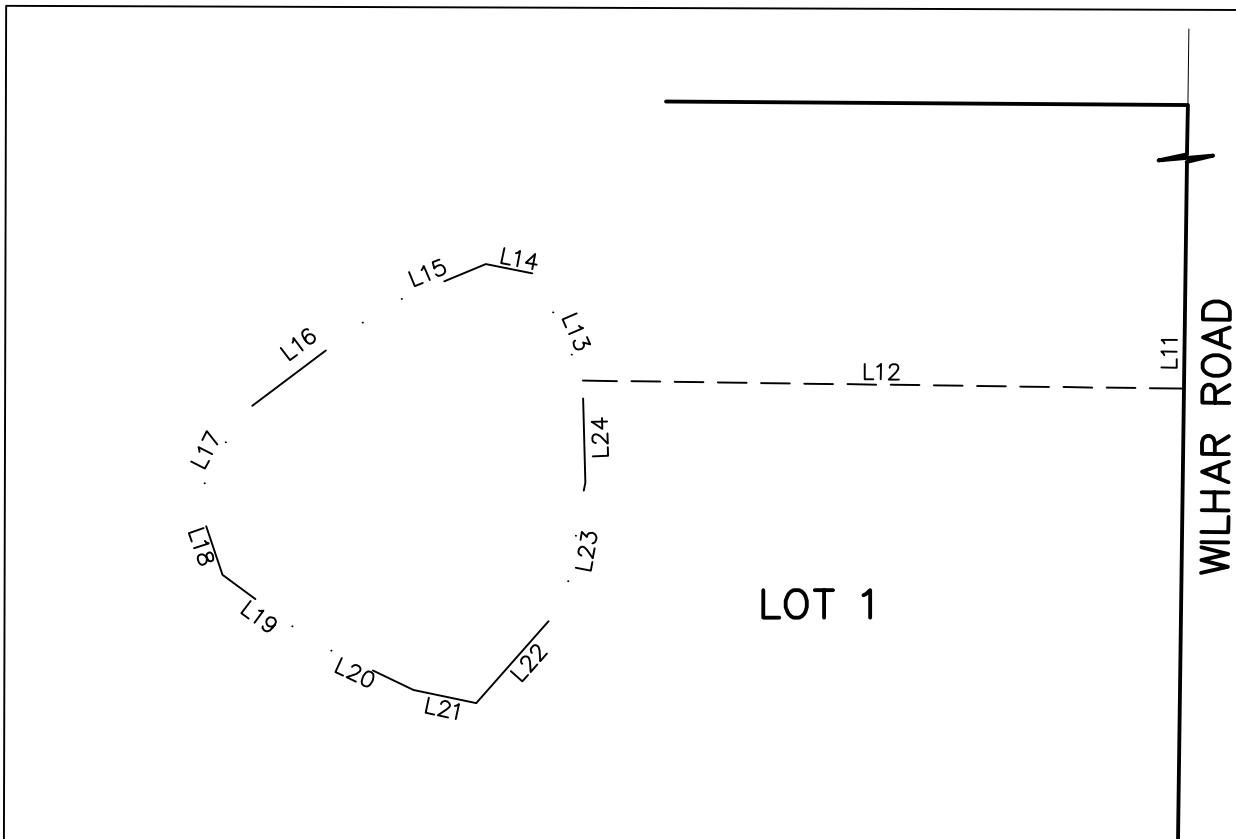
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WETLANDS



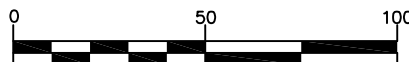
WETLAND TABLE		
LINE	LENGTH	BEARING
L1	34.93	S00°46'02" W
L2	54.81	N80°31'46" W
L3	29.54	S89°03'16" W
L4	14.00	S33°44'44" E
L5	12.28	S52°41'09" E
L6	21.35	S67°29'39" E
L7	23.92	N67°48'48" E
L8	21.70	N74°30'39" E
L9	3.50	S66°39'43" E
L10	5.28	N00°46'02" E
L11	120.18	S00°46'02" W
L12	156.57	N89°13'58" W
L13	30.21	N23°26'37" W
L14	13.47	N78°48'42" W
L15	28.63	S67°27'02" W
L16	47.29	S52°58'24" W
L17	24.24	S27°05'42" W
L18	20.89	S18°35'38" E
L19	14.94	S53°30'06" E
L20	28.80	S64°27'21" E
L21	16.74	S78°04'22" E
L22	34.64	N41°19'24" E
L23	31.91	N09°54'23" E
L24	26.52	N01°24'17" W



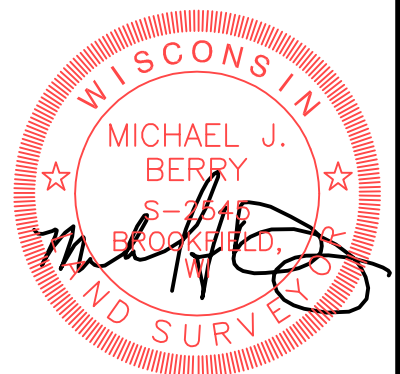
WETLANDS FIELD LOCATED BY CSE.
AS FLAGGED BY HELIANTHUS ON
APRIL 15, 2024



GRAPHIC SCALE



1 INCH = 50 FT.



APRIL 25, 2024

PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

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SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, MICHAEL J BERRY, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A REDIVISION OF PARCELS 1, 2 & 3 OF CERTIFIED SURVEY MAP NO. 1981, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST 1/4, THENCE S 01°07'58" W ALONG THE WEST LINE OF SAID 1/4 SECTION 279.70 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE S 89°36'58" E 513.13 FEET TO A POINT ON THE WEST LINE OF WILHAR ROAD; THENCE S 00°46'02" W ALONG SAID WEST LINE 849.31 FEET TO A POINT ON THE NORTH LINE OF LINDSAY ROAD; THENCE S 88°54'07" E ALONG SAID NORTH LINE 516.72 FEET TO A POINT ON THE WEST LINE OF SAID 1/4 SECTION, THENCE N 012°07'58" E ALONG SAID WEST LINE 563.22 FEET TO THE POINT OF BEGINNING.

CONTAINING: 291,658 SQUARE FEET OR 6.6955 ACRES.

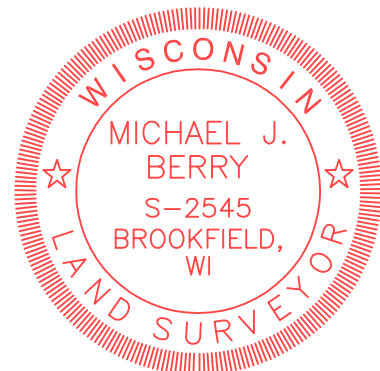
THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF BRIOHN LAND DEVELOPMENT, LLC, INC, OWNER OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE STATUTES OF THE STATE OF WISCONSIN, CHAPTER 18 OF THE CITY OF PEWAUKEE MUNICIPAL CODE, AND THE ORDINANCES OF WAUKESHA COUNTY IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 25TH DAY OF APRIL, 2024.


PROFESSIONAL LAND SURVEYOR,
S-2545
STATE OF WISCONSIN



PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

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CORPORATE OWNER'S CERTIFICATE

BRIOHN LAND DEVELOPMENT, LLC, A WISCONSIN LIMITED LIABILITY COMPANY EXISTING UNDER THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, CERTIFY THAT THEY HAVE CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED, AND MAPPED, AS REPRESENTED ON THIS MAP IN ACCORDANCE WITH THE ORDINANCES OF THE CITY OF PEWAUKEE.

IN WITNESS WHEREOF, BRIOHN LAND DEVELOPMENT, LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY NELSON E. WILLIAMS, ITS MANAGER AT _____, WISCONSIN, THIS ____ DAY OF _____, 2024.

NELSON E. WILLIAMS
MANAGER

STATE OF WISCONSIN)
COUNTY) SS

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 2024 NELSON E. WILLIAMS, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC
STATE OF WISCONSIN
MY COMMISSION EXPIRES: _____

CITY OF PEWAUKEE PLAN COMMISSION APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE CITY OF PEWAUKEE ON THIS DAY ____ OF _____, 2024.

STEVE BIERCE, MAYOR

DATE

KELLY TARCZEWSKI, CITY CLERK

DATE

CITY OF PEWAUKEE COMMON COUNCIL APPROVAL

THIS CERTIFIED SURVEY MAP, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, HAVING BEEN APPROVED BY THE CITY OF PEWAUKEE PLANNING COMMISSION, IS HEREBY APPROVED AND ACCEPTED BY THE CITY OF PEWAUKEE COMMON COUNCIL ON THIS DAY ____ OF _____, 2024.

STEVE BIERCE, MAYOR

DATE

KELLY TARCZEWSKI, CITY CLERK

DATE



APRIL 25, 2024

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 6.**

DATE: August 5, 2024

DEPARTMENT: Clerk/Treasurer

PROVIDED BY:

SUBJECT:

Discussion Regarding **Ordinance 24-09** to Repeal Section 11.01 "Regulation of Businesses Dealing in the Sale and Dispensing of Intoxicating Liquor and / or Fermented Malt Beverages" and Create Alcohol Beverage Licensing and Permitting Standards and Criteria (*First Reading*) [Attorney Riffle]

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Riffle Recommendations

Ordinance 24-09 Alcohol Beverage Standards

Municipal LAW

& LITIGATION GROUP

DALE W. ARENZ (1935-2022)
DONALD S. MOLTER, JR. (Retired)
JOHN P. MACY
H. STANLEY RIFFLE (Court Commissioner)
ERIC J. LARSON
REMZY D. BITAR

730 N. GRAND AVENUE
WAUKESHA, WISCONSIN 53186
Telephone (262) 548-1340
Facsimile (262) 548-9211
Email: sriffle@ammr.net

PAUL E. ALEXY
MATTEO REGINATO
LUKE A. MARTELL
SAMANTHA R. SCHMID
CHRISTOPHER R. SCHULTZ
LUCAS C. LOGIC
GREGORY M. PROCOPIO
BENJAMIN T. CROCKETT
ADAM J. MEYERS
SAVANNA M. GAIN

STEPHEN J. CENTINARIO, JR.
MICHAEL J. MORSE
JAMES P. WALSH

July 23, 2024

Common Council
City of Pewaukee
W240 N3065 Pewaukee Road
Pewaukee, WI 53072

Re: Model Alcohol Beverage Licensing Ordinance

Dear Municipal Leaders,

Please find attached a model alcohol beverage licensing ordinance for your review and consideration.

Fifteen years or so ago, we drafted a model alcohol beverage licensing ordinance. Since then, many things have changed, including the adoption of Wisconsin Act 73 so we felt it would be appropriate at this time to rethink and re-draft a new model alcohol beverage licensing ordinance and in fact several of our clients asked us to do so. Attached is a result of those efforts.

The new alcohol beverage licensing ordinance does several things:

- It includes changes mandated by Wisconsin Act 73,
- It includes language as required by Chapter 125, Wisconsin Statutes,
- It incorporates many issues that our clients have dealt with over the years,
- It removes much of the language which merely repeated statutory language, and
- It reorganizes the ordinance into new format,

The process for adoption of a new or revised alcohol beverage licensing ordinance for your community will be multifaceted. First please carefully review the model alcohol beverage licensing ordinance. Then please consider having representatives from your community listen in on a zoom webinar we have scheduled for July 31st at 9:30 a.m. where we will review in detail the model alcohol beverage license ordinance. There will be no charge to the municipalities to attend the webinar. Please let Beth know at emoltzan@ammr.net or (262) 548-1340 if you plan to attend. You will need to provide an email address for each attendee so we can provide them with the link.

The next step in the process then will be for each municipality to compare the model ordinance to the current ordinance and decide what changes the municipality wishes to

MUNICIPAL LAW & LITIGATION GROUP, S.C.

Common Council
July 23, 2024
Page 2

incorporate into your current ordinance. We would be pleased to assist you in that review process and answer any questions you have regarding changes to your ordinance.

Thank you for allowing us to serve you in this matter. If you have any questions or concerns regarding anything discussed above or wish to discuss this new law in more detail as it applies to your particular situation, please do not hesitate to contact me.

Yours very truly,
MUNICIPAL LAW & LITIGATION GROUP, S.C.

H. Stanley Riffle

H. Stanley Riffle

HSR/em
Enclosure

cc: Steve Bierce, Mayor
Kelly Tarczewski, City Clerk

ALCOHOL BEVERAGE LICENSING AND PERMITTING STANDARDS AND CRITERIA

- (1) STATE STATUTES ADOPTED. The current and future provisions of Chapter 125, Wis. Stats., defining and regulating the types, sale, procurement, consumption, dispensing, and transfer of alcohol beverages, as well as provisions dealing with the suspension and revocation of alcohol beverage licenses and permits and including provisions relating to the penalty to be imposed or the punishment for violation of such statutes, are adopted and made part of this Section by reference. A violation of any such provision shall constitute a violation of this Section. Any future amendments, revisions, modifications, or additions of the statutes incorporated herein, are intended to be made part of this Chapter in order to secure uniform statewide regulations of alcohol beverages in this State.
- (2) BASIC REQUIREMENTS.
- (A) Occupancy Permit and/or Approved Plan of Operation Required. No person on any licensed or permitted premises shall conduct any transactions regulated by this Chapter unless a licensee or permittee holds a valid Occupancy Permit and/or an approved Plan of Operation, as may be required, issued by the Municipality. The Occupancy Permit and/or approved Plan of Operation shall be specific in detail as to what area of the premises shall be licensed or permitted for the sale of alcoholic beverages. Failure to hold any required Occupancy Permit or to have any required Plan of Operation or any violation of any required Occupancy Permit or any required Plan of Operation are grounds for suspension or revocation of any license or permit issued under this Chapter.
- (B) Wisconsin Seller's Permit Required. No person on any licensed or permitted premises shall conduct any transactions regulated under this Chapter unless a licensee or permittee holds and maintains a valid Wisconsin Seller's Permit as required under §77.52 Wis. Stats., issued to the premises and licensee or permittee described in the license or permit during the period of licensing or permitting. Failure to hold a valid Wisconsin Seller's Permit or any violation of a Wisconsin Seller's Permit are grounds for suspension or revocation of any license or permit issued under this Chapter.
- (C) Wisconsin Business Tax Registration Certificate Required. No person on any licensed or permitted premises shall conduct any transactions regulated under this Chapter unless a licensee or permittee holds and maintains a valid Wisconsin Business Tax Registration Certificate as required by Wisconsin Statutes issued to the premises and licensee or permittee described in the license or permit during the period of licensing or permitting. Failure to hold a valid Wisconsin Business Tax Registration Certificate or any violation of a Wisconsin Business Tax Registration Certificate are grounds for suspension or revocation of any license or permit issued under this Chapter.
- (D) Business Plan Required. No person on any licensed or permitted premises shall conduct any transactions regulated under this Chapter unless a licensee or permittee operates under an approved Business Plan which has been submitted to and approved by the Governing Body as part of the alcohol beverage licensing procedure for the premises and licensee or permittee described in the license or permit during the period of licensing or permitting. Failure to have an approved Business Plan or any failure to comply of an approved Business Plan are grounds for suspension or revocation of any license or permit issued under this Chapter.

(E) Federal Employment Identification Number (FEIN) Required. No person on any licensed or permitted premises shall conduct any transactions regulated under this Chapter unless a licensee or permittee holds and maintains a valid FEIN as required issued to the premises and licensee or permittee described in the license or permit during the period of licensing or permitting. Failure to hold a valid FEIN or any violation of a FEIN are grounds for suspension or revocation of any license or permit issued under this Chapter.

(3) **GENERAL LICENSING REQUIREMENTS.** Failure to comply with the following requirements are grounds for suspension or revocation of any license or permit issued under this Chapter.

(A) Application Process. The application process is governed by §125.04, Wis. Stats.

1. *Applications.* All applications other than operator's licenses shall contain all the information required by the form required under §125.04(3), Wis. Stats., and any other information as reasonably required by the Municipal Clerk. Operator's license applications shall contain all information required on the form and any other information as may reasonably be required by the Municipal Clerk.
2. *Filing.* Operator's licenses and licenses issued under §125.26(6), Wis. Stats. and/or 125.51(10) lasting less than four (4) days must be filed with the Municipal Clerk at least 48 hours prior to granting of the license. All other applications for licenses and permits to sell alcohol beverages as well as licenses issued under §125.26(6), Wis. Stats., and/or 125.51(10) lasting four (4) or more days shall be filed with the Municipal Clerk as required by Wisconsin Statutes or fifteen (15) whichever is less.
3. *Fees.* Fees are governed by §125.04, Wis. Stats.
 - a. The fees for licenses or permits which are not granted shall be refunded after deducting the application fee and all actual publication fees and investigation fees.
 - b. Fees for partial licensing or permitting years must be prorated if required by Chapter 125, Wis. Stats. In all cases when an alcohol beverage license or permit is issued for a partial year, a minimum fee of \$25.00 and all actual publication fees and investigation fees must be paid.
 - c. Once any license or permit is issued, no return of any payment shall be made regardless of whether the license or permit is used for the entire year.
 - d. Fees for the following licenses and permits shall be established by the Governing Body from time to time by separate Resolution, provided that the fee shall be in an amount approved by Chapter 125, Wis. Stats.:
 - i. Class "A" Fermented Malt Beverages License.
 - ii. "Class A" Intoxicating Liquor License.

- iii. "Class A" Liquor (Cider Only).
- iv. Class "B" Fermented Malt Beverages License.
- v. Class "B" Picnic License under §125.26(6), Wis. Stats.
- vi. "Class B" Intoxicating Liquor License.
- vii. The fee for a reserve "Class B" liquor license shall be \$10,000.00 for initial issuance.
- viii. "Class C" Wine License.
- ix. Provisional Retail Licenses.
- x. Operators' License - Operator licenses shall be issued for not less than a 13 month, nor more than a 24 month period expiring on June 30.
- xi. Provisional Operator License.
- xii. Transfer from One Premises to Another.
- xiii. Temporary Operator License.
- xiv. Publication Fee - See §985.08, Wis. Stats. and §125.04(3)(g)(6), Wis. Stats.
- xv. Investigation Fee.
- xvi. Booklet Fees.
- xvii. Program Fees.
- xviii. Application Fee.
- xix. Fees for any the license or permit authorized under Chapter 125, Wis. Stats.

(B) Investigation Process. Upon receipt of a license or permit application under the provisions of this Chapter, the Municipal Clerk shall forward a copy of the application to the appropriate persons to conduct an investigation of the applicant(s).

1. *All Alcoholic Beverage Licenses and Permits*. The Governing Body shall investigate all persons and premises included in the application to determine the suitability and character of the applicants. The Police Department, Fire Department, Health Department, Building Inspector and other persons authorized may conduct an investigation and inspection of the persons and premises mentioned in the applications, to determine if the persons and premises comply with all applicable regulations, ordinances and laws. in the application to determine the suitability and character of the applicants.

2. *Operator's Licenses.* The Governing Body shall conduct an investigation of all applicants to determine the suitability and character of the applicant.
3. *Reports.* Upon completion of all investigations, written reports shall be submitted to the Municipal Clerk. The Municipal Clerk will then forward the application to the Governing Body for action, if such action is necessary.

(C) Review. The Governing Body may refer any and all licenses or permits to the appropriate committee for review and recommendation prior to action by the Governing Body.

(D) Quotas. The number of Licenses shall be limited based upon the most recent decennial Federal Census or special census conducted by the Governing Body under contract with the U.S. Bureau of the Census in the following manner:

1. No Class A Liquor License shall be issued in the Municipality except as a Combination License with a Class A Fermented Malt Beverage License.
2. No regular yearly Class B Fermented Malt Beverage Licenses shall be issued in the Municipality except as a Combination License with a Class B Intoxicating Liquor License or Class C Wine license.
3. No more than one six-month Class B Fermented Malt Beverage License shall be issued for each 2,000 population or fraction thereof.
4. No more than one Class B Fermented Malt Beverage License for local, non-profit civic groups shall be issued for each 1,000 population or fraction thereof.

(E) Premises Extension.

1. *Definition.* As used in this paragraph "premises extension" shall mean an open, unroofed area where alcohol beverages are served and consumed, and provided such area is connected to a licensed alcohol beverage premises.
2. *License required.* No person shall keep, maintain, conduct or operate any premises extension without first obtaining approval from the Governing Body of an amendment of the license description of the premises.
3. *License fee.* The fee for a premises extension shall be that amount as determined from time to time by resolution of the Governing Body.
4. *Application.* Application for a premises extension shall be made to the Municipal Clerk and shall be submitted to the Governing Body for issuance and approval as the Governing Body, in its discretion, deems appropriate. The application shall contain the following information:
 - a. Name, address and phone number of license holder.
 - b. Type of license held.
 - c. Trade name.

- d. Date and time of extension of premise.
 - e. Type of event/reason for extension.
 - f. Contact name, address and phone number.
 - g. Diagram of premises extension.
 - h. Specify if band or music will be applicable (location on premises and time frame).
 - i. Specify if food will be served (in house preparation, catered, location served).
 - j. Must be signed by license holder.
 - k. Include additional or alternative parking locations.
5. *Filing deadline.* Applications must be submitted to the Municipal Clerk no later than noon five business days before the regularly scheduled meeting of the Governing Body.
6. *Restrictions.* Any violation of any of the restrictions imposed by this subsection relating to Premises Extension may be grounds for suspension or revocation of any license issued under this Chapter. No premises extension shall be licensed, maintained or operated, except in conformity with the following regulations:
- a. The premises extension shall be particularly described, adjacent to and operated as a part of a premises license to sell alcohol beverages for consumption on the premises. The premises for which the premises extension is issued must be owned by or under the control of the licensee.
 - b. If any part of the premises extension is not blocked by a building, there shall be maintained or constructed a fence not less than six feet high with maximum spacing in openings of two inches or double fencing of not less than four feet high with six feet between the fencing, surrounding the premises extension. The fencing shall contain the required fire exit or exits. Each gate or exit shall be not less than four feet high for double fencing and six feet high for single fencing, shall swing free to egress, shall be equipped with proper hardware and shall swing free and clear of public sidewalks. The premises extension fence shall comply with all local ordinances regarding vision clearance and distances from corners.
 - c. All electrical wiring shall comply with national, state and local electrical codes. (Electrical permits may be needed.)
 - d. The premises extension shall be maintained to comply with all state or local fire code provisions.
 - e. The noise emanating from any premises extension shall not violate any of the regulations of the municipal code pertaining to noise.

- f. If the premises extension allows any food to be served in the premises extension, the licensee or his/her agent must comply with Wisconsin Statutes. Licensee or his/her agent must contact the Governing Body or county health department for inspection and approval.
- g. Restroom facilities must be provided to adequately accommodate the maximum capacity of persons in both the licensed premises and the premises extension.
- h. Beverages must be served in paper, cans or plastic only and may be carried into the premises extension.
- i. The licensee or his/her agent shall be responsible for preventing violations of this paragraph and for supervising the premises extension at all times.
- j. Any necessary security for the premises extension, including any security required as a condition of the license, shall be the sole responsibility of the licensee.
- k. The licensee shall maintain adequate liability insurance for the premises extension and proof of such insurance shall be furnished to the Municipal Clerk before a premises extension is issued.
- l. The licensee shall maintain peace and order over any area adjacent to and used in conjunction with a licensed premises whether or not said premises extension is licensed. Violation of this Section may result in the police department exercising its authority under Wisconsin Statutes and the Municipal Code, and ordering any premises extension or the entire licensed area closed in the public interest.
- m. The licensee is responsible for all clean-up and removal of debris and rubbish from the premises extension and any adjoining area which has suffered a spill over of debris and rubbish.
- n. Each licensed establishment may be granted up to two premises extensions per license year from July 1 through June 30. The date and hours during which a premises extension shall be valid may be determined by the Governing Body.

(F) Operator's Licenses. In addition to the provisions of §125.17, Wis. Stats,

- 1. *Regular Operator's License*. Pursuant to and subject to the requirements of §125.17(1), Wis. Stats., regular operator's licenses may be granted to individuals by the Municipal Clerk or their designee as allowed by the Governing Body adopted policy by the Governing Body.
- 2. *Provisional Operator's License*.
 - a. Pursuant to and subject to the requirements of §125.17(5), Wis. Stats., the Municipal Clerk or their designee, shall issue a provisional operator's license to an applicant in case of a bona fide emergency. A

bona fide emergency shall be caused by such things as death, disability, or absence of the regular operators. The Municipal Clerk or their designee, before authorizing such issuance, shall determine that the applicant has a satisfactory record, and likely would be issued a regular operator's license. All operator's licenses issued under this Section shall expire on June 30 of each year.

b. Pursuant to and subject to the requirements of §125.17(6), Wis. Stats., the Municipal Clerk or their authorized designee may issue a provisional operator's license to a person who is enrolled in a training course and has applied for a regular operator's license.

i. *Temporary Operator's Licenses.* Pursuant to and subject to the requirements of §125.17(4), Wis. Stats., the Municipal Clerk or their designee may issue temporary operator's licenses.

ii. *State Operator's Permits.* Any individual who receives an operator's permit from the Wisconsin Division of Alcohol Beverages and intends to use the permit within the Municipality must provide the Municipal Clerk with a copy of the permit.

(G) Provisional Retail Licenses. Pursuant to and subject to the requirements of §125.185, Wis. Stats., the Municipal Clerk or their designee, shall issue a provisional license to an applicant in case of a bona fide emergency. A bona fide emergency shall be caused by such things as death or disability but is not caused by merely failing to file the application for a license or permit timely.

(H) Managers' Licenses. Pursuant to §125.18, Wis. Stats., the Municipality opts not to issue Managers' Licenses.

(I) Temporary Class B Retail Licenses. Pursuant to and subject to the requirements of §125.32(6) and 125.51(10), Wis. Stats., the Municipal Clerk or their designee, are authorized to issue temporary Class B Retail licenses lasting less than four (4) days.

(J) Public Parks. The sale of fermented malt beverages in any public park operated by a municipality. Fermented malt beverages shall be sold by officers or employees of the county or municipality under an ordinance, resolution, rule or regulation enacted by the Municipality.

(K) Regulation of Underage Persons.

1. An underage person is authorized to enter and remain in a room on Class "B" or "Class B" licensed premises separate from any room where alcohol beverages are sold or served, if no alcohol beverages are furnished or consumed by any person in the room where the underage person is present provided the law enforcement agency responsible for enforcing the ordinance issues to the Class "B" or "Class B" licensee a written authorization permitting underage persons to be present on the date specified in the authorization. Before issuing the authorization, the law enforcement agency shall make a determination that the presence of underage persons on the licensed premises will not endanger their health, welfare or safety or that of other members of the community. The licensee shall obtain a separate

authorization for each date on which underage persons will be present on the premises.

2. The Municipality adopts the conduct regulated by §[125.07 \(1\)](#) and [\(4\)](#) [\(a\)](#), [\(b\)](#) and [\(bm\)](#), §[125.085 \(3\) \(b\)](#) or §[125.09 \(2\)](#) Wis. Stats.

(L) Commercial Quadricycles. Subject to § 125.10(5)(b), the Municipality prohibits the consumption of fermented malt beverages by passengers on a commercial quadricycle within the municipality.

(M) No-Sale Event Permits. If a property owner is issued a no-sale event permit by the Division of Alcohol Beverages, the property owner must inform the Municipality of the event, including the expected guest count, immediately upon issuance of the permit. The property owner shall provide the Municipal Clerk with a copy of the permit and must comply with all provisions of §125.09, Wis. Stats.

(N) Transfers of Licenses. If the transfer of a license is approved by the Governing Body pursuant §125.04(12), Wis. Stats., all conditions set forth under this Chapter shall be complied with. Failure to conform with the terms of the approved license transfer shall be grounds for denial, suspension or revocation of the license.

(O) Non-Use of License or Permit. Non-use of a license or permit issued under this Chapter shall be grounds for cancellation, suspension, revocation, or non-renewal of the license or permit in accordance with the provisions of this Chapter and the Wisconsin Statutes in either of the following circumstances:

1. The license or permit issued under this Chapter is not used within ninety (90) days after its issuance; or
2. The license or permit issued under this Chapter's usage is discontinued for ninety (90) or more days in aggregate in any licensing year.

(P) Closing Hours. Closing hours shall be as set by Wisconsin Statutes with the following applicable local options:

1. If a wholesale license, between 5 p.m. and 8 a.m., except on Saturday when the closing hour shall be 9 p.m.
2. If a Retail Class "A" Fermented Malt Beverage License, between 9 p.m. and 6 a.m.
3. If a Retail "Class A" Intoxicating Liquor License, between 9 p.m. and 6 a.m.

(Q) Local Option. The holder of a Retail "Class B" Liquor License or on "Class C" licensed premises as authorized under s. [125.51 \(3r\) \(a\)](#) shall be permitted to sell, deal and traffic in intoxicating liquors in the original packages or containers to be consumed off the licensed premises or containers if the licensee seals the container of intoxicating liquor with a tamper-evident seal before the intoxicating liquor is removed from the premises. Off premises sales shall cease at midnight of each day. It is intended by this Section that the packaged sales from Class "B" licensed premises will not be permitted after midnight under the option granted herein and further provided, however, that no single-container sale of fermented malt beverages

can be made unless originally packaged as a single container or if a smaller package exists within a larger container.

(R) Full Service Retail Location. The Governing Body may, as a part of its approval process of a full-service retail location, include as conditions of approval any of the provisions of this Chapter and the Municipality's Zoning Code.

(4) **RESTRICTION ON ISSUANCE OF LICENSES OR PERMITS**. The following restrictions are imposed on all license and permits issued by the Municipality as authorized by §125.10(1), Wis. Stats. In addition to any provision contained in this Chapter, failure to comply with the following restrictions are grounds for suspension or revocation of any license or permit issued under this Chapter.

(A) Health and Sanitation Requirements.

1. No initial or renewal alcohol beverage license or permit shall be issued for any premises which does not conform to the sanitary safety and health requirements of the State Department of Industry, Labor, and Human Relations pertaining to buildings electrical and plumbing; to the rules and regulations of the State Department of Health and Social Services applicable to restaurants, if the premises is licensed to serve food; and to all such rules and regulations as to building, health and sanitation adopted by the Municipality, the County, the State or the Federal government.
2. Any violation of any of the restrictions imposed by this subsection relating to Health and Sanitation Requirements may be grounds for suspension or revocation of any license or permit issued under this Chapter.

(B) Delinquent Taxes, Assessments, Forfeitures, and Claims.

1. No initial or renewal alcohol beverage license or permit shall be issued for any premises or property which is delinquent in the payment of any taxes, assessments, fees, forfeitures, or other claims of the Municipality.
2. No initial or renewal alcohol beverage license or permit shall be issued to any person who is delinquent in the payment of any taxes, assessments, fees, forfeitures, or other claims of the Municipality.
3. If at any time the premises, property, and/or person is delinquent in the payment of any taxes, assessments, fees, forfeitures, or other claims of the Municipality said delinquency shall be grounds for suspension or revocation of any license or permit issued under this Chapter.

(C) Separate Premises or Limited Access Area. Every person, firm or corporation applying for a new or renewal of an existing Class "A" Fermented Malt Beverage License, a "Class A" Intoxicating Liquor License, a "Class A" Liquor (Cider Only) License, a combination Class "A" Fermented Malt Beverage License and "Class A" Liquor (Cider Only) License or combination Class "A" Fermented Malt Beverage License and "Class A" Intoxicating Liquor License shall submit to and receive approval from the Governing Body of a site plan and plan of operation with a diagram or photograph of the proposed or existing sale and display area for the alcohol beverages prior to the issuance of any such license(s) or permit(s). The site plan and

plan of operation shall be such as to ensure that minors do not have reasonable access to acquire alcohol beverages as well as satisfying the following requirements:

1. For Class "A" Fermented Malt Beverage Licensees, and for Combination Class "A" Fermented Malt Beverage and "Class A" Liquor (Cider Only) Licensees, one of the following is required:
 - a. An area must be designated for the display of intoxicating liquors and fermented malt beverages and; said area must be able to be closed off from reasonable access during the closing hours set forth in subsection 5(P) below and; the licensee location must have multiple employees on duty at all times while the store is open who are in a position to supervise the sale of the intoxicating liquors and fermented malt beverages and; the licensee shall provide a detailed security plan which will be subject to approval by the Police Chief to ensure that minors do not have reasonable access to acquire intoxicating liquors and fermented malt beverages.

OR:

- b. A partition between that portion of the premises used for display and sale of intoxicating liquors and fermented malt beverages and incidental sale of snacks and foods, and that portion of the premises used for sale and display of other merchandise so as to completely separate a self-service liquor department from other departments. Ingress and egress shall not be permitted between such department and other departments by the public except for emergencies.

OR:

- c. An area for sale and display of intoxicating liquors and fermented malt beverages access to which shall be limited to employees of the licensee only.
2. For "Class A" Intoxicating Liquor Licensees, and for Combination Class "A" Fermented Malt Beverage and "Class A" Intoxicating Liquor Licensees one of the following is required:
 - a. An area must be designated for the display of intoxicating liquors and fermented malt beverages and; said area must be able to be closed off from reasonable access during the closing hours set forth in subsection (5)(P) below and; the licensee location must have 4 or more employees on duty at all times while the store is open who are in a position to supervise the sale and prevent the theft of the intoxicating liquors and fermented malt beverages and; the licensee shall provide a detailed security plan which will be subject to approval by the Police Chief to ensure that minors do not have reasonable access to acquire intoxicating liquors and fermented malt beverages and to prevent theft of the beverages. To meet this standard a licensee must demonstrate to the Police Chief, layers of access control, accountability of personnel, and sufficient procedures for dealing with theft to minimize police service impacts from the same.

OR:

- b. A partition between that portion of the premises used for display and sale of intoxicating liquors and fermented malt beverages and incidental sale of snacks and foods, and that portion of the premises used for sale and display of other merchandise so as to completely separate a self-service liquor department from other departments and provide a detailed security plan, which will be subject to approval by the Police Chief to ensure that minors do not have reasonable access to acquire intoxicating liquors and fermented malt beverages and to prevent theft of the beverages. To meet this standard a licensee must demonstrate to the Police Chief, accountability of personnel, and sufficient procedures for dealing with theft to minimize police service impacts from the same. Ingress and egress shall not be permitted between such department and other departments by the public except for emergencies.
 3. Any violation of any of the restrictions imposed by this subsection relating to Separate Premises or Limited Access Areas may be grounds for suspension or revocation of any license or permit issued under this Chapter.
- (5) MUNICIPAL REGULATION. The following conditions are imposed on all license and permits issued by the Municipality as authorized by §125.10(1), Wis. Stats. In addition to any provision contained in this Chapter, failure to comply with the following conditions is grounds for suspension or revocation of any license or permit issued under this Chapter.
- (A) Consent to Inspection. Every applicant obtaining a license or permit thereby consents to the entry of the police or other authorized representatives of the Municipality or the State at any reasonable time for the purpose of inspection and search, and consents to the removal from said premises of all things found to be in violation of Municipal Ordinances or Wisconsin Statutes and consents to the introduction of such things as evidence in any prosecution that may be brought for such offenses.
 - (B) Safety and Sanitation Requirements. Every licensed or permitted premises shall be maintained and conducted in a sanitary manner and shall be a safe and proper place for the purpose being used.
 - (C) Orderly Conduct Required. Every licensed or permitted premises shall be conducted in an orderly manner and no disorderly, riotous or indecent conduct shall be allowed.
 - (D) Gambling Prohibited. Gambling shall not be permitted on a licensed or permitted premise, unless authorized by Wisconsin Statutes. Slot machines or other devices of chance are prohibited and shall not be kept on the premises, unless authorized by Wisconsin Statutes.
 - (E) Lewd, Obscene Performances, etc. Prohibited. No licensee or permittee shall advertise, produce, perform or allow any lewd, obscene, or indecent performance of any kind on the premises.
 - (F) Controlled Substance Use Prohibited. Any licensee, permittee, partner, agent, authorized representative or employee who is convicted of the use, possession, delivery or intent to deliver, any controlled substance defined and regulated under

Chapter 161, Wis. Stats., may be considered grounds for the revocation or suspension of any license provided for in this Chapter.

- (G) Regulation of Entertainment and Entertainers. No Class B licensee or permittee shall employ or permit to perform on the premises any entertainer, except a member of a band, a vocalist, a piano or organ player or a comedian. All such entertainers shall be fully clothed in such a manner as is acceptable in all public places. No licensee or permittee shall allow any entertainment which makes an appeal to prurient interests. Dancing among patrons, but not between patron and employee is permitted upon permit and with the approval of location by the Fire Chief.
- (H) Regulation of Underage Persons. This Chapter is also intended to incorporate as ordinance violations, the regulations of underage persons under §125.10(2), Wis. Stats.
- (I) Sales by Clubs. No club shall sell alcoholic beverages except to members and to guests invited by members.
- (J) Consumption on premises. The holder of every alcohol beverage license shall make every effort to discourage the premises patrons from taking alcohol beverages out of the premises when the beverage is sold for consumption on the premises.
- (K) Open Carry. No person shall possess an opened container of alcohol beverage or drink an alcohol beverage in any vehicle, alley, park, public street or other public place except at community functions or events authorized by specific action of the Governing Body or public places for which a license or permit has been granted.
- (L) Violations by Agents and Employees. A violation of this Chapter by an authorized agent or employee of the licensee or permittee shall constitute a violation by the licensee or permittee.
- (M) Municipal Ordinance Violations. Any license or permittee holder, who is convicted of violating any Municipal Ordinance, such violation is grounds for the revocation or suspension of the license or permit.
- (N) False Information in an Application. If a person knowingly provides materially false information in an application for a license or permit under this Chapter or on a full-service retail outlet form, and if a person materially violates any representation made in an affidavit under §125.20(6)(a)6. or (c) 4. Wis. Stats., such action is grounds for the revocation or suspension of the license or permit.

(6) REVOCATION AND SUSPENSION OF LICENSES. Suspension or Revocation of any licenses or permits issued under this Chapter is governed by §125.12, Wis. Stats.

(7) PENALTIES.

(A) General Penalty Provisions.

1. Any person who violates a provision of Chapter 125 Wis. Stats., for which a penalty is not specified shall be penalized not less than \$100.00 and up to not more than \$1,000 or imprisoned for up to 90 days in jail or both for each day that a violation is determined to exist.

2. A license issued in violation of Chapter 125, Wis. Stats. is void.
3. Any person who violates §125.04(1), Wis. Stats. by selling, manufacturing or distributing alcohol beverages without an appropriate license shall be penalized not less than \$100.00 and up to not more than \$10,000 or imprisoned for not more than 9 months or both for each day that a violation is determined to exist.
4. Any person who sells, or possesses with intent to sell, intoxicating liquor without holding the appropriate license or permit may be penalized not less than \$100.00 and up to not more than \$10,000 or imprisoned for not more than 9 months or both for each day that a violation is determined to exist.
5. Any person who gives away alcoholic beverages or using any other means to evade the laws relating to the sale of alcohol beverages may be penalized not less than \$100.00 and up to not more than \$10,000 or imprisoned for not more than nine months or both for each day that a violation is determined to exist.
6. Any licensee who allows another person to use his or her license to sell alcohol beverages, shall have his or her license revoked.

(B) Specific Penalties Provisions. Chapter 125 Wis. Stats., includes specific penalties which are incorporated herein pursuant to Section 1 above.

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 7.**

DATE: August 5, 2024

DEPARTMENT: Clerk/Treasurer

PROVIDED BY:

SUBJECT:

Discussion and Possible Action Regarding the Accounts Payable Listing Dated August 5, 2024 [Tarczewski]

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

A/P 8/5/2024

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 100 GENERAL FUND							
07/19/2024	100	141514	ADP SCREENING & SELECTION SERVICES	FIRE ADMINISTRATION - EMPLOYMENT	52150	52210	629.20
07/19/2024	100	141515*#	ALL-WAYS CONTRACTORS, INC	HIGHWAY - GROUNDS MAINTENANCE	52420	53100	54.00
07/19/2024	100	141516*#	ARC DOCUMENT SOLUTIONS LLC	ENGINEERING - OPERATING SUPPLIES	53400	53110	8.39
07/19/2024	100	141517	ASSOCIATED BAG COMPANY	PARKS - BUILDING REPAIRS & MAINT	52410	55200	234.64
				PARKS - GROUNDS MAINTENANCE	52420	55200	1,000.00
				CHECK 100 141517 TOTAL FOR FUND 100:			<u>1,234.64</u>
07/19/2024	100	141518	BATZNER PEST CONTROL	PARKS - BUILDING REPAIRS & MAINT	52410	55200	90.75
07/19/2024	100	141519	BUELOW VETTER BUIKEMA OLSON &	EMPLOYEE SERVICES - ATTORNEY	52100	51430	1,292.00
07/19/2024	100	141520	CHERRIE LARSON	RECREATION PROGRAM - CONTRACTED	52190	55300	790.40
07/19/2024	100	141521	CHILDS, CRAIG D, PHD S.C.	FIRE ADMINISTRATION - EMPLOYMENT	52150	52210	1,000.00
07/19/2024	100	141522*#	CINTAS CORP	EMPLOYEE SERVICES - SAFETY PERSONAL	53480	51430	80.27
07/19/2024	100	141523	COREY OIL	HIGHWAY - FUEL	53420	53100	3,399.69
				HIGHWAY - FUEL	53420	53100	2,368.44
				CHECK 100 141523 TOTAL FOR FUND 100:			<u>5,768.13</u>
07/19/2024	100	141525	DEPARTMENT OF THE TREASURY	EMPLOYEE SERVICES - AFFORDABLE CARE ACT	55140	51430	247.94
07/19/2024	100	141526	ELEVITY GORDON FLESCH CO INC	IT - SOFTWARE MAINTENANCE & UPDATES	52480	51450	151.00
07/19/2024	100	141527	ELLIOTTS ACE HARDWARE	HIGHWAY - OPERATING SUPPLIES	53400	53100	39.95
07/19/2024	100	141529	FEI BEHAVIORAL HEALTH	EMPLOYEE SERVICES - EAP EMPLOYEE ASSIST	51370	51430	590.85
07/19/2024	100	141530	GORDON MERZ	RECREATION PROGRAM - PROGRAM EXPENSES	53430	55300	26.26
07/19/2024	100	141531	GRASS PROS LLC	FIRE ADMINISTRATION - BUILDING REPAIRS	52410	52210	130.00
				FIRE ADMINISTRATION - BUILDING REPAIRS	52410	52210	130.00
				FIRE ADMINISTRATION - BUILDING REPAIRS	52410	52210	195.00
				FIRE ADMINISTRATION - BUILDING REPAIRS	52410	52210	130.00
				FIRE ADMINISTRATION - BUILDING REPAIRS	52410	52210	335.00
				FIRE ADMINISTRATION - BUILDING REPAIRS	52410	52210	195.00
				FIRE ADMINISTRATION - BUILDING REPAIRS	52410	52210	195.00
				FIRE ADMINISTRATION - BUILDING REPAIRS	52410	52210	260.00
				FIRE ADMINISTRATION - BUILDING REPAIRS	52410	52210	65.00
				FIRE ADMINISTRATION - BUILDING REPAIRS	52410	52210	<u>357.50</u>

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 100 GENERAL FUND							
				CHECK 100 141531 TOTAL FOR FUND 100:			1,992.50
07/19/2024	100	141534	JOHNS DISPOSAL SERVICE	RECYCLE - GARBAGE COLLECTION	52800	53620	18,222.71
07/19/2024	100	141535	JOHNSON'S NURSERY	SERVICE FEES	52900	53635	500.00
				SERVICE FEES	52900	53635	766.00
				CHECK 100 141535 TOTAL FOR FUND 100:			1,266.00
07/19/2024	100	141536	LANGE ENTERPRISES, INC	HIGHWAY - ROAD SIGNS & MARKINGS	53720	53100	246.09
07/19/2024	100	141537*#	MASTERGRAPHICS	ENGINEERING - OPERATING SUPPLIES	53400	53110	170.87
07/19/2024	100	141538	MED COMPASS	EMPLOYEE SERVICES - EMPLOYMENT EXAMS	52150	51430	775.00
07/19/2024	100	141539*#	MENARDS	CITY HALL - BUILDING REPAIRS & MAINT	52410	51600	74.97
				HIGHWAY - OPERATING SUPPLIES	53400	53100	2.41
				HIGHWAY - OPERATING SUPPLIES	53400	53100	14.97
				PARKS - GROUNDS MAINTENANCE	52420	55200	148.95
				CHECK 100 141539 TOTAL FOR FUND 100:			241.30
07/19/2024	100	141540	MOTION CONNECTED	EMPLOYEE SERVICES - EMPLOYEE WELLNESS	52700	51430	405.00
				EMPLOYEE SERVICES - EMPLOYEE WELLNESS	52700	51430	405.00
				CHECK 100 141540 TOTAL FOR FUND 100:			810.00
07/19/2024	100	141541	NAN FEURER	PARK RECREATION PROGRAMS	46721	00000	58.00
07/19/2024	100	141542	OCCUPATIONAL HEALTH CENTERS	EMPLOYEE SERVICES - EMPLOYMENT EXAMS	52150	51430	108.00
				EMPLOYEE SERVICES - EMPLOYMENT EXAMS	52150	51430	108.00
				CHECK 100 141542 TOTAL FOR FUND 100:			216.00
07/19/2024	100	141543	PARKING LOT MAINTENANCE	HIGHWAY - ROAD REPAIRS	53730	53100	3,800.00
07/19/2024	100	141545	PORT-A-JOHN	PARKS - EQUIPMENT RENTAL	55310	55200	540.00
07/19/2024	100	141546#	PROHEALTH CARE MEDICAL GROUP	EMPLOYEE SERVICES - EMPLOYMENT EXAMS	52150	51430	55.00
				EMPLOYEE SERVICES - EMPLOYMENT EXAMS	52150	51430	275.00
				EMPLOYEE SERVICES - EMPLOYMENT EXAMS	52150	51430	55.00
				FIRE ADMINISTRATION - EMPLOYMENT	52150	52210	110.00
				FIRE ADMINISTRATION - EMPLOYMENT	52150	52210	525.00
				CHECK 100 141546 TOTAL FOR FUND 100:			1,020.00
07/19/2024	100	141547	QUADIENT LEASING INC	CLERK/TREASURER - EQUIP REPAIR & MAINT	52430	51420	486.93

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 100 GENERAL FUND							
07/19/2024	100	141548	R&R INSURANCE SERVICES	WORKER'S COMPENSATION	55110	51930	19,292.00
07/19/2024	100	141549	REINDERS, INC.	PARKS - EQUIP REPAIR & MAINT	52430	55200	3,641.11
07/19/2024	100	141550	ROB ELLIOT	RECREATION PROGRAM - CONTRACTED	52190	55300	1,760.00
07/19/2024	100	141552	RUSS'S MULCH & TOPSOIL	PARKS - GROUNDS MAINTENANCE	52420	55200	136.00
				PARKS - GROUNDS MAINTENANCE	52420	55200	170.00
				PARKS - GROUNDS MAINTENANCE	52420	55200	136.00
				CHECK 100 141552 TOTAL FOR FUND 100:			442.00
07/19/2024	100	141553	SAFETY-KLEEN CORP	SERVICE FEES	52900	53635	41.12
07/19/2024	100	141558	TREETOP EXPLORER LLC	RECREATION PROGRAM - CONTRACTED	52190	55300	380.00
07/19/2024	100	141559	ULINE	HIGHWAY - FUEL	53420	53100	900.52
07/19/2024	100	141560*#	VESTIS	HIGHWAY - CONTRACTED JANITORIAL	52400	53100	39.78
				HIGHWAY - UNIFORMS	53410	53100	97.32
				HIGHWAY - UNIFORMS	53410	53100	94.56
				CHECK 100 141560 TOTAL FOR FUND 100:			231.66
07/19/2024	100	141561#	VILLAGE OF PEWAUKEE	AMBULANCE RUNS	46230	00000	23,261.28
				PARKS - WATER	52230	55200	188.52
				PARKS - WATER	52230	55200	64.83
				PARKS - SEWER	52240	55200	182.08
				PARKS - SEWER	52240	55200	94.68
				PARKS - PUBLIC FIRE PROTECTION CHARGE	52950	55200	135.00
				PARKS - PUBLIC FIRE PROTECTION CHARGE	52950	55200	27.00
				CHECK 100 141561 TOTAL FOR FUND 100:			23,953.39
07/19/2024	100	141562	WASTE MANAGEMENT	SERVICE FEES	52900	53635	1,049.93
07/19/2024	100	141563	WAUKESHA CO TREASURER	RECREATION PROGRAM - CONTRACTED	52190	55300	840.00
07/19/2024	100	141565	WI SUPREME COURT	COURT - MEETINGS & CONVENTIONS	53210	51200	80.00
07/19/2024	100	141566	WISCONSIN DEPARTMENT OF	EMPLOYEE SERVICES - EMPLOYMENT EXAMS	52150	51430	206.00
07/26/2024	100	141567	AIR ONE EQUIPMENT	FIRE PROTECTIVE SERVICES - EQUIP REPAIR	52430	52230	240.00
07/26/2024	100	141568	AMI HURD	CLERK/TREASURER - MILEAGE	53300	51420	19.43
07/26/2024	100	141569	BATZNER PEST CONTROL	PARKS - BUILDING REPAIRS & MAINT	52410	55200	81.29
07/26/2024	100	141570	BREDAN MECHANICAL SYSTEMS INC	CITY HALL - BUILDING REPAIRS & MAINT	52410	51600	273.00

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 100 GENERAL FUND							
07/26/2024	100	141571	CHERRIE LARSON	RECREATION PROGRAM - CONTRACTED	52190	55300	729.60
07/26/2024	100	141573	CONWAY SHIELD	FIRE PROTECTIVE SERVICES - UNIFORMS	53410	52230	720.00
				FIRE PROTECTIVE SERVICES - NEW	53950	52230	555.00
				FIRE PROTECTIVE SERVICES - NEW	53950	52230	7,460.00
				CHECK 100 141573 TOTAL FOR FUND 100:			8,735.00
07/26/2024	100	141575	DAN PLAUTZ CLEANING SERVICE	CITY HALL - JANITORIAL SUPPLIES	52400	51600	2,873.00
07/26/2024	100	141576	DEAN MICHAELIS	PARKS - SAFETY EQUIPMENT	53480	55200	80.00
07/26/2024	100	141578	DIVERSIFIED BENEFIT SERVICES, INC.	INSURANCE CONSULTANT	52150	51930	209.30
07/26/2024	100	141581#	FORWARD TS	BUILDING SERVICES - OPERATING SUPPLIES	53400	52400	15.80
				RECREATION PROGRAM - OPERATING SUPPLIES	53400	55300	160.70
				CHECK 100 141581 TOTAL FOR FUND 100:			176.50
07/26/2024	100	141582	GALLS	FIRE PROTECTIVE SERVICES - UNIFORMS	53410	52230	992.75
07/26/2024	100	141583	GORDON MERZ	RECREATION PROGRAM - PROGRAM EXPENSES	53430	55300	26.40
07/26/2024	100	141584	Halen Homes LLC	BOB23-0038	23175	00000	500.00
07/26/2024	100	141585	Halen Homes LLC	BOB23-0039	23175	00000	500.00
07/26/2024	100	141587	JOHNSON SCHOOL BUS CHARTER	RECREATION PROGRAM - PROGRAM EXPENSES	53430	55300	2,677.50
				RECREATION PROGRAM - FIELD TRIPS	53460	55300	2,660.00
				CHECK 100 141587 TOTAL FOR FUND 100:			5,337.50
07/26/2024	100	141588	KWIK TRIP INC.	FIRE PROTECTIVE SERVICES - FUEL	53420	52230	9,261.98
07/26/2024	100	141589	LAKE COUNTRY CONSERVATIONISTS	PARKS - GROUNDS MAINTENANCE	52420	55200	2,505.94
07/26/2024	100	141590	LAKELAND SUPPLY, INC.	PARKS - BUILDING REPAIRS & MAINT	52410	55200	695.64
07/26/2024	100	141591	LANGE ENTERPRISES, INC	BUILDING SERVICES - ADDRESS TILES	53430	52400	187.37
07/26/2024	100	141592	MALECKI GRAPHIC ARTS SERVICES	RECREATION PROGRAM - PROGRAM PRINTING	53120	55300	1,000.00
07/26/2024	100	141593*#	MENARDS	BUILDING SERVICES - OPERATING SUPPLIES	53400	52400	109.95
				PARKS - GROUNDS MAINTENANCE	52420	55200	123.85
				PARKS - OPERATING SUPPLIES	53400	55200	28.46
				CHECK 100 141593 TOTAL FOR FUND 100:			262.26
07/26/2024	100	141594	Nageswara Rao	BEB22-0004	23173	00000	2,000.00

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 100 GENERAL FUND							
07/26/2024	100	141595	PORT-A-JOHN	PARKS - BUILDING REPAIRS & MAINT	52410	55200	149.00
				PARKS - BUILDING REPAIRS & MAINT	52410	55200	149.00
				PARKS - BUILDING REPAIRS & MAINT	52410	55200	149.00
				CHECK 100 141595 TOTAL FOR FUND 100:			<u>447.00</u>
07/26/2024	100	141596	PREMIUM WATERS, INC	PARKS - OPERATING SUPPLIES	53400	55200	70.74
07/26/2024	100	141598	RUSS'S MULCH & TOPSOIL	PARKS - GROUNDS MAINTENANCE	52420	55200	140.00
				PARKS - GROUNDS MAINTENANCE	52420	55200	136.00
				CHECK 100 141598 TOTAL FOR FUND 100:			<u>276.00</u>
07/26/2024	100	141599	SATHEESH VAMANAN	REAL ESTATE TAXES RECEIVABLE	12100	00000	189.02
07/26/2024	100	141600	ST. BARTHOLOMEW'S EPISCOPAL CHURCH RECREATION PROGRAM - PROGRAM EXPENSES		53430	55300	350.00
07/26/2024	100	141601	STRAIGHT-UP	PARKS - UNIFORMS	53410	55200	755.50
07/26/2024	100	141602	THE BOELTER COMPANIES, INC	FIRE ADMINISTRATION - BUILDING REPAIRS	52410	52210	4,096.96
07/26/2024	100	141603	TURNOUT MANAGEMENT	FIRE PROTECTIVE SERVICES - EQUIP REPAIR	52430	52230	76.78
				FIRE PROTECTIVE SERVICES - EQUIP REPAIR	52430	52230	581.80
				CHECK 100 141603 TOTAL FOR FUND 100:			<u>658.58</u>
07/31/2024	100	1576 (E) *#	MUTUAL OF OMAHA	DISABILITY INSURANCE	21531	00000	2,017.28
				LTD - FIRE UNION	21533	00000	760.06
				VOLUNTARY LIFE	21534	00000	1,286.71
				COURT - LIFE INSURANCE	51340	51200	23.36
				COURT - DISABILITY INSURANCE	51350	51200	19.66
				ADMINISTRATOR - LIFE INSURANCE	51340	51410	9.86
				ADMINISTRATOR - DISABILITY INSURANCE	51350	51410	27.79
				CLERK/TREASURER - LIFE INSURANCE	51340	51420	49.12
				CLERK/TREASURER - DISABILITY INSURANCE	51350	51420	63.46
				EMPLOYEE SERVICES - LIFE INSURANCE	51340	51430	16.16
				IT - LIFE INSURANCE	51340	51450	19.20
				IT - DISABILITY INSURANCE	51350	51450	27.79
				ASSESSOR - LIFE INSURANCE	51340	51530	40.16
				ASSESSOR - DISABILITY INSURANCE	51350	51530	69.35
				POLICE - LIFE INSURANCE	51340	52100	10.24
				POLICE - DISABILITY INSURANCE	51350	52100	14.61
				FIRE ADMINISTRATION - LIFE INSURANCE	51340	52210	47.20
				FIRE ADMINISTRATION - DISABILITY	51350	52210	55.58
				FIRE PROTECTIVE SERVICES - LIFE	51340	52230	570.23
				FIRE PROTECTIVE SERVICES - DISABILITY	51350	52230	111.16

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 100 GENERAL FUND							
				BUILDING SERVICES - LIFE INSURANCE	51340	52400	63.68
				BUILDING SERVICES - DISABILITY	51350	52400	55.85
				HIGHWAY - LIFE INSURANCE	51340	53100	124.80
				HIGHWAY - DISABILITY INSURANCE	51350	53100	204.85
				ENGINEERING - LIFE INSURANCE	51340	53110	76.16
				ENGINEERING - DISABILITY INSURANCE	51350	53110	143.90
				PARKS - LIFE INSURANCE	51340	55200	36.00
				PARKS - DISABILITY INSURANCE	51350	55200	70.32
				RECREATION PROGRAM - LIFE INSURANCE	51340	55300	35.20
				RECREATION PROGRAM - DISABILITY	51350	55300	51.71
				PLANNER - LIFE INSURANCE	51340	56300	21.44
				PLANNER - DISABILITY INSURANCE	51350	56300	27.79
				CHECK 100 1576(E) TOTAL FOR FUND 100:			<u>6,150.68</u>

08/01/2024	100	1575 (E) *#	MUTUAL OF OMAHA	DISABILITY INSURANCE			** VOIDED **
				LTD - FIRE UNION			** VOIDED **
				VOLUNTARY LIFE			** VOIDED **
				COURT - LIFE INSURANCE			** VOIDED **
				COURT - DISABILITY INSURANCE			** VOIDED **
				ADMINISTRATOR - LIFE INSURANCE			** VOIDED **
				ADMINISTRATOR - DISABILITY INSURANCE			** VOIDED **
				CLERK/TREASURER - LIFE INSURANCE			** VOIDED **
				CLERK/TREASURER - DISABILITY INSURANCE			** VOIDED **
				EMPLOYEE SERVICES - LIFE INSURANCE			** VOIDED **
				IT - LIFE INSURANCE			** VOIDED **
				IT - DISABILITY INSURANCE			** VOIDED **
				ASSESSOR - LIFE INSURANCE			** VOIDED **
				ASSESSOR - DISABILITY INSURANCE			** VOIDED **
				POLICE - LIFE INSURANCE			** VOIDED **
				POLICE - DISABILITY INSURANCE			** VOIDED **
				FIRE ADMINISTRATION - LIFE INSURANCE			** VOIDED **
				FIRE ADMINISTRATION - DISABILITY			** VOIDED **
				FIRE PROTECTIVE SERVICES - LIFE			** VOIDED **

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 100 GENERAL FUND							
				FIRE PROTECTIVE SERVICES - DISABILITY			** VOIDED **
				BUILDING SERVICES - LIFE INSURANCE			** VOIDED **
				BUILDING SERVICES - DISABILITY			** VOIDED **
				HIGHWAY - LIFE INSURANCE			** VOIDED **
				HIGHWAY - DISABILITY INSURANCE			** VOIDED **
				ENGINEERING - LIFE INSURANCE			** VOIDED **
				ENGINEERING - DISABILITY INSURANCE			** VOIDED **
				PARKS - LIFE INSURANCE			** VOIDED **
				PARKS - DISABILITY INSURANCE			** VOIDED **
				RECREATION PROGRAM - LIFE INSURANCE			** VOIDED **
				RECREATION PROGRAM - DISABILITY			** VOIDED **
				PLANNER - LIFE INSURANCE			** VOIDED **
				PLANNER - DISABILITY INSURANCE			** VOIDED **
08/02/2024	100	141606*#	A&M CLEANING SOLUTIONS	HIGHWAY - CONTRACTED JANITORIAL	52400	53100	1,020.00
08/02/2024	100	141607	ADVANCE NAME PLATE & BADGE	RECREATION PROGRAM - OPERATING SUPPLIES	53400	55300	14.93
08/02/2024	100	141608	AIRGAS USA	HIGHWAY - OPERATING SUPPLIES	53400	53100	362.20
08/02/2024	100	141609	ALADTEC, INC	FIRE ADMINISTRATION-SFTWR MAINT &	52480	52210	4,221.00
08/02/2024	100	141612	ASHIPPUN NURSERY	FORESTRY - TREE REPLANTING	53420	56110	630.00
08/02/2024	100	141613*#	AT&T MOBILITY	ADMINISTRATOR - TELEPHONE & CELL	52260	51410	33.24
				CLERK/TREASURER - TELEPHONE & CELL	52260	51420	33.24
				EMPLOYEE SERVICES - PHONE & CELL	52260	51430	43.03
				IT - PHONE & CELL	52260	51450	81.31
				IT - NEW EQUIPMENT	53950	51450	33.24
				FIRE ADMINISTRATION - PHONE & CELL	52260	52210	129.30
				BUILDING SERVICES - PHONE & CELL	52260	52400	152.54
				HIGHWAY - PHONE & CELL	52260	53100	38.13
				HIGHWAY - NEW EQUIPMENT	53950	53100	133.62
				ENGINEERING - PHONE & CELL	52260	53110	121.05
				PARKS - TELEPHONE & INTERNET	52260	55200	86.06
				RECREATION PROGRAM - PHONE & CELL	52260	55300	319.24
				CHECK 100 141613 TOTAL FOR FUND 100:			<u>1,204.00</u>
08/02/2024	100	141614	BIEBEL'S TRUE VALUE AND JUST ASK	HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	59.98

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 100 GENERAL FUND							
08/02/2024	100	141615	CASH	RECREATION PROGRAM - PROGRAM EXPENSES	53430	55300	600.00
08/02/2024	100	141616	CINTAS	HIGHWAY - OPERATING SUPPLIES	53400	53100	80.39
08/02/2024	100	141619	COMEDY SPORTZ	RECREATION PROGRAM - FIELD TRIPS	53460	55300	3,200.00
08/02/2024	100	141620	COMPLEX SECURITY SOLUTIONS INC	CITY HALL - BUILDING REPAIRS & MAINT	52410	51600	255.00
08/02/2024	100	141621#	CONLEY MEDIA	BUILDING SERVICES - OPERATING SUPPLIES	53400	52400	28.30
				PLANNER - NOTICES & PUBLICAT	53470	56300	477.99
				PLANNER - NOTICES & PUBLICAT	53470	56300	164.48
				CHECK 100 141621 TOTAL FOR FUND 100:			<u>670.77</u>
08/02/2024	100	141622	COOKING WITH MOORE	RECREATION PROGRAM - CONTRACTED	52190	55300	252.00
08/02/2024	100	141624	COREY OIL	HIGHWAY - FUEL	53420	53100	2,005.28
				HIGHWAY - FUEL	53420	53100	4,051.26
				CHECK 100 141624 TOTAL FOR FUND 100:			<u>6,056.54</u>
08/02/2024	100	141625	CRAFTMASTER PAINTING, LLC	HIGHWAY - BLDG REPAIRS & MAINT	52410	53100	4,500.00
08/02/2024	100	141627	E.H. WOLF & SONS, INC	HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	35.00
08/02/2024	100	141628	EDGE ELECTRIC	BUILDING SERVICES DUE TO VILLAGE	24400	00000	139.30
				CONTRACTED BUILDING INSPECTION	47380	00000	258.70
				CHECK 100 141628 TOTAL FOR FUND 100:			<u>398.00</u>
08/02/2024	100	141629	ELEVITY GORDON FLESCH CO INC	IT - SOFTWARE MAINTENANCE & UPDATES	52480	51450	4,679.80
				IT - SOFTWARE MAINTENANCE & UPDATES	52480	51450	1,275.75
				CHECK 100 141629 TOTAL FOR FUND 100:			<u>5,955.55</u>
08/02/2024	100	141631	ENER-CON, INC.	SERVICE FEES	52900	53635	3,770.00
08/02/2024	100	141632	FAMBRO MANAGEMENT	RECREATION PROGRAM - CONTRACTED	52190	55300	1,680.00
08/02/2024	100	141634#	FORWARD TS	COURT - OPERATING SUPPLIES	53400	51200	19.90
				CLERK/TREASURER - EQUIP REPAIR & MAINT	52430	51420	67.05
				POLICE - OPERATING SUPPLIES	53400	52100	19.89
				CHECK 100 141634 TOTAL FOR FUND 100:			<u>106.84</u>
08/02/2024	100	141636	HEARTLAND BUSINESS SYSTEMS	IT - SOFTWARE MAINTENANCE & UPDATES	52480	51450	23.00
08/02/2024	100	141637	HOPKINS SPORTS COMPS	RECREATION PROGRAM - CONTRACTED	52190	55300	4,386.00

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 100 GENERAL FUND							
08/02/2024	100	141638	JOHNS DISPOSAL SERVICE	MISCELLANEOUS REVENUES	48900	00000	322.50
08/02/2024	100	141639	JOHNSON'S NURSERY	SERVICE FEES	52900	53635	250.00
08/02/2024	100	141640	JX ENTERPRISES, INC.	HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	1,817.23
08/02/2024	100	141643*#	LITHO-CRAFT	ENGINEERING - OPERATING SUPPLIES	53400	53110	104.50
08/02/2024	100	141644*#	MENARDS	BUILDING SERVICES - OPERATING SUPPLIES	53400	52400	4.79
				HIGHWAY - OPERATING SUPPLIES	53400	53100	15.46
				CHECK 100 141644 TOTAL FOR FUND 100:			<u>20.25</u>
08/02/2024	100	141645*#	MILLER-BRADFORD & RISBERG, INC	HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	32.65
08/02/2024	100	141647	NAPA	HIGHWAY - OPERATING SUPPLIES	53400	53100	37.36
08/02/2024	100	141648	NICK PHALIN	RECREATION PROGRAM - MILEAGE	53300	55300	62.98
08/02/2024	100	141649#	ODP BUSINESS SOLUTIONS LLC	COURT - OPERATING SUPPLIES	53400	51200	459.90
				CLERK/TREASURER - OPERATING SUPPLIES	53400	51420	323.39
				CHECK 100 141649 TOTAL FOR FUND 100:			<u>783.29</u>
08/02/2024	100	141650	PARKING LOT MAINTENANCE	HIGHWAY - CRACK FILLING	52310	53100	24,900.00
				HIGHWAY - CRACK FILLING	52310	53100	10,500.00
				CHECK 100 141650 TOTAL FOR FUND 100:			<u>35,400.00</u>
08/02/2024	100	141651	PARKSIDE MANAGEMENT	RESCINDED TAXES	57410	51910	8,890.21
08/02/2024	100	141652	PROJECT ENTERTAINMENT DBA FUN	RECREATION PROGRAM - PROGRAM EXPENSES	53430	55300	2,100.00
08/02/2024	100	141654	QUALITY POWER SOLUTIONS	IT - EQUIP REPAIR & MAINT	52430	51450	2,513.28
08/02/2024	100	141657	SHELBY VIELGUT	RECREATION PROGRAM - MILEAGE	53300	55300	59.83
08/02/2024	100	141658	SHRED-IT	CITY HALL - OPERATING SUPPLIES	53400	51600	187.50
08/02/2024	100	141660	SPRING CREEK CHURCH	RECREATION PROGRAM - PROGRAM EXPENSES	53430	55300	425.00
08/02/2024	100	141662	STATE OF WI COURT FINES & ASSMTS	COURT PENALTIES	45110	00000	6,581.08
08/02/2024	100	141664	TESLA ENERGY OPERATIONS	BUILDING PERMITS	44300	00000	60.00
				ELECTRICAL PERMITS	44301	00000	195.00
				CHECK 100 141664 TOTAL FOR FUND 100:			<u>255.00</u>

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Fund: 100 GENERAL FUND							
08/02/2024	100	141665	TIM FISCHER	HIGHWAY - SAFETY EQUIPMENT	53480	53100	199.45
08/02/2024	100	141666	ULINE	PARKS - EQUIPMENT PURCHASED WITH	53900	55200	1,121.06
08/02/2024	100	141667*#	VESTIS	HIGHWAY - CONTRACTED JANITORIAL	52400	53100	39.78
				HIGHWAY - UNIFORMS	53410	53100	107.84
				HIGHWAY - UNIFORMS	53410	53100	103.20
				CHECK 100 141667 TOTAL FOR FUND 100:			250.82
08/02/2024	100	141668*#	VILLAGE OF PEWAUKEE	SHARED PARK & RECREATION PROGRAMS	47370	00000	36,994.47
				SHARED PARK & RECREATION PROGRAMS	47370	00000	2,479.33
				SHARED PARK & RECREATION PROGRAMS	47370	00000	24,925.13
				SHARED PARK & RECREATION PROGRAMS	47370	00000	35,282.41
				SHARED PARK & RECREATION PROGRAMS	47370	00000	16,231.60
				SHARED PARK & RECREATION PROGRAMS	47370	00000	8,657.62
				CHECK 100 141668 TOTAL FOR FUND 100:			124,570.56
08/02/2024	100	141669	WASTE MANAGEMENT	SERVICE FEES	52900	53635	4,689.31
08/02/2024	100	141671	WAUKESHA CO TREASURER	COURT PENALTIES	45110	00000	2,394.86
08/02/2024	100	141672*#	WE ENERGIES	HIGHWAY - ELECTRICITY	52210	53100	1,179.74
				GAS FOR HEAT (NATURAL GAS)	52220	53100	56.10
				CHECK 100 141672 TOTAL FOR FUND 100:			1,235.84
08/02/2024	100	141674	WPRA	RECREATION PROGRAM - MEETINGS &	53210	55300	365.00
				Total for fund 100 GENERAL FUND			378,499.11

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 230 STORM WATER MANAGEMENT							
07/19/2024	100	141515*#	ALL-WAYS CONTRACTORS, INC	DITCH & CULVERT MAINT - DITCH	53520	53652	54.00
07/19/2024	100	141516*#	ARC DOCUMENT SOLUTIONS LLC	OPERATING SUPPLIES	53400	53650	8.39
07/19/2024	100	141524	CRETEX SPECIALTY PRODUCTS	CATCH BASIN MAINT - CATCH BASIN	53510	53655	266.00
				CATCH BASIN MAINT - CATCH BASIN	53510	53655	2,806.26
				CHECK 100 141524 TOTAL FOR FUND 230:			<u>3,072.26</u>
07/19/2024	100	141532*#	IMEG CORP	PROJECTS - BUSSE RD BRIDGE CULVERT	58210	57348	13,865.86
07/19/2024	100	141537*#	MASTERGRAPHICS	OPERATING SUPPLIES	53400	53650	170.88
07/19/2024	100	141539*#	MENARDS	OPERATING SUPPLIES	53400	53650	287.00
				CATCH BASIN MAINT - CATCH BASIN	53510	53655	107.88
				CATCH BASIN MAINT - CATCH BASIN	53510	53655	71.92
				CHECK 100 141539 TOTAL FOR FUND 230:			<u>466.80</u>
07/19/2024	100	141544	PAYNE & DOLAN	DITCH & CULVERT MAINT - CULVERT	53510	53652	152.76
07/19/2024	100	141554	SHORT ELLIOTT HENDRICKSON INC	PROJECTS - OAK ST LAKE BANK STBLZTN	58210	57565	1,000.00
07/19/2024	100	141555	SITEONE LANDSCAPE SUPPLY LLC	DITCH & CULVERT MAINT - DITCH	53520	53652	546.55
				DITCH & CULVERT MAINT - DITCH	53520	53652	484.97
				DITCH & CULVERT MAINT - DITCH	53520	53652	519.36
				CHECK 100 141555 TOTAL FOR FUND 230:			<u>1,550.88</u>
07/19/2024	100	141556	ST. LAWRENCE EQUIPMENT	EQUIPMENT REPAIR & MAINT	52430	53650	154.55
07/19/2024	100	141560*#	VESTIS	CONTRACTED JANITORIAL	52400	53650	19.91
07/26/2024	100	141577*#	DIGGERS HOTLINE	STORM SEWER MAINT - DIGGER'S HOTLINE	52201	53651	899.71
08/02/2024	100	141606*#	A&M CLEANING SOLUTIONS	CONTRACTED JANITORIAL	52400	53650	510.00
08/02/2024	100	141610*#	ALL-WAYS CONTRACTORS, INC	DITCH & CULVERT MAINT - DITCH	53520	53652	630.00
08/02/2024	100	141611*#	AQUALIS	STORM SEWER MAINT - TELEVISIONING	52400	53651	7,801.18

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 230 STORM WATER MANAGEMENT							
08/02/2024	100	141613*#	AT&T MOBILITY	TELEPHONE & CELL	52260	53650	202.25
				NEW EQUIPMENT	53950	53650	65.82
				CHECK 100 141613 TOTAL FOR FUND 230:			<u>268.07</u>
08/02/2024	100	141626	CRETEX SPECIALTY PRODUCTS	CATCH BASIN MAINT - CATCH BASIN	53510	53655	3,006.79
08/02/2024	100	141641	LANNON STONE PRODUCTS	DITCH & CULVERT MAINT - DITCH	53520	53652	101.77
08/02/2024	100	141642#	LINCOLN CONTRACTORS	OPERATING SUPPLIES	53400	53650	93.97
				OPERATING SUPPLIES	53400	53650	250.99
				CATCH BASIN MAINT - CATCH BASIN	53510	53655	326.77
				CHECK 100 141642 TOTAL FOR FUND 230:			<u>671.73</u>
08/02/2024	100	141643*#	LITHO-CRAFT	OPERATING SUPPLIES	53400	53650	104.50
08/02/2024	100	141644*#	MENARDS	OPERATING SUPPLIES	53400	53650	71.92
08/02/2024	100	141645*#	MILLER-BRADFORD & RISBERG, INC	EQUIPMENT REPAIR & MAINT	52430	53650	102.52
08/02/2024	100	141656*#	RUEKERT & MIELKE, INC.	OUTSIDE ENGINEERING	52190	53650	605.11
				OUTSIDE ENGINEERING	52190	53650	732.95
				OUTSIDE ENGINEERING	52190	53650	380.68
				OUTSIDE ENGINEERING	52190	53650	661.93
				OUTSIDE ENGINEERING	52190	53650	538.35
				OUTSIDE ENGINEERING	52190	53650	797.69
				OUTSIDE ENGINEERING	52190	53650	410.51
				OUTSIDE ENGINEERING	52190	53650	758.52
				PROJECTS - HILL 'N DALE	58210	57301	2,021.72
				PROJECTS - FOX VIEW COURT	58210	57365	3,180.65
				CHECK 100 141656 TOTAL FOR FUND 230:			<u>10,088.11</u>
08/02/2024	100	141659	SITEONE LANDSCAPE SUPPLY LLC	DITCH & CULVERT MAINT - DITCH	53520	53652	759.96
				DITCH & CULVERT MAINT - DITCH	53520	53652	759.96
				DITCH & CULVERT MAINT - DITCH	53520	53652	759.96
				CHECK 100 141659 TOTAL FOR FUND 230:			<u>2,279.88</u>
08/02/2024	100	141667*#	VESTIS	CONTRACTED JANITORIAL	52400	53650	19.91

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 230 STORM WATER MANAGEMENT							
08/02/2024	100	141672*#	WE ENERGIES	ELECTRICITY	52210	53650	589.88
				GAS FOR HEAT (NATURAL GAS)	52220	53650	28.05
				CHECK 100 141672 TOTAL FOR FUND 230:			<u>617.93</u>
08/02/2024	100	141673	WESTERN CULVERT & SUPPLY	DITCH & CULVERT MAINT - CULVERT	53510	53652	459.80
08/02/2024	100	141675	ZIGNEGO READY MIX	CATCH BASIN MAINT - CATCH BASIN	53510	53655	528.00
				CATCH BASIN MAINT - CATCH BASIN	53510	53655	1,320.00
				CATCH BASIN MAINT - CATCH BASIN	53510	53655	514.00
				CHECK 100 141675 TOTAL FOR FUND 230:			<u>2,362.00</u>
				Total for fund 230 STORM WATER MANAGEMENT			50,512.11

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 250 TOURISM & CONVENTION							
07/26/2024	100	141597	R.A. SMITH & ASSOC., INC.	TOURISM - SPORTS COMPLEX TURF	58210	56700	3,656.50
07/26/2024	100	141604	WAUKESHA PEWAUKEE CVB	TOURISM - HOTEL ROOM TAX	59000	56700	63,813.00
Total for fund 250 TOURISM & CONVENTION							67,469.50

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 420 CAPTIAL ROAD PROJECTS							
07/19/2024	100	141532*#	IMEG CORP	BUSSE RD BRIDGE	58210	57419	13,865.85
08/02/2024	100	141610*#	ALL-WAYS CONTRACTORS, INC	JOSEPH ROAD	58210	57553	340,872.36
08/02/2024	100	141646	MUSSON BROTHERS INC	SHADY LANE	58210	57407	66,375.39
08/02/2024	100	141655*#	R.A. SMITH & ASSOC., INC.	QUIET ZONE - WEYER ROAD	58200	56700	497.50
08/02/2024	100	141656*#	RUEKERT & MIELKE, INC.	SHADY LANE	58210	57407	983.11
				ROUNDY'S INDUSTRIAL PARK #2	58210	57422	2,143.75
				LEXINGTON/TACOMA	58210	57426	17,121.23
				SPICE CREEK/MEADOWBROOK FARMS #2	58210	57552	1,570.43
				JOSEPH ROAD	58210	57553	44,466.23
				SPICE CREEK/MEADOWBROOK FARMS #3	58210	57556	297.31
				SPICE CREEK/MEADOWBROOK FARMS PH 4	58210	57557	11,415.89
				APPLE TREE/PEAR TREE	58210	57561	674.82
				CHECK 100 141656 TOTAL FOR FUND 420:			<u>78,672.77</u>
08/02/2024	100	141663*#	STRAND ASSOCIATES, INC	DUPLAINVILLE TRACKS TO WEYER	58210	57420	382.41
				APPLE TREE/PEAR TREE	58210	57561	412.13
				WESTWOOD/CORPORATE CT	58210	57562	10,439.84
				CHECK 100 141663 TOTAL FOR FUND 420:			<u>11,234.38</u>
				Total for fund 420 CAPTIAL ROAD PROJECTS			511,518.25

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CHECK DISBURSEMENT REPORT FOR PEWAUKEE
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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 440 BIKE & PEDESTRIAN							
08/02/2024	100	141655*#	R.A. SMITH & ASSOC., INC.	PEDESTRIAN CROSSING @ NETTESHEIM	58210	57635	2,391.25
Total for fund 440 BIKE & PEDESTRIAN							2,391.25

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 600 WATER UTILITY							
07/19/2024	100	141522*#	CINTAS CORP	OFFICE SUPPLIES & EXPENSES	53100	00921	40.14
				TRANS & DIST OPS-UNIFORMS	53410	10665	59.34
				CHECK 100 141522 TOTAL FOR FUND 600:			99.48
07/19/2024	100	141533	JANE MUELLER	ADMIN & GEN OPS-MILEAGE	53300	10921	270.68
07/19/2024	100	141551*	ROB KINCAID	ADMIN & GEN OPS-MILEAGE	53300	10921	41.87
07/26/2024	100	141572*#	CINTAS CORP	TRANS & DIST OPS-UNIFORMS	53410	10665	59.34
				TRANS & DIST OPS-UNIFORMS	53410	10665	59.35
				CHECK 100 141572 TOTAL FOR FUND 600:			118.69
07/26/2024	100	141574*#	DAN FEITER	SOURCE OPS-SAFETY	52200	10603	128.50
07/26/2024	100	141577*#	DIGGERS HOTLINE	TRANS & DIST OPS-DIGGERS HOTLINE WATER	52450	10665	899.72
07/26/2024	100	141579	ELLIOTTS ACE HARDWARE	TRANS & DIST MAINT-MAINT OF SERVICES	52400	10675	48.42
07/26/2024	100	141580	FERGUSON WATERWORKS #1476	TRANS & DIST MAINT-MAINT OF SERVICES	52400	10675	84.00
07/26/2024	100	141586	HAWKINS, INC.	TREATMENT OPS-CHEMICALS	53410	10641	4,367.64
07/26/2024	100	141605	ZORN COMPRESSOR & EQUIPMENT	TRANS & DIST MAINT-BUILDINGS & GROUNDS	52310	10671	17.00
07/31/2024	100	1576(E)*#	MUTUAL OF OMAHA	BENEFITS - LIFE INSURANCE	51340	00926	97.66
				BENEFITS - DISABILITY INSURANCE	51350	00926	143.47
				CHECK 100 1576(E) TOTAL FOR FUND 600:			241.13
08/01/2024	100	1575(E)*#	MUTUAL OF OMAHA	BENEFITS - LIFE INSURANCE			** VOIDED **
				BENEFITS - DISABILITY INSURANCE			** VOIDED **
08/02/2024	100	141613*#	AT&T MOBILITY	TRANS & DIST MAINT-SCADA MAINT	52100	10678	25.34
				ADMIN & GEN OPS-PHONE, INTERNET CELL	52230	10921	321.59
				CHECK 100 141613 TOTAL FOR FUND 600:			346.93
08/02/2024	100	141617*#	CINTAS CORP	TRANS & DIST OPS-UNIFORMS	53410	10665	59.34
08/02/2024	100	141623#	CORE & MAIN LP	TRANS & DISTRIB MAINS	18564	00343	9,724.00
				METERS	18566	00346	6,556.20

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 600 WATER UTILITY							
				CHECK 100 141623 TOTAL FOR FUND 600:			16,280.20
08/02/2024	100	141630	ELLIOTTS ACE HARDWARE	TRANS & DIST MAINT-TRANS& DISTR MAINS	52400	10673	14.34
08/02/2024	100	141633	FERGUSON WATERWORKS #1476	TRANS & DIST MAINT-TRANS& DISTR MAINS	52400	10673	286.61
08/02/2024	100	141635#	HAWKINS, INC.	TREATMENT OPS-CHEMICALS	53410	10641	5,991.10
				TREATMENT MAINT-MAINT OF TREATMENT	52400	10652	897.35
				CHECK 100 141635 TOTAL FOR FUND 600:			6,888.45
08/02/2024	100	141644*#	MENARDS	TRANS & DIST MAINT-TRANS& DISTR MAINS	52400	10673	49.99
				TRANS & DIST MAINT-MAINT OF SERVICES	52400	10675	44.16
				CHECK 100 141644 TOTAL FOR FUND 600:			94.15
08/02/2024	100	141653	PUBLIC SERVICE COMMISSION OF WI	OPER & MAINT EXP-REGULATORY & COMM EXP	52381	10928	269.74
08/02/2024	100	141663*#	STRAND ASSOCIATES, INC	LINDSAY WATER - PARK TO SWAN	12814	00107	2,000.00
				LINDSAY WATER - PARK TO SWAN	12814	00107	340.63
				PFAS TREATMET	12818	00107	5,000.00
				PFAS TREATMET	12818	00107	2,655.83
				ADMIN & GEN OPS-OUTSIDE ENGINEERING	52170	10923	3,800.00
				CHECK 100 141663 TOTAL FOR FUND 600:			13,796.46
08/02/2024	100	141670	WATER REMEDIATION TECHNOLOGY	TREATMENT MAINT-WRT RADIUM TREATMENT	52900	10652	2,150.00
				TREATMENT MAINT-WRT RADIUM TREATMENT	52900	10652	4,230.35
				CHECK 100 141670 TOTAL FOR FUND 600:			6,380.35
				Total for fund 600 WATER UTILITY			50,733.70

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 650 SEWER UTILITY							
07/19/2024	100	141522*#	CINTAS CORP	OFFICE SUPPLIES & EXPENSES	53100	00921	40.14
				Uniforms & Protective Equipment	53410	01827	59.35
				CHECK 100 141522 TOTAL FOR FUND 650:			99.49
07/19/2024	100	141528	ENGINE SERVICES, INC	MAINTENANCE OF GENERAL PLANT STRUCTURE	52400	01834	2,501.15
07/19/2024	100	141551*	ROB KINCAID	ADMIN & GEN OPS-MILEAGE	53300	10921	41.88
07/19/2024	100	141557#	STRAND ASSOCIATES, INC	Gun Club Sewer Study	12831	00107	9,155.10
				ADMIN & GEN OPS-OUTSIDE ENGINEERING	52170	10923	123.81
				CHECK 100 141557 TOTAL FOR FUND 650:			9,278.91
07/19/2024	100	141564	WAUKESHA WATER UTILITY	SEWER SERVICE CHARGE - WCC	52344	01827	30,088.84
07/26/2024	100	141572*#	CINTAS CORP	Uniforms & Protective Equipment	53410	01827	59.35
				Uniforms & Protective Equipment	53410	01827	59.34
				CHECK 100 141572 TOTAL FOR FUND 650:			118.69
07/26/2024	100	141574*#	DAN FEITER	SAFETY	52200	01827	128.50
07/26/2024	100	141577*#	DIGGERS HOTLINE	DIGGERS HOTLINE SEWER	52450	10665	899.72
07/26/2024	100	141593*#	MENARDS	SUPPLIES AND EXPENSES	53400	01827	14.99
07/31/2024	100	1576 (E) *#	MUTUAL OF OMAHA	BENEFITS - LIFE INSURANCE	51340	00926	52.58
				BENEFITS - DISABILITY INSURANCE	51350	00926	77.26
				CHECK 100 1576 (E) TOTAL FOR FUND 650:			129.84
08/01/2024	100	1575 (E) *#	MUTUAL OF OMAHA	BENEFITS - LIFE INSURANCE			** VOIDED **
				BENEFITS - DISABILITY INSURANCE			** VOIDED **
08/02/2024	100	141611*#	AQUALIS	MAINTENANCE OF COLLECTION SYSTEM	52400	01831	35,887.03
				MAINTENANCE SCS SEWER CLEANING	52410	01831	53,046.28
				CHECK 100 141611 TOTAL FOR FUND 650:			88,933.31
08/02/2024	100	141613*#	AT&T MOBILITY	SCADA/TELEMETRY MAINT	52100	01831	25.34

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 650 SEWER UTILITY							
				ADMIN & GEN OPS PHONE INTERNET CELL	52230	10921	321.60
				CHECK 100 141613 TOTAL FOR FUND 650:			<u>346.94</u>
08/02/2024	100	141617*#	CINTAS CORP	Uniforms & Protective Equipment	53410	01827	59.35
08/02/2024	100	141618	CITY OF BROOKFIELD	PRE - PAYMENTS	16200	00143	18,806.94
08/02/2024	100	141644*#	MENARDS	MAINTENANCE/SCS - CONTROL PANEL	52430	01831	22.26
08/02/2024	100	141661	STAAB CONSTRUCTION CORP	Gun Club Sewer Study	12831	00107	405,270.00
08/02/2024	100	141668*#	VILLAGE OF PEWAUKEE	SEWER SERVICE CHARGE - VILLAGE OF PEWAU	52342	01827	36,628.12
				Total for fund 650 SEWER UTILITY			593,368.93

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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 800 CEMETERY							
08/02/2024	100	141663*#	STRAND ASSOCIATES, INC	CAPITAL - ROAD RECONSTRUCTION	58200	54910	234.00
Total for fund 800 CEMETERY							234.00
TOTAL - ALL FUNDS							1,654,726.85

'*'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE FUND

'#'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE DEPARTMENT

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM •**

DATE: August 5, 2024

DEPARTMENT: Clerk/Treasurer

PROVIDED BY:

SUBJECT:

§19.85(1)(g): Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved, specifically related to Waukesha County Case No. 2023CV1675, Richard Carr vs. Rhett Tuff, et al.

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION: